



**CITY OF MANHATTAN BEACH
DEPARTMENT OF COMMUNITY DEVELOPMENT
STAFF REPORT**

DATE: November 13, 2024

TO: Planning Commission

FROM: Ryan Heise, Acting Community Development Director

THROUGH: Adam Finestone, Planning Manager

BY: Angelica Ochoa, Associate Planner

SUBJECT: Consideration of a Coastal Development Permit, Use Permit, and Vesting Tentative Parcel Map for construction of a new 3,826 square-foot multi-family residential condominium structure with three units located at 1315 Manhattan Avenue, and associated environmental determination finding the project exempt from the California Environmental Quality Act. (PE-24-00168, CDP-24-00109, UP-24-00026 and SUBDIV-24-00014)

RECOMMENDATION

Staff recommends that the Planning Commission: (1) conduct a public hearing; and (2) adopt the attached resolution approving the Coastal Development Permit, Use Permit, and Vesting Tentative Parcel Map, subject to conditions, and finding the project exempt from further review pursuant to the California Environmental Quality Act.

APPLICANT

1317 Manhattan Avenue LLC, a California Limited Liability Company (Diko Kassabian)
16830 Ventura Boulevard, Suite 248
Encino, CA 91436

BACKGROUND

On May 24, 2024, the Community Development Department received an application requesting a Coastal Development Permit ("CDP"), Use Permit and Vesting Tentative Parcel Map for demolition of an existing triplex and construction of a new three-unit residential

condominium building (“Project”) located at 1315 Manhattan Avenue (“Property”).

Site Overview

The subject site is a 2,797 square-foot, rectangular lot at the southwest corner of Manhattan Avenue and 14th Street. It has a zoning designation of High-Density Residential (RH) and is in Area District III. It is located in the appealable portion of the City’s Coastal Zone and has a General Plan land use designation of High-Density Residential. The current use of the site is a 1,743 square-foot two-story multi-family residential triplex built in 1955, with garage access from Manhattan Avenue.

The zoning designation of all surrounding properties is RH. Neighboring properties are occupied by multi-family and single-family residences to the north, south, west, and east.

PROJECT OVERVIEW		
Location:	1315 Manhattan Avenue (see Vicinity Map – Attachment “B”)	
Legal Description:	Lot 42, Verano Beach Tract, Book 3, Page 97	
Assessor’s Parcel Number:	4179-026-001	
General Plan Land Use:	High Density Residential	
Zoning:	High-Density Residential	
Area District:	III	
Land Use:	<u>Existing</u> Triplex	<u>Proposed</u> 3-unit condominium
Floor area:	<u>Existing</u> 1,743 sq. ft.	<u>Proposed</u> 3,826 sq. ft.
Parking:	<u>Required</u> 2 spaces per unit and 1 open guest space per unit, total of 9 spaces	<u>Proposed</u> 2 spaces per unit and 1 open guest space per unit, a total of 9 spaces
Setbacks	<u>Required</u> Front: 5 feet Rear: 5 feet Interior side: 3 feet Street side : 1 foot	<u>Proposed</u> Front: 5 feet Rear: 5 feet Interior side: 3.5 feet Street side: 1 foot

Height	<u>Required</u> 30 ft. (maximum)	<u>Proposed</u> 29.83 ft.
Minimum Lot Size	<u>Required</u> 2,700 sq. ft. <u>Existing:</u> 2,796.90 sq. ft.	<u>Proposed</u> No change to existing
Open Space	<u>Required – 15% of unit area</u> Unit A – 305.16 sq.ft. Unit B – 220 sq.ft. Unit C – 220 sq.ft.	<u>Proposed</u> Unit A – 306.08 sq.ft. Unit B – 221.3 sq.ft. Unit C – 221.2 sq.ft.
Neighboring Zoning & Land Uses:	<u>North:</u> RH; multi-family residential	
	<u>South:</u> RH; single family residential	
	<u>East:</u> RH; multi-family and single family residential	
	<u>West:</u> RH; single family residential	

Governing Regulations

The Project is reviewed for compliance with applicable regulations, including the City’s General Plan, Local Coastal Program, and Municipal Code, and the State Subdivision Map Act.

Manhattan Beach General Plan

The Manhattan Beach General Plan (“General Plan”) is a long-range policy document, adopted in 2003, that identifies the community’s vision for its collective future and establishes the fundamental framework to guide decision-making about development, resource management, public safety, public services, and general community well-being. The General Plan contains a series of goals and policies that allow this vision to be implemented. All projects are reviewed to ensure alignment with the General Plan’s goals and policies. General Plans contain required “elements,” or chapters, including a Land Use Element which is used to guide the City’s development, maintenance, and improvement of land and properties. The Project was evaluated for conformance with the following applicable Land Use Element goals and policies:

- Land Use Plan Policy LU-1.1: Limit the height of new development to three stories

where the height limit is thirty feet, or to two stories where the height limit is twenty-six feet, to protect the privacy of adjacent properties, reduce shading, protect vistas of the ocean, and preserve the low-profile image of the community.

- Land Use Plan Policy LU-1.2: Require the design of all new construction to utilize notches, balconies, rooflines, open space, setbacks, landscaping, or other architectural details to reduce the bulk of buildings and to add visual interest to the streetscape.
- Land Use Plan Policy LU-2.2: Preserve and encourage private open space on residential lots citywide.
- Land Use Plan Policy LU-3.1: Continue to encourage quality design in all new construction.

Manhattan Beach Local Coastal Program

A portion of the City is within the Coastal Zone and is therefore subject to applicable provisions of the California Coastal Act. The California Coastal Act is administered through the California Coastal Commission and authorizes coastal jurisdictions to create Local Coastal Programs (“LCPs”) that specify the appropriate location, type, and scale of new or changed uses of land. Each LCP includes a land use plan and measures to implement the plan (such as zoning ordinances). While an LCP reflects the unique characteristics of individual coastal communities, regional and Statewide interests and concerns must also be addressed. The California Coastal Commission certified the City’s LCP in 1996.

The Project is located in the Coastal Zone and has been reviewed for compliance with the LCP including, but not limited to, the sections below:

- LCP Chapter A.12 – governs residential districts, including the RH district where the Project is located.
- LCP Chapter A.84 – governs use permits, which are required for use classifications typically having unusual site development features or operating characteristics requiring special consideration so that they may be designed, located, and operated compatibly with uses on adjoining properties and in the surrounding area.
- LCP Chapter A.96 – establishes regulations and requirements for Coastal Development Permits.

Manhattan Beach Municipal Code (MBMC)

Development projects which propose vesting tentative parcel maps for subdivisions of condominiums are regulated by Title 11 (Subdivisions) of the Manhattan Beach Municipal Code ("MBMC"). The overall purpose of the regulations contained in the MBMC is to protect and promote the public health, safety, and general welfare, and to implement the policies of the City of Manhattan Beach General Plan.

The Project was reviewed for compliance with the MBMC, including but not limited to, the following section:

- MBMC Chapter 11.24 – governs approval of vesting tentative maps including subdivisions.

State of California Subdivision Map Act

The State of California Subdivision Map Act was established in 1972 to govern subdivisions of land in California. It contains regulations that ensure subdivisions are designed to meet the needs of the community and authorizes local governmental agencies to regulate the design and development of subdivisions. The Subdivision Map Act is codified California Government Code Section 66410 et seq.

PROJECT DESCRIPTION

The applicant proposes to demolish an existing triplex and construct a three-unit residential condominium building on the subject lot. The proposed building is 3,821 square feet, three-stories, and contains three attached condominium units. Unit A is the largest unit, at 2034.4 square feet. Unit B is 986.9 square feet, and Unit C is 804.8 square feet. Two driveways (one from Manhattan Avenue and one from 14th Street) provide vehicular access to the site. A total of nine on-site parking spaces would be provided, including an enclosed two-car garage for each unit and three guest spaces. The required garage spaces are tandem spaces for Units A and B, and are accessed from 14th Street. The required garage spaces for Unit C are accessed from Manhattan Avenue. Two of the guest spaces are accessed from Manhattan Avenue and one is accessed from 14th Street.

The entrance to each condominium unit is on the ground floor, and interior access to each unit is proposed from within the unit's enclosed garage. The project's proposed architectural design reflects a modern design with a mix of stucco and wood, articulated with decks throughout the building. Additionally, there is a designated area for trash receptacles and storage for each unit.

DISCUSSION

Project Analysis

The Project was analyzed for compliance with land use regulations, development standards, and General Plan goals and policies. As described below, staff's analysis concludes that the Project is consistent with applicable governing regulations, and the findings required for approval of a use permit can be made.

Consistency and Compliance with Governing Regulations

Manhattan Beach General Plan

As noted above, the Project was reviewed for consistency with applicable General Plan goals and policies. The Project has been determined to be consistent with the following goals and policies for the reasons described below:

- *LU-1.1: Limit the height of new development to three stories where the height limit is thirty feet, or to two stories where the height limit is twenty-six feet, to protect the privacy of adjacent properties, reduce shading, protect vistas of the ocean, and preserve the low-profile image of the community.*

As the applicable height limit is 30 feet, the project is limited to three stories; therefore, impacts to shading and privacy are minimized, and the low-profile image of the community preserved.

- *LU-1.2: Require the design of all new construction to utilize notches, balconies, rooflines, open space, setbacks, landscaping, or other architectural details to reduce the bulk of buildings and to add visual interest to the streetscape.*

The project provides visual interest and architectural detailing via decks, open space areas and varied setbacks on the second and third floors. In addition, low level landscaping will be planted throughout the site at the street level.

- *LU-2.2: Preserve and encourage private open space on residential lots citywide.*

The project includes private decks on the second and third floors and open spaces in compliance with the requirement in the Planning and Zoning Code.

- *LU-3.1: Continue to encourage quality design in all new construction.*

The building includes a modern design, compatible with the existing built environment, inclusive of setbacks for building articulation and decks throughout the building.

Manhattan Beach Local Coastal Program

Pursuant to Section A.96.040 of the LCP, a Coastal Development Permit is required for demolition and construction of a new multi-family structure in the City's Coastal Zone. Additionally, pursuant to Section A.12.020(B) of the LCP, multi-family condominium projects with three or more units require a Use Permit.

As demonstrated in the "Project Overview" table above, the project conforms to all applicable development standards for the project site including, but not limited to, height, setbacks, floor area, parking, and open space.

- Height: Per Section A.12.030 of the LCP, the maximum height for the Property, as measured from average grade is 30 feet. The Project would be three stories, 29.83 feet high, in compliance with this requirement.
- Setbacks: Per Section A.12.030 of the LCP, the required front (14th Street) and rear setbacks are five feet, the interior side setback is three feet and the street side (Manhattan Avenue) setback is three feet. The Project proposes front and rear setback of five feet, an interior side setback of 3.5 feet, and a street side setback of one foot, all consistent with the requirements for the property.
- Floor Area: Per Section A.12.030 of the LCP, the allowable buildable floor area for the Project site is 1.7 times the lot area. Based on the Property's lot area of 2,796.96 square feet, the maximum buildable floor area is 4,754.83 square feet. The proposed 3,826.1 square-foot structure is significantly below the maximum permitted and, thus, complies with this standard.
- Parking: Per Section A.64.030 of the LCP, each condominium unit requires two enclosed parking spaces and one guest space. Thus, a three-unit condominium project requires a total of nine parking spaces. The project proposes a total of nine parking spaces, with two tandem parking garages and one open guest space on 14th Street, and a two-car garage and two open guest spaces on Manhattan Avenue, for a total of nine parking spaces on-site.
- Open Space: Per Section A.12.030 of the LCP, the minimum open space requirement for multifamily dwelling units is 15 percent (15%) of the buildable floor area (BFA) per unit, but not less than 220 square feet. For Unit A, the total proposed BFA is 2,034.4 square feet with a required minimum open space of 305.16 square feet. For Unit B, the total proposed BFA is 986.9 square feet with a required minimum open space of 220

square feet. For Unit C, the total proposed BFA is 804.8 square feet with a required minimum open space is 220 square feet. As stated in the project overview table above, the proposed open space for all three units is in compliance with this requirement.

Manhattan Beach Municipal Code

Title II of the MBMC (Subdivisions) supplements the provisions of the Subdivision Map Act to provide regulations specific to the City. Pursuant to Chapter 11.12, tentative maps, including tentative parcel maps resulting in three or more parcels or condominium units shall be considered by the Planning Commission. Further, Chapter 11.24 specifies that a vesting tentative map shall be consistent with the General Plan and Zoning Code in effect at the time the map is approved, and includes requirements for filing of vesting tentative maps. As discussed in the LCP section above, the proposed project is in compliance with all zoning requirements and development standards applicable to the property, subject to approval of a Use Permit. Additionally, all filing requirements, including the requirement that plans for the improvement of the subdivision, have been met.

California Subdivision Map Act

Pursuant to California Government Code Section 66410, the California Subdivision Map Act enables cities to regulate subdivisions for development to meet the needs of the community. The City regulates said subdivisions through Title II of the MBMC, as described above. The Subdivision Map Act also includes findings that must be met in order for a jurisdiction to approve a tentative map, including tentative parcel maps and vesting tentative parcel maps.

Interdepartmental Review

The Building & Safety Divisions, as well as the Public Works Department, reviewed the Project and provided initial comments. The reviewers expressed no concerns after their respective comments, if any, had been addressed by the Applicant.

Required Findings

Pursuant to the Manhattan Beach LCP, Manhattan Beach Municipal Code, and Subdivision Map Act, the decision-making authority must make certain findings to ensure that the projects are consistent with applicable regulations and compatible with other uses in the surrounding area. The required findings for a Coastal Development Permit, Use Permit, and Vesting Tentative Parcel Map are addressed below:

Coastal Development Permit

- A. *The project, as described in the application and accompanying material, as modified by any conditions of approval, conforms with the certified LCP.*

The property is located within Area District III (Beach Area) and is zoned High-Density Residential (RH). The General Plan and LCP Land Use Plan designation for the property is High Density Residential, which accommodates “all types of housing, and specifically housing development of a more intensive form, including apartments, condominiums, and senior housing.” The neighboring properties are also developed with residential uses. The proposed three-unit condominium project is a permitted use in the RH zoning district and is in compliance with the City’s General Plan and LCP Land Use Plan designation of High Density Residential. As such, the project will not be detrimental to the public health, safety or welfare of persons residing or working in or adjacent to the neighborhood of such use, and it will not be detrimental to properties or improvements in the vicinity or to the general welfare of the City.

The project is consistent with the residential development policies of the LCP, specifically Policies II.B.1, 2, and 3, as follows:

II.B.1 Maintain building scale in coastal zone residential neighborhoods consistent with Chapter 2 of the Implementation Plan.

The proposed structure is consistent with the building scale in the coastal zone neighborhood because it complies with the applicable standards of the Local Coastal Program, as demonstrated in the Project Overview table incorporated herein.

I.B.2 Maintain residential building bulk control established by development standards in Chapter 2 of the Implementation Plan.

The proposed structure is consistent with the residential bulk control as established by the development standards of the Local Coastal Program-Implementation Plan, as the project meets all maximum requirements and exceeds all minimum requirements, as applicable, for height, number of stories, buildable floor area, setbacks, and open space.

I.B.3 Maintain Coastal Zone residential height limit not to exceed 30' as required by Sections A.04.030 and A.60.050 of Chapter 2 of the Implementation Plan.

The proposed structure is 29.83 feet high and is therefore consistent with the 30-foot Coastal Zone residential height limit established by the Local Coastal

Program-Implementation Plan.

- B. *If the project is located between the first public road and the sea, the project is in conformity with the public access and recreation policies of Chapter 3 of the Coastal Act of 1976 (Commencing with Section 30200 of the Public Resources Code).*

As the project site is located east of Ocean Drive, it is not located between the first public road and the sea; therefore, it is not subject to this finding. Further, the structure does not impact public access to the shoreline. Adequate public access is provided and shall be maintained along Manhattan Avenue and 14th Street. Furthermore, the project does not create any barriers along Manhattan Avenue and 14th Street that prevent public access to the coast.

Use Permit

1. *The proposed location of the use is in accord with the objectives of this title and the purposes of the district in which the site is located.*

The project proposes construction of multi-family residential housing in the High-Density Residential (RH) zoning district. The purpose of the RH zoning district is to provide opportunities for an intensive form of residential development, including apartments and townhouses with relatively high land coverage, at appropriate locations. The proposed multi-family residential project directly serves the purpose of the zoning district by contributing to the development of residential units.

2. *The proposed location of the use and the proposed conditions under which it would be operated or maintained will be consistent with the General Plan; will not be detrimental to the public health, safety or welfare of persons residing or working on the proposed project site or in or adjacent to the neighborhood of such use; and will not be detrimental to properties or improvements in the vicinity or to the general welfare of the city.*

Development of a multi-family residential project at the proposed location is consistent with the goals and objectives of the General Plan High Density Residential land use designation assigned to the project site and the neighboring properties. The proposed use is consistent with surrounding uses, as the neighboring lots have also been developed with residential uses. Furthermore, the project has been reviewed by various City departments/divisions, including Public Works, Fire, Building and Safety, and Engineering, and it has been determined that it will not be detrimental to persons, properties or improvements in the vicinity or to the general welfare of the City, as construction and use of the project will comply with all applicable regulations.

The General Plan High Density Residential land use designation encourages residential development that provides for housing of a more intensive form, including apartments, condominiums, and senior housing. The project is in conformance with the following applicable General Plan policies.

LU-1.1: Limit the height of new development to three stories where the height limit is thirty feet, or to two stories where the height limit is twenty-six feet, to protect the privacy of adjacent properties, reduce shading, protect vistas of the ocean, and preserve the low-profile image of the community.

The project will be less than 30 feet in height and is limited to three stories; therefore, impacts to shading and privacy are minimized, and the low-profile image of the community preserved.

LU-1.2: Require the design of all new construction to utilize notches, balconies, rooflines, open space, setbacks, landscaping, or other architectural details to reduce the bulk of buildings and to add visual interest to the streetscape.

The project provides visual interest and architectural detailing via decks, open space areas and setbacks as described in the staff report prepared for this project.

LU-2.2: Preserve and encourage private open space on residential lots citywide.

The project includes private decks on the second and third floors and open spaces in compliance with the requirement in the LCP.

LU-3.1: Continue to encourage quality design in all new construction.

The building includes a modern design, compatible with the existing built environment, inclusive of setbacks for building articulation and decks throughout the building.

- 3. The proposed use will comply with the provisions of this title, including any specific condition required for the proposed use in the district in which it would be located.*

The proposed use complies with all applicable development standards in Title A of the LCP, including but not limited to setbacks, maximum height, density, required parking, and open space. No variances are required for this project; therefore, the project meets this finding.

- 4. The proposed use will not adversely impact nor be adversely impacted by nearby*

properties. Potential impacts are related but not necessarily limited to: traffic, parking, noise, vibration, odors, resident security and personal safety, and aesthetics, or create demands exceeding the capacity of public services and facilities which cannot be mitigated.

The proposed multi-family residential use does not adversely impact neighboring properties, as it is consistent with the surrounding uses in the RH zoning district and compatible in terms of density, height, massing, and scale with the surrounding built environment. Development of this type is anticipated by the General Plan and does not create demands exceeding the capacity of public services.

Subdivision Map Act

California Government Code Section 66474 (Subdivision Map Act) states that a legislative body of a city or county shall deny approval of a tentative map if it makes certain findings. Said findings are discussed below. (It should be noted that Subdivision Map Act addresses findings required for denial rather than for approval. For ease of understanding, however, we have revised the findings to be in the affirmative.)

(a) The proposed map is consistent with applicable general and specific plans as specified in Section 65451.

The proposed map would accommodate a three-unit residential development in an area designated for residential development in the City's General Plan and is consistent with applicable land use policies in the General Plan. No specific plans are applicable to the property.

(b) The design or improvement of the proposed subdivision is consistent with applicable general and specific plans.

The proposed design is consistent with the General Plan because the proposed subdivision is intended for multi-family residential use at a density that is consistent with the General Plan land use designation of RH, as implemented through the LCP. No specific plans are applicable to the property.

(c) The site is physically suitable for the type of development.

The site of the proposed residential development meets the minimum site dimensions and area for the area district it is located in and is already developed with a multi-family residential use.

(d) The site is physically suitable for the proposed density of development.

The proposed residential development meets the minimum lot area per dwelling unit required by the property development regulations in the LCP.

(e) The design of the subdivision or the proposed improvements are not likely to cause substantial environmental damage or substantially and avoidably injure fish or wildlife or their habitat.

The proposed residential project has been reviewed for conformance with the California Environmental Quality Act (CEQA) and no substantial environmental damage or injury to fish or wildlife or their habitat has been identified. Further information regarding the environmental analysis is provided in the Environmental Determination section of the staff report.

(f) The design of the subdivision or type of improvements is not likely to cause serious public health problems.

The subdivision is intended for condominium purposes only, and the proposed development is a residential use comparable in density with an existing development on the property. As such, the design of the subdivision or type of improvements is not likely to cause serious public health problems.

(g) The design of the subdivision or the type of improvements will not conflict with easements, acquired by the public at large, for access through or use of, property within the proposed subdivision.

The proposed subdivision will not conflict with easements acquired by the public for access through or use of the property because no such easements exist.

ENVIRONMENTAL DETERMINATION

The Project is Categorically Exempt from the requirements of the California Environmental Quality Act (CEQA), per State CEQA Guidelines Sections 15301 (Existing Facilities) for the demolition of six or fewer residential dwelling units, 15303 (New Construction or Conversion of Small Structures) for the construction of a new multi-family residential structure totaling no more than four dwelling units, and 15315 (Minor Land Divisions) for the subdivision of the subject property into four or fewer parcels. There are no features that distinguish this project from others in the exempt classes; therefore, there are no unusual circumstances.

PUBLIC OUTREACH

A public notice for the November 13, 2024, public hearing was published in The Beach Reporter, mailed to all property owners within a 500-foot radius of the Property, and posted at City Hall, on October 31, 2024. As of the writing of this report, staff has not received any public comments.

CONCLUSION

Staff concludes that the project complies with all applicable development regulations, conforms with applicable General Plan goals, policies and objectives, and that all required findings for approval can be made. Accordingly, staff recommends that the Planning Commission conduct a public hearing and adopt the attached resolution approving the Coastal Development Permit, Use Permit, and Vesting Tentative Parcel Map, subject to conditions, and finding the project exempt from further review pursuant to Sections 15301, 15303, and 15315 of the State CEQA Guidelines.

ATTACHMENTS:

- A. Draft Resolution No. PC 24-XX
- B. Vicinity Map
- C. Applicant's Written Materials
- D. Architectural Plans

RESOLUTION NO. PC 24-XX

A RESOLUTION OF THE MANHATTAN BEACH PLANNING COMMISSION APPROVING A COASTAL DEVELOPMENT PERMIT, USE PERMIT, AND VESTING TENTATIVE PARCEL MAP FOR A RESIDENTIAL CONDOMINIUM STRUCTURE WITH THREE UNITS LOCATED AT 1315 MANHATTAN AVENUE (1317 MANHATTAN AVENUE LLC, A CALIFORNIA LIMITED LIABILITY COMPANY)

THE MANHATTAN BEACH PLANNING COMMISSION DOES HEREBY RESOLVE AS FOLLOWS:

SECTION 1. On February 24, 2024, Diko Kassabian on behalf of 1317 Manhattan Avenue LLC, a California Limited Liability Company ("Applicant"), applied for a Coastal Development Permit, Use Permit, and Vesting Tentative Parcel Map to demolish an existing triplex and construct a new three-unit residential condominium building ("Project") located at 1315 Manhattan Avenue ("Property").

SECTION 2. On November 13, 2024, the Planning Commission conducted a duly noticed public hearing to consider the Project, during which the Planning Commission received a presentation by staff and testimony from the Applicant and provided an opportunity for the public to provide evidence and testimony. The Planning Commission also received and reviewed written testimony received by the City prior to the public hearing.

SECTION 3. The Project qualifies for a Categorical Exemption from the California Environmental Quality Act ("CEQA") pursuant to Sections 15301 (Existing Facilities) for the demolition of six or fewer residential dwelling units, 15303 (New Construction or Conversion of Small Structures) for the construction of a new multi-family residential structure totaling no more than four dwelling units, and 15315 (Minor Land Divisions) for the subdivision of the subject property into four or fewer parcels. There are no features that distinguish this Project from others in the exempt class; therefore, there are no unusual circumstances.

SECTION 4. The record of the public hearing indicates:

- A. The legal description of the site is Lot 42 of Verano Beach, in the City of Manhattan Beach, County of Los Angeles. The site is located in Area District III and is zoned High-Density Residential (RH), with a General Plan land use designation of High Density Residential. The site is within the appealable portion of the City's Coastal Zone, and surrounding properties are zoned RH on all sides.
- B. The applicant is requesting approval of a coastal development permit, use permit, and vesting tentative parcel map for the demolition of an existing 1,743 square-foot multi-family residential triplex building and the construction of a new 3,826 square-foot, three-unit condominium structure.
- C. A Coastal Development Permit is required for the proposed project because it involves the demolition of all existing structures and construction of a new building in the City's Coastal Zone.
- D. Multi-family condominium projects with three or more units are conditionally permitted in the RH zoning district subject to a use permit and are in compliance with the City's General Plan designation of High Density Residential. The General Plan encourages the High Density Residential land use category for residential development to provide housing including apartments and condominiums.
- E. The Project is specifically consistent with the following goals and policies of the General Plan:

LU-1.1: Limit the height of new development to three stories where the height limit is thirty feet, or to two stories where the height limit is twenty-six feet, to protect the privacy of adjacent properties, reduce shading, protect vistas of the ocean, and preserve the low-profile image of the community.

As the applicable height limit is 30 feet, the project is limited to three stories; therefore, impacts to shading and privacy are minimized, and the low-profile image of the community preserved.

LU-1.2: Require the design of all new construction to utilize notches, balconies, rooflines, open space, setbacks, landscaping, or other architectural details to reduce the bulk of buildings and to add visual interest to the streetscape.

The project provides visual interest and architectural detailing via decks, open space areas and varied setbacks on the second and third floors. In addition, low level landscaping will be added throughout the site at the street level.

LU-2.2: Preserve and encourage private open space on residential lots citywide.

The project includes private decks on the second and third floors and open spaces in compliance with the requirement in the Planning and Zoning Code.

LU-3.1: Continue to encourage quality design in all new construction.

The building includes a modern design, compatible with the existing built environment, inclusive of setbacks for building articulation and decks throughout the building.

SECTION 5. Based upon substantial evidence in the record, and pursuant to Section A.96.150 of the Manhattan Beach Local Coastal Program (“LCP”), the Planning Commission hereby makes the following findings related to the Coastal Development Permit:

- A. That the project, as described in the application and accompanying material, or as modified by any conditions of approval, conforms with the certified LCP for the reasons described below:

The property is located within Area District III (Beach Area) and is zoned High-Density Residential (RH). The General Plan and LCP Land Use Plan designation for the property is High Density Residential, which accommodates “all types of housing, and specifically housing development of a more intensive form, including apartments, condominiums, and senior housing.” The neighboring properties are also developed with residential uses. The proposed three-unit condominium project is a permitted use in the RH zoning district and is in compliance with the City’s General Plan and LCP Land Use Plan designation of High Density Residential. As such, the project will not be detrimental to the public health, safety or welfare of persons residing or working in or adjacent to the neighborhood of such use, and it will not be detrimental to properties or improvements in the vicinity or to the general welfare of the City.

The project is consistent with the residential development policies of the LCP, specifically Policies II.B.1, 2, and 3, as follows:

II.B.1 Maintain building scale in coastal zone residential neighborhoods consistent with Chapter 2 of the Implementation Plan.

The proposed structure is consistent with the building scale in the coastal zone neighborhood because it complies with the applicable standards of the Local Coastal Program, as demonstrated in the Project Overview table incorporated herein.

I.B.2 Maintain residential building bulk control established by development standards in Chapter 2 of the Implementation Plan.

The proposed structure is consistent with the residential bulk control as established by the development standards of the Local Coastal Program-Implementation Plan, as the project meets all maximum requirements and exceeds all minimum requirements, as applicable, for height, number of stories, buildable floor area, setbacks, and open space.

I.B.3 Maintain Coastal Zone residential height limit not to exceed 30' as required by Sections A.04.030 and A.60.050 of Chapter 2 of the Implementation Plan.

The proposed structure is 29.83 feet high and is therefore consistent with the 30-foot Coastal Zone residential height limit established by the Local Coastal Program-Implementation Plan.

- B. If the project is located between the first public road and the sea, that the project conforms with the public access and recreation policies of Chapter 3 of the Coastal Act of 1976 (Commencing with Section 30200 of the Public Resources Code).

As the project site is located east of Ocean Drive, it is not located between the first public road and the sea; therefore, it is not subject to this finding. Further, the structure does not impact public access to the shoreline. Adequate public access is provided and shall be maintained along Manhattan Avenue and 14th Street. Furthermore, the project does not create any barriers along Manhattan Avenue and 14th Street that prevent public access to the coast.

SECTION 6. Based upon substantial evidence in the record, and pursuant to the Section A.84.060 of the City’s LCP, the Planning Commission hereby makes the following findings related to the Use Permit:

- A. The proposed location of the expanded use is in accord with the objectives of Title A of the LCP and the purposes of the district in which the site is located.

The project proposes construction of multi-family residential housing in the High-Density Residential (RH) zoning district. The purpose of the RH zoning district is to provide opportunities for an intensive form of residential development, including apartments and town houses with relatively high land coverage, at appropriate locations. The proposed multi-family residential project directly serves the purpose of the zoning district by contributing to the development of residential units.

- B. The proposed location of the expanded use and the proposed conditions under which it would be operated or maintained will be consistent with the General Plan; will not be detrimental to the public health, safety or welfare of persons residing or working on the proposed project site or in or adjacent to the neighborhood of such use; and will not be detrimental to properties or improvements in the vicinity or to the general welfare of the city.

Development of a multi-family residential project at the proposed location is consistent with the goals and objectives of the General Plan High Density Residential land use designation assigned to the project site and the neighboring properties. The proposed use is consistent with surrounding uses, as the neighboring lots have also been developed with residential uses. Furthermore, the project has been reviewed by various City departments/divisions, including Public Works, Fire, Building and Safety, and Engineering, and it has been determined that it will not be detrimental to persons, properties or improvements in the vicinity or to the general welfare of the City, as construction and use of the project will comply with all applicable regulations.

The General Plan High Density Residential land use designation encourages residential development that provides for housing of a more intensive form, including apartments, condominiums, and senior housing. The project is in conformance with the following applicable General Plan policies.

LU-1.1: Limit the height of new development to three stories where the height limit is thirty feet, or to two stories where the height limit is twenty-six feet, to protect the privacy of adjacent properties, reduce shading, protect vistas of the ocean, and preserve the low-profile image of the community.

The project will be less than 30 feet in height and is limited to three stories; therefore, impacts to shading and privacy are minimized, and the low-profile image of the community preserved.

LU-1.2: Require the design of all new construction to utilize notches, balconies, rooflines, open space, setbacks, landscaping, or other architectural details to reduce the bulk of buildings and to add visual interest to the streetscape.

The project provides visual interest and architectural detailing via decks, open space areas and setbacks as described in the staff report prepared for this project.

LU-2.2: Preserve and encourage private open space on residential lots citywide.

The project includes private decks on the second and third floors and open spaces in compliance with the requirement in the LCP.

LU-3.1: Continue to encourage quality design in all new construction.

The building includes a modern design, compatible with the existing built environment, inclusive of setbacks for building articulation and decks throughout the building.

- C. The proposed use will comply with the provisions of Title A of the LCP, including any specific condition required for the proposed use in the district in which it would be located.

The proposed use complies with all applicable development standards in Title A of the LCP, including but not limited to setbacks, maximum height, density, required parking, and open space. No variances are required for this project; therefore, the project meets this finding.

- D. The proposed use will not adversely impact or be adversely impacted by nearby properties.

The proposed multi-family residential use does not adversely impact neighboring properties,

as it is consistent with the surrounding uses in the RH zoning district and compatible in terms of density, height, massing, and scale with the surrounding built environment. Development of this type is anticipated by the General Plan and does not create demands exceeding the capacity of public services.

SECTION 7. Based upon substantial evidence in the record, and pursuant to California Government Code Section 66474, the Planning Commission hereby makes the following findings related to the Vesting Tentative Parcel Map, as conditioned:

(a) The proposed map is consistent with applicable general and specific plans as specified in Section 65451.

The proposed map would accommodate a three-unit residential development in an area designated for residential development in the City's General Plan and is consistent with applicable land use policies in the General Plan. No specific plans are applicable to the property.

(b) The design or improvement of the proposed subdivision is consistent with applicable general and specific plans.

The proposed design is consistent with the General Plan because the proposed subdivision is intended for multi-family residential use at a density that is consistent with the General Plan land use designation of RH, as implemented through the LCP. No specific plans are applicable to the property.

(c) The site is physically suitable for the type of development.

The site of the proposed residential development meets the minimum site dimensions and area for the area district it is located in and is already developed with a multi-family residential use

(d) The site is physically suitable for the proposed density of development.

The proposed residential development meets the minimum lot area per dwelling unit required by the property development regulations in the LCP.

(e) The design of the subdivision or the proposed improvements are not likely to cause substantial environmental damage or substantially and avoidably injure fish or wildlife or their habitat.

The proposed residential project has been reviewed for conformance with the California Environmental Quality Act (CEQA) and no substantial environmental damage or injury to fish or wildlife or their habitat has been identified. Further information regarding the environmental analysis is provided in the Environmental Determination section of the staff report.

(f) The design of the subdivision or type of improvements is not likely to cause serious public health problems.

The subdivision is intended for condominium purposes only, and the proposed development is a residential use comparable in density with an existing development on the property. As such, the design of the subdivision or type of improvements is not likely to cause serious public health problems.

(g) The design of the subdivision or the type of improvements will not conflict with easements, acquired by the public at large, for access through or use of, property within the proposed subdivision.

The proposed subdivision will not conflict with easements acquired by the public for access through or use of the property because no such easements exist.

SECTION 8. Based upon the foregoing, the Planning Commission hereby **APPROVES** the Project, subject to the conditions contained herein:

General

1. The Project shall be in substantial conformance with the plans and Project description submitted to, and approved by, the Planning Commission on November 13, 2024, as conditioned herein. Any substantial deviation from the approved plans and Project description, as conditioned, shall require review by the Community Development Director to determine if approval from the Planning Commission is required.

2. Any questions of intent or interpretation of any condition will be reviewed by the Community Development Director to determine if Planning Commission review and action is required.
3. A Construction Management and Parking Plan (“CMPP”) shall be submitted by the applicant with the submittal of building plans to the Building Division. The CMPP shall be reviewed and approved by the City, including but not limited to, the City Traffic Engineer, Planning, Fire, Police and Public Works, prior to permit issuance. The Plan shall include, but not be limited to, provisions for the management of all construction-related traffic, parking, staging, materials delivery, materials storage, and buffering of noise and other disruptions. The Plan shall minimize construction-related impacts to the surrounding neighborhood and shall be implemented in accordance with the requirements of the Plan.
4. Community Development Department staff shall be allowed to inspect the site at any time prior to granting a final Certificate of Occupancy to determine compliance with conditions imposed and Municipal Code requirements.
5. Plans shall be submitted to plan check and shall be in compliance with all applicable codes, including but not limited to Building and Fire Code requirements.
6. Future modifications and improvements to the site shall be in compliance with applicable Building Division, Public Works, Waste Management, Fire Department, and Health Department regulations, when applicable.
7. Any future rooftop mechanical equipment shall be screened from view from the public right-of-way.
8. Noise emanating from the property at all times shall be within the limitations prescribed by the City’s Noise Ordinance as specified in Chapter 5.48 of the Manhattan Beach Municipal Code (“MBMC”) and shall not create a nuisance to nearby property owners.

Condominium Conditions

9. A survey suitable for purposes of recordation shall be performed by a Civil Engineer or Land Surveyor licensed in the State of California, including permanent monumentation of all property corners and the establishment or certification of centerline ties at:
 - a. 14th Street and Manhattan Avenue
10. Each new condominium shall have separate water and sewer laterals as required by the Public Works Director and as described in Condition No. 14 below.
11. The Vesting Tentative Parcel Map shall be approved for an initial period of three years with the option of future extensions pursuant to Title 11 of the MBMC and the Subdivision Map Act. The final map shall be recorded prior to condominium occupancy.

Public Works

12. Enclosed storage area(s) for refuse containers must be provided on-site. These areas must be constructed to meet the requirements of MBMC 5.24.030. The area(s) must be shown in detail on the plans before a permit is issued. The individual condominium units must provide their own trash, recycling and green waste areas and show the areas on the plans, subject to approval by the Public Works Department. The landscape company contracted by the homeowner’s association must dispose of all green waste off-site.
13. Each new condominium shall have separate water and sewer laterals as required by the Public Works Director. Separate water lines and sanitary sewer laterals must be installed on each unit. A 6” property line cleanout must be installed on a 6” sanitary sewer lateral for each new condominium. Cleanout must be shown on the site plan.
14. Condominiums shall include a reciprocal utility right of way corridor between units in order to ensure that each unit has authorized use to access main line utilities for individual services.
15. New curb, gutter, sidewalk, and driveway approaches fronting the property shall comply with the latest City standards and all current ADA standards prior to final occupancy. Per MBMC Chapter 11.20, additional right of way dedication may be required, including flared sidewalk behind utility poles to provide adequate sidewalk clearances.

16. All defective or damaged curb, gutter, street paving, and sidewalk improvements shall be removed and replaced with standard improvements, subject to the approval of the Public Works Department.
17. It is the responsibility of the contractor to protect all the street signs around the property. If signs are damaged, lost or removed, it is the responsibility of the contractor to replace and/or relocate the signs at the contractor's expense. The contractor is also responsible for any street markings that are damaged or removed by the contractor's operations. Contact the Public Works Inspector for sign specification and suppliers.
18. Direct surface and roof runoff to vegetated areas before discharging into the public right of way/street per MBMC Section 5.84.100. Incorporate Low Impact Development (LID) features within the landscaped areas to infiltrate roof and surface runoff rather than allow flow into the street right of way.
19. Four diagonal parking spaces to be restriped on Manhattan Avenue.

Procedural

20. Terms and Conditions are Perpetual; Recordation of Covenant. The provisions, terms and conditions set forth herein are perpetual, and are binding on the owner, its successors-in-interest, and, where applicable, all tenants and lessees of the site. Further, the owner shall submit the covenant, prepared and approved by the City, indicating its consent to the conditions of approval of this Resolution, and the City shall record the covenant with the Office of the County Clerk/Recorder of Los Angeles. Owner shall deliver the executed covenant, and all required recording and related fees, to the Community Development Department within 45 calendar days of receipt of a signed copy of this Resolution. Notwithstanding the foregoing, the Director may, upon a request by owner, grant an extension to the 45-day time limit. The Project approval shall not become effective until the covenant is recorded.
21. Prior to submitting an application for a building permit, the Applicant shall make good faith efforts to determine whether the residential dwelling units in the existing triplex are "protected units" as defined in Government Code Section 66300.5. At a minimum, such good faith efforts shall include the following: (1) reviewing the title report to determine whether the property is or was subject to a recorded covenant, ordinance, or law that restricts rents to levels affordable to persons and families of lower or very low income within the past five years; and (2) reviewing rental application forms and other supporting documentation, as applicable, for all tenants in the past five years to determine whether any residential dwelling units are or were rented by lower or very low income households within the past five years. If the Applicant determines that the existing units are not "protected units" as defined in Section 66300.5, the Applicant shall submit a sworn affidavit on a form provided by the City to confirm that the units are not "protected units." If applicable, the affidavit shall be submitted with the application for a building permit. If, however, the Applicant determines that the existing units are "protected units" as defined in Section 66300.5, the Applicant shall provide the City with the information demonstrating that the units are "protected units" and enter into a regulatory agreement with the City to ensure that the protected units are replaced as deed-restricted affordable units as required by Government Code Sections 66300.6(b) and 65915(c)(3)(B)-(C). The regulatory agreement shall be recorded against the Property prior to issuance of a building permit. If the Applicant determines that the existing units are "protected units" for purposes of Government Code Section 66300.6, the Applicant also shall comply with the tenant protection provisions in Government Code Section 66300.6(b)(3)-(4), including, but not limited to, the required construction notice and right of return for existing tenants, and for any lower income household in occupancy the right of first refusal for a comparable unit at an affordable housing cost in the new development and relocation benefits.

SECTION 9. Indemnity, Duty to Defend and Obligation to Pay Judgments and Defense Costs, Including Attorneys' Fees, Incurred by the City. The operator and owner (operator/owner) shall defend, indemnify, and hold harmless the City, its elected officials, officers, employees, volunteers, agents, and those City agents serving as independent contractors in the role of City officials (collectively "Indemnitees") from and against any claims, damages, actions, causes of actions, lawsuits, suits, proceedings, losses, judgments, costs, and expenses (including, without limitation, attorneys' fees or court costs) in any manner arising out of or incident to this approval, related entitlements, or the City's environmental review thereof. The operator/owner shall pay and satisfy any judgment, award or decree that may be rendered against City or the other Indemnitees in any such suit, action, or other legal proceeding. The City shall promptly notify the operator/owner of any claim, action, or proceeding and the City shall reasonably cooperate in the defense. If the City fails to promptly notify the operator/owner of any claim, action, or proceeding, or if the City fails to reasonably cooperate in the

defense, the operator/owner shall not thereafter be responsible to defend, indemnify, or hold harmless the City or the Indemnitees. The City shall have the right to select counsel of its choice. The operator/owner shall reimburse the City, and the other Indemnitees, for any and all legal expenses and costs incurred by each of them in connection therewith or in enforcing the indemnity herein provided. Nothing in this Section shall be construed to require the operator/owner to indemnify Indemnitees for any Claim arising from the sole negligence or willful misconduct of the Indemnitees. In the event such a legal action is filed challenging the City's determinations herein or the issuance of the approval, the City shall estimate its expenses for the litigation. The operator/owner shall deposit said amount with the City or enter into an agreement with the City to pay such expenses as they become due.

SECTION 10. The Planning Commission's decision is based upon each of the totally independent and separate grounds stated herein, each of which stands alone as a sufficient basis for its decision.

SECTION 11. This Resolution shall become effective when all time limits for appeal as set forth in LCP Section A.84.080 have expired.

SECTION 12. The Secretary of the Planning Commission shall certify to the adoption of this Resolution and shall forward a copy of this Resolution to the Applicant. The Secretary shall make this resolution readily available for public inspection.

SECTION 13. These entitlements shall lapse three years after their date of approval, unless implemented or extended pursuant to A.84.090 of the LCP.

November 13, 2024

Kristin Sistos
Planning Commission Chair

I hereby certify that the following is a full, true, and correct copy of the Resolution as **ADOPTED** by the Planning Commission at its regular meeting on **NOVEMBER 13, 2024**, and that said Resolution was adopted by the following vote:

AYES:

NOES:

ABSTAIN:

ABSENT:

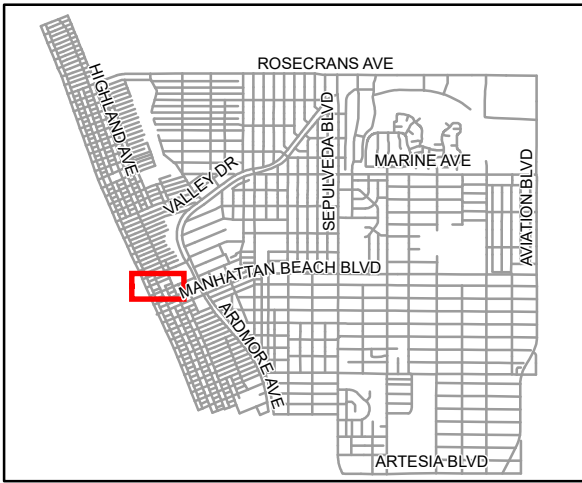
Adam Finestone
Secretary to the Planning Commission

Tatiana Maury
Recording Secretary

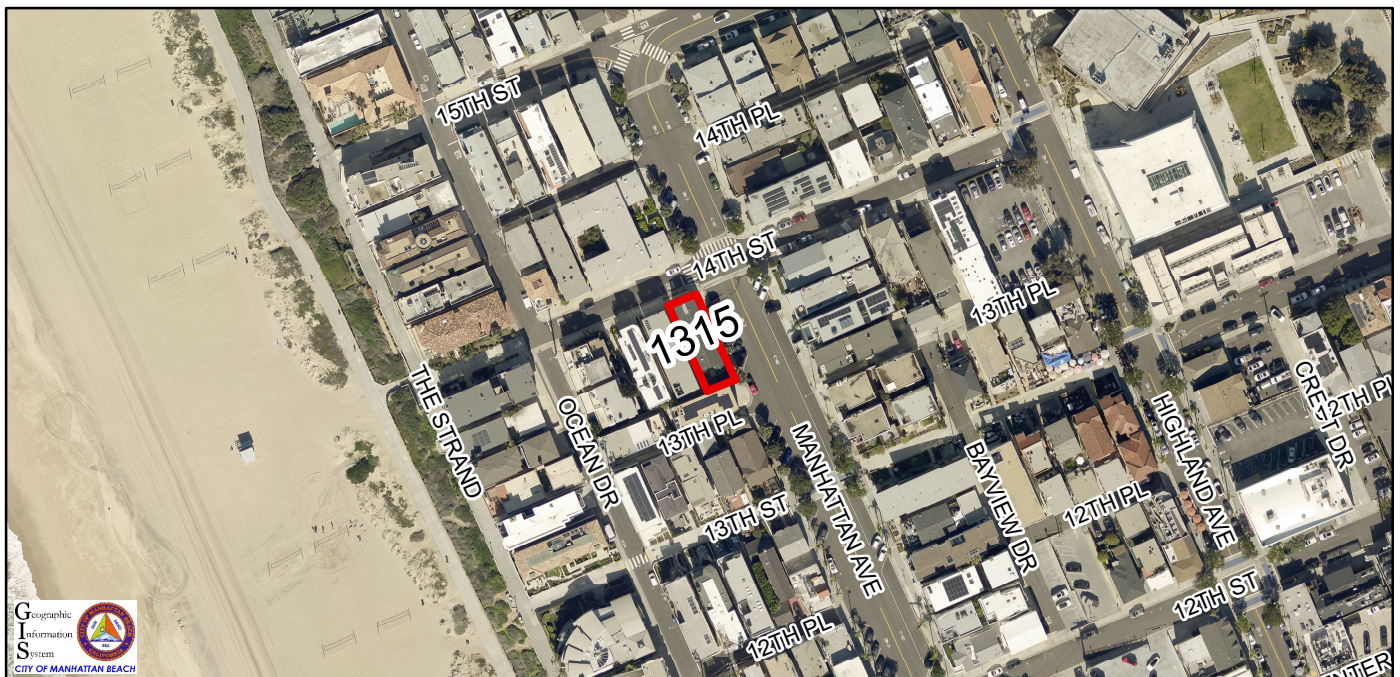
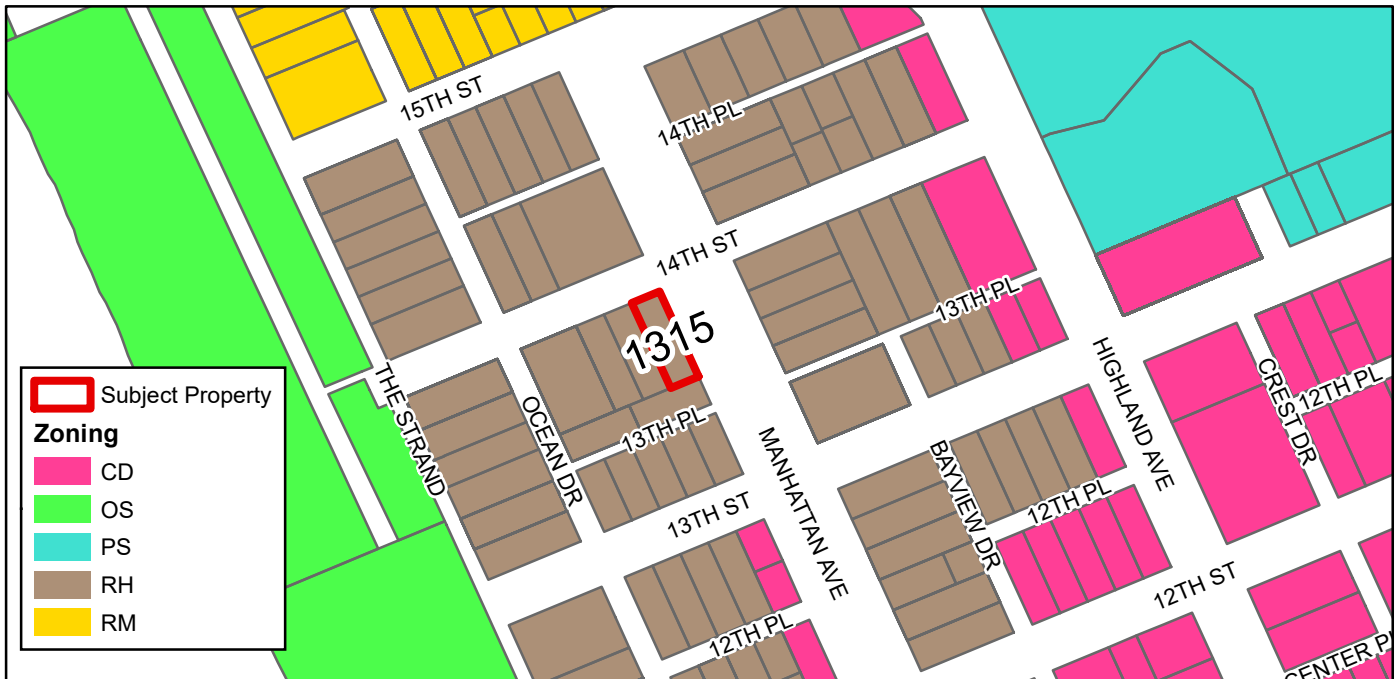
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Vicinity Map

1315 Manhattan Ave



November 5, 2024



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**APPLICATION FOR
USE PERMIT,
COASTAL DEVELOPMENT PERMIT,
AND TENTATIVE PARCEL MAP**

1315 Manhattan Avenue.

Proposed Condominium Development

APPLICANT:

Diko Kassabian
16830 Ventura Blvd, Suite 248
Encino, CA 91436

PROJECT DESCRIPTION:

This is an application for approval of a Use Permit, Coastal Development Permit, and Vesting Tentative Parcel Map No. 84547 for the demolition of an existing triplex and construction of a new 3,749 square-foot three-unit condominium.

PROJECT OVERVIEW:

Location:	1315, 1317 Manhattan Ave. and 132 14 th Street
Lot Size:	2,813 sq. ft.
Area District:	III
Legal Description:	Verano Beach Lot 42
Coastal Zone:	Appealable Area
General Plan Zoning:	Residential High Density
Existing Land Use:	Three-Unit Apartment Building
Neighboring Zoning and Land Uses:	North – RH (Residential High-Density) South – RH (Residential High-Density) East -- RH (Residential High-Density) West – RH (Residential High-Density)

	<u>Required/Permitted</u>	<u>Provided</u>
Density:	3	3
BFA:	4,754 sq. ft. max.	3,828 sq. ft
Min. Setbacks		
Front:	5'	5'
Side:	N/A	N/A
Corner:	1'	1'
Rear:	5'	5'
Height:	30' max.	29'-10"
Open Space:	745.16 sq. ft.	754.58 sq .ft.
Parking Spaces	6 resident/3 guest	6 resident/3 guest

BACKGROUND

The subject site is located within the appealable portion of the City's Coastal Zone in Area District III, at the intersection of Manhattan Avenue and 14th Street. The General Plan land use designation and the Manhattan Beach Local Coastal Program (LCP) zoning designation for the property is Residential High-Density, which permits multifamily residential units. The existing use as a residential triplex conforms with that standard, although the existing building is non-conforming to current development standards, such as minimum parking and open space requirements.

PROJECT OVERVIEW

The project proposal includes the demolition of the existing structure and the construction of a new three-unit condominium. Each unit will have two enclosed parking space and one open guest space. The applicant seeks approval of a Use Permit for a three-unit condominium and a tentative parcel map to create the condominium subdivision of the parcel. In addition, the applicant is applying for a CDP for development within the City's Coastal Zone.

Use Permit Findings

The proposal supports the following findings required for approval of a Use Permit, as discussed below:

1. *The proposed location of the use is in accord with the objectives of this title and the purposes of the district in which the site is located.*

The project proposes construction of multi-family residential housing in the High-Density Residential (RH) zoning district. The purpose of the RH zoning district is to provide opportunities for multiple residential uses, including triplexes, condominiums, apartments, multi-dwelling structures, or cluster housing with landscaped open space for residents' use. The proposed multi-family residential project directly serves the purpose of the zoning district by contributing to the development of residential units.

2. *The proposed location and conditions will be consistent with the General Plan: The proposed development is in full compliance with all applicable standards and permitted uses and thus will not be detrimental to public health, safety or welfare of any individuals working or residing in the neighborhood and will not conflict or impact adjacent improvements.*

Development of a multi-family residential project at the proposed location is consistent with the goals and objectives of the General Plan High Density Residential land use designation assigned to the project site and the neighboring properties. The proposed use is consistent with surrounding uses, as the neighboring lots have also been developed with residential, multi-family uses. The General Plan encourages residential development that provides for housing of a more intensive form, including apartments, condominiums,

and senior housing. The project is in conformance with the following specific General Plan policies:

LU-1.1: Limit the height of new development to three stories where the height limit is thirty feet, or to two stories where the height limit is twenty-six feet, to protect the privacy of adjacent properties, reduce shading, protect vistas of the ocean, and preserve the low-profile image of the community. The project is limited to three stories; therefore, impacts to shading and privacy are minimized, and the low-profile image of the community preserved.

LU-1.2: Require the design of all new construction to utilize notches, balconies, rooflines, open space, setbacks, landscaping, or other architectural details to reduce the bulk of buildings and to add visual interest to the streetscape. The project provides visual interest and architectural detailing via decks, open space areas and setbacks of the top floor.

LU-2.2: Preserve and encourage private open space on residential lots citywide. The project includes private decks on the second and third floors and open spaces in compliance with the requirement in the Planning and Zoning Code.

LU-3.1: Continue to encourage quality design in all new construction. The building includes a modern design, compatible with the existing built environment, inclusive of setbacks for building articulation and decks throughout the building.

3. The proposed multi-family residential use does not adversely impact neighboring properties, as it is consistent with the surrounding uses in the RH zoning district and compatible in terms of density, height, massing, and scale with the surrounding built environment. Development of this type is anticipated by the General Plan and does not create demands exceeding the capacity of public services.

The proposed use complies with all applicable development standards in Title A of the LCP, including but not limited to setbacks, maximum height, density, required parking, and open space. No variances are required for this project; therefore, the project meets this finding.

4. The proposed use will not adversely impact nor be adversely impacted by nearby properties. Potential impacts are related but not necessarily limited to: traffic, parking, noise, vibration, odors, resident security and personal safety, and aesthetics, or create demands exceeding the capacity of public services and facilities which cannot be mitigated.

The proposed multi-family residential use does not adversely impact neighboring properties, as it is consistent with the surrounding uses in the RH zoning district and compatible in terms of density, height, massing, and scale with the surrounding built environment. Development of this type is anticipated by the General Plan and does not create demands exceeding the capacity of public services.

Coastal Development Permit Findings

Pursuant to Section A.96.150 of the LCP, written findings are required for all decisions on Coastal Development Permits. The project meets the required findings for the reasons described below:

The property is located within Area District III (Beach Area) and is zoned RH. The General Plan and Local Coastal Program/Land Use Plan designation for the property is High Density Residential, which accommodates “all types of housing, and specifically housing development of a more intensive form, including apartments, condominiums, and senior housing.” The neighboring properties are also developed with residential uses. The proposed three-unit condominium project is a permitted use in the RH zoning district and is in compliance with the City’s General Plan land use designation of High Density Residential; as such, the project will not be detrimental to the public health, safety or welfare of persons residing or working in or adjacent to the neighborhood of such use, and it will not be detrimental to properties or improvements in the vicinity or to the general welfare of the City. The project is consistent with the following residential development policies of LCP:

II.B.1: The proposed structure is consistent with the building scale in the coastal zone neighborhood and complies with the applicable standards of the Local Coastal Program as demonstrated in the Project Overview table.

II.B.2: The proposed structure is consistent with the residential bulk control as established by the development standards of the Local Coastal Program-Implementation Plan, as the project meets all maximum requirements, and exceeds all minimum requirements as applicable, for height, number of stories, buildable floor area (BFA), setbacks, and open space.

II.B.3: The proposed structure is consistent with the 30' Coastal Zone residential height limit as required by the Local Coastal Program-Implementation Plan, as the proposed structure does not exceed the 30-foot maximum height limit.

Subdivision Map Act/Title 11

The proposed use is a conditionally permitted use in the LCP and complies with all applicable development regulations and General Plan policies. Therefore, it is not a use that would threaten public health and is proposed on a previously developed site. Consequently there is no basis to conclude that the project meets any of the following disqualifying factors under the Subdivision Map Act that would justify denying approval of the tentative map: (a) that the proposed map is not consistent with applicable general and specific plans; (b) that the design or improvement of the proposed subdivision is not consistent with applicable general and specific plans; (c) that the site is not physically suitable for the type of development; (d) that the site is not physically suitable for the proposed density of development; (e) that the design of the subdivision or the proposed improvements are likely to cause substantial environmental damage or substantially and avoidably injure fish or wildlife or their habitat; (f) that the design of the subdivision or type

of improvements is likely to cause serious public health problems; or (g) that the design of the subdivision or the type of improvements will conflict with easements, acquired by the public at large, for access through or use of, property within the proposed subdivision.

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ABBREVIATIONS

SOME OF THE FOLLOWING ABBREVIATIONS AND ACRONYMS ARE USED IN THE ARCHITECTURAL DRAWINGS

Table of abbreviations and acronyms used in architectural drawings, including terms like ASPHALTIC CONCRETE, ACUSTICAL TILE, AREA DRAIN, etc.

ARCHITECTURAL SYMBOLS

SOME OF THE FOLLOWING SYMBOLS ARE USED IN THE ARCHITECTURAL DRAWINGS

Table of architectural symbols and their corresponding descriptions, such as COLUMN GRID, BUILDING AND/OR SECTION LETTER OR NO., DETAIL NUMBER, etc.

PROJECT INFORMATION

Project information including ZONING (RH), AREA DISTRICT (3), ADDRESS (1315 MANHATTAN AVE., 1317 MANHATTAN AVE., 132 14TH STREET, MANHATTAN BEACH, CA 90266), PROPERTY TYPE (3 UNIT CONDOMINIUM BUILDING), LEGAL DESCRIPTION (VERANO BEACH - LOT 42), APN (4179-026-001), OCCUPANCY (R-3 (HOUSE), U (GARAGE)), CONSTRUCTION TYPE (V-B SPRINKLER), SITE AREA (2,796.96 SQ. FT.), SET BACKS (FRONT YARD SETBACK: 5'-0", SIDE YARD SETBACK: N/A, REAR YARD SETBACK: 5'-0", CORNER SETBACK: 1'-0"), MAX. HEIGHT (30'-0" (155.12' EL.), PROPOSED HEIGHT (29'-10" (155.0' EL.)), MAX. ALLOWABLE RESIDENTIAL FLOOR AREA (4,782 SQ. FT. (SEE AREA SUMMARY ON A0)), NUMBER OF STORIES (3), MAX. UNITS PER LOT (3).

REGULATORY REQUIREMENTS

MANHATTAN BEACH MUNICIPAL CODE

- List of regulatory requirements including 2022 CALIFORNIA BUILDING CODE, 2022 CALIFORNIA RESIDENTIAL CODE, 2022 CALIFORNIA FIRE CODE, 2022 CALIFORNIA MECHANICAL CODE, 2022 CALIFORNIA ELECTRICAL CODE, 2022 CALIFORNIA PLUMBING CODE, CALIFORNIA CODE OF REGULATIONS (CCR), A. TITLE 8, INDUSTRIAL REGULATIONS, B. TITLE 19, PUBLIC SAFETY, C. TITLE 24, BUILDING STANDARDS, LOCAL ORDINANCES AND AMENDMENTS TO THE ABOVE CODES, CALIFORNIA OCCUPATION SAFETY AND HEALTH ADMINISTRATION (CAL OSHA), AMERICANS WITH DISABILITIES ACT OF 1990 (ADA) - PART III INCLUDING LATEST REVISIONS, 2022 CALIFORNIA ENERGY CODE, CEnC, 2022 CALIFORNIA GREEN BUILDING STANDARDS CODE, CGBC, WITH 2023 MANHATTAN BEACH AMENDMENT.

PROJECT STATEMENT

THIS PROJECT CONSISTS OF THE FOLLOWING: CONSTRUCT A NEW (3) STORY APARTMENT BUILDING, 3 UNITS WITH A 2-CAR GARAGE AND A GUEST PARKING FOR EACH UNIT ON AN EXISTING LOT AT 1315 MANHATTAN AVE., 1317 MANHATTAN AVE., AND 132 14TH STREET, MANHATTAN BEACH, CA 90266. ADDITIONAL WORK INCLUDES NEW EXTERIOR SITE WORK WITH LANDSCAPING & PAVING, AND SITE FENCING.

PROJECT INFORMATION

DESIGNER: DIKO KASSABIAN, 16830 VENTURA BLVD., ENCINO, CA 91436, 818-907-9222. CIVIL ENGINEER: CHRISTIAN PEREZ, PERU CONSULTANTS, INC., 5061 ROCKVALLEY ROAD, RANCHO PALOS VERDES, CA 90275, 310-270-0811. STRUCTURAL ENGINEER: DIAA GUIRGUIS, 1320 19TH STREET, MANHATTAN BEACH, CA 90266, 310-717-3126. SPEC GROUP, INC., SIA GARESTRANI, 6345 BALBOA BLVD. @288, ENCINO, CA 91316, 818-783-6965.

NORCAL ENGINEERING SOILS & GEOTECHNICAL CONSULTANTS, 10641 HUMBOLT STREET, LOS ALAMITOS, CA 90720, 562-799-9469.

OWNER: 1317 MANHATTAN AVE LLC, DIKO KASSABIAN, 1317 MANHATTAN AVE, MANHATTAN BEACH, CA 90266, 818-907-9222.

GENERAL NOTES

IT IS THE ARCHITECTS INTENTION IN THE CONTRACT DOCUMENTS TO COMMUNICATE THE PROJECT DESIGN AND TO FULFILL THE REQUIREMENTS AS SET BY APPLICABLE BUILDING CODES, ORDINANCES, AND REGULATIONS OF ALL GOVERNING AUTHORITIES HAVING JURISDICTION. IN A MANNER COMMENSURATE TO THE STANDARDS OF THE PROFESSION. ANY ERRORS OR OMISSIONS REGARDING DIMENSIONS AND/OR MATERIALS AND ASSEMBLIES SHOULD BE BROUGHT TO THE ARCHITECT'S ATTENTION IMMEDIATELY UPON DISCOVERY, ALLOWING THE ARCHITECT TO ADDRESS THE ISSUE IN A TIMELY, PROFESSIONAL MANNER.

NOTES THAT ARE CALLED FOR UNDER THIS HEADING ARE AS BINDING AS IF CALLED FOR ON ALL DOCUMENTS.

IT IS THE DUTY OF THE GENERAL CONTRACTOR TO ASSURE THAT ALL SUBCONTRACTORS ARE FULLY INFORMED AS TO THE GENERAL CONDITIONS, DRAWINGS AND PROJECT MANUAL.

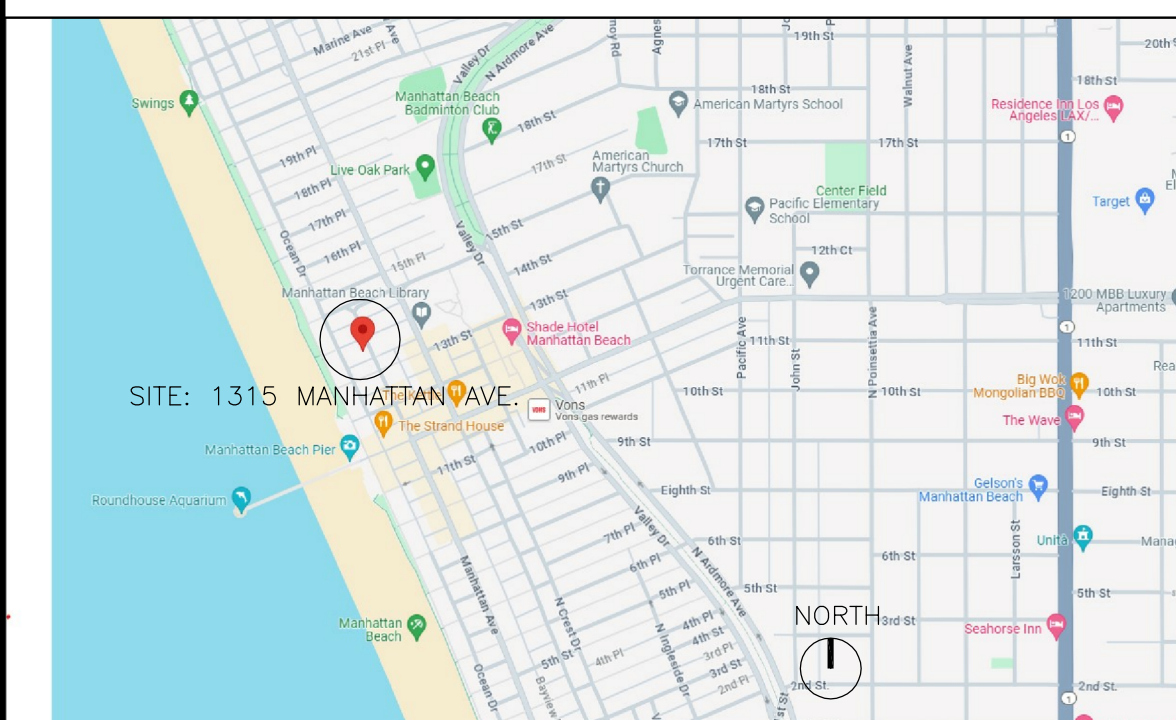
- 1. THE CONTRACTOR SHALL REVIEW AND VERIFY ALL CONDITIONS AND DIMENSIONS AT THE JOB SITE BEFORE COMMENCING ANY PORTION OF THE WORK. THE CONTRACTOR SHALL NOTIFY THE ARCHITECT OF ALL DISCREPANCIES AN/OR INCONSISTENCIES OF CONDITIONS AND DIMENSIONS REFLECTED IN THESE DOCUMENTS BEFORE COMMENCING ANY PORTION OF THE WORK. FAILURE TO DO SO SHALL CONSTITUTE ACCEPTANCE OF THE RESPONSIBILITY FOR CORRECTING THE WORK TO THE SATISFACTION OF THE ARCHITECT AT NO ADDITIONAL COST TO THE OWNER.
2. THE CONTRACTOR SHALL COMPARE ACTUAL JOB SITE CONDITIONS WITH THE DRAWINGS IN ORDER TO ASCERTAIN THE CONDITIONS UNDER WHICH THE WORK IS TO BE PERFORMED. CHECK AND CONFIRM THE LOCATION OF UTILITIES WHICH MAY AFFECT THE WORK. COMMENCEMENT OF THE WORK SHALL CONSTITUTE FULL ACCEPTANCE OF THE EXISTING SITE CONDITIONS.
3. ALL CONSTRUCTION SHALL CONFORM TO THE 2022 CALIFORNIA BUILDING CODE (2022 IBC) AND 2023 CITY OF MANHATTAN BEACH BUILDING CODE AND ALL OTHER APPLICABLE LAWS, RULES, ORDINANCES AND REGULATIONS OF ALL GOVERNING AUTHORITIES HAVING JURISDICTION. IN THE CASE OF A CONFLICT, THE MOST RESTRICTIVE SHALL APPLY. ALL MATERIALS TO MEET CODE &/OR APPROVED BY CITY OF MANHATTAN BEACH.
4. THE CONTRACTOR SHALL ENACT ALL MEASURES TO PROTECT ALL BUILDING ELEMENTS FROM DAMAGE. MAINTAIN THE PREMISES IN AN ORDERLY AND CLEAN MANNER THROUGHOUT THE COURSE OF THE WORK AND DO NOT BLOCK LEGAL EXITS AND ENTRANCES. LEAVE THE WORK AREA CLEAN AND FREE OF DEBRIS AT THE END OF EACH WORK DAY.
5. THE CONTRACTOR SHALL ENACT ALL MEASURES TO SAFEGUARD WORKERS, STUDENTS, SCHOOL STAFF AND THE PUBLIC FROM INJURY DURING THE TIME OF CONSTRUCTION. COMPLY WITH ALL APPLICABLE CODE REQUIREMENTS. CONTRACTOR SHALL PROVIDE AND MAINTAIN TEMPORARY BARRICADES, CLOSURE WALLS, SIGNS, ETC. AS REQUIRED TO PROTECT AND WARN THE PUBLIC OF ALL HAZARDS DURING THE PERIOD OF CONSTRUCTION.
6. THE CONTRACTOR SHALL OBTAIN AND OWNER TO PAY FOR ALL BUILDING AND OTHER PERMITS REQUIRED TO COMPLETE THE WORK. CONTRACTOR SHALL ARRANGE FOR TIMELY INSPECTIONS BY THE APPROPRIATE GOVERNMENT OFFICIALS AS REQUIRED. THE CONTRACTOR SHALL PROVIDE EVIDENCE OF A CURRENT CERTIFICATION OF WORKER'S COMPENSATION INSURANCE, IN COMPLIANCE WITH SECTION 3800 OF THE CALIFORNIA LABOR CODE ON FILE WITH THE DEPARTMENT, PRIOR TO THE ISSUANCE OF A BUILDING PERMIT. THE CONTRACTOR SHALL SUBMIT A COPY OF THEIR STATE LICENSE.
7. THE CONTRACTOR SHALL, IN THE WORK OF ALL TRADES, PERFORM ANY AND ALL CUTTING, PATCHING, REPAIRING, RESTORING AND REFINISHING NECESSARY FOR THE SATISFACTORY COMPLETION OF THE WORK.
8. WORK NOT MENTIONED TO BE REMOVED THAT INTERFERES WITH NEW CONSTRUCTION SHALL BE CUT AND REMOVED IN A MANNER THAT PROVIDES FOR THE PROPER INTERFACE WITH NEW CONSTRUCTION, PATCH AND/OR REPAIR AS REQUIRED.
9. WHERE NO SPECIFIC DETAIL IS SHOWN, THE CONSTRUCTION SHALL BE SIMILAR TO THAT INDICATED OR NOTED FOR SIMILAR CONDITIONS AND CASES OF CONSTRUCTION ON THE WORK WITH THE APPROVAL OF THE ARCHITECT.
10. DO NOT SCALE THE DRAWINGS. USE REFERENCED OR NOTED DIMENSIONS ONLY. LARGE SCALE DETAILS GOVERN OVER SMALLER SCALE DETAILS. DIMENSIONS ON DRAWINGS ARE SHOWN TO FACE OF STUD; UNLESS NOTED OTHERWISE.
11. DEBRIS AND WASTE ARE THE CONTRACTOR'S PROPERTY FOR LEGAL DISPOSAL OFF THE OWNER'S PROPERTY.
12. IT SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO DESIGN BUILD THE FIRE SPRINKLERS AND FIRE ALARM SYSTEMS FOR THIS PROJECT, INCLUDING OBTAINING APPROVAL OF THE APPROPRIATE GOVERNMENTAL AGENCY(S). DESIGN DRAWINGS PROVIDED TO BE FOLLOWED AND REFERENCED.
13. IT SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO CHECK WITH THE ARCHITECTURAL DRAWINGS BEFORE THE INSTALLATION OF MECH., ELEC. OR PLUMBING WORK. WORK INSTALLED IN CONFLICT WITH THE ARCHITECTURAL DRAWINGS SHALL BE CORRECTED BY THE GENERAL CONTRACTOR AT THE CONTRACTOR'S EXPENSE, AND AT NO EXPENSE TO THE OWNER OR ARCHITECT.
14. COPIES OF ALL OBSERVATION AND INSPECTION REPORTS, TEST RESULTS, ETC. SHALL BE PROVIDED TO THE OWNER AND ARCHITECT IMMEDIATELY AFTER THEY ARE OBTAINED.
15. THE CONTRACTOR SHALL PROTECT ALL FINISHED WORK AND SURFACES FROM DAMAGE DURING THE COURSE OF WORK AND SHALL REPLACE AND/OR REPAIR ALL DAMAGE CAUSED BY CONTRACTOR OR SUBCONTRACTOR PERSONNEL.
16. ELEVATIONS SHOWN ARE REFERENCED FROM SURVEY. COORDINATE AND REVIEW CIVIL DRAWINGS FOR ADDITIONAL INFO.
17. CONTRACTOR SHALL COMPLY WITH REQUIREMENTS OF GEOTECHNICAL REPORT.
18. PV SYSTEM MUST BE INSTALLED PRIOR TO FINAL INSPECTION

SHEET INDEX

Table with 2 columns: Sheet ID and Description. Includes T1 TITLE SHEET, A01 PROJECT INFORMATION, A02 FLOOR AREA DIAGRAMS - UNITS B & C, A03 FLOOR AREA DIAGRAMS - UNIT A, A1 SITE PLAN, A2 1ST FLOOR PLAN, A3 2ND FLOOR PLAN, A4 3RD FLOOR PLAN, A5 ROOF PLAN, A6 EXTERIOR ELEVATIONS, A7 EXTERIOR ELEVATIONS, A8 BUILDING SECTIONS, A9 BUILDING SECTIONS.

SURVEY

VICINITY MAP



FIRE DEPARTMENT REQUIREMENTS

- 1. THE BUILDING SHALL BE EQUIPPED WITH AN AUTOMATIC RESIDENTIAL FIRE SPRINKLER SYSTEM IN ACCORDANCE WITH SECTION R313.3 OR NFPA13D. (R313, 12.21A17(d))
2. THE SPRINKLER SYSTEM PLANS SHALL BE APPROVED BY FIRE DEPARTMENT PRIOR TO INSTALLATION.
3. AN APPROVED SMOKE ALARM SHALL BE INSTALLED IN EACH SLEEPING ROOM & HALLWAY OR AREA GIVING ACCESS TO A SLEEPING ROOM, AND ON EACH STORY AND BASEMENT FOR DWELLINGS WITH MORE THAN ONE STORY. SMOKE ALARMS SHALL BE INTERCONNECTED SO THAT ACTUATION OF ONE ALARM WILL ACTIVATE ALL THE ALARMS WITHIN THE INDIVIDUAL DWELLING UNIT. IN NEW CONSTRUCTION SMOKE ALARMS SHALL RECEIVE THEIR PRIMARY POWER SOURCE FROM THE BUILDING WIRING AND SHALL BE EQUIPPED WITH BATTERY BACK-UP AND LOW BATTERY SIGNAL. (R314)
4. AN APPROVED CARBON MONOXIDE ALARM SHALL BE INSTALLED IN DWELLING UNITS AND IN SLEEPING UNITS WITHIN WHICH FUEL-BURNING APPLIANCES ARE INSTALLED AND IN DWELLING UNITS THAT HAVE ATTACHED GARAGES. CARBON MONOXIDE ALARM SHALL BE PROVIDED OUTSIDE OF EACH SEPARATE DWELLING UNIT SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOM(S) AND ON EVERY LEVEL OF A DWELLING UNIT INCLUDING BASEMENTS. (R315)

UNDER SEPARATE PERMIT

- 1. FIRE SPRINKLER
2. SOLAR
3. TREE
4. DEMOLITION



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PROJECT NAME:

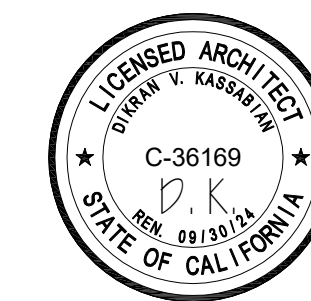
1315 MANHATTAN AVENUE
1317 MANHATTAN AVENUE
132 14TH STREET
MANHATTAN BEACH, CA 90266

SCOPE OF WORK:

NEW 3 UNITS CONDO BUILDING
WITH 2 CAR GARAGE AND A GUEST
PARKING FOR EACH UNIT

TITLE SHEET:

TITLE SHEET



Job No: -

Date: JANUARY 2024

Scale: -

Table with 2 columns: PC CORR. and DATE. Rows include PLANNING SUBMITTAL (5.22.24) and PLANNING CORRECTIONS (7.18.24).

Sheet No:

T-1

PUBLIC WORKS NOTES

- All landscape irrigation backflow devices must meet current City requirements for proper installation.
- No discharge of construction wastewater, building materials, debris, or sediment from the site is permitted. No refuse of any kind generated on a construction site may be deposited in residential, commercial, or public refuse containers at any time. The utilization of weekly refuse collection service by the city's hauler for any refuse generated at the construction site is strictly prohibited. Full documentation of all materials/trash landfilled and recycled must be submitted to the Permits Division in compliance of the city's Construction and Demolition Recycling Ordinance.
- Erosion and sediment control devices BMPs (Best Management Practices) must be implemented around the construction site to prevent discharges to the street and adjacent properties. BMPs must be identified and shown on the plan. Control measures must also be taken to prevent street surface water entering the site.
- All storm water, nuisance water, etc. drain lines installed within the street right of way must be constructed of 3" cast iron pipe and labeled on the Site Plan. Drain lines must be shown on the plans. Connecting on-site drainage line to sewer lateral is strictly prohibited.
- All runoff water from the roof and side yards and patios must discharge onto 14th Street through the drain lines and must be shown on the plans with all required outlet flow line elevations at the discharge point.
- Impervious surface shall be sloped away from the building at 2% minimum slope for a minimum distance of 10 feet; lot shall be graded to drain surface water away from foundation walls - per C.R.C. Section R401.3

7. Sidewalk, driveway, curb, and gutter repairs or replacement must be completed per Public Works Specifications. See City Standard Plans ST-1, ST-2, ST-3 and ST-10. The plans must have a profile of the driveway, percentage (%) of slope on driveway, and driveway elevations for each side and the middle. In the case where the garage level is below the street drainage flow lines, the combined slope of public and private approach shall not exceed 15% (City recommends that Garage Finish Floor elevation per design plans be higher than existing street grades, in order to minimize possibility of any future flooding in the garage). City Plans/Survey must show elevations for each adjoining property. No deviations in elevations between properties shall exceed more than 1/4".

8. Driveway profiles exceeding 10% grade will be staked and verified by licensed professional land surveyor. Verification of driveway grades will be done prior to pouring the garage slab. Driveway grades exceeding 15% are not permitted.

9. The back of driveway approach must be six inches higher than the flow line on the street. M.B.M.C. 9.76.030. The driveway apron on Manhattan Avenue and 14th Street and parking encroachment area on 14th Street must be improved per City Standard Plans.

10. Contractor to protect in place all existing property corners during construction. If any of the property corners are removed or destroyed during construction, it would be the responsibility of the contractor to restore them.

11. All existing or construction related damages or displaced curb/gutter, sidewalk, driveway approach or street must be replaced and shown on the plans. Additional public improvements may be required during and/or near the completion of construction per M.B.M.C. 9.72 as determined by the Public Works Inspector based on conditions of public improvements.

12. It is the responsibility of the contractor to protect all the street signs, street lamps/ lights, walls/fences, and/or trees around the property. If they are damaged, lost or removed, it is the responsibility of the contractor to replace them at the contractor's expense. Contact the Public Works Inspector for sign specification and suppliers.

13. New 6" VCP sewer lateral will be installed if the existing lateral is less than 6" in diameter per M.B.M.C. 5.36. Sewer cleanout should be located within private property lines. A backwater valve is required on the sanitary sewer lateral if the discharges from fixtures with flood level rims are located below the next upstream manhole cover of the public sewer. (Per City Standard Plan ST-24).

14. If any existing sewer lateral (6" minimum) is used, it must be televised to check its structural integrity prior to any demolition work. The tape must be made available for review by the Public Works Department and must show proof of the location of where it was shot. The Public Works Department will review the tape and determine at that time if the sanitary sewer lateral needs repairing, replaced, or that it is structurally sound and can be used in its present condition. Videoing of lateral must be in its original state. No cleaning, flushing or altering prior to videoing is permitted.

15. If a new sewer lateral is to be installed at a different location on the sewer main line, the old lateral must be capped at the property line and at the main line. Prior to structure demolition a sewer cap verification and approval from Public Works Inspector is required.

16. Water meters MUST remain accessible for meter readers during construction. Water meters shall be placed near the property line and out of the driveway approach whenever possible. Water meter placement must be shown on the plans. See City Standard Plan ST-15. For existing water service relocations and/or abandonment, water service must be capped at the main and at the meter.

17. The water meter box must be purchased from the City, and must have a traffic rated lid if the box is located in the driveway.

18. Residential properties must provide an enclosed storage area for refuse containers. These areas must be constructed to meet the requirements of M.B.M.C. 5.24.030. The area must be shown in detail on the plans before a permit is issued.

19. All work done within the public right-of-way shall be done by a licensed contractor with a Class A, C-12 or C-34 license for all trenching and paving or a Class C-08 license for all concrete work. A Class B license may be acceptable for minor curb, gutter and sidewalk work constructed in conjunction with a single-family residential structure. A separate permit is required for work in the public right-of-way.

20. Plan holder must have the plans rechecked and stamped for approval by the Public Works Department before the building permit is issued.

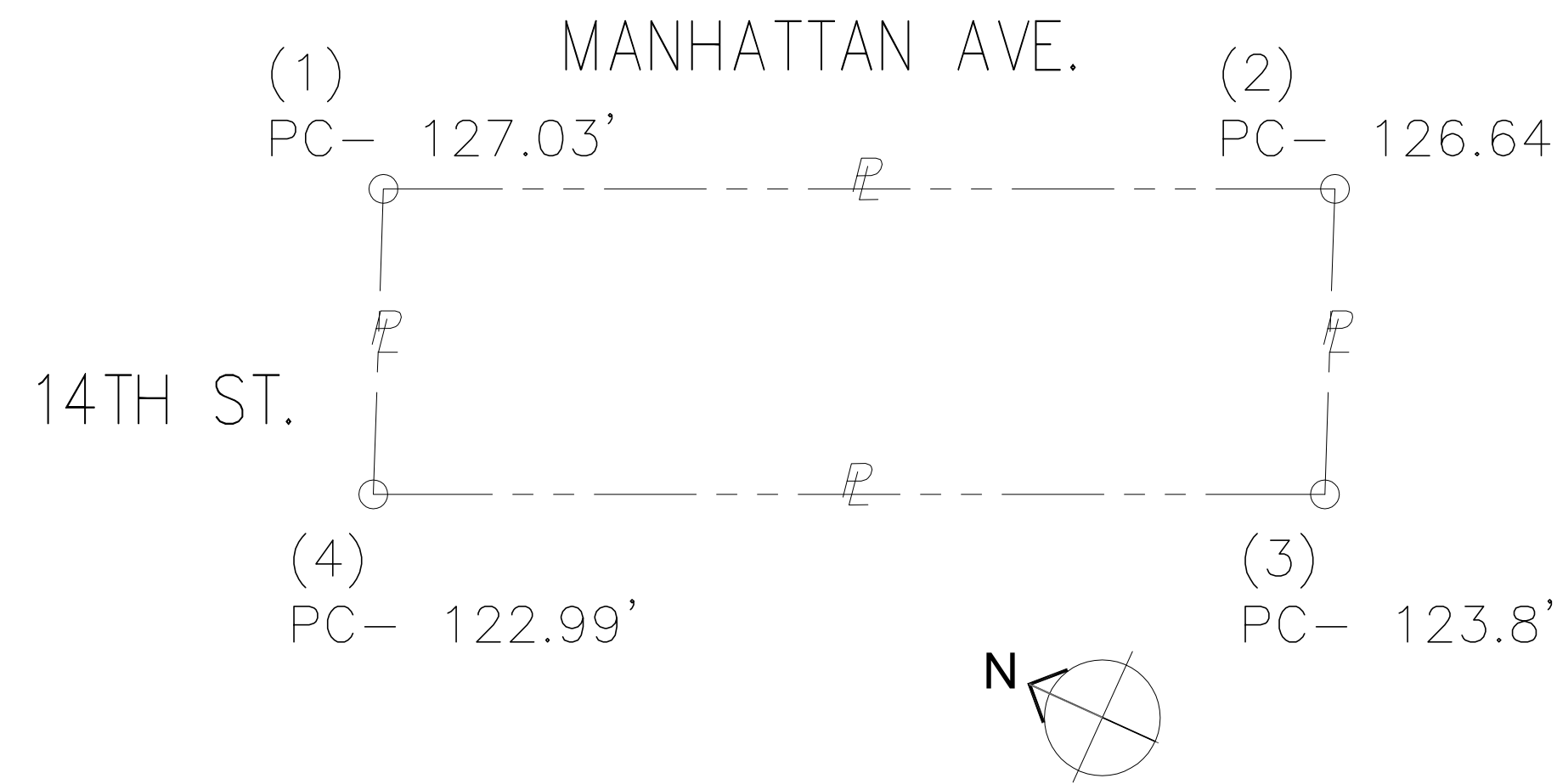
21. The contractor shall monitor, supervise and control all construction and construction supportive activities, so as to prevent these activities from causing a public nuisance, including but not limited to, insuring strict adherence to the following:

- Removal of dirt, debris, or other construction material deposited on any public street no later than the end of each working day.
- All excavations shall be backfilled at the end of each working day and roads opened to vehicular traffic unless otherwise approved by the City Engineer.
- All dust control measures per South Coast Air Quality Management District (SCAQMD) requirements shall be adhered to during the construction operations.
- All construction to be in conformance with the regulations of Cal-OSHA.

NOTE:

It shall be the duty of every person cutting or making an excavation in or upon any public place, to place and maintain barriers and warning devices for the safety of the general public. M.B.M.C. 7.16.080. If any excavation is made across any public street, alley, or sidewalk, adequate crossings shall be maintained for vehicles and pedestrians. M.B.M.C. 7.16.100.

HEIGHT CALCULATION: 155.12'



BUILDING HEIGHTS, YARD SETBACKS, FLOOR AREA AND OTHER REQUIREMENTS TO COMPLY WITH CITY OF MANHATTAN BEACH PLANNING CODE

SEE SITE PLAN A1

127.03'
126.64'
123.80'
+ 122.99'
500.46'

500.46 ÷ 4 = 125.115'
125.115 + 30 = 155.115'

MAX HEIGHT AT 155.12'
ACTUAL HEIGHT AT 155.0'
HEIGHT OF BUILDING 29'-10"

FLOOR AREA & OPEN SPACE SUMMARY

SEE SHEETS A-02 AND A-03

MAXIMUM B.F.A.:	3,362 SQ. FT.
LOT AREA:	2,796.96 SQ. FT.
ALLOWABLE SQ. FT.:	4,754.9 SQ. FT.
PER MBMC 10.12.0303:	(2,796.96 X 1.7) = 4,754.8 SQ. FT.
TOTAL BUILDABLE FLOOR AREA SUMMARY	
UNIT A (EXTERIOR WALLS):	2,034.4 SQ. FT.
UNIT B (EXTERIOR WALLS):	986.9 SQ. FT.
UNIT C (EXTERIOR WALLS):	804.8 SQ. FT.
TOTAL:	3,826.1 SQ. FT.
	3,826.1 SQ. FT. < 4,754.8 SQ. FT. ✓

BALCONY PROJECTION FRONT YARD PROJECTION:
SHALL NOT EXCEED 3' AND 2' CLEARANCE TO THE PROPERTY LINE AND NO MORE THAN 2/3 OF THE BLDG. WIDTH WITH A TOTAL NOT TO EXCEED 39 SQ.FT.

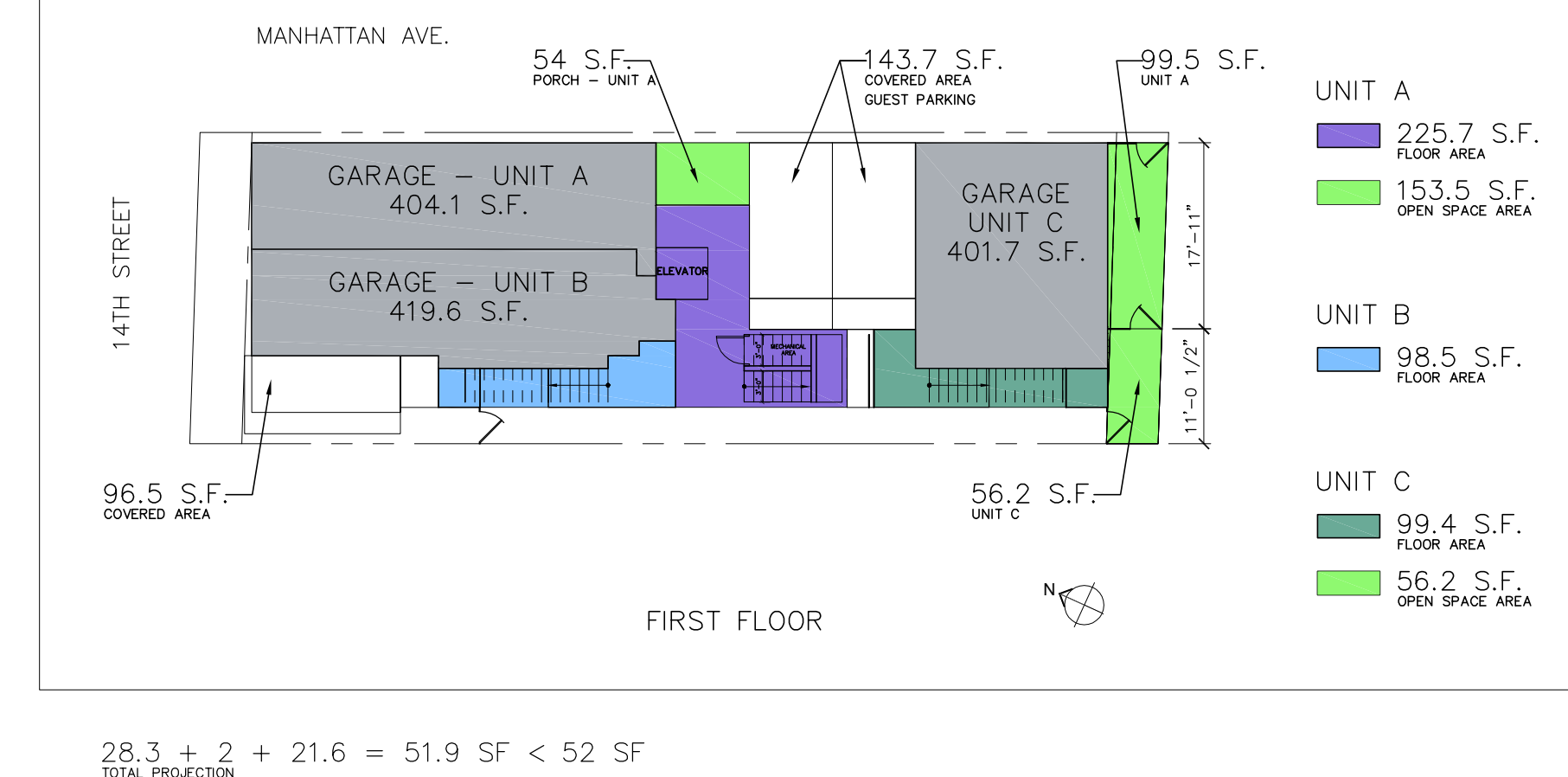
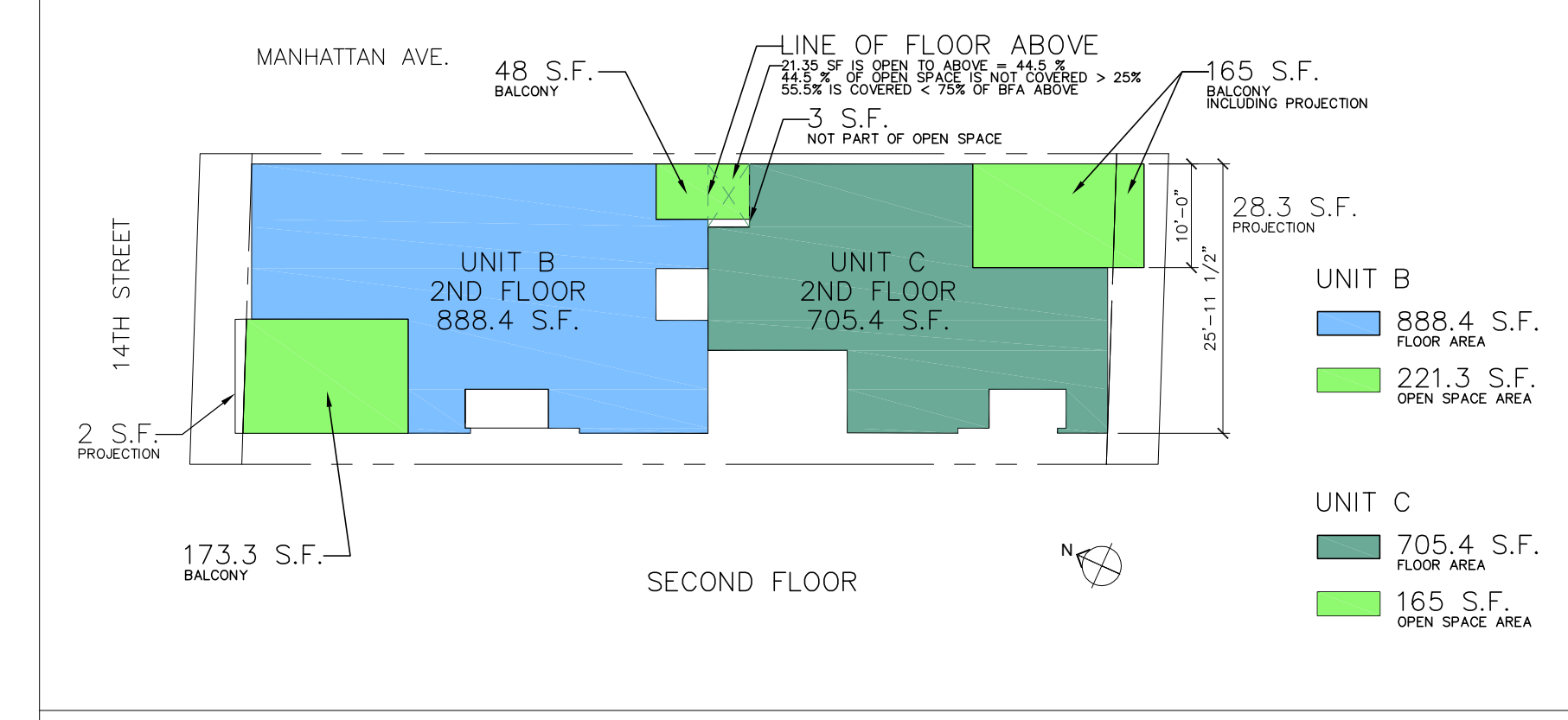
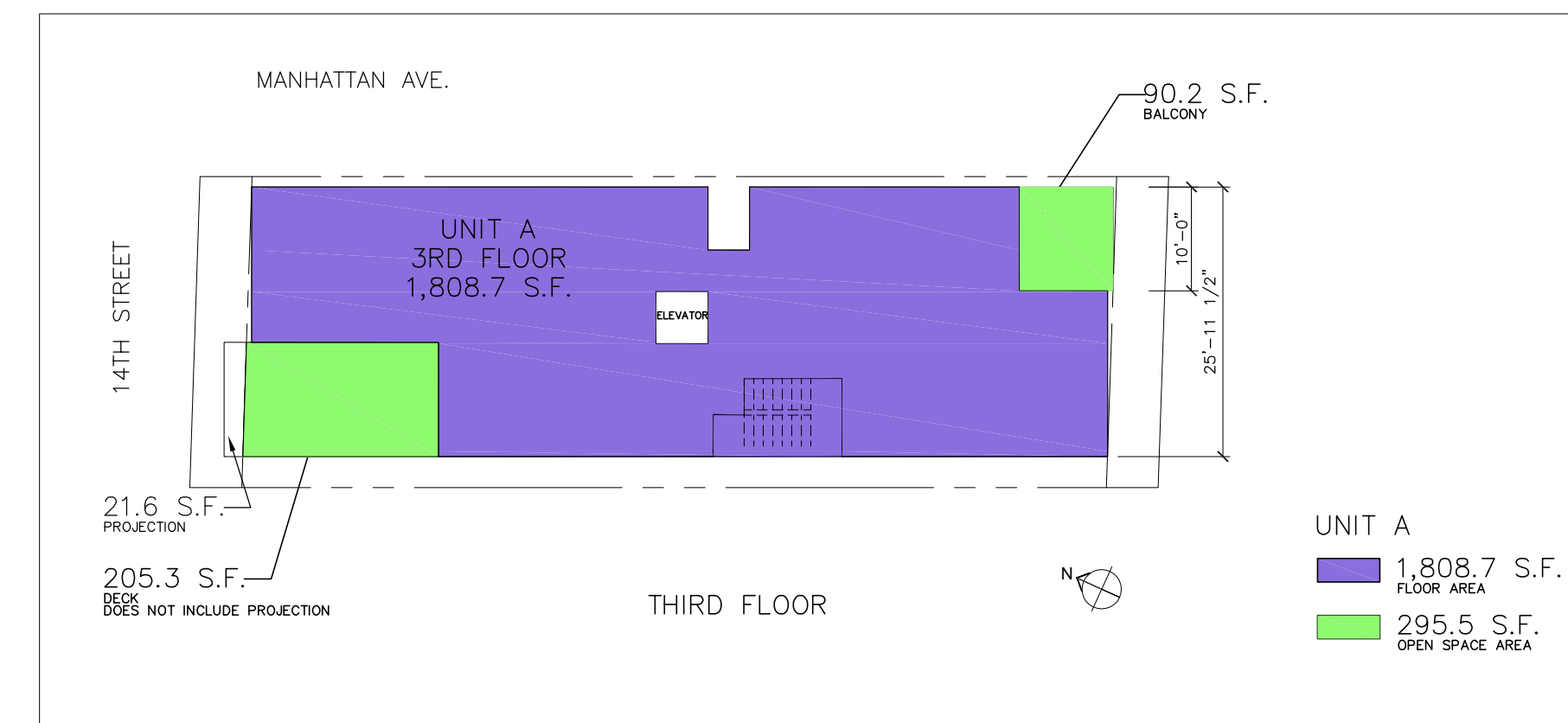
PROVIDED: 216 SF + 2 SF = 236 SQ.FT. < 39 SQ.FT.
(2/3) 25'-11 1/2" = 17'-3 3/4"
11'-0" + 5' (CHIMNEY) = 16' < 17'-3 3/4" ✓

TOTAL PROJECTION SUMMARY

UNIT A (NORTHWEST):	3RD FLOOR:	216 SQ. FT.
UNIT B (NORTHWEST):	2ND FLOOR:	2.0 SQ. FT.
UNIT C (SOUTHEAST):	2ND FLOOR:	28.3 SQ. FT.
TOTAL PROJECTION:		519 SQ. FT.

ALLOWED PROJECTION: 52 SQ.FT. (MAX.)
(3X) (2/3 (25'-11 1/2")) = (3X) 17.33 = 52 SQ. FT.

TOTAL: 519 SQ.FT.
MAX. REQ. CHECK < 52 SQ FT ✓



LEGEND

UNIT A: TOTAL FLOOR AREA: 2,034.4 SF	UNIT A: 449.0 SF
UNIT B: TOTAL FLOOR AREA: 986.9 SF	UNIT B: 221.3 SF
UNIT C: TOTAL FLOOR AREA: 804.8 SF	UNIT C: 221.2 SF
OPEN SPACE:	
UNIT A: 449.0 SF	
UNIT B: 221.3 SF	
UNIT C: 221.2 SF	
GARAGE:	
UNIT A: 404.1 SF	
UNIT B: 419.6 SF	
UNIT C: 401.7 SF	

28.3 + 2 + 21.6 = 51.9 SF < 52 SF
TOTAL PROJECTION



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PROJECT NAME:

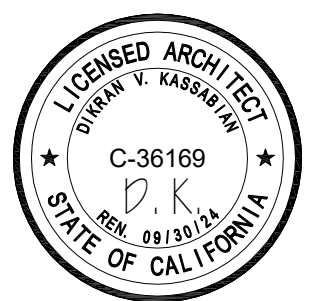
1315 MANHATTAN AVENUE
1317 MANHATTAN AVENUE
132 14TH STREET
MANHATTAN BEACH, CA 90266

SCOPE OF WORK:

NEW 3 UNITS CONDO BUILDING
WITH 2 CAR GARAGE AND A GUEST
PARKING FOR EACH UNIT

TITLE SHEET:

PROJECT INFO
FLOOR AREA SUMMARY



Job No:

Date:
JANUARY 2024

Scale:

PC CORR. DATE

PLANNING SUBMITTAL 5.22.24

PLANNING CORRECTIONS 7.18.24

Sheet No:

A-01

FLOOR AREA DIAGRAMS

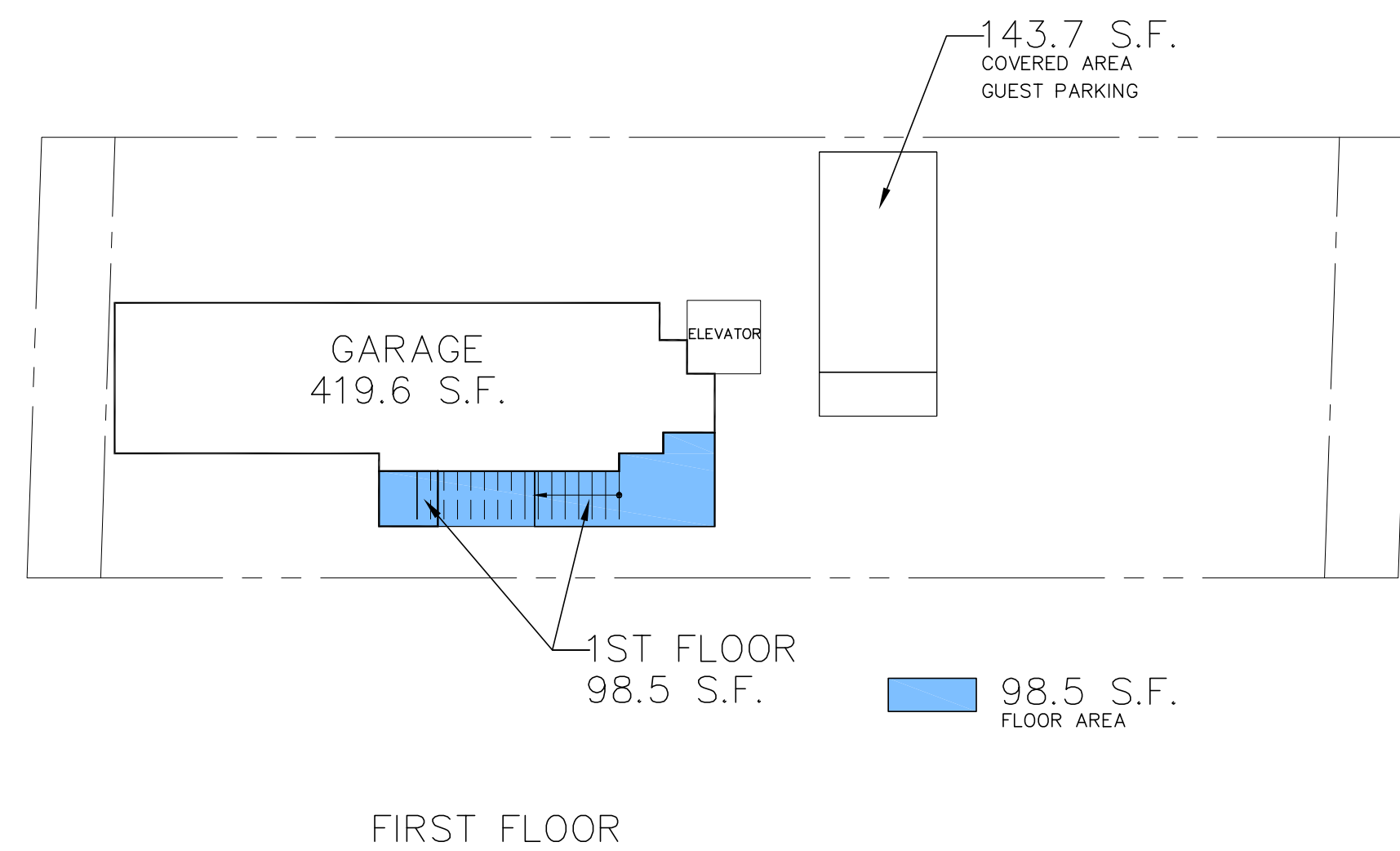
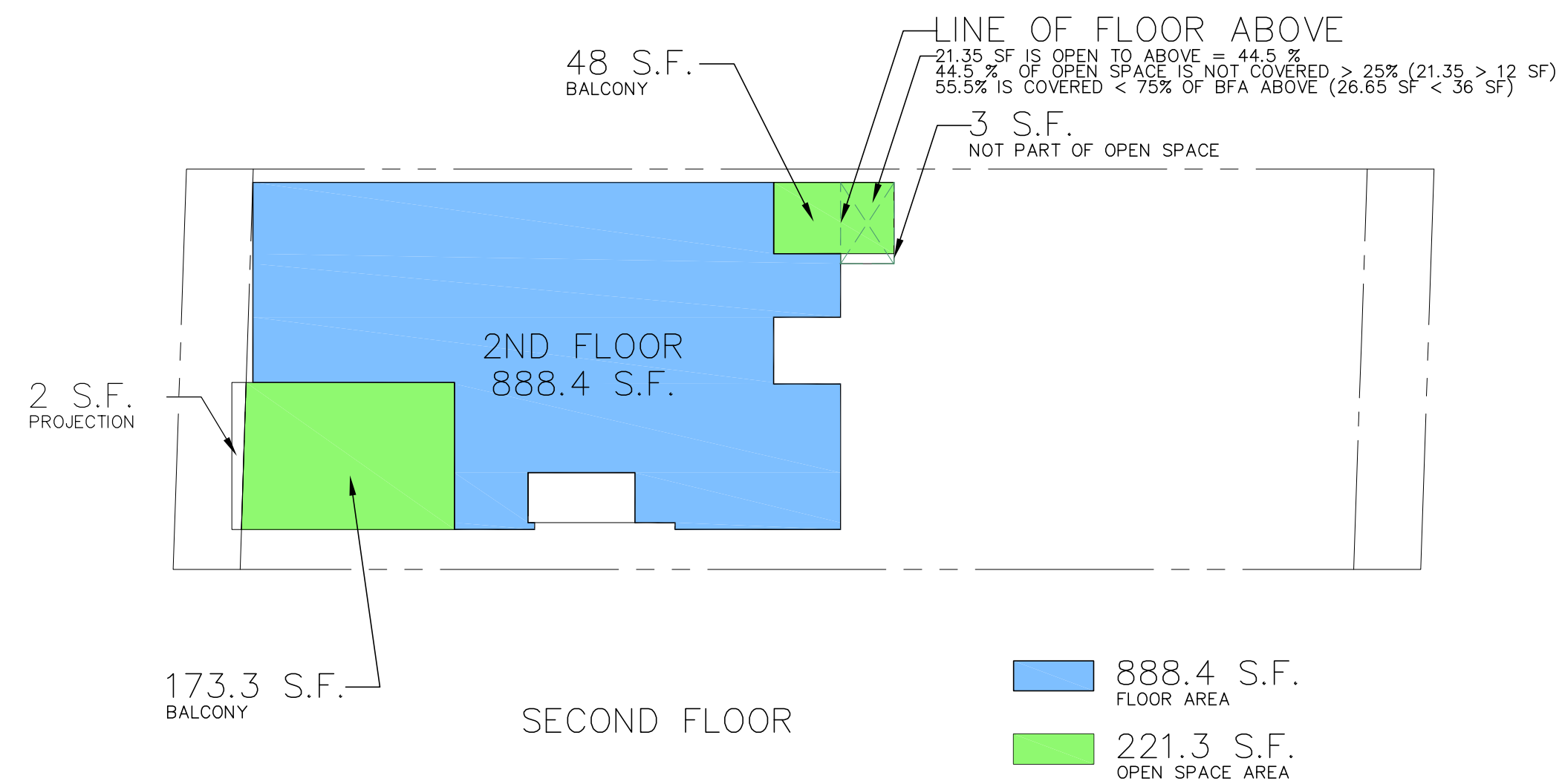
UNIT B
132 14TH STREET

FLOOR AREA SUMMARY

OPEN SPACE SUMMARY

TOTAL FLOOR AREA SUMMARY	
UNIT B: (WEST UNIT)	
1ST FLOOR (EXTERIOR WALLS):	98.5 SQ. FT.
2ND FLOOR (EXTERIOR WALLS):	888.4 SQ. FT.
TOTAL FLOOR AREA (BFA):	986.9 SQ. FT.
EXEMPT FROM BFA:	
GARAGE:	419.6 SQ. FT.
PARKING COVERED AREA:	143.7 SQ. FT.
OPEN SPACE:	221.3 SQ. FT.

OPEN SPACE AREA TABULATION	
UNIT B: (WEST UNIT)	
REQUIRED OPEN SPACE:	220 SQ. FT. (MIN.)
	986.9 x .15= 148 < 220
SECOND FLOOR: (48 S.F. + 173.3 S.F.)	221.3 SQ. FT.
TOTAL:	221.3 SQ. FT.
MIN. REQ. CHECK	> 220 SQ. FT. ✓



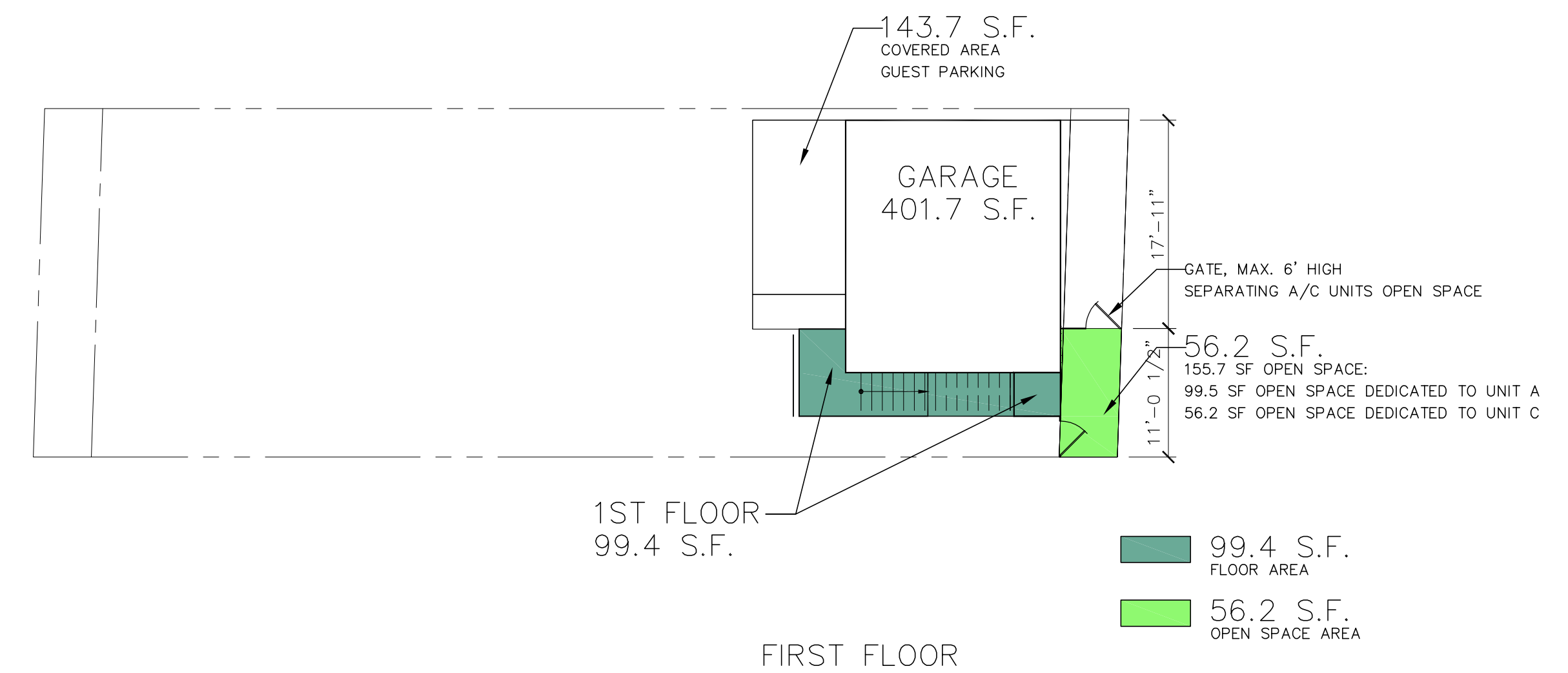
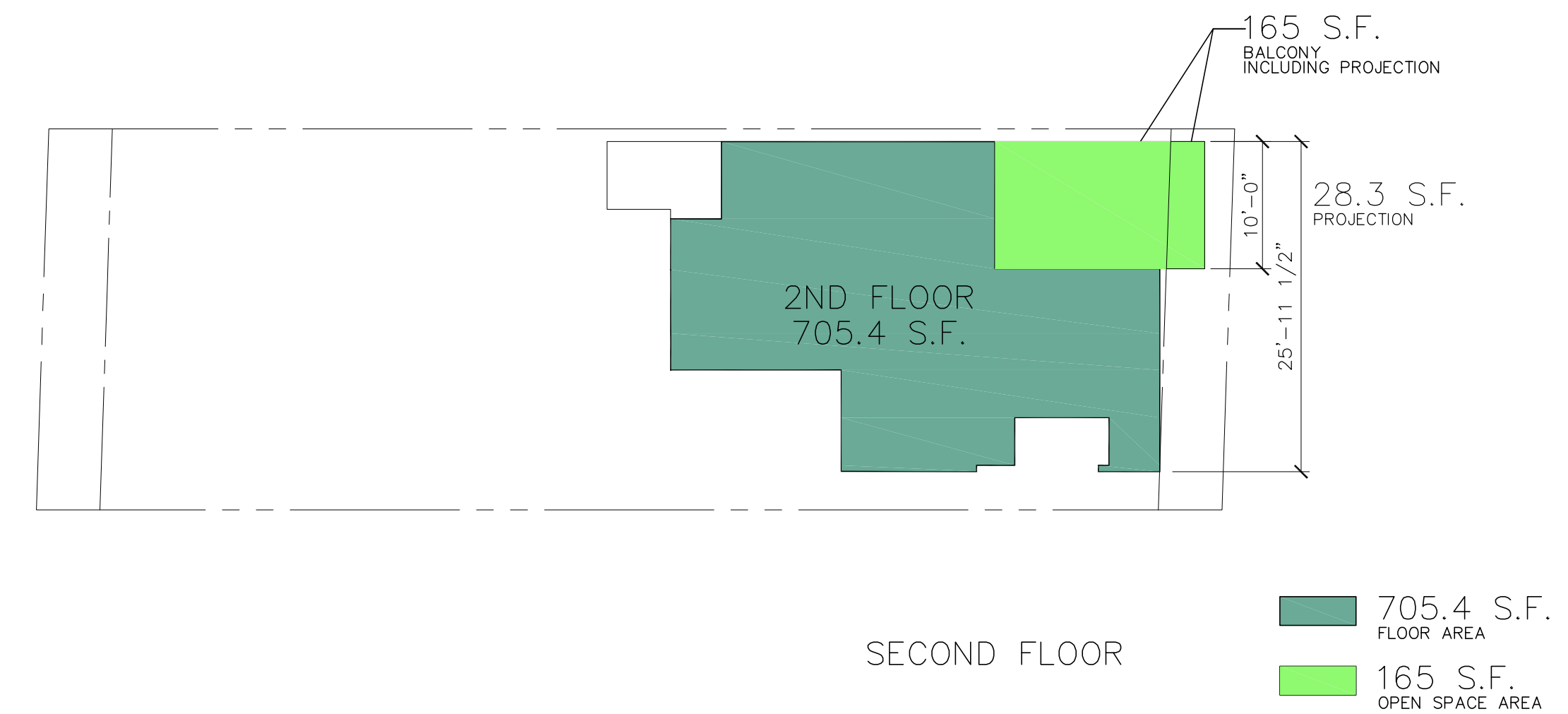
UNIT C
1315 MANHATTAN AVE.

FLOOR AREA SUMMARY

OPEN SPACE SUMMARY

TOTAL FLOOR AREA SUMMARY	
UNIT C: (EAST UNIT)	
1ST FLOOR (EXTERIOR WALLS):	99.4 SQ. FT.
2ND FLOOR (EXTERIOR WALLS):	705.4 SQ. FT.
TOTAL FLOOR AREA (BFA):	804.8 SQ. FT.
EXEMPT FROM BFA:	
GARAGE:	401.7 SQ. FT.
PARKING COVERED AREA:	143.7 SQ. FT.
OPEN SPACE:	221.2 SQ. FT.

OPEN SPACE AREA TABULATION	
UNIT C: (EAST UNIT)	
REQUIRED OPEN SPACE:	220 SQ. FT. (MIN.)
	804.8 x .15= 120.7 < 220
FIRST FLOOR:	56.2 SQ. FT.
SECOND FLOOR:	165.0 SQ. FT.
TOTAL:	221.2 SQ. FT.
MIN. REQ. CHECK	> 220 SQ. FT. ✓



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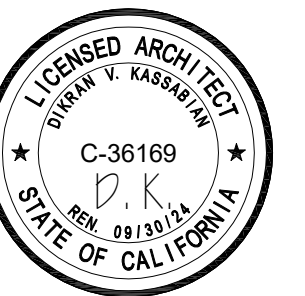
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MANHATTAN BEACH, CA 90266

SCOPE OF WORK:

NEW 3 UNITS CONDO BUILDING
WITH 2 CAR GARAGE AND A GUEST
PARKING FOR EACH UNIT

TITLE SHEET:

PROJECT INFO
FLOOR AREA DIAGRAMS
UNITS B AND C



Job No:

Date:
JANUARY 2024

Scale:

PC CORR. DATE

PLANNING SUBMITTAL 5.22.24

PLANNING CORRECTIONS 7.18.24

Sheet No:

A-02

FLOOR AREA DIAGRAMS

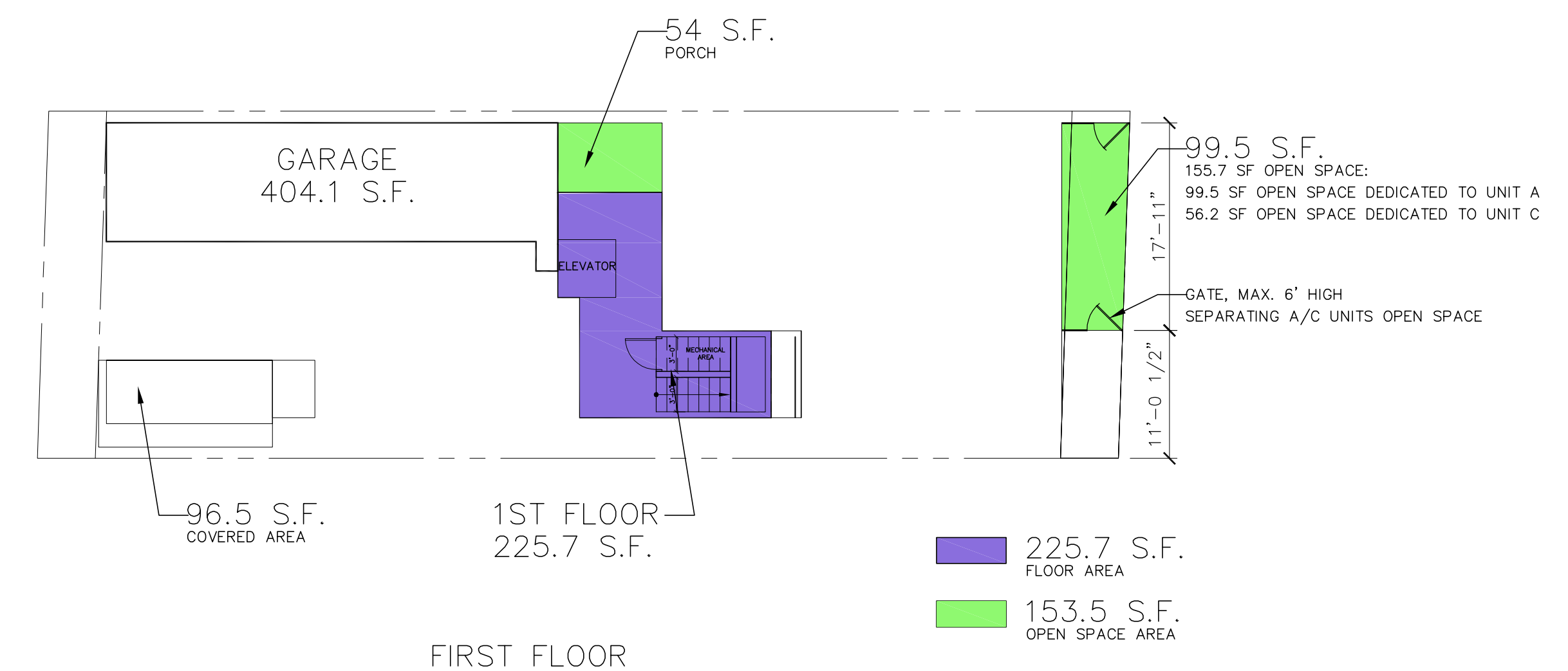
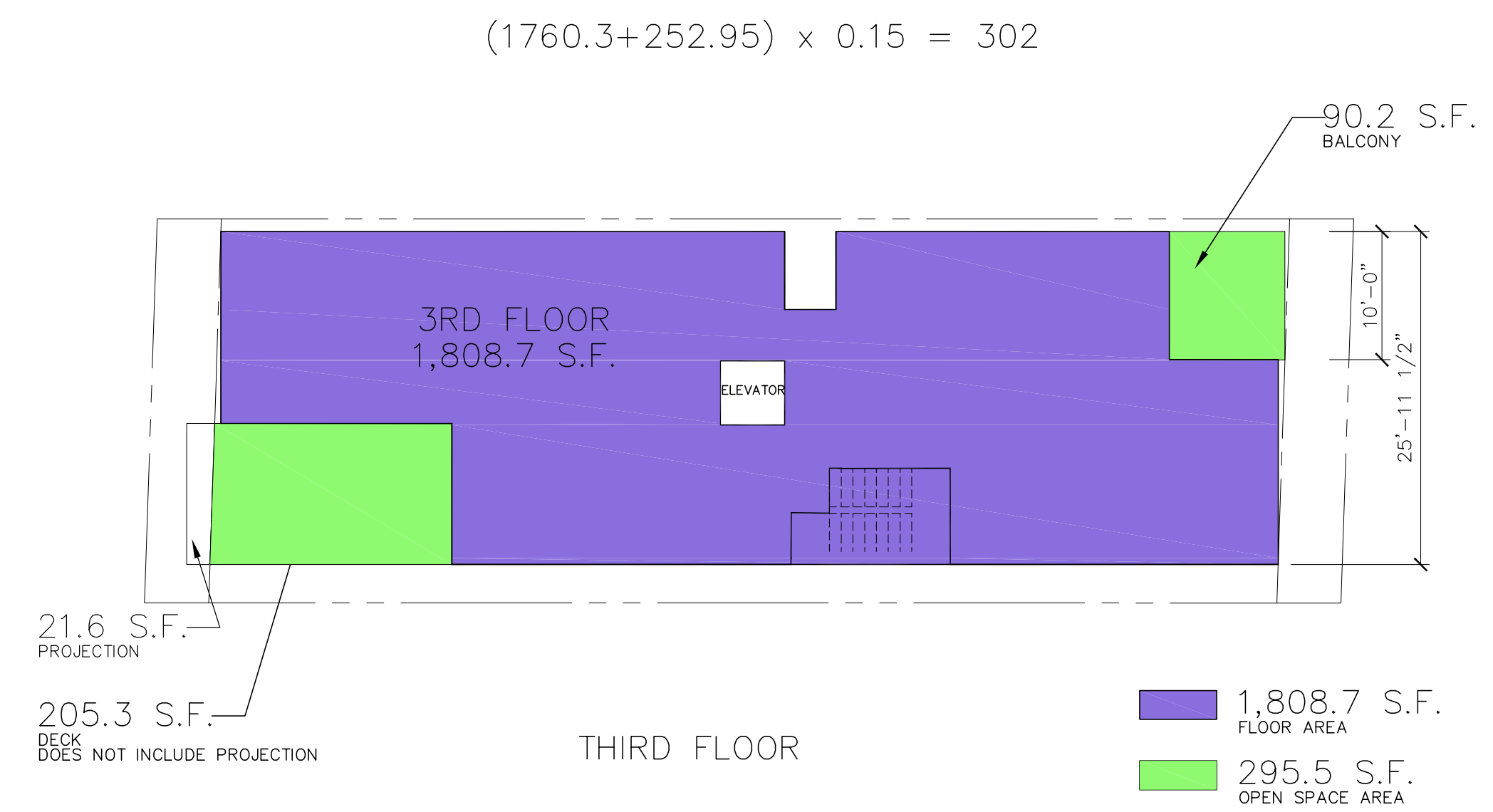
UNIT A
1317 MANHATTAN AVE.

FLOOR AREA SUMMARY

TOTAL FLOOR AREA SUMMARY	
UNIT A: (THIRD FLOOR UNIT)	
1ST FLOOR (EXTERIOR WALLS):	225.7 SQ. FT.
2ND FLOOR (EXTERIOR WALLS):	N/A
3RD FLOOR (EXTERIOR WALLS):	1,808.7 SQ. FT.
TOTAL FLOOR AREA (BFA):	2,034.4 SQ. FT.
EXEMPT FROM BFA:	
GARAGE:	404.1 SQ. FT.
PARKING COVERED AREA:	96.5 SQ. FT.
OPEN SPACE:	449.0 SQ. FT.

OPEN SPACE SUMMARY

OPEN SPACE AREA TABULATION	
UNIT A: (THIRD FLOOR UNIT)	
REQUIRED OPEN SPACE:	305.16 SQ. FT.
FIRST FLOOR: (54 S.F. + 99.5 S.F.)	153.5 SQ. FT.
THIRD FLOOR: (205.3 S.F. + 90.2 S.F.)	295.5 SQ. FT. (152.58 max)
TOTAL:	306.08 SQ. FT.
MIN. REQ. CHECK	306.08 > 305.16 ✓
50% CHECK:	
305.16 x .5 = 152.58 S.F.	
FIRST FLOOR = 153.5 > 152.58 S.F.	✓
THIRD FLOOR = 295.5 > 152.58 S.F.	✓



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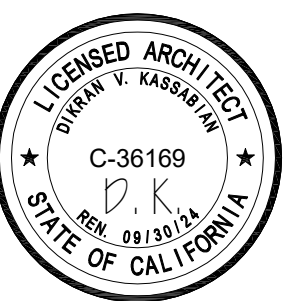
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SCOPE OF WORK:

NEW 3 UNITS CONDO BUILDING
WITH 2 CAR GARAGE AND A GUEST
PARKING FOR EACH UNIT

TITLE SHEET:

PROJECT INFO
FLOOR AREA DIAGRAMS
UNITS A



Job No:

Date:
JANUARY 2024

Scale:

PC CORR. DATE

PLANNING SUBMITTAL 5.22.24

PLANNING CORRECTIONS 7.18.24

Sheet No:

A-03

BUILDING SHALL HAVE ADDRESS NUMBERS PLACED IN A POSITION THAT IS PLAINLY LEGIBLE AND VISIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY. NUMBERS SHALL CONTRAST WITH BACKGROUND, BE ARABIC OR ALPHABETICAL LETTERS AND BE A MINIMUM OF 4" HIGH WITH A MINIMUM STROKE OF 1/2 INCH. (R319.1 CRC, 502.1 CBC)

UNDERGROUND UTILITIES REQUIRED [MBC 9.12.050]
ALL ELECTRICAL, TELEPHONE, CABLE TELEVISION SYSTEM, AND SIMILAR SERVICE WIRES AND CABLES WHICH PROVIDE DIRECT SERVICE TO NEW MAIN BUILDINGS, NEW ACCESSORY BUILDINGS, AND STRUCTURES, SHALL BE INSTALLED UNDERGROUND.

SEPARATE PERMITS AND PLANS ARE REQUIRED FOR SPAS, POOLS, SOLAR SYSTEMS, DEMOLITION AND SEWER CAP OF EXISTING BUILDINGS. IF SUCH IMPROVEMENTS OR DEMOLITION IS REQUIRED AS A CONDITION OF APPROVAL FOR DISCRETIONARY ACTIONS OR TO COMMENCE BUILDING, THEN SUCH PERMITS MUST BE OBTAINED BEFORE OR AT THE TIME THIS PROPOSED BUILDING PERMIT IS ISSUED.

FENCE/WALL/HANDRAIL AND HEDGE HEIGHTS, AS MEASURED FROM THE LOWEST FINISHED GRADE ADJACENT TO EACH SECTION OF THESE STRUCTURES, MAY BE A MAXIMUM OF: 42" IN THE FRONT YARD SETBACK, AND 6" AT ALL OTHER LOCATIONS ON SITE (3' IN DRIVEWAY VISIBILITY TRIANGLE AND IN THE TRAFFIC VISION CLEARANCE TRIANGLE).

ZONING: RH
AREA DISTRICT: 3
ADDRESS: 1315 MANHATTAN AVE., 1317 MANHATTAN AVE., 132 14TH STREET, MANHATTAN BEACH, CA 90266
PROPERTY TYPE: 3 UNIT APARTMENT BUILDING
LEGAL DESCRIPTION: VERANO BEACH - LOT 42
APN: 4179-026-001
OCCUPANCY: R-3 (HOUSE), U (GARAGE)
CONSTRUCTION TYPE: V-B SPRINKLERED
SITE AREA: 2,813.0 SQ. FT.
SET BACKS:
FRONT YARD SETBACK: 5'-0"
SIDE YARD SETBACK: 5'-0"
REAR YARD SETBACK: 5'-0"
CORNER SETBACK: 1'-0"
SEE A1 FOR SITE PLAN AND A2 FOR FLOOR PLAN
35'-0" (154.1' EL.)
29'-10" (150.0' EL.)
MAX. HEIGHT: 35'-0"
MAX. ALLOWABLE RESIDENTIAL FLOOR AREA: 4,782 SQ. FT. (SEE AREA SUMMARY ON A0)
NUMBER OF STORES: 3
MAX. UNITS PER LOT: 3

LEGEND

	NEW APRON
	CONCRETE
	LAWN
	COVERED GUEST PARKING
	COVERED STORAGE/TRASH AREA (UNDER STAIR)
	PAVING

MECHANICAL NOTES

CALIFORNIA MECHANICAL CODE:

- APPLIANCES LOCATED IN A GARAGE SHALL BE PROTECTED FROM MECHANICAL DAMAGE BY BEING INSTALLED BEHIND PROTECTIVE BARRIERS, BY BEING ELEVATED OR BY BEING LOCATED OUT OF THE NORMAL PATH OF VEHICLES. (CMC 305.1.1)
- HEATING EQUIPMENT LOCATED IN A GARAGE THAT GENERATES A GLOW, SPARK OR FLAME SHALL BE INSTALLED WITH THE PILOTS, BURNERS OR HEATING ELEMENTS AND SWITCHES AT LEAST 18" ABOVE THE FLOOR LEVEL. (CMC 305.1.1)
- A DOMESTIC CLOTHES DRYER DUCT SHALL BE OF METAL AND A MINIMUM OF 4" IN DIAMETER. THE EXHAUST DUCT SHALL NOT EXCEED A TOTAL COMBINED HORIZONTAL AND VERTICAL LENGTH OF 14', INCLUDING TWO 90-DEGREE ELBOWS. TWO FEET SHALL BE DEDUCTED FOR EACH 90-DEGREE ELBOW IN EXCESS OF TWO. (CMC 504.4.2)
- ALL NEW CONSTRUCTION AND ADDITION EXCEEDING 1,000 SF SHALL MEET THE REQUIREMENTS OF ANSI/ASHRAE 62.2 VENTILATION AND ACCEPTABLE INDOOR AIR QUALITY IN LOW-RISE RESIDENTIAL BUILDINGS. WINDOW OPERATION IS NOT A PERMISSIBLE METHOD OF PROVIDING THE WHOLE BUILDING VENTILATION REQUIRED. SEE ANSI/ASHRAE 62.2 FOR ADDITIONAL REFERENCES AND REQUIREMENTS.

SITE PLAN NOTES

- All roof water shall be conducted to the curb face at the street via below grade drain lines from all downspout location. No spill on grade allowed. All other site water shall drain to street via downspout location. No spill allowed.
- No lighting around the perimeter of the site and no lighting for aesthetic purposes is allowed.
- A licensed surveyor shall lay out the structure (s) on the site plan and shall provide a certificate plan indicating that the structure (s) are located in accordance with the approved plans.
- Secure permission from city engineer for construction, grading and/or discharge of drainage within street right of way.
- Provisions shall be made for contributory drainage at all times.
- All fill or backfill shall be compacted to a min. of 90% relative compaction as determined by shall be provided where required by code.
- Slope planting to be re-inspect prior to c. of c. for establishment of same.
- A grading permit is re required for the top soil. The grading inspector is to be notified the fill is placed.
- BUILDING HEIGHT TO BE CERTIFIED BY LICENSED SURVEYOR
- MAX 6' HEIGHT WALL WITHIN REQUIRED SIDE YARD AND MAX 3'-6" HEIGHT WALL WITHIN REQUIRED REQUIRED FRONT YARD.
- PROVIDE ANTI-GRAFFITI FINISH WITHIN THE FIRST 9 FEET MEASURED FROM GRADE AT EXTERIOR WALLS AND DOORS. (6306)
- THE CONSTRUCTION SHALL NOT RESTRICT A FIVE-FOOT CLEAR AND UNOBSTRUCTED ACCESS TO ANY WATER OR POWER DISTRIBUTION FACILITIES (POWER POLES, PULL-BOXES, TRANSFORMERS, VAULTS, PUMPS, VALVES, METERS, APPURTENANCES, ETC.) OR TO THE LOCATION OF THE HOOK UP. THE CONSTRUCTION SHALL NOT BE WITHIN TEN FEET OF ANY POWER LINES WHETHER OR NOT THE LINES ARE LOCATED ON THE PROPERTY. FAILURE TO COMPLY MAY CAUSE CONSTRUCTION DELAYS AND/OR ADDITIONAL EXPENSES.
- AN APPROVED SEISMIC GAS SHUTOFF VALVE WILL BE INSTALLED ON THE FUEL GAS LINE ON THE DOWN STREAM SIDE OF THE UTILITY METER AND BE RIGIDLY CONNECTED TO THE EXTERIOR OF THE BUILDING OR STRUCTURE CONTAINING THE FUEL GAS PIPING.
- PROVIDE LOW CONSUMPTION WATER CLOSETS FOR ALL NEW CONSTRUCTION. EXISTING SHOWER HEADS AND TOILETS MUST BE ADAPTED FOR LOW WATER CONSUMPTION. (ULTRA FLUSH).
- WATER HEATER MUST BE STRAPPED TO WALL (SEC. 507.3.UPC)
- A NEW 36" BOX TREE TO BE DESIGNATED AS A PROTECTED TREE WITH A NEW TREE PERMIT. TREE-23-00423.
- IMPERVIOUS SURFACE SHALL BE SLOPED AWAY FROM THE BUILDING AT 2% MINIMUM SLOPE FOR A MINIMUM DISTANCE OF 10 FEET; LOT SHALL BE GRADED TO DRAIN SURFACE WATER AWAY FROM FOUNDATION WALLS; GRADE SHALL FALL 6" MINIMUM WITHIN THE FIRST 10 FEET. SECTION R401.3

PLUMBING NOTES

CALIFORNIA PLUMBING CODE:

- WATER CLOSET SHALL HAVE 15" TO ANY WALL OR OBSTRUCTION ON EACH SIDE OF ITS CENTERLINE AND 24" CLEAR SPACE IN FRONT. CPC (402.5)
- SHOWER COMPARTMENTS SHALL BE NOT LESS THAN 1.04 SQ. IN. AND ALSO BE CAPABLE OF ENCOMPASSING A 30" DIAMETER CIRCLE. (CPC 408.6)
- WATER HEATERS LOCATED IN SEISMIC DESIGN CATEGORIES C, D, E & F, AS DEFINED BY THE BUILDING CODE, SHALL HAVE STRAPS LOCATED IN THE UPPER AND LOWER 1/3 OF ITS VERTICAL DIMENSION. (CPC 507.2)
- WATER HEATERS LOCATED WITHIN A GARAGE SHALL BE INSTALLED SO THAT ALL BURNERS AND IGNITION DEVICES ARE NOT LESS THAN 18" ABOVE THE FLOOR. (CPC 507.13)
- APPLIANCES INSTALLED IN GARAGES, WAREHOUSES, OR OTHER AREAS SUBJECT TO MECHANICAL DAMAGE SHALL BE GUARDED AGAINST SUCH DAMAGE BY BEING INSTALLED BEHIND PROTECTIVE BARRIERS OR BY BEING ELEVATED OR LOCATED OUT OF THE NORMAL PATH OF VEHICLES. (CPC 507.13.1)

ALL DOMESTIC HOT WATER SYSTEM PIPING CONDITIONS LISTED BELOW, WHETHER BURIED OR UNBURIED, MUST BE INSULATED, AND THE INSULATION THICKNESS SHALL BE SELECTED BASED ON THE CONDUCTIVITY RANGE IN TABLE 120.3-A AND THE INSULATION LEVEL SHALL BE SELECTED FROM THE FLUID TEMPERATURE RANGE BASED ON THE THICKNESS REQUIREMENTS IN TABLE 120.3-A:

- THE FIRST 5 FEET OF HOT AND COLD WATER-WATER PIPES FROM STORAGE TANKS.
- ALL PIPING WITH A NOMINAL DIAMETER OF 3/4 INCH OR LARGER.
- ALL PIPING ASSOCIATED WITH A DOMESTIC HOT WATER RE-CIRCULATION SYSTEM REGARDLESS OF THE PIPE DIAMETER.
- PIPING FROM THE HEATING SOURCE TO STORAGE TANK OR BETWEEN TANKS.
- PIPING BURIED BELOW GRADE.
- ALL HOT WATER PIPES FROM THE HEATING SOURCE TO THE KITCHEN FIXTURES.

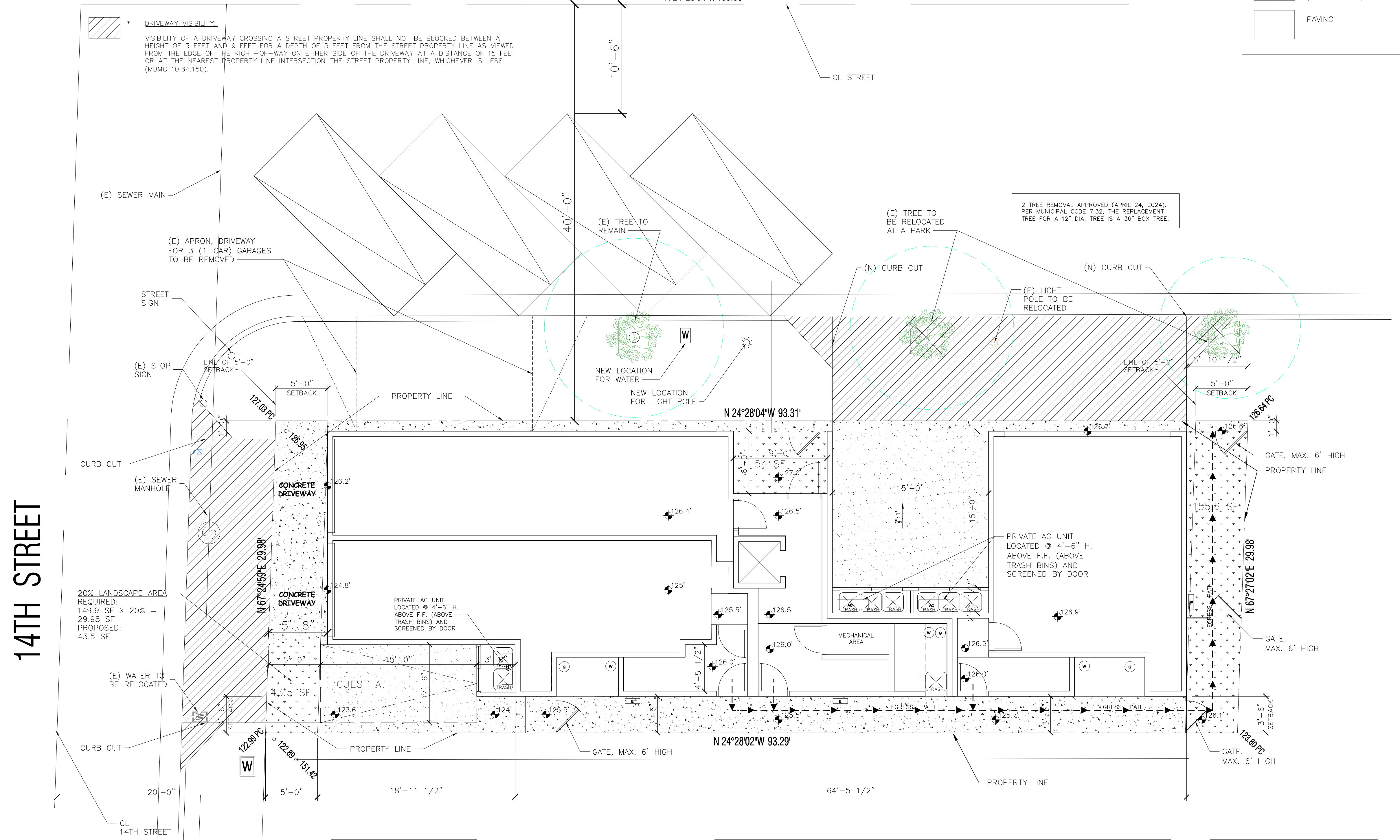
GENERAL NOTES

SEE FLOOR PLAN A2 FOR ADDITIONAL INFORMATION.

LEGEND

	4" SLOPE COLLECTOR DRAIN TO SUMP PUMP
	2% SLOPE AWAY FROM HOUSE (TO FOLLOW GRAVITY)
	DOWNSPOUT FROM ROOF ABOVE
	EGRESS PATH, MIN. 3' CLEAR

MANHATTAN AVENUE



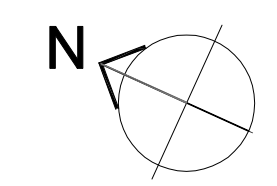
INSTALL 6" SEWER LATERAL (IF EXISTING LATERAL IS LESS THAN 6" DIA.). SEWER LATERAL WITH CLEANOUT AND BACKWATER VALVE PER ST-24. PLUMBING CONTRACTOR TO VERIFY CONNECTION POINT.

PROVIDE A 36-INCH DEEP BY EQUIPMENT WIDTH (30 MINIMUM) BY SIX-FOOT SIX-INCH HIGH CLEAR UNOBSTRUCTED WORK AREA FROM THE FACE OF THE ELECTRICAL PANEL TO THE FINISHED SURFACE OF ANY ADJACENT RETAINING WALL, SHORING/PROPERTY LINE WALL OR FENCE. [CEC 110.26(A)]

NOTE: PROVIDE 3'-6" FOOT MINIMUM CLEAR SPACE BETWEEN FINISH OF BUILDING WALL TO FINISH OF PROPERTY LINE WALL AT WEST SIDE.

SITE PLAN

3/16" = 1'-0"



PROPOSED SITE PLAN 3/16"=1'-0" 1

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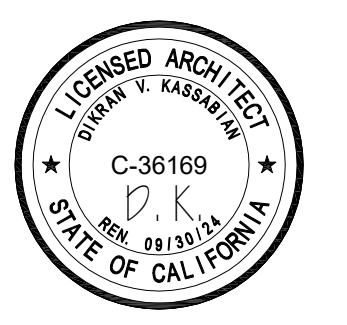
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info@kdesignbuild.com
kdesignbuild.com

Architect License # C36169
Contractor License # B661001

PROJECT NAME:
**1315 MANHATTAN AVENUE
1317 MANHATTAN AVENUE
132 14TH STREET
MANHATTAN BEACH, CA 90266**

SCOPE OF WORK:
**NEW 3 UNITS CONDO BUILDING
WITH 2 CAR GARAGE AND A GUEST
PARKING FOR EACH UNIT**

TITLE SHEET:
**SITE PLAN
(TANDEM PARKING)**



Job No: -
Date: JANUARY 2024
Scale: 3/16" = 1'-0"

PC CORR.	DATE
PLANNING SUBMITTAL	5.22.24
PLANNING CORRECTIONS	7.18.24

Sheet No:
A-1

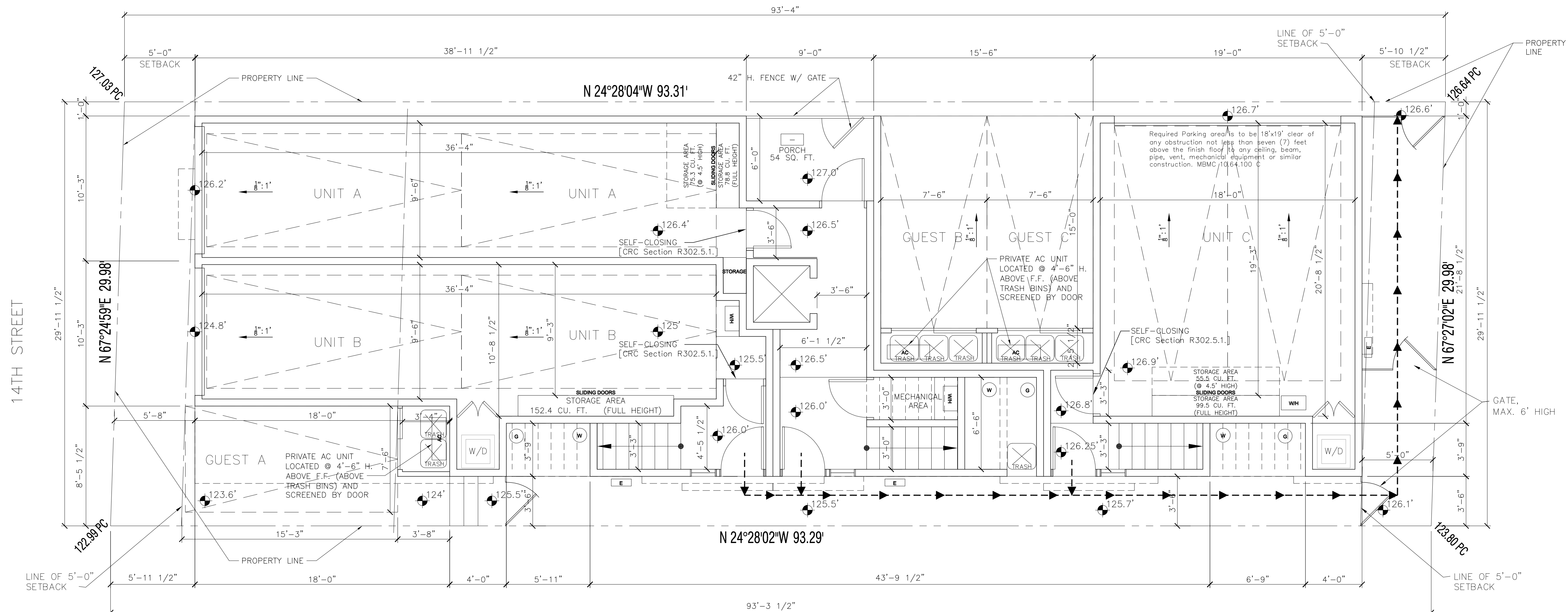
STORAGE AREA- MIN. 150 CU. FT.	
UNIT A (THIRD FLOOR UNIT)	
FULL HEIGHT:	6' X 7'-7 1/2" X 8'-1" = 78.8 CU. FT.
AT 4'-6" ABOVE FF:	6' X 3'-6" X 3'-7" = 75.3 CU. FT.
	154.1 CU. FT.
MIN. REQ. CHECK	154.1 > 150.0 S.F.
UNIT B (WEST UNIT)	
FULL HEIGHT:	11' X 1'-5 1/2" X 9'-6" = 152.4 CU. FT.
	152.4 CU. FT.
MIN. REQ. CHECK	152.4 > 150.0 S.F.
UNIT C (EAST UNIT)	
FULL HEIGHT:	9' X 1'-5 1/2" X 7'-7" = 99.5 CU. FT.
AT 4'-6" ABOVE FF:	9' X 2'-0" X 3'-1" = 55.5 CU. FT.
	155.0 CU. FT.
MIN. REQ. CHECK	155.0 > 150.0 S.F.

GENERAL NOTES	GENERAL NOTES	GENERAL NOTES	GENERAL NOTES	GENERAL NOTES	GENERAL NOTES	LEGEND
FOR ARCHITECTURAL SYMBOLS SUCH AS DOORS, WINDOWS, ETC. SEE T.1.	SMOKE ALARMS AND CARBON MONOXIDE ALARMS SHALL RECEIVE THEIR PRIMARY POWER FROM THE BUILDING WIRING, SHALL BE EQUIPPED WITH A BATTERY BACKUP AND INTERCONNECTED PER SECTION R314.3, R314.4, AND R315.1	"Required parking area is to be 9' x 36' and 9' x 19' clear of any obstructions not less than seven (7) feet above the finish floor to any ceiling, beam, pipe, vent, mechanical equipment or similar construction" (MBMC 10.64.100 C).	IN EVERY BEDROOM AND BASEMENT, PROVIDE ONE OPERABLE ESCAPE WINDOW MEETING ALL OF THE FOLLOWING: A) AN OPERABLE AREA OF NOT LESS THAN 5.7 SQ.FT. B) A MINIMUM CLEAR HEIGHT OF 24" C) A MINIMUM CLEAR WIDTH OF 20" D) A SILL HEIGHT NOT OVER 44" ABOVE THE FLOOR.	HABITABLE ROOMS SHALL BE PROVIDED WITH NATURAL LIGHT BY MEANS OF EXTERIOR GLAZED OPENINGS. THE MINIMUM NET GLAZED AREA SHALL NOT BE LESS THAN 8 PERCENT OF THE FLOOR AREA OF THE ROOM SERVED. SECTION R303.1	HABITABLE ROOMS SHALL HAVE AT LEAST ONE EXTERIOR EMERGENCY ESCAPE AND RESCUE OPENING OF 5.7 S.F., MINIMUM NET CLEAR OPENING WIDTH OF 20", AND BOTTOM OF THE CLEAR OPENING NOT GREATER THAN 44" MEASURED FROM THE FLOOR. SECTION R310.1 AND R310.2	RECESSED HOSE BIBB WINDOW, SEE WINDOW SCHEDULE DOOR, SEE DOOR SCHEDULE GFI ELEC. OUTLET W/COVER GAS METER WATER METER ELECTRIC METER 1 HOUR FIRE RATED WALL (GARAGE SEPARATION) NOTE: SEE STRUCTURAL DRAWING'S FOR ADDITIONAL INFO.
PROVIDE BACKING PLATES AT WALL STUDS PER 1/- FOR TV'S, CABINETS, WALL MOUNTED EQUIP. AND OTHER ITEMS REQUIRING BACKING	DUCTS PENETRATING WALL OR CEILING PENETRATIONS BETWEEN GARAGE AND DWELLING UNITS SHALL BE CONSTRUCTED OF 26 GAGE MIN SHEET METAL AND SHALL HAVE NO OPENING INTO THE GARAGE	Install on the cold water supply pipe at the top of the water heater a capped "T" fitting to plumb for future solar water heating.	PROVIDE LOUVERS FOR GARAGE VENTILATION	BEDROOMS SHALL HAVE AT LEAST ONE EXTERIOR EMERGENCY ESCAPE AND RESCUE OPENING OF 5.7 S.F., MINIMUM NET CLEAR OPENING WIDTH OF 20", AND BOTTOM OF THE CLEAR OPENING NOT GREATER THAN 44" MEASURED FROM THE FLOOR. SECTION R310.1 AND R310.2		
SEE FINISH SCHEDULE ON A-11	PER CRC SECTION R312.2 WHERE THE OPENING OF AN OPERABLE WINDOW IS MORE THAN 72" ABOVE THE FINISHED GRADE OR SURFACE AND THE LOWEST PART OF THE OPENING IS WITHIN 24" OF THE FINISHED FLOOR, ONE OF THE FOLLOWING SHALL BE PROVIDED: a. Window opening shall not allow a 4" Ø sphere to pass through. b. Window opening control device per ASTM F2090 c. Window fall prevention device per ASTM F2090	Separate permits and plans are required for spas, pools, solar systems, demolition and sewer cap of existing buildings. If such improvements or demolition is required as a condition of approval for discretionary actions or to commence building, then such permits must be obtained before or at the time this proposed Building Permit is issued.	REQUIRED PARKING AREA IS TO BE 9'x36'x19' CLEAR OF ANY OBSTRUCTIONS NOT LESS THAN SEVEN FEET ABOVE THE FINISH FLOOR TO ANY CEILING, BEAM, PIPE, VENT, MECHANICAL EQUIPMENT OR SIMILAR CONSTRUCTION			
SEE EQUIPMENT SCHEDULE ON -	A RESIDENTIAL FIRE SPRINKLER SYSTEM SHALL BE INSTALLED IN NEW ATTACHED GARAGE -PER SECTION R309.6	Fence/wall/handrail and hedge heights, as measured from the lowest finished grade adjacent to each section of these structures, may be a maximum of 42" in the front yard setback, and 6' at all other locations on site (3' in driveway visibility triangle and in the traffic vision clearance triangle).	ALL UTILITIES TO BE UNDERGROUND			
	SMOKE ALARMS SHALL BE INSTALLED INSIDE ALL BEDROOMS, ON THE CEILING OR WALL OUTSIDE OF EACH BEDROOM AND IN EVERY STORY PER SECTION R314.3	TOP OF FOOTING SHALL BE 8" ABOVE EXPOSED EARTH (UNLESS WOOD FRAMING MEMBERS ARE OF NATURALLY DURABLE OR PRESERVATIVE TREATED WOOD)	PROVIDE DUCTED TOP & BOTTOM COMBUSTIBLE AIR SUPPLY			
	CARBON MONOXIDE ALARMS SHALL BE INSTALLED IMMEDIATELY OUTSIDE OF ALL BEDROOMS AND ON EVERY LEVEL- PER SECTION R315.1.3	ROOF OVERHANG SHALL NOT BE LOCATED LESS THAN 2 FEET FROM PROPERTY LINE PER SECTION R302.1	HABITABLE ROOMS SHALL BE PROVIDED WITH NATURAL VENTILATION THROUGH OPENINGS TO THE OUTDOORS. SUCH OPENABLE AREA SHALL BE NOT LESS THAN 4 PERCENT OF THE FLOOR AREA BEING VENTILATED. SECTION R303.1			

NOTES
THE FOLLOWING NOTES APPLY TO THIS SHEET ONLY.
1 PROVIDE 30" MIN CLEAR WIDTH AT WATER CLOSET SPACE & 24" MIN CLEAR SPACE IN FRONT OF WATER CLOSET PER CPC SECTION 407.5
2 GARAGE BENEATH HABITABLE ROOMS SHALL BE SEPARATED FROM ALL HABITABLE ROOMS BY NOT LESS THAN A 5/8" TYPE X GYPSUM BOARD PER TABLE R302.6
3 GARAGE FLOOR SHALL BE SLOPED TO FACILITATE MOVEMENT OF LIQUIDS TOWARD A DRAIN OR VEHICLE ENTRY DOORWAY PER SECT. R309.1
4 NEW FIREPLACE IS NON WOOD BURNING, DIRECT VENT SEALED COMBUSTION TYPE, NOVUS NVB 4320, DIRECT VENTED BY HEATILATOR UL4307B
5 42" HIGH QUARDRAIL SEE 5/AD-4
6 STAIR HANDRAIL SHALL BE 34"-38" HIGH ABOVE THE TREAD NOSING. CIRCULAR HANDRAIL SHALL HAVE AN OUTSIDE DIAMETER OF AT LEAST 1.25" AND NO GREATER THAN 2". IF THE HANDRAIL IS NOT CIRCULAR, IT SHALL HAVE A PERIMETER DIM OF AT LEAST 4" AND NOT GREATER THAN 6.25" WITH A MAX CROSS SECTION OF 2.25" EDGES SHALL HAVE A MIN RADIUS OF 0.01" PER SECTION R311.7.7.3
7 STONE OR THIN SET TILE OVER MORTAR BED AND FLUID APPLIED WATERPROOF MEMBRANE. DEX-O-TEX WATERPROOFING AT ALL BALCONY/DECKS ESR#-1757 COMPLY WITH MANUFACTURER REQUIREMENTS AND LATEST EDITION OF CBC
8A CASEWORK, BASE CABINET W/ SINK ON STONE COUNTERTOP
8B CASEWORK, STORAGE CABINET
8C CASEWORK
9 2X6 WALL
10 HANDRAIL, WALL MOUNTED
11 COLUMN / POST SEE STRUCTURAL
12 ACCESS PANEL FOR PLUMBING
13 DROP CEILING
14 LADDER, SEE SECTION E-E/A8
15 FLOOR DRAIN, CONTINUOUS WITH C.I. GRATE
16 FURRED WALL OVER CMU, TYP.
17 IRRIGATION SYSTEM W/ CONTROLLER
18 HOSE BIBB
19 GLASS SHOWER ENCLOSURE, TEMPERED
20 DECK OVERFLOW, SEE 5/AD-2
21 PROVIDE 4" DIA. EXHAUST DUCT FOR FAU AND LOUVERS AT THE BOTTOM OF THE DOOR FOR COMBUSTION AIR.

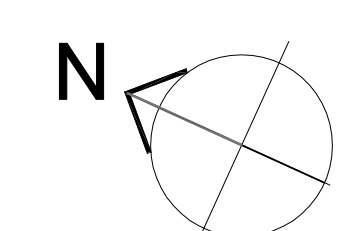
GARAGE AND/OR CARPORT SHALL BE SEPARATED FROM THE DWELLING UNIT BY A VERTICAL WALL FROM THE SLAB THRU THE ATTIC TO THE ROOF SHEATHING WITH MINIMUM 5/8" GYPSUM BOARD ON THE GARAGE SIDE. GARAGE BENEATH HABITABLE ROOMS ABOVE SHALL BE SEPARATED BY 5/8" GYPSUM BOARD ON THE GARAGE SIDE. (TABLE R302.6)

MANHATTAN AVE.



FIRST FLOOR PLAN

1/4" = 1'-0"



LEGEND
NEW CONC WALL, SEE STRUCTURAL
NEW 2X6 STUD WALL (UNLESS NOTED OTHERWISE) SEE STRUCTURAL
EXTERIOR: 2X6 W/ 3/4" EXT. SHEATHING, WP BLDG. PAPER, METAL LATH & 3 COAT PLASTER SYSTEMS: R-22 INSULATION & 5/8" GYP. BD. ON INTERIOR. (SEE ELEVATIONS FOR FINISH MATERIALS).
INTERIOR: 2X4 STUDS WALL W/ 5/8" GYP. BD. EA. SIDE & BATT INSULATION.
DATUM
CHANGE IN FLOOR
DOWN SPOUT
SCUPPER
AREA DRAIN
FLOOR DRAIN AT DECKS
1 HOUR FIRE RATED WALL (GARAGE SEPARATION)
EGRESS PATH, MIN. 3' CLEAR

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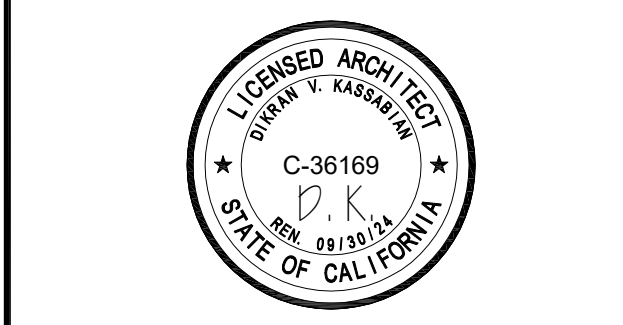
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Architect License # C36169
Contractor License # B661001

PROJECT NAME:
**1315 MANHATTAN AVENUE
1317 MANHATTAN AVENUE
132 14TH STREET
MANHATTAN BEACH, CA 90266**

SCOPE OF WORK:
**NEW 3 UNITS CONDO BUILDING
WITH 2 CAR GARAGE AND A GUEST
PARKING FOR EACH UNIT**

TITLE SHEET:
FIRST FLOOR PLAN



Job No: -

Date: JANUARY 2024

Scale: 1/4" = 1'-0"

PC CORR.	DATE
PLANNING SUBMITTAL	5.22.24
PLANNING CORRECTIONS	7.18.24

Sheet No:
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GENERAL NOTES

FOR ARCHITECTURAL SYMBOLS SUCH AS DOORS, WINDOWS, ETC. SEE T.1.
PROVIDE BACKING PLATES AT WALL STUDS PER 1/- FOR TV'S, CABINETS, WALL MOUNTED EQUIP. AND OTHER ITEMS REQUIRING BACKING
SEE FINISH SCHEDULE ON A-11
SEE EQUIPMENT SCHEDULE ON -
AN AUTOMATIC RESIDENTIAL SPRINKLER SYSTEM SHALL BE PROVIDED IN THE NEW DWELLING UNIT(S) PER SECTION R313.2
A RESIDENTIAL FIRE SPRINKLER SYSTEM SHALL BE INSTALLED IN NEW ATTACHED GARAGE -PER SECTION R309.6
SMOKE ALARMS SHALL BE INSTALLED INSIDE ALL BEDROOMS, ON THE CEILING OR WALL OUTSIDE OF EACH BEDROOM AND IN EVERY STORY PER SECTION R314.3
CARBON MONOXIDE ALARMS SHALL BE INSTALLED IMMEDIATELY OUTSIDE OF ALL BEDROOMS AND ON EVERY LEVEL- PER SECTION R315.1.3

GENERAL NOTES

SMOKE ALARMS AND CARBON MONOXIDE ALARMS SHALL RECEIVE THEIR PRIMARY POWER FROM THE BUILDING WIRING, SHALL BE EQUIPPED WITH A BATTERY BACKUP AND INTERCONNECTED PER SECTION R314.3, R314.4, AND R315.1
DUCTS PENETRATING WALL OR CEILING PENETRATIONS BETWEEN GARAGE AND DWELLING UNITS SHALL BE CONSTRUCTED OF 26 GAGE MIN SHEET METAL AND SHALL HAVE NO OPENING INTO THE GARAGE
PER CRC SECTION R312.2 WHERE THE OPENING OF AN OPERABLE WINDOW IS MORE THAN 72" ABOVE THE FINISHED GRADE OR SURFACE AND THE LOWEST PART OF THE OPENING IS WITHIN 24" OF THE FINISHED FLOOR, ONE OF THE FOLLOWING SHALL BE PROVIDED:
a. Window opening shall not allow a 4" Ø sphere to pass through.
b. Window opening control device per ASTM F2090
c. Window fall prevention device per ASTM F2090
TOP OF FOOTING SHALL BE 8" ABOVE EXPOSED EARTH (UNLESS WOOD FRAMING MEMBERS ARE OF NATURALLY DURABLE OR PRESERVATIVE TREATED WOOD)
ROOF OVERHANG SHALL NOT BE LOCATED LESS THAN 2 FEET FROM PROPERTY LINE PER SECTION R302.1

GENERAL NOTES

*Required parking area is to be 9' x 36' and 9' x 19' clear of any obstructions not less than seven (7) feet above the finish floor to any ceiling, beam, pipe, vent, mechanical equipment or similar construction" (MBMC 10.64.100 C).
Install on the cold water supply pipe at the top of the water heater a capped "T" fitting to plumb for future solar water heating.
Separate permits and plans are required for spas, pools, solar systems, demolition and sewer cap of existing buildings. If such improvements or demolition is required as a condition of approval for discretionary actions or to commence building, then such permits must be obtained before or at the time this proposed Building Permit is issued.
Fence/wall/handrail and hedge heights, as measured from the lowest finished grade adjacent to each section of these structures, may be a maximum of 42" in the front yard setback, and 6' at all other locations on site (3' in driveway visibility triangle and in the traffic vision clearance triangle).

GENERAL NOTES

IN EVERY BEDROOM AND BASEMENT, PROVIDE ONE OPERABLE ESCAPE WINDOW MEETING ALL OF THE FOLLOWING:
A) AN OPERABLE AREA OF NOT LESS THAN 5.7 SQ.FT.
B) A MINIMUM CLEAR HEIGHT OF 24"
C) A MINIMUM CLEAR WIDTH OF 20"
D) A SILL HEIGHT NOT OVER 44" ABOVE THE FLOOR.
PROVIDE LOUVERS FOR GARAGE VENTILATION
REQUIRED PARKING AREA IS TO BE 9'x36'x19' CLEAR OF ANY OBSTRUCTIONS NOT LESS THAN SEVEN FEET ABOVE THE FINISH FLOOR TO ANY CEILING, BEAM, PIPE, VENT, MECHANICAL EQUIPMENT OR SIMILAR CONSTRUCTION
ALL UTILITIES TO BE UNDERGROUND
PROVIDE DUCTED TOP & BOTTOM COMBUSTIBLE AIR SUPPLY
HABITABLE ROOMS SHALL BE PROVIDED WITH NATURAL VENTILATION THROUGH OPENINGS TO THE OUTDOORS. SUCH OPENABLE AREA SHALL BE NOT LESS THAN 4 PERCENT OF THE FLOOR AREA BEING VENTILATED. SECTION R303.1

GENERAL NOTES

HABITABLE ROOMS SHALL BE PROVIDED WITH NATURAL LIGHT BY MEANS OF EXTERIOR GLAZED OPENINGS. THE MINIMUM NET GLAZED AREA SHALL NOT BE LESS THAN 8 PERCENT OF THE FLOOR AREA OF THE ROOM SERVED. SECTION R303.1
BEDROOMS SHALL HAVE AT LEAST ONE EXTERIOR EMERGENCY ESCAPE AND RESCUE OPENING OF 5.7 S.F., MINIMUM NET CLEAR OPENING WIDTH OF 20", AND BOTTOM OF THE CLEAR OPENING NOT GREATER THAN 44" MEASURED FROM THE FLOOR. SECTION R310.1 AND R310.2

LEGEND

- RECESSED HOSE BIBB
- WINDOW, SEE WINDOW SCHEDULE
- DOOR, SEE DOOR SCHEDULE
- GFI ELEC. OUTLET W/COVER
- GAS METER
- WATER METER
- ELECTRIC METER
- 1 HOUR FIRE RATED WALL (GARAGE SEPARATION)
- NOTE: SEE STRUCTURAL DRAWING'S FOR ADDITIONAL INFO.

NOTES

- THE FOLLOWING NOTES APPLY TO THIS SHEET ONLY.
- PROVIDE 30" MIN CLEAR WIDTH AT WATER CLOSET SPACE & 24" MIN CLEAR SPACE IN FRONT OF WATER CLOSET PER CPC SECTION 407.5
- GARAGE BENEATH HABITABLE ROOMS SHALL BE SEPARATED FROM ALL HABITABLE ROOMS BY NOT LESS THAN A 5/8" TYPE X GYPSUM BOARD PER TABLE R302.6
- GARAGE FLOOR SHALL BE SLOPED TO FACILITATE MOVEMENT OF LIQUIDS TOWARD A DRAIN OR VEHICLE ENTRY DOORWAY PER SECT. R309.1
- NEW FIREPLACE IS NON WOOD BURNING, DIRECT VENT SEALED COMBUSTION TYPE, NOVUS NVB 4320, DIRECT VENTED BY HEATILATOR UL#307B
- 42" HIGH QUARDRAIL SEE 5/AD-4
- STAIR HANDRAIL SHALL BE 34"-38" HIGH ABOVE THE TREAD NOSING. CIRCULAR HANDRAIL SHALL HAVE AN OUTSIDE DIAMETER OF AT LEAST 1.25" AND NO GREATER THAN 2". IF THE HANDRAIL IS NOT CIRCULAR, IT SHALL HAVE A PERIMETER DIM OF AT LEAST 4" AND NOT GREATER THAN 6.25" WITH A MAX CROSS SECTION OF 2.25" EDGES SHALL HAVE A MIN RADIUS OF 0.01" PER SECTION R311.7.7.3
- STONE OR THIN SET TILE OVER MORTAR BED AND FLUID APPLIED WATERPROOF MEMBRANE. DEX-O-TEX WATERPROOFING AT ALL BALCONY/DECKS ESR#-1757 COMPLY WITH MANUFACTURER REQUIREMENTS AND LATEST EDITION OF CBC
- CASEWORK, BASE CABINET W/ SINK ON STONE COUNTERTOP
- CASEWORK, STORAGE CABINET
- CASEWORK
- 2X6 WALL
- HANDRAIL, WALL MOUNTED
- COLUMN / POST SEE STRUCTURAL
- ACCESS PANEL FOR PLUMBING
- DROP CEILING
- LADDER, SEE SECTION E-E/A8
- FLOOR DRAIN, CONTINUOUS WITH C.I. GRATE
- FURRED WALL OVER CMU, TYP.
- IRRIGATION SYSTEM W/ CONTROLLER
- HOSE BIBB
- GLASS SHOWER ENCLOSURE, TEMPERED
- DECK OVERFLOW, SEE 5/AD-2
- PROVIDE 4" DIA. EXHAUST DUCT FOR FAU AND LOUVERS AT THE BOTTOM OF THE DOOR FOR COMBUSTION AIR.

LEGEND

- NEW CONC WALL, SEE STRUCTURAL MAR-FLEX WATERPROOFING ESR-3062
- NEW 2X6 STUD WALL (UNLESS NOTED OTHERWISE) SEE STRUCTURAL
- EXTERIOR: 2X6 W/ 1/2" EXT. SHEATHING, WP BLDG. PAPER, METAL LATH & 3 COAT PLASTER SYSTEMS: R-22 INSULATION & 5/8" GYP. BD. ON INTERIOR. (SEE ELEVATIONS FOR FINISH MATERIALS).
- INTERIOR: 2X4 STUDS WALL W/ 5/8" GYP. BD. EA. SIDE & BATT INSULATION.
- IN EVERY BEDROOM, PROVIDE ONE OPERABLE ESCAPE WINDOW. SEE GENERAL NOTE -

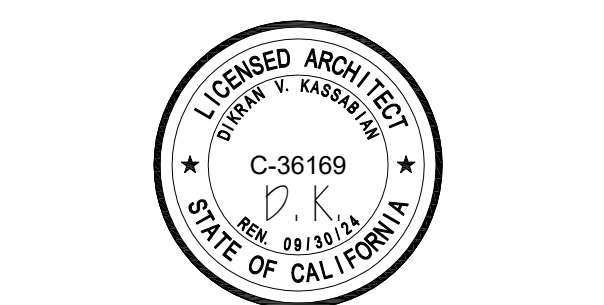
- DATUM
- CHANGE IN FLOOR
- DOWN SPOUT
- SCUPPER
- AREA DRAIN
- FLOOR DRAIN AT DECKS

PROJECT NAME:
1315 MANHATTAN AVENUE
1317 MANHATTAN AVENUE
132 14TH STREET
MANHATTAN BEACH, CA 90266

SCOPE OF WORK:
NEW 3 UNITS CONDO BUILDING WITH 2 CAR GARAGE AND A GUEST PARKING FOR EACH UNIT

TITLE SHEET:

SECOND FLOOR PLAN



Job No: -

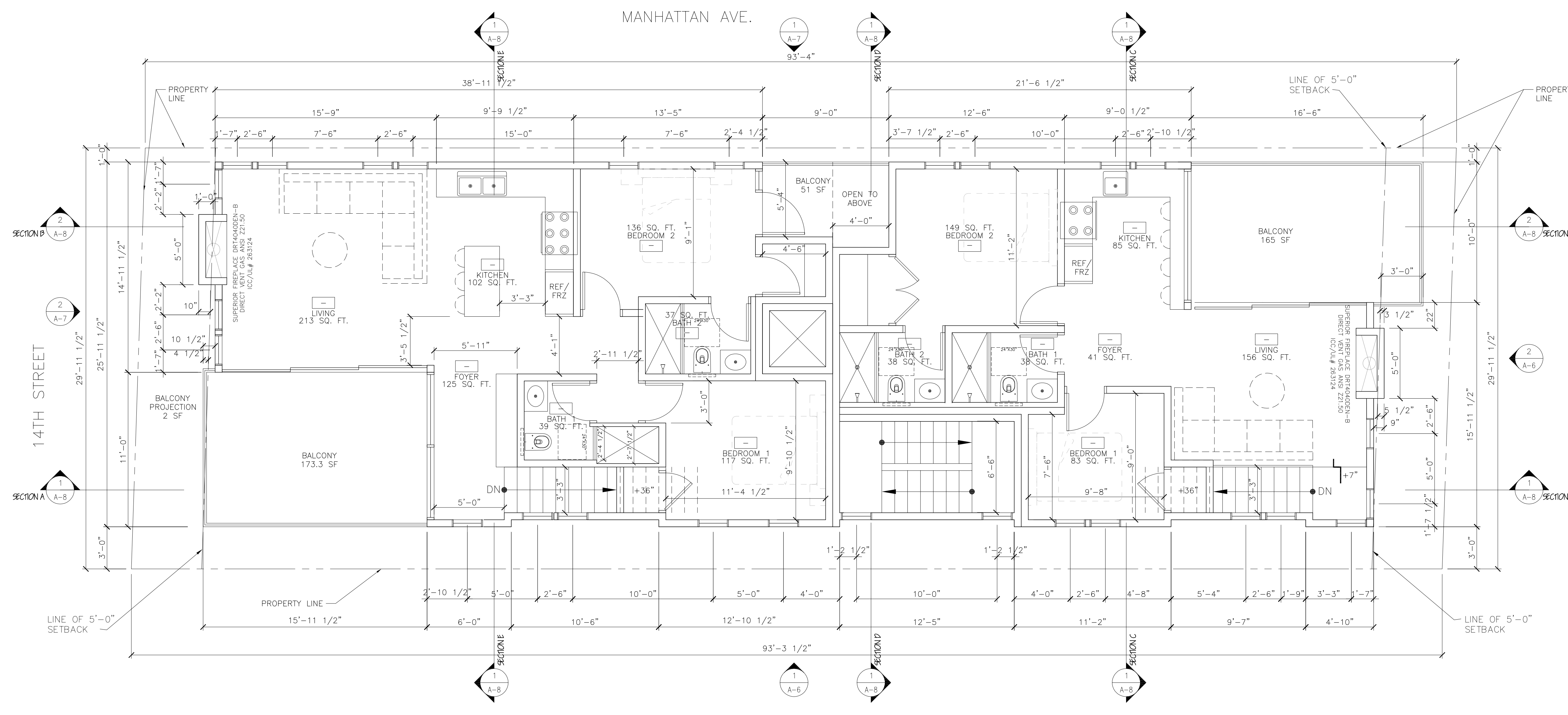
Date: JANUARY 2024

Scale: 1/4" = 1'-0"

PC CORR.	DATE
PLANNING SUBMITTAL	5.22.24
PLANNING CORRECTIONS	7.18.24

Sheet No:

A-3



SECOND FLOOR PLAN

1/4" = 1'-0"

PROPOSED SECOND FLOOR PLAN 1/4"=1'-0" 1

GENERAL NOTES	GENERAL NOTES	GENERAL NOTES	GENERAL NOTES	GENERAL NOTES	GENERAL NOTES	LEGEND	NOTES
<p>FOR ARCHITECTURAL SYMBOLS SUCH AS DOORS, WINDOWS, ETC. SEE T.1.</p> <p>PROVIDE BACKING PLATES AT WALL STUDS PER 1/- FOR TV'S, CABINETS, WALL MOUNTED EQUIP. AND OTHER ITEMS REQUIRING BACKING</p> <p>SEE FINISH SCHEDULE ON A-11</p> <p>SEE EQUIPMENT SCHEDULE ON -</p> <p>AN AUTOMATIC RESIDENTIAL SPRINKLER SYSTEM SHALL BE PROVIDED IN THE NEW DWELLING UNIT(S) PER SECTION R313.2</p> <p>A RESIDENTIAL FIRE SPRINKLER SYSTEM SHALL BE INSTALLED IN NEW ATTACHED GARAGE -PER SECTION R309.6</p> <p>SMOKE ALARMS SHALL BE INSTALLED INSIDE ALL BEDROOMS, ON THE CEILING OR WALL OUTSIDE OF EACH BEDROOM AND IN EVERY STORY PER SECTION R314.3</p> <p>CARBON MONOXIDE ALARMS SHALL BE INSTALLED IMMEDIATELY OUTSIDE OF ALL BEDROOMS AND ON EVERY LEVEL- PER SECTION R315.1.3</p>	<p>SMOKE ALARMS AND CARBON MONOXIDE ALARMS SHALL RECEIVE THEIR PRIMARY POWER FROM THE BUILDING WIRING, SHALL BE EQUIPPED WITH A BATTERY BACKUP AND INTERCONNECTED PER SECTION R314.3, R314.4, AND R315.1</p> <p>DUCTS PENETRATING WALL OR CEILING DWELLING UNITS SHALL BE CONSTRUCTED OF 26 GAGE MIN SHEET METAL AND SHALL HAVE NO OPENING INTO THE GARAGE</p> <p>PER CRC SECTION R312.2 WHERE THE OPENING OF AN OPERABLE WINDOW IS MORE THAN 72" ABOVE THE FINISHED GRADE OR SURFACE AND THE LOWEST PART OF THE OPENING IS WITHIN 24" OF THE FINISHED FLOOR, ONE OF THE FOLLOWING SHALL BE PROVIDED:</p> <p>a. Window opening shall not allow a 4" Ø sphere to pass through.</p> <p>b. Window opening control device per ASTM F2090</p> <p>c. Window fall prevention device per ASTM F2090</p> <p>TOP OF FOOTING SHALL BE 8" ABOVE EXPOSED EARTH (UNLESS WOOD FRAMING MEMBERS ARE OF NATURALLY DURABLE OR PRESERVATIVE TREATED WOOD)</p> <p>ROOF OVERHANG SHALL NOT BE LOCATED LESS THAN 2 FEET FROM PROPERTY LINE PER SECTION R302.1</p>	<p>*Required parking area is to be 9' x 36' and 9' x 19' clear of any obstructions not less than seven (7) feet above the finish floor to any ceiling, beam, pipe, vent, mechanical equipment or similar construction" (MBMC 10.64.100 C).</p> <p>Install on the cold water supply pipe at the top of the water heater a capped "T" fitting to plumb for future solar water heating.</p> <p>Separate permits and plans are required for spas, pools, solar systems, demolition and sewer cap of existing buildings. If such improvements or demolition is required as a condition of approval for discretionary actions or to commence building, then such permits must be obtained before or at the time this proposed Building Permit is issued.</p> <p>Fence/wall/handrail and hedge heights, as measured from the lowest finished grade adjacent to each section of these structures, may be a maximum of: 42" in the front yard setback, and 6' at all other locations on site (3' in driveway visibility triangle and in the traffic vision clearance triangle).</p>	<p>IN EVERY BEDROOM AND BASEMENT, PROVIDE ONE OPERABLE ESCAPE WINDOW MEETING ALL OF THE FOLLOWING:</p> <p>A) AN OPERABLE AREA OF NOT LESS THAN 5.7 SQ.FT.</p> <p>B) A MINIMUM CLEAR HEIGHT OF 24"</p> <p>C) A MINIMUM CLEAR WIDTH OF 20"</p> <p>D) A SILL HEIGHT NOT OVER 44" ABOVE THE FLOOR.</p> <p>PROVIDE LOUVERS FOR GARAGE VENTILATION</p> <p>REQUIRED PARKING AREA IS TO BE 9'x36'x19' CLEAR OF ANY OBSTRUCTIONS NOT LESS THAN SEVEN FEET ABOVE THE FINISH FLOOR TO ANY CEILING, BEAM, PIPE, VENT, MECHANICAL EQUIPMENT OR SIMILAR CONSTRUCTION</p> <p>ALL UTILITIES TO BE UNDERGROUND</p> <p>PROVIDE DUCTED TOP & BOTTOM COMBUSTIBLE AIR SUPPLY</p> <p>HABITABLE ROOMS SHALL BE PROVIDED WITH NATURAL VENTILATION THROUGH OPENINGS TO THE OUTDOORS. SUCH OPENABLE AREA SHALL BE NOT LESS THAN 4 PERCENT OF THE FLOOR AREA BEING VENTILATED. SECTION R303.1</p>	<p>HABITABLE ROOMS SHALL BE PROVIDED WITH NATURAL LIGHT BY MEANS OF EXTERIOR GLAZED OPENINGS. THE MINIMUM NET GLAZED AREA SHALL NOT BE LESS THAN 8 PERCENT OF THE FLOOR AREA OF THE ROOM SERVED. SECTION R303.1</p> <p>BEDROOMS SHALL HAVE AT LEAST ONE EXTERIOR EMERGENCY ESCAPE AND RESCUE OPENING OF 5.7 S.F., MINIMUM NET CLEAR OPENING WIDTH OF 20", AND BOTTOM OF THE CLEAR OPENING NOT GREATER THAN 44" MEASURED FROM THE FLOOR. SECTION R310.1 AND R310.2</p>	<p>HB RECESSED HOSE BIBB</p> <p>◇ WINDOW, SEE WINDOW SCHEDULE</p> <p>○ DOOR, SEE DOOR SCHEDULE</p> <p>⊕ GFI ELEC. OUTLET W/COVER</p> <p>⊙ GAS METER</p> <p>⊙ WATER METER</p> <p>⊙ ELECTRIC METER</p> <p>1 HOUR FIRE RATED WALL (GARAGE SEPARATION)</p> <p>NOTE: SEE STRUCTURAL DRAWING'S FOR ADDITIONAL INFO.</p>	<p>THE FOLLOWING NOTES APPLY TO THIS SHEET ONLY.</p> <p>1 PROVIDE 30" MIN CLEAR WIDTH AT WATER CLOSET SPACE & 24" MIN CLEAR SPACE IN FRONT OF WATER CLOSET PER CPC SECTION 407.5</p> <p>2 GARAGE BENEATH HABITABLE ROOMS SHALL BE SEPARATED FROM ALL HABITABLE ROOMS BY NOT LESS THAN A ½" TYPE X GYPSUM BOARD PER TABLE R302.6</p> <p>3 GARAGE FLOOR SHALL BE SLOPED TO FACILITATE MOVEMENT OF LIQUIDS TOWARD A DRAIN OR VEHICLE ENTRY DOORWAY PER SECT. R309.1</p> <p>4 NEW FIREPLACE IS NON WOOD BURNING, DIRECT VENT SEALED COMBUSTION TYPE, NOVUS NVB 4320, DIRECT VENTED BY HEATILATOR UL#307B</p> <p>5 42" HIGH GUARDRAIL SEE 5/AD-4</p> <p>6 STAIR HANDRAIL SHALL BE 34"-38" HIGH ABOVE THE TREAD NOSING. CIRCULAR HANDRAIL SHALL HAVE AN OUTSIDE DIAMETER OF AT LEAST 1.25" AND NO GREATER THAN 2". IF THE HANDRAIL IS NOT CIRCULAR, IT SHALL HAVE A PERIMETER DIM OF AT LEAST 4" AND NOT GREATER THAN 6.25" WITH A MAX CROSS SECTION OF 2.25" EDGES SHALL HAVE A MIN RADIUS OF 0.01" PER SECTION R311.7.7.3</p> <p>7 STONE OR THIN SET TILE OVER MORTAR BED AND FLUID APPLIED WATERPROOF MEMBRANE. DEX-O-TEX WATERPROOFING AT ALL BALCONY/DECKS ESR#-1757 COMPLY WITH MANUFACTURER REQUIREMENTS AND LATEST EDITION OF CBC</p> <p>8A CASEWORK, BASE CABINET W/ SINK ON STONE COUNTERTOP</p> <p>8B CASEWORK, STORAGE CABINET</p> <p>8C CASEWORK</p> <p>9 2X6 WALL</p> <p>10 HANDRAIL, WALL MOUNTED</p> <p>11 COLUMN / POST SEE STRUCTURAL</p> <p>12 ACCESS PANEL FOR PLUMBING</p> <p>13 DROP CEILING</p> <p>14 LADDER, SEE SECTION E-E/A8</p> <p>15 FLOOR DRAIN, CONTINUOUS WITH C.I. GRATE</p> <p>16 FURRED WALL OVER CMU, TYP.</p> <p>17 IRRIGATION SYSTEM W/ CONTROLLER</p> <p>18 HOSE BIBB</p> <p>19 GLASS SHOWER ENCLOSURE, TEMPERED</p> <p>20 DECK OVERFLOW, SEE 5/AD-2</p> <p>21 PROVIDE 4" DIA. EXHAUST DUCT FOR FAU AND LOUVERS AT THE BOTTOM OF THE DOOR FOR COMBUSTION AIR.</p>	



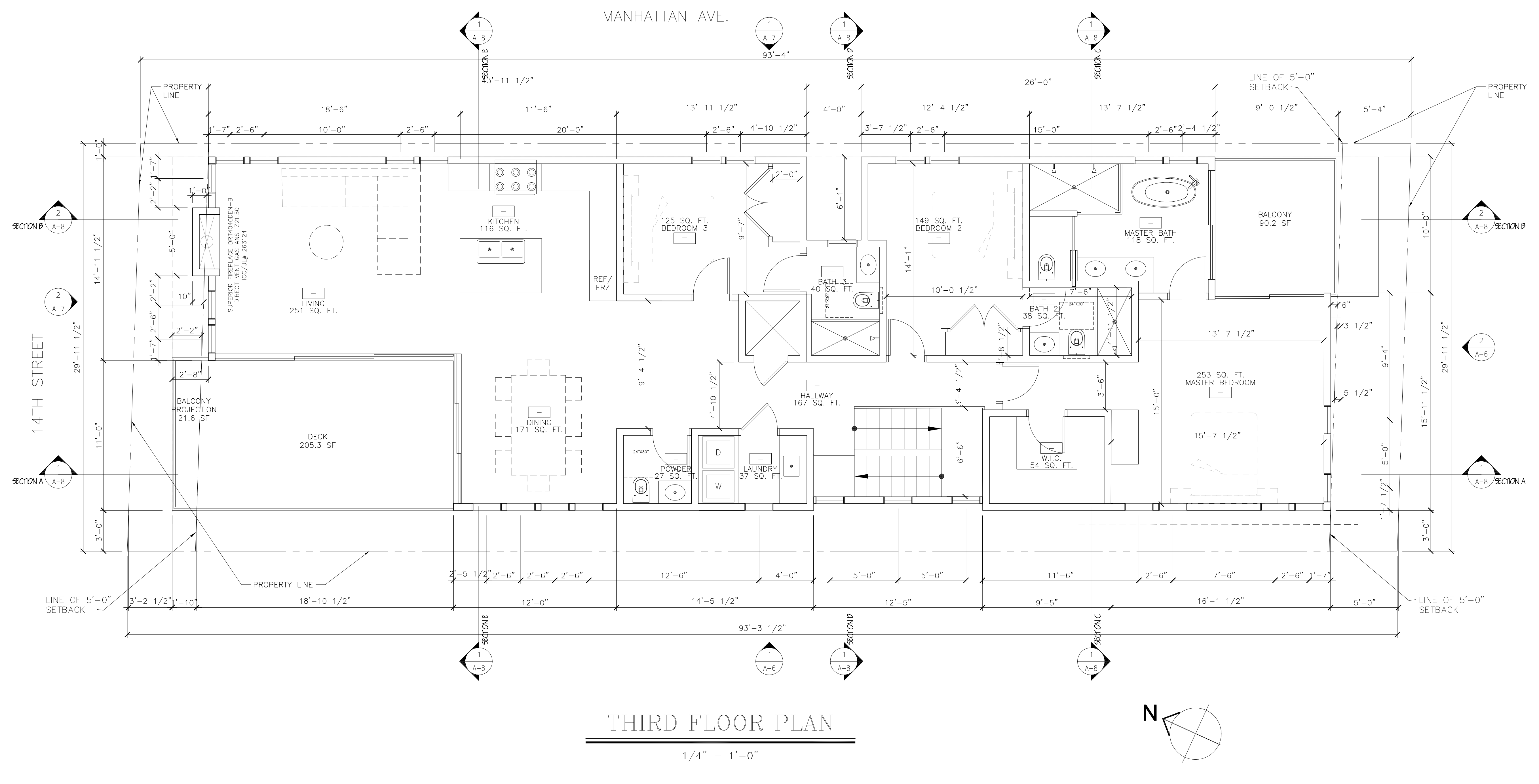
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LEGEND

NEW CONC WALL, SEE STRUCTURAL MAR-FLEX WATERPROOFING ESR-3062

NEW 2X6 STUD WALL (UNLESS NOTED OTHERWISE) SEE STRUCTURAL

EXTERIOR: 2X6 W/ ½" EXT. SHEATHING, WP BLDG. PAPER, METAL LATH & 3 COAT PLASTER SYSTEMS: R-22 INSULATION & ½" GYP. BD. ON INTERIOR. (SEE ELEVATIONS FOR FINISH MATERIALS).

INTERIOR: 2X4 STUDS WALL W/ ½" GYP. BD. EA. SIDE & BATT INSULATION.

* IN EVERY BEDROOM, PROVIDE ONE OPERABLE ESCAPE WINDOW. SEE GENERAL NOTE -

⊙ DATUM

15' MAX CHANGE IN FLOOR

DS DOWN SPOUT

SCUPPER

⊙ AREA DRAIN

⊙ FLOOR DRAIN AT DECKS

PROJECT NAME:
**1315 MANHATTAN AVENUE
1317 MANHATTAN AVENUE
132 14TH STREET
MANHATTAN BEACH, CA 90266**

SCOPE OF WORK:
**NEW 3 UNITS CONDO BUILDING
WITH 2 CAR GARAGE AND A GUEST
PARKING FOR EACH UNIT**

TITLE SHEET:
THIRD FLOOR PLAN

LEGEND

Job No: -

Date: JANUARY 2024

Scale: 1/4" = 1'-0"

PC CORR.	DATE
PLANNING SUBMITTAL	5.22.24
PLANNING CORRECTIONS	7.18.24

Sheet No: **A4**

SA-C-3-S

Self-adhered modified base sheet, self-adhered modified interply sheet and self-adhered modified cap sheet

SUBSTRATE:
 • Concrete (See 3.3-3.8)
 • Steel Deck (See 3.3-3.11)
 • Plywood (See 3.3-3.12)

MAXIMUM SLOPE:
 Up to 6" / 12" (See 3.3-3.13)

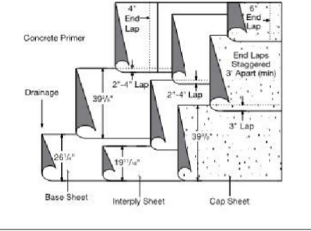
ROOF ASSEMBLY:
 • Self-adhered modified base sheet, self-adhered
 • Self-adhered interply sheet, self-adhered
 • Self-adhered cap sheet, self-adhered
 • Self-adhered cap sheet, self-adhered
 (See 3.3-3.9)

APPROVED BASE SHEETS:
 • See list of approved base sheets
 • Fiberglass SA Polysol
 • Fiberglass SA Moly

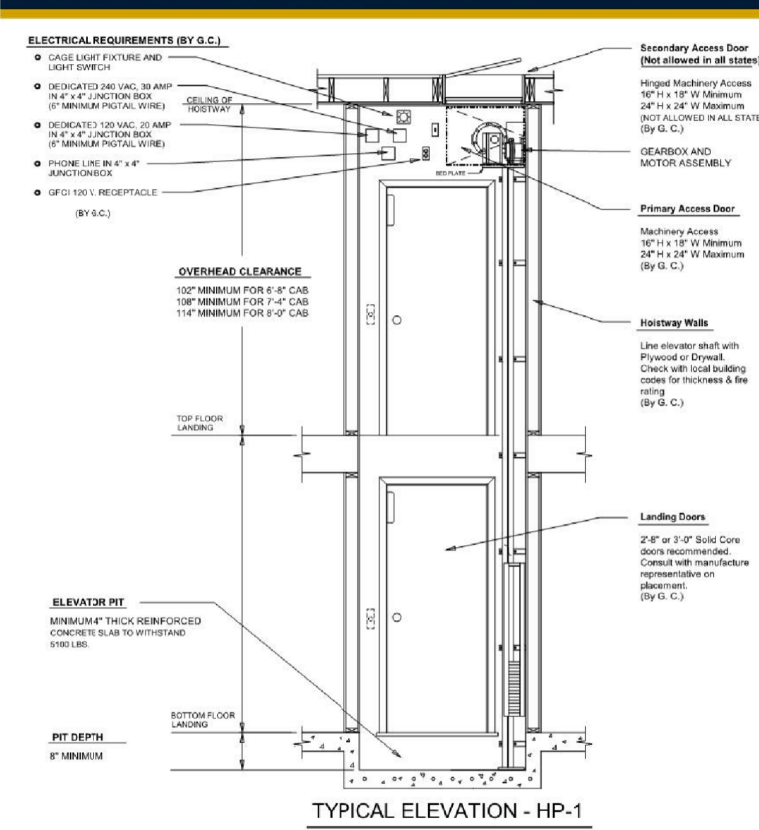
APPROVED INTERPLY SHEETS:
 • See list of approved interply sheets
 • Fiberglass SA Polysol
 • Fiberglass SA Moly

APPROVED CAP SHEETS:
 • See list of approved cap sheets
 • Fiberglass SA Cap
 • Fiberglass SA Cap-T

CertainTeed

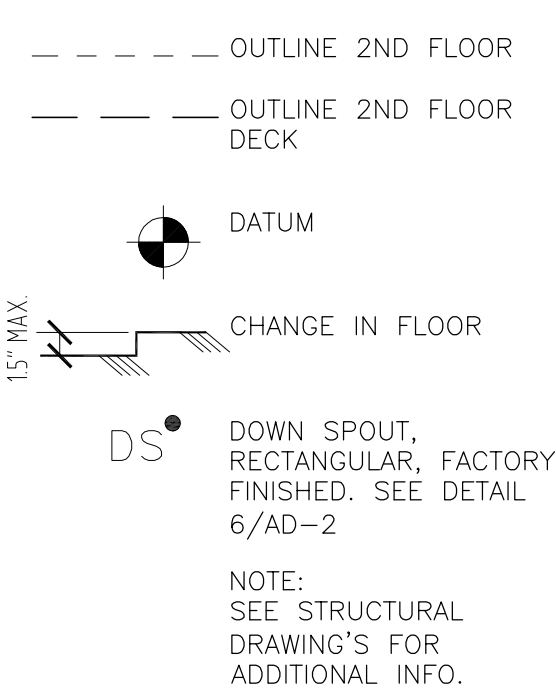


HOR 01 - HP1 TRACTION HOISTWAY ELEVATION (TYP.) (LUXURY LIFT TRACTION (L.L.T.))



RESIDENTIAL ELEVATORS

LEGEND



GENERAL NOTES

- SEE -/A- FOR PIPE PENETRATION FLASHING
- ROOF ASSEMBLY SHALL BE LISTED BY AN APPROVED TESTING AGENCY
- ROOF COVERING ASSEMBLIES SHALL BE AN ICC-ES OR UL LISTED CLASS A FIRE-RESISTIVE ROOF ASSEMBLY COMPLYING WITH ASTM E108 OR UL 790.
- OVERFLOW DRAINS OF SAME SIZE ARE REQUIRED 2" ABOVE EACH LOW POINT AND CONNECTED TO INDEPENDENT DRAIN LINES.
- PROVIDE SPECIFIC APPROVAL FOR 90 MPH WIND UPLIFT REQUIREMENTS FOR ROOF SYSTEMS. ON SHOP DRAWINGS, PROVIDE DETAILS TO SHOW THE MIN. THICKNESS OF DECK AND CONNECTOR REQUIREMENTS.
- ROOF VALLEY FLASHINGS SHALL NOT BE LESS THAN 0.019 INCH (NO. 26 GALVANIZED SHEET GAGE) CORROSION RESISTANT METAL INSTALLED OVER A MINIMUM 36" WIDE UNDERLAYMENT CONSISTING OF ONE LAYER OF NO. 72 ASTM CAP SHEET RUNNING THE FULL LENGTH ON THE VALLEY. (FIRE CODE 4710.1.3)
- COMBUSTIBLE ROOF OVERHANG OF A SPRINKLERED BUILDING LOCATED 2-3 FEET AWAY FROM PROP. LINE SHALL BE 1 HOUR FIRE ON THE UNDER-SIDE PER TABLE R302.1 3/ AD-2
- ROOF OVERHANG LOCATED WITHIN 3 FEET OF PROPERTY LINE SHALL BE 1 HOUR FIRE RATED AT UNDERSIDE. SEE DETAIL 37/ AD-2
- ROOFING TO COMPLY WITH LATEST VERSION OF CRC AND CBC APPLICABLE STANDARDS FOR SMACNA AND NRCA. COMPLY WITH MANUFACTURER REQUIREMENTS.
- SEE SPECIFICATION FOR ADDITIONAL INFO.

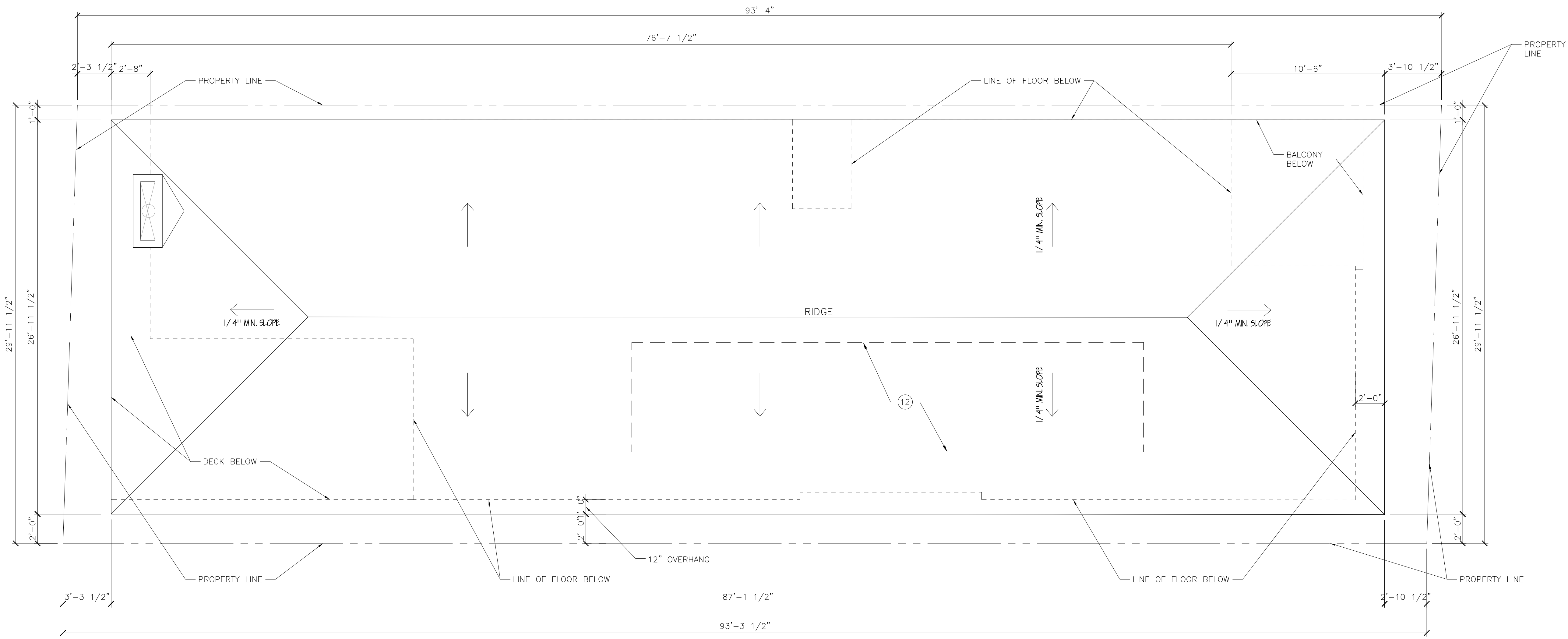
NOTES

- THE FOLLOWING NOTES APPLY THIS SHEET ONLY.
- ROOF OVERHANG SHALL NOT BE LOCATED LESS THAN 2" FROM PROPERTY LINE PER SECTION R302.1.
 - PROVIDE FLASHING TO ALL ROOF PENETRATIONS PER SMACNA AND ALL ROOF CURBS.
 - 3 PLY MODIFIED BITUMEN CLASS A PER MANUFACTURER REQUIREMENTS AND GENERAL NOTES ABOVE
 - Built-up roofing - 2 layers 15# felt with 90# cap sheet. Minimum slope 1/4":12. Nail base sheet per CBC. Hot mop in between layers, 3/4" per foot slope. Roofing Class A, per manufacturer requirement and notes 5,6,7. MUST BE CERTIFIED COOL ROOF: ROOF REFLECTANCE: 0.85 ROOF EMITTANCE: 0.75. SEE T24A
 - Roof Pitch = Minimum 1/4":12
 - Skylights to be "Bristol Fiberlite" ER-2469 or approved equal by the Architect and Building Department. Provide flat onodized skylights. SKYLIGHT ICC #ESR-3177
 - Fireplace to be provided with approved spark arrestor.
 - FORMED GUTTERS, 4" W INTEGRATE WITH ALUM. FASCIA. FULL DEPTH OF FASCIA, FORMED ALUM. FACTORY FINISHED
 - FORMED ALUM. FLASHING, PAINTED
 - FORMED ALUM. FASCIA
 - ROOF OVERHANG LOCATED WITHIN 3' OF PROPERTY LINE SHALL BE 1-HOUR FIRE RATED AT UNDERSIDE. SEE 3/AD-2
 - AREA FOR FUTURE SOLAR PANELS (SHOWN DASHED)

NOTE: NEW HOUSE SHALL HAVE A SPARE RACEWAY FOR SOLAR PANELS - PER SOLAR CODE.

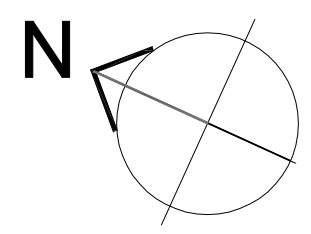
NOTE: PARAPETS, SATELLITE ANTENNAE, RAILS, SKYLIGHTS, ROOF EQUIPMENT MUST BE WITHIN THE HEIGHT LIMIT.

MANHATTAN AVE.



ROOF PLAN

1/4" = 1'-0"



PROPOSED ROOF PLAN 1/4"=1'-0" 1



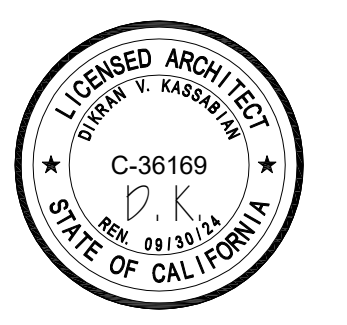
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PROJECT NAME:
 1315 MANHATTAN AVENUE
 1317 MANHATTAN AVENUE
 132 14TH STREET
 MANHATTAN BEACH, CA 90266

SCOPE OF WORK:
 NEW 3 UNITS CONDO BUILDING
 WITH 2 CAR GARAGE AND A GUEST
 PARKING FOR EACH UNIT

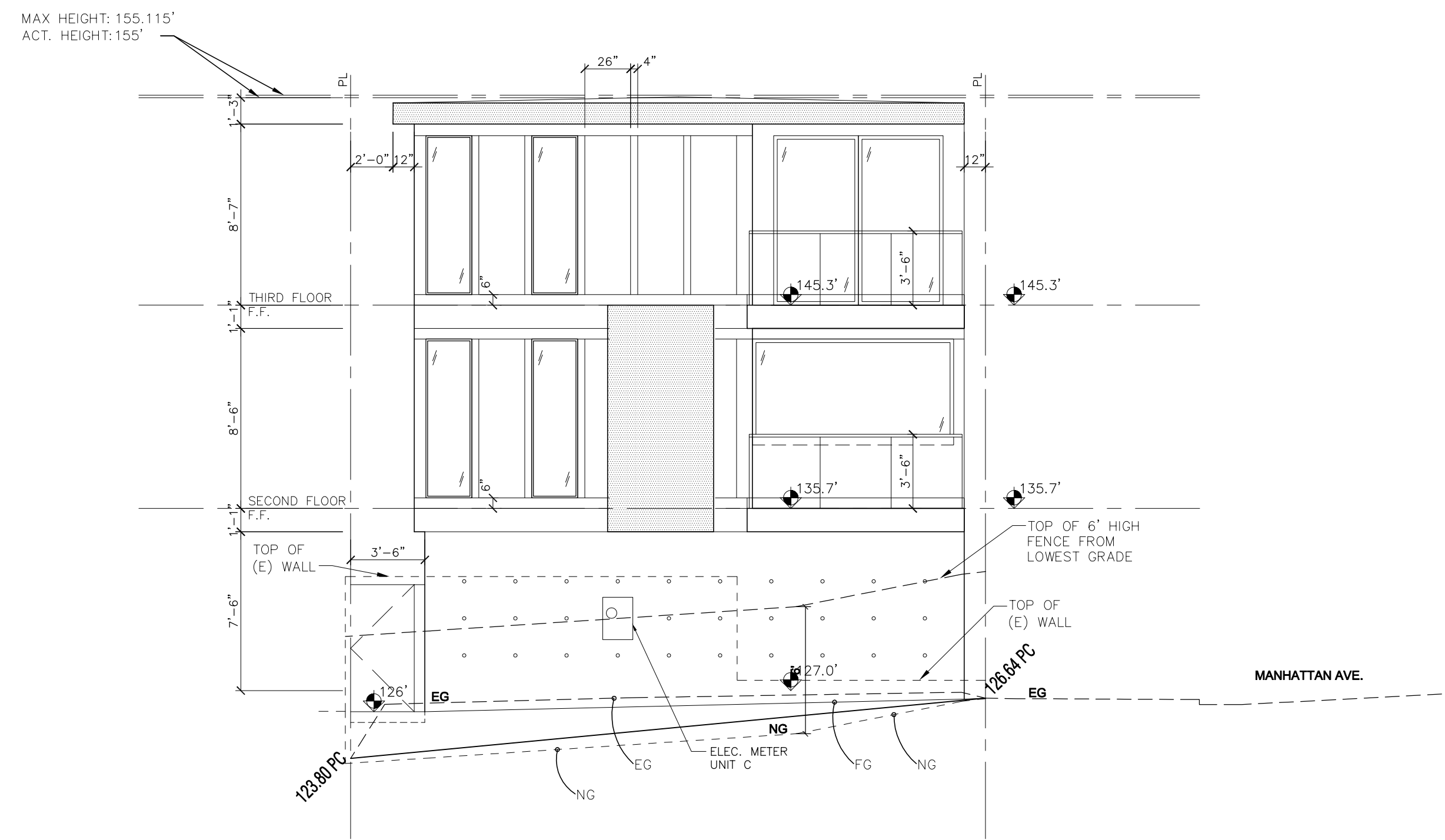
TITLE SHEET:
 ROOF PLAN



Job No:
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 Date:
 JANUARY 2024
 Scale:
 1/4" = 1'-0"

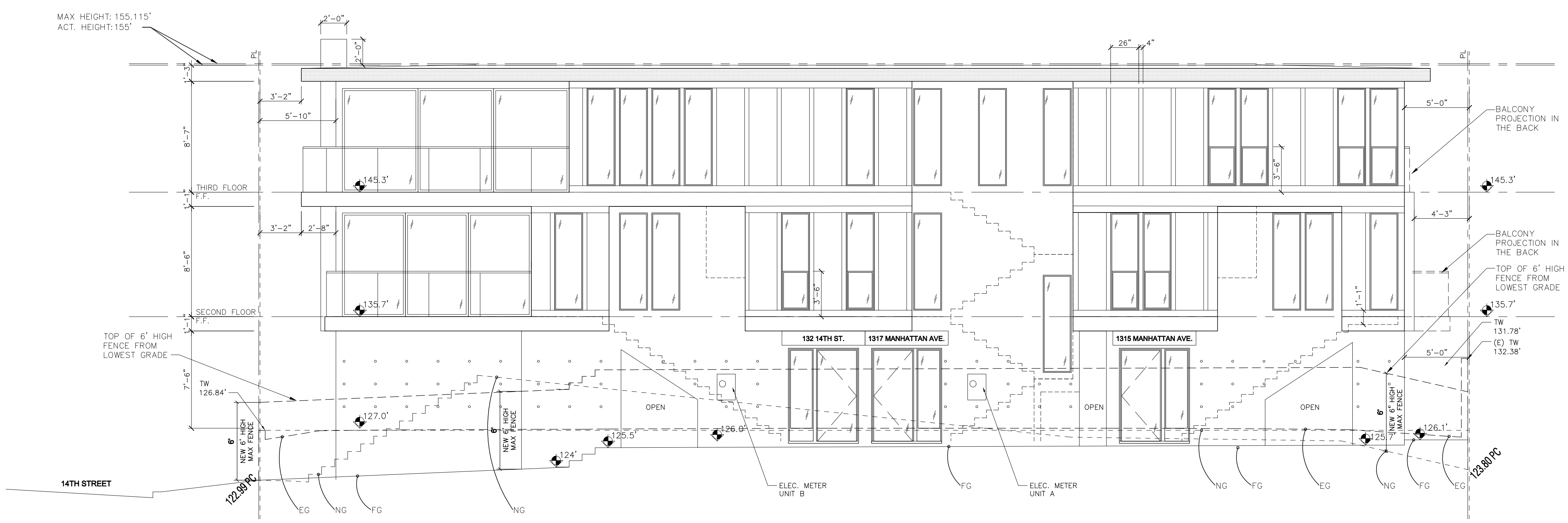
PC CORR.	DATE
PLANNING SUBMITTAL	5.22.24
PLANNING CORRECTIONS	7.18.24

Sheet No:
 A5



SOUTH EAST ELEVATION
3/16" = 1'-0"

SOUTH EAST ELEVATION 3/16"=1'-0" **2**



SOUTH WEST ELEVATION
3/16" = 1'-0"

SOUTH WEST ELEVATION 3/16"=1'-0" **1**

LEGEND	
SEE FINISH SCHEDULE FOR FINISH TYPE.	
----- NEIGHBOR'S GRADE	
----- EXISTING GRADE	
----- FINISHED GRADE	
----- FINISHED FLOOR	
----- NEW FENCE 6" HIGH MAX	
REFER TO DETAIL SHEETS FOR TYPICAL DETAILS. SEE FLOOR PLANS, WINDOW, AND DOOR SCHEDULES FOR ADDITIONAL INFORMATION.	
	1. PORTLAND CEMENT PLASTER, SMOOTH FINISH
	2. BATTEN BOARD (VERTICAL) LIGHT GRAY (WHITE) - UNDERLAYMENT ICC#: ES ESR-2906
	3. HORIZONTAL SIDING (FIBER CEMENT) LIGHT GRAY (WHITE) - UNDERLAYMENT ICC#: ES ESR-2906
	4. ACCENT COLOR, DARK GRAY
	5. LAMINATE GLASS MATERIAL, SEE DOOR & WINDOW SCHEDULES

GENERAL NOTES

Prefabricated sheet metal chimney cap, flue cap and spark arrester by fireplace manufacturer. Exposed surfaces to be factory primed to receive field paint. See note #10 on A3. Flue cap shall be located a minimum of 2'-0" above the highest roof surface within 10 ft. see elevation. Spark arrester w/opening of 1/2" in diam. Max.

G.I. METAL FLASHING at sidewalls. Full perimeter (g.i. saddle at high side of chimney). See roof plan.

G.I. weep SCREEDS TYPICAL at floor line, a minimum of 4" above earth or 2" above paved area, at full perimeter of building, corrosion resistant.

Screened garage vents 6"x14", typical, attic ventilation grilles with screen backing. See floor plan.

Attic ventilation grilles with screen backing. See floor plan.

Sheet metal gutter and downspout painted to match the surface.

Exterior siding, exterior plaster, water proofing membranes, water proofing barriers, flashing around doors and windows to comply with latest version of CRC and CBC and applicable standards by the TSIB (Technical Services Information Bureau) ASTM E2112 and SMACNA.

PARAPETS, SATELLITE ANTENNAE, RAILS, SKYLIGHTS, ROOF EQUIPMENT MUST BE WITHIN THE HEIGHT LIMIT.

NOTES

THE FOLLOWING NOTES APPLY TO THIS SHEET ONLY.
REFER TO LEGEND BELOW FOR EXTERIOR FINISHES.

- 1 7/8" EXTERIOR PLASTER SYSTEM, 3 COAT OVER LATHE & W.P. BUILDING PAPER, TYVEK OR EQUAL OVER EXT. SHEATHING.
- 2A WOOD SIDING, LIGHT GREY OR WHITE
- 2B WOOD SIDING, MEDIUM GREY
- 3 CHIMNEY WITH CAP
- 4 42" HIGH GUARDRAIL. SEE 8/AD-2
- 5 HANDRAIL, 9/AD-1
- 6 WINDOW, SEE WINDOW SCHEDULE
- 7 GI WEEP SCREED TYP.
- 8 ALUMINUM FASCIA, 18 GA, FACTORY FINISHED, DARK GRAY COLOR, WITH CONCEALED GUTTER. SEE 1/A5.1.2
- 9 STACK STONE, THINSET OVER 2 COAT PLASTER PER NOTE 1 ABOVE.
- 10 CLADDING OVER 2 COAT PLASTER SYSTEM PER NOTE 1 ABOVE OR PROVIDE BATTEN OVER WATERPROOFING & EXT. SHEATHING.
- 11 CONCRETE STAIR ON GRADE. SHALL NOT EXCEED 6" ABOVE GRADE.
- 12 DOOR, SEE DOOR SCHEDULE
- 13 DOWNSPOUT. SEE 6/AD-2
- 14 CONTROL JOINT
- 15 ELECTRICAL DEVICE, SEE CEILING PLANS
- 16 OPEN TO BEYOND
- 17 COLUMN, SEE PLANS
- 18 FENCE, 6' MAX. HEIGHT
- 19 REVEAL
- 20 OVERFLOW OPENING



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Contractor License # B661001

PROJECT NAME:

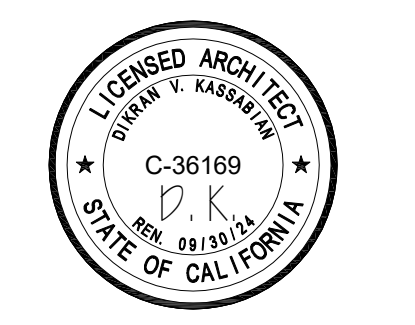
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132 14TH STREET
MANHATTAN BEACH, CA 90266

SCOPE OF WORK:

NEW 3 UNITS CONDO BUILDING
WITH 2 CAR GARAGE AND A GUEST
PARKING FOR EACH UNIT

TITLE SHEET:

EXTERIOR ELEVATIONS



Job No: -

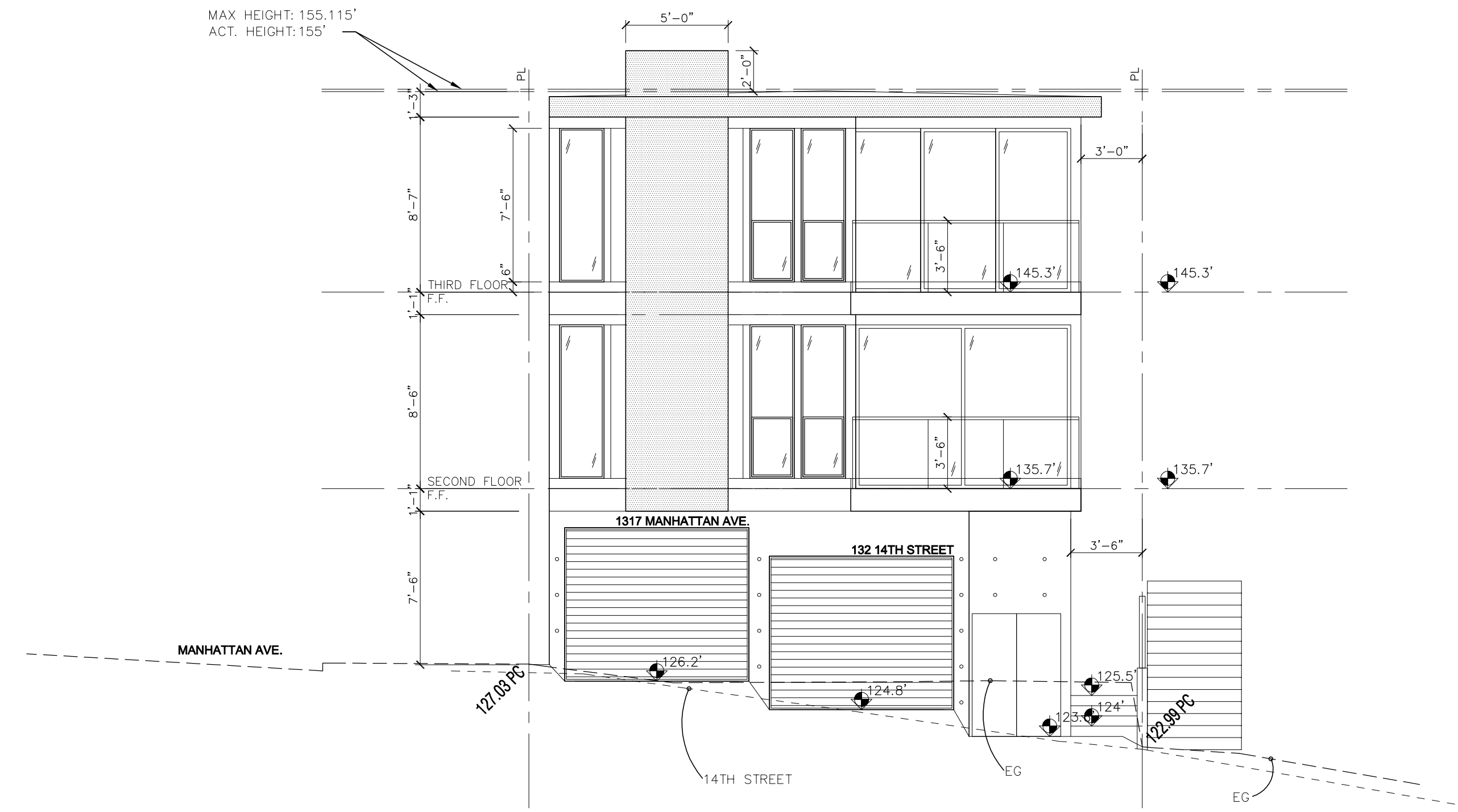
Date: JANUARY 2024

Scale: 3/16" = 1'-0"

PC CORR.	DATE
PLANNING SUBMITTAL	5.22.24
PLANNING CORRECTIONS	7.18.24

Sheet No:

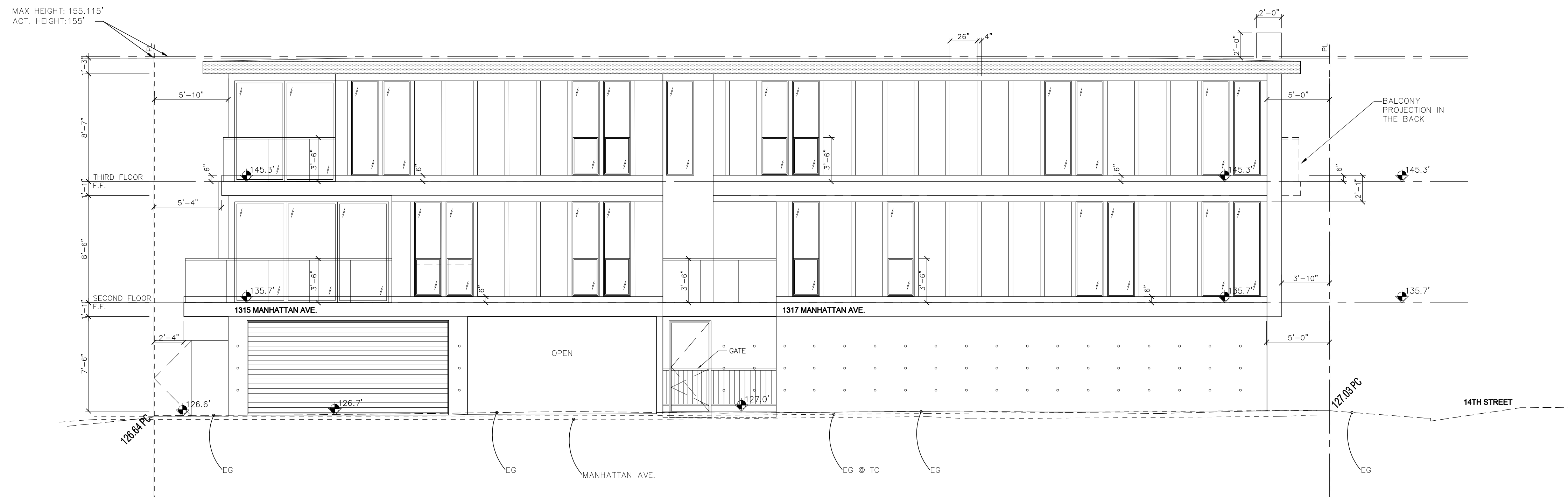
A6



NORTH WEST ELEVATION

3/16" = 1'-0"

NORTH WEST ELEVATION 3/16"=1'-0" 2



NORTH EAST ELEVATION

3/16" = 1'-0"

NORTH EAST ELEVATION 3/16"=1'-0" 1

LEGEND

- SEE FINISH SCHEDULE FOR FINISH TYPE.
- NEIGHBOR'S GRADE
 - EXISTING GRADE
 - FINISHED GRADE
 - FINISHED FLOOR
 - NEW FENCE 6" HIGH MAX
- REFER TO DETAIL SHEETS FOR TYPICAL DETAILS. SEE FLOOR PLANS, WINDOW, AND DOOR SCHEDULES FOR ADDITIONAL INFORMATION.
- 1. PORTLAND CEMENT PLASTER. SMOOTH FINISH
 - 2. BATTEN BOARD (VERTICAL) LIGHT GRAY (WHITE) - UNDERLAYMENT ICC#: ES ESR-2906
 - 3. HORIZONTAL SIDING (FIBER CEMENT) LIGHT GRAY (WHITE) - UNDERLAYMENT ICC#: ES ESR-2906
 - 4. ACCENT COLOR, DARK GRAY
 - 5. LAMINATE GLASS MATERIAL, SEE DOOR & WINDOW SCHEDULES

GENERAL NOTES

Prefabricated sheet metal chimney cap, flue cap and spark arrester by fireplace manufacturer. Exposed surfaces to be factory primed to receive field paint. See note #10 on A3. Flue cap shall be located a minimum of 2'-0" above the highest roof surface within 10 ft. see elevation. Spark arrester w/opening of 1/2" in diam. Max.

G.I. METAL FLASHING at sidewalls. Full perimeter (g.i. saddle at high side of chimney). See roof plan.

G.I. weep SCREEDS TYPICAL at floor line, a minimum of 4" above earth or 2" above paved area, at full perimeter of building. corrosion resistant.

Screened garage vents 6"x14", typical. attic ventilation grilles with screen backing. See floor plan.

Attic ventilation grilles with screen backing. See floor plan.

Sheet metal gutter and downspout painted to match the surface

Exterior siding, exterior plaster, water proofing membranes, water proofing barriers, flashing around doors and windows to comply with latest version of CRC and CBC and applicable standards by the TSIB (Technical Services Information Bureau) ASTM E2112 and SMACNA.

PARAPETS, SATELLITE ANTENNAE, RAILS, SKYLIGHTS, ROOF EQUIPMENT MUST BE WITHIN THE HEIGHT LIMIT.

NOTES

- THE FOLLOWING NOTES APPLY TO THIS SHEET ONLY.
- REFER TO LEGEND BELOW FOR EXTERIOR FINISHES.
- 1 7/8" EXTERIOR PLASTER SYSTEM, 3 COAT OVER LATHE & W.P. BUILDING PAPER, TYVEK OR EQUAL OVER EXT. SHEATHING.
 - 2A WOOD SIDING, LIGHT GREY OR WHITE
 - 2B WOOD SIDING, MEDIUM GREY
 - 3 CHIMNEY WITH CAP
 - 4 42" HIGH GUARDRAIL. SEE 8/AD-2
 - 5 HANDRAIL, 9/AD-1
 - 6 WINDOW, SEE WINDOW SCHEDULE
 - 7 GI WEEP SCREED TYP.
 - 8 ALUMINUM FASCIA, 18 GA, FACTORY FINISHED, DARK GRAY COLOR, WITH CONCEALED GUTTER. SEE 1/A5.1.2
 - 9 STACK STONE, THINSET OVER 2 COAT PLASTER PER NOTE 1 ABOVE.
 - 10 CLADDING OVER 2 COAT PLASTER SYSTEM PER NOTE 1 ABOVE OR PROVIDE BATTEN OVER WATERPROOFING & EXT. SHEATHING.
 - 11 CONCRETE STAIR ON GRADE. SHALL NOT EXCEED 6" ABOVE GRADE.
 - 12 DOOR, SEE DOOR SCHEDULE
 - 13 DOWNSPOUT. SEE 6/AD-2
 - 14 CONTROL JOINT
 - 15 ELECTRICAL DEVICE, SEE CEILING PLANS
 - 16 OPEN TO BEYOND
 - 17 COLUMN, SEE PLANS
 - 18 FENCE, 6' MAX. HEIGHT
 - 19 REVEAL
 - 20 OVERFLOW OPENING



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Architect License # C36169
Contractor License # B661001

PROJECT NAME:

1315 MANHATTAN AVENUE
1317 MANHATTAN AVENUE
132 14TH STREET
MANHATTAN BEACH, CA 90266

SCOPE OF WORK:

NEW 3 UNITS CONDO BUILDING
WITH 2 CAR GARAGE AND A GUEST
PARKING FOR EACH UNIT

TITLE SHEET:

EXTERIOR ELEVATIONS



Job No:

Date:
JANUARY 2024

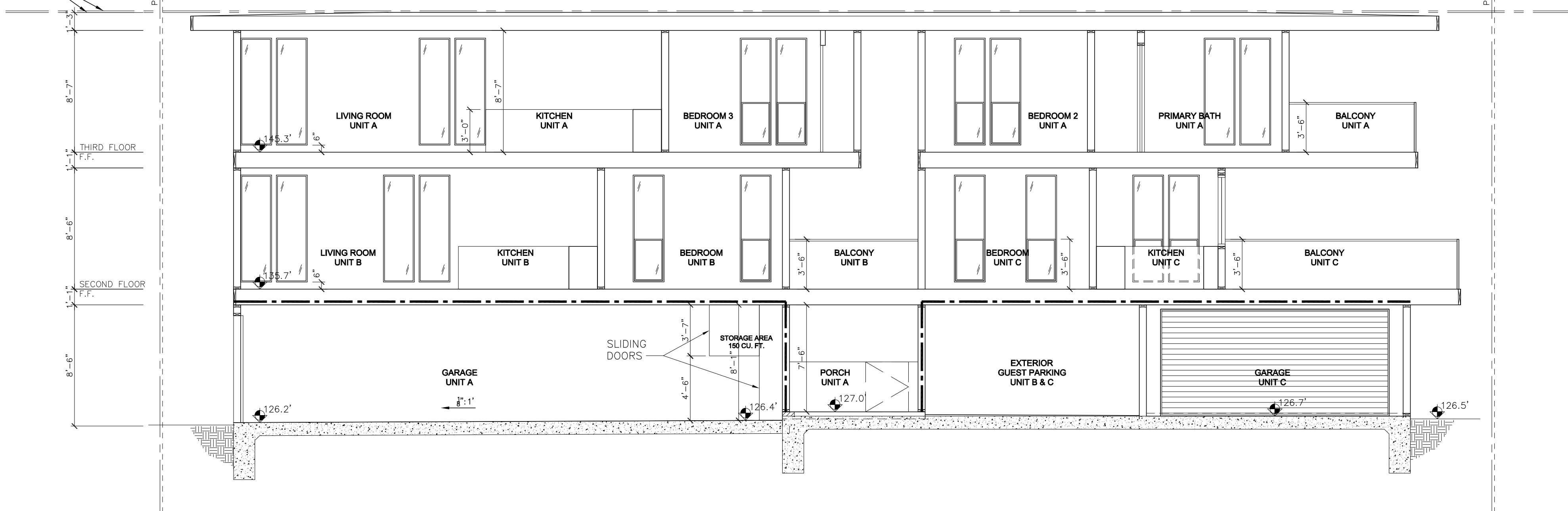
Scale:
3/16" = 1'-0"

PC CORR.	DATE
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Sheet No:

A7

MAX HEIGHT: 155.115'
ACT. HEIGHT: 155'

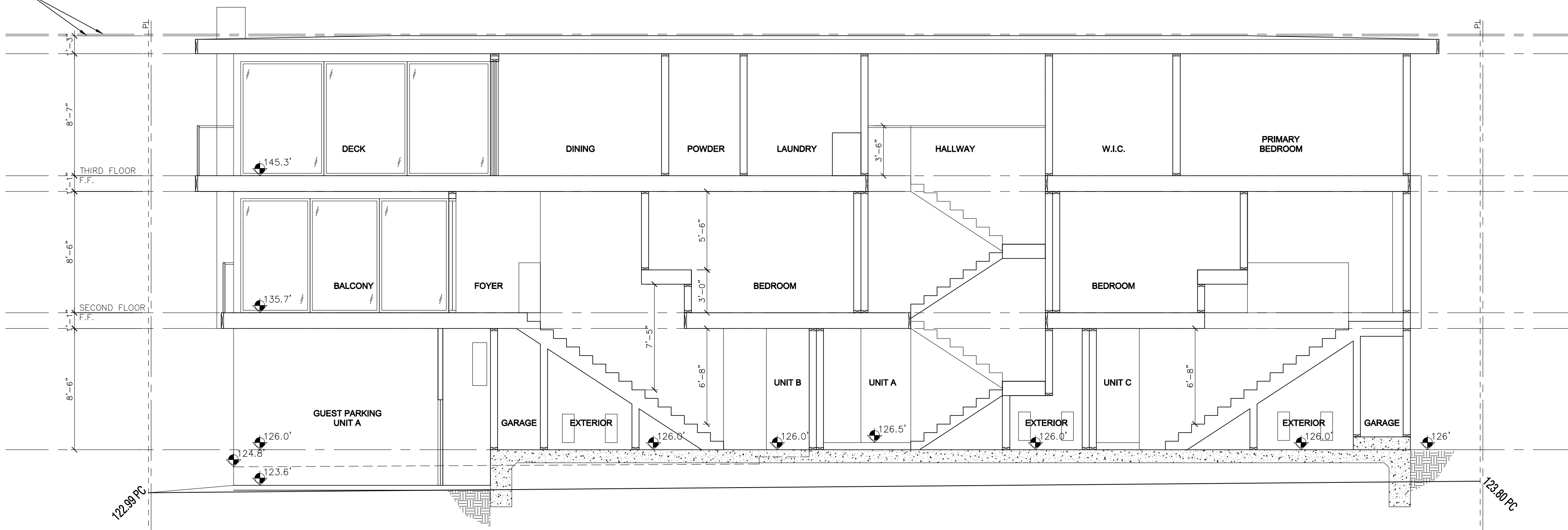


SECTION B-B

3/16" = 1'-0"

SECTION B-B 3/16"=1'-0" 2

MAX HEIGHT: 155.115'
ACT. HEIGHT: 155'



SECTION A-A

3/16" = 1'-0"

SECTION A-A 3/16"=1'-0" 1

LEGEND

- NEW CONC OR CMU WALL. SEE STRUCTURAL
- NEW 2X6 STUD WALL W/ R-22 INSULATION. ALL LEVELS (UNLESS NOTED OTHERWISE). SEE STRUCTURAL
- NEW 2X4 @ GARAGE

EXTERIOR: 2X6 W/ 3/4" EXT. SHEATHING, WP. BLDG. PAPER, METAL LATHE & 3 COAT PLASTER SYSTEMS: R-22 INSULATION & 3/8" GYP. BD. ON INTERIOR.

INTERIOR: 2X4 STUDS WALL W/ 3/8" GYP. BD. EA. SIDE & BATT INSULATION.

- NEIGHBOR'S GRADE
- EXISTING GRADE
- ===== FINISHED GRADE
- ===== FINISHED FLOOR
- NEW FENCE 6' HIGH MAX

REFER TO DETAIL SHEETS AD-1 & AD-2 FOR TYPICAL DETAILS. SEE FLOOR PLANS, WINDOW, AND DOOR SCHEDULES FOR ADDITIONAL INFORMATION.

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NOTES

THE FOLLOWING NOTES APPLY TO THIS SHEET ONLY.

- 1 Typical throughout house: concrete slab on grade. With continuous vapor barrier. See foundation plan for reinforcing base and waterproofing membrane.
- 2 SUBSURFACE WATERPROOFING SYSTEM ON WALL, CONTINUOUS WP. MEMBRANE WITH DRAINAGE PANELS AND PROTECTION BOARD.
- 3 Exterior wall insulation: R=13, 3 1/2" thick fiberglass batt insulation at space between studs, typical at exterior walls, full perimeter of house (including wall between house and garage). R=15, 4" thick batt insulation between studs at 2x4 exterior walls.
- 4 R=19, 6" thick fiberglass batt insulation at space between floor joist where second floor extends over garage, and elsewhere as noted on drawings.
- 5 Above ceiling insulation: R=30, 10" thick fiberglass batt insulation between ceiling joists attic space, and elsewhere as noted on drawings. Typical full extent of second floor ceiling.
- 6 Balcony decks: ceramic tile (mortar bed set) over waterproof membrane mer-ko weather deck ICBO #3389 on plywood under-layment. Per manufacturer requirements. Set under-layment over structural plywood sub-floor. See details for slopes and flashing.
- 7 Min. 3'-6" high guard railing. See elevation or detail.
- 8 New continuous footing. See structural plans for details.
- 9 Roof per A-4
- 10 CONC. TOPPING SLAB OVER WP. MEMBRANE & DRAINAGE BOARD, OVER CONC. DECK
- 11 PROVIDE FALSE CEILING AS NEEDED TO ROUTE AND CONCEAL MECHANICAL DUCTING, PLUMBING PIPES, ELECTRICAL CONDUIT, AND FIRE SPRINKLER PIPING.
- 12 FORMED GUTTERS, 4" W INTEGRATE WITH ALUM. FASCIA. FORMED ALUM. FACTORY FINISHED



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PROJECT NAME:

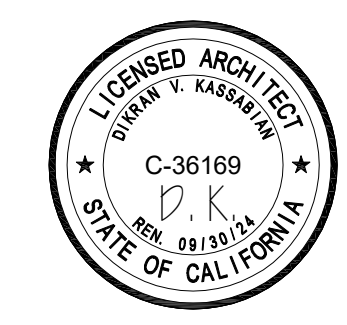
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132 14TH STREET
MANHATTAN BEACH, CA 90266

SCOPE OF WORK:

NEW 3 UNITS CONDO BUILDING
WITH 2 CAR GARAGE AND A GUEST
PARKING FOR EACH UNIT

TITLE SHEET:

SECTIONS



Job No: -

Date: JANUARY 2024

Scale: 3/16" = 1'-0"

PC CORR.	DATE
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Sheet No:

A8



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LEGEND

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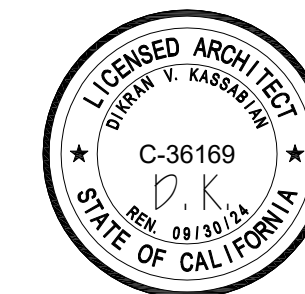
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TITLE SHEET:

SECTIONS



Job No:

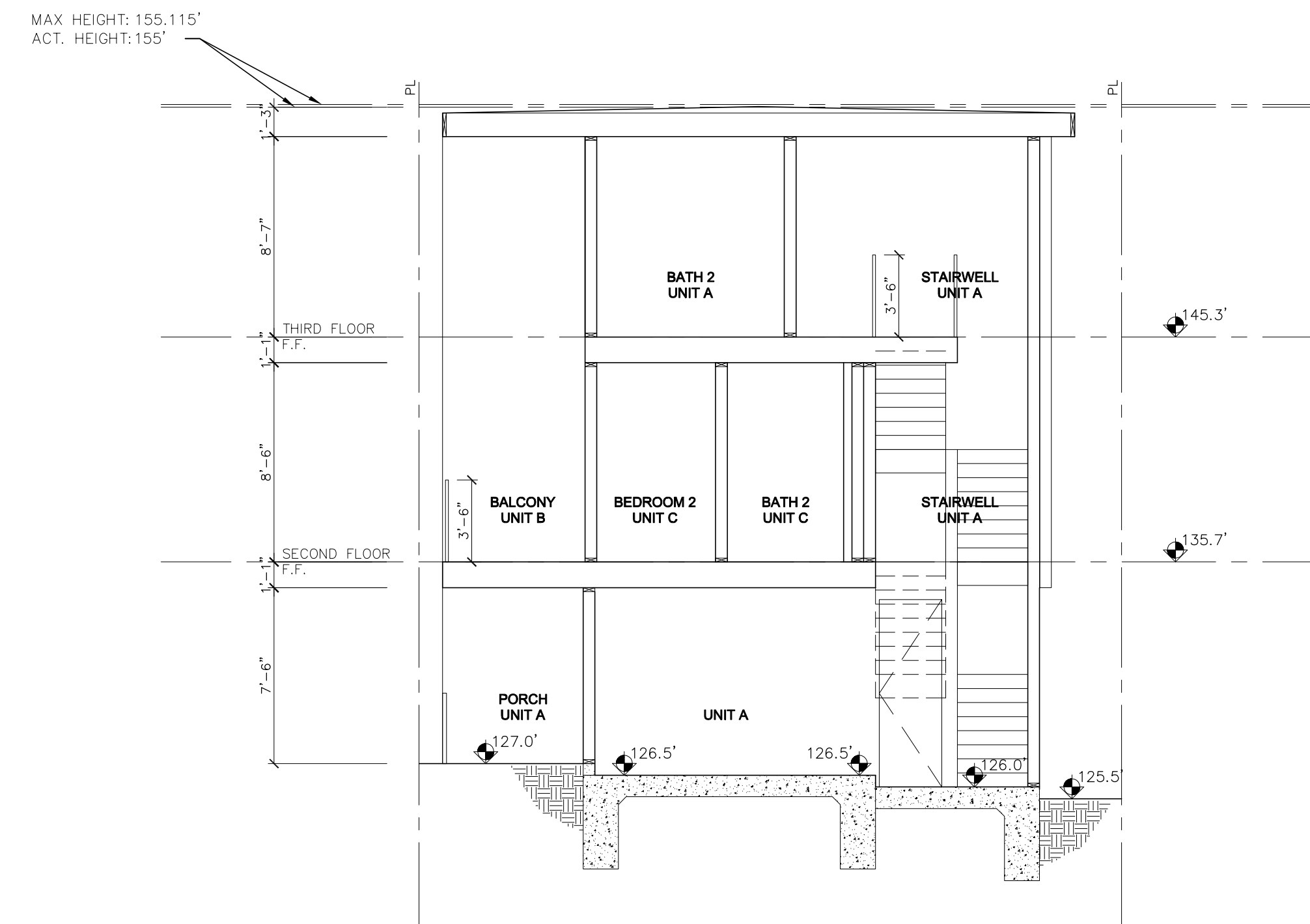
Date:
JANUARY 2024

Scale: **3/16" = 1'-0"**

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PLANNING CORRECTIONS	7.18.24

Sheet No:

A9



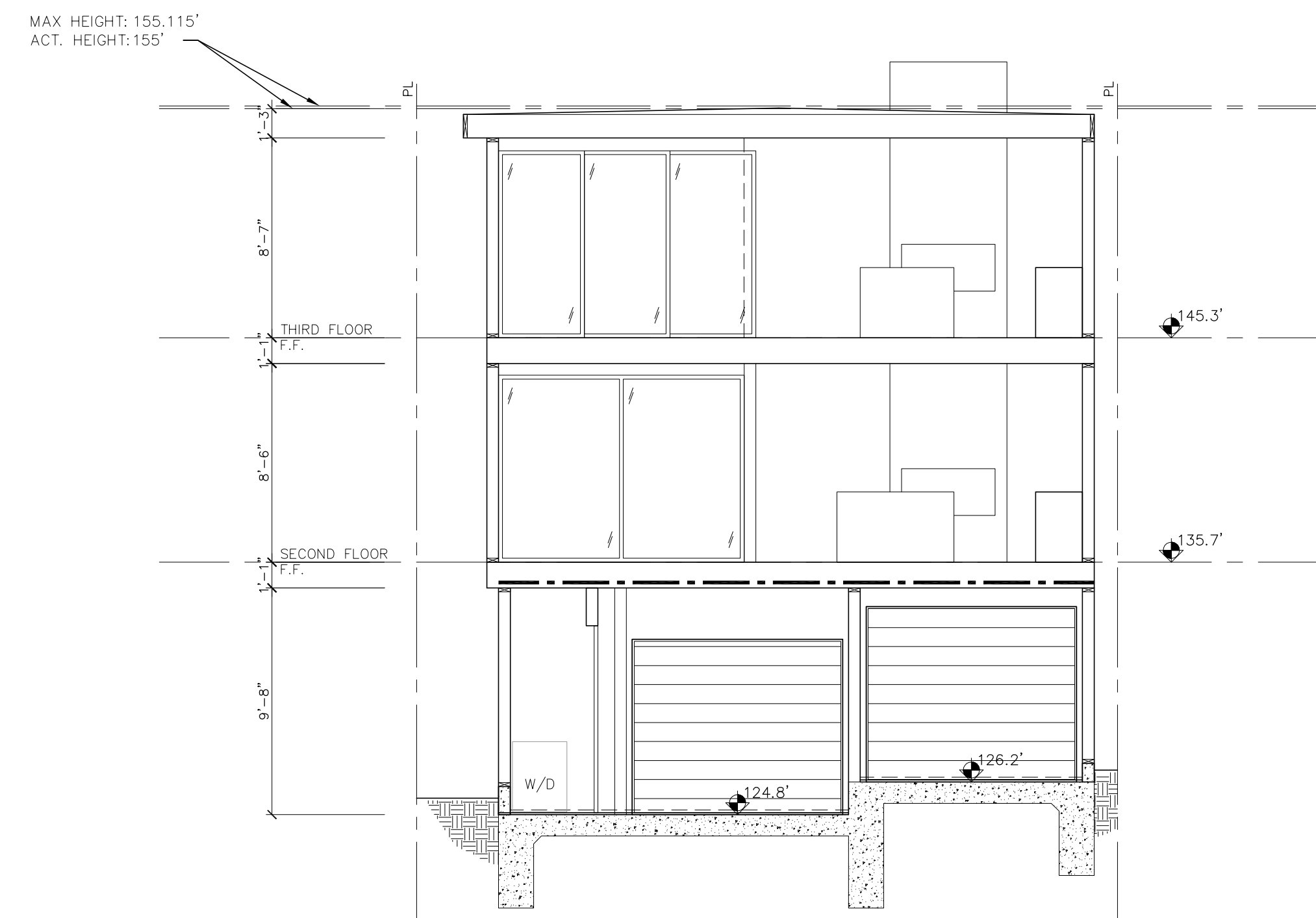
SECTION D-D

3/16" = 1'-0"

SECTION D-D

3/16"=1'-0"

2



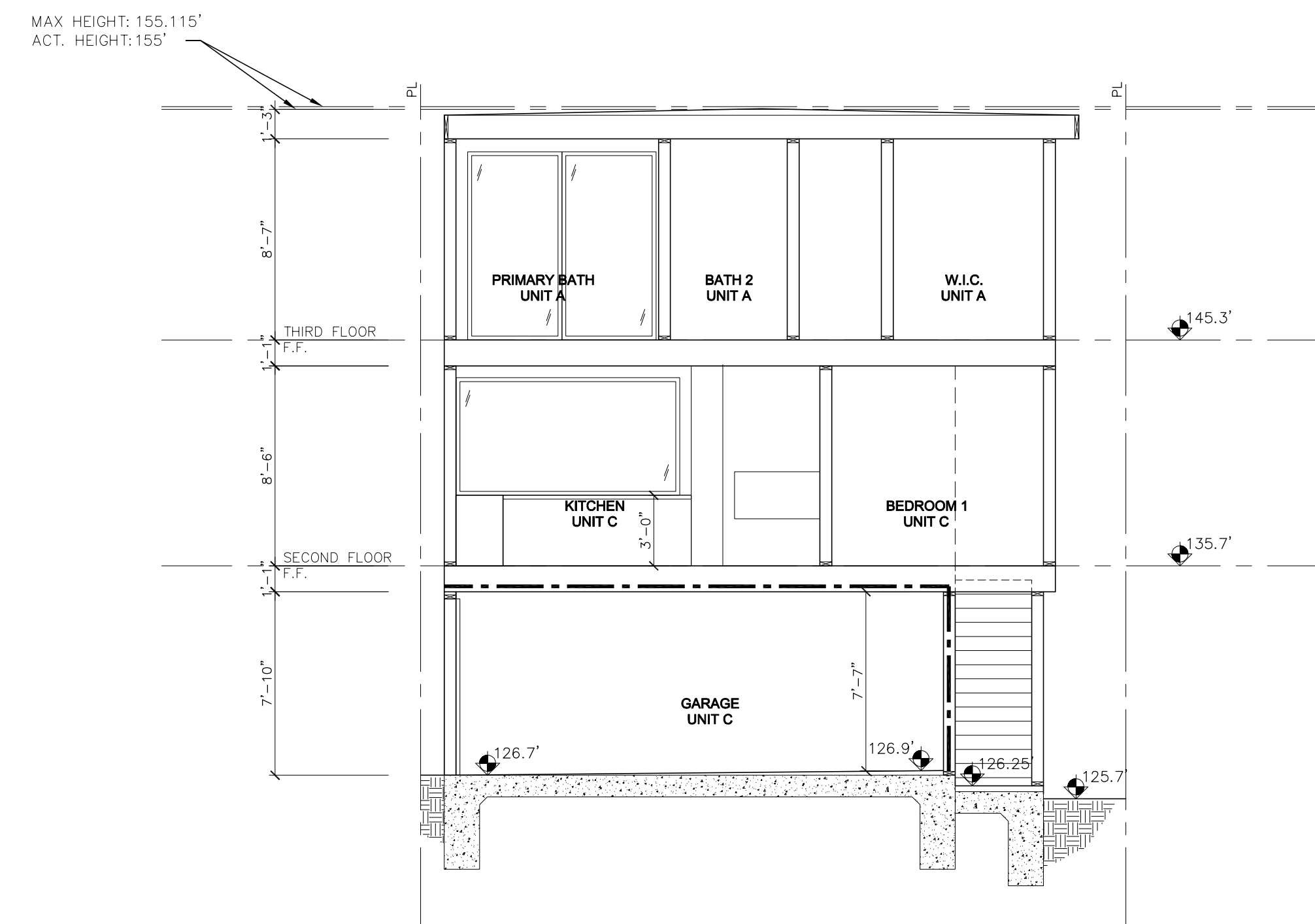
SECTION E-E

3/16" = 1'-0"

SECTION E-E

3/16"=1'-0"

3



SECTION C-C

3/16" = 1'-0"

SECTION C-C

3/16"=1'-0"

1

NOTE
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BASIS OF BEARINGS: N 24°25'45" W CENTERLINE OF MANHATTAN AVE. PER VERANO BEACH TRACT, M.B. 3-97 AS FILED IN THE RECORDS OF LOS ANGELES COUNTY.

E.E.
LAND SURVEYING

PROJECT NOTES:

LOT AREA= 2796.96 SQ. FEET

ASSUMED BENCHMARK:

L&TAG LS 9806 ON PL PROD. 1.00' NWLY OF NWLY PC.
EL=122.97', AS SHOWN HEREON

CLIENT:
KASSABIAN
PROJECT NO.
24-99
DATE:
05/06/24
ASSESSOR'S I.D. NUMBER:
APN: 4179-026-001
LEGAL DESCRIPTION
LOT NO. 42,
VERANO BEACH TRACT
M.B. 3-97

DATE OF REVISIONS:	#	ITEM

MAP ISSUE DATE: 05/09/2024
DRAFTED BY: M.A.P.

ABBREVIATIONS:

- AB AGGREGATE BASE
- AC ASPHALT PAVEMENT
- AD AREA DRAIN
- BM BENCHMARK
- BOS BOTTOM OF STAIRS
- BOW BACK OF WALK
- BRMP BOTTOM OF RAMP
- BS BOTTOM OF SLOPE
- CB CATCH BASIN
- CBW CONCRETE BLOCK WALL
- CF CURB FACE
- CLF CHAIN LINK FENCE
- CONC CONCRETE
- E EAST
- EG EDGE OF GUTTER
- EL ELEVATION
- EM ELECTRIC METER
- EMH ELECTRIC MANHOLE
- EP EDGE OF PAVEMENT
- EPB ELECTRIC PULL BOX
- EV ELECTRIC VAULT
- EVVB ELECTRICAL VENTILATION BOX
- FF FINISH FLOOR
- FG FINISH GRADE
- FH FIRE HYDRANT
- FL FLOW LINE
- FND FOUND
- FOW FACE OF WALK
- FS FINISHED SURFACE
- GB GRADE BREAK
- GM GAS METER
- GV GAS VALVE
- ICV IRRIGATION CONTROL VALVE
- IE INVERT ELEVATION
- IP IRON PIPE
- LP LEAD, TACK & TAG
- LT LEAD & TACK
- MP METAL POST
- N NORTH
- NG NATURAL GROUND ELEVATION
- O/S OFFSET
- OHW OVERHEAD WIRE
- PB PULL BOX
- PC PROPERTY CORNER
- PL PROPERTY LINE
- PLS PROFESSIONAL LAND SURVEYOR
- PLT PARKING LOT LIGHT
- PM PARKING METER POST
- PP POWER POLE
- PROD PRODUCED
- RCE REGISTERED CIVIL ENGINEER
- RW RETAINING WALL
- S SOUTH
- SB SPLASH BOX
- SDMH STORM DRAIN MANHOLE
- SMH SEWER MANHOLE
- SPB SIGNAL PULL BOX
- STLT STREET LIGHT
- SW SPIKE & WASHER
- TBM TEMPORARY BENCHMARK
- TC TOP OF CURB
- TELMH TELEPHONE MANHOLE
- TG TOP OF GRATE ELEVATION
- TOS TOP OF STAIRS
- TR TREE
- TS TRAFFIC SIGNAL
- TS TOP OF SLOPE
- TW TOP OF WALL
- TX/BX TOP/BOTTOM OF X
- W WEST
- WD-FENCE WOOD FENCE
- WI-FENCE WROUGHT IRON FENCE
- WV WATER METER
- WV WATER VALVE

BOUNDARY/TOPOGRAPHIC SURVEY
SITE ADDRESS:
1315 MANHATTAN AVE, MANHATTAN BEACH, CA 90266

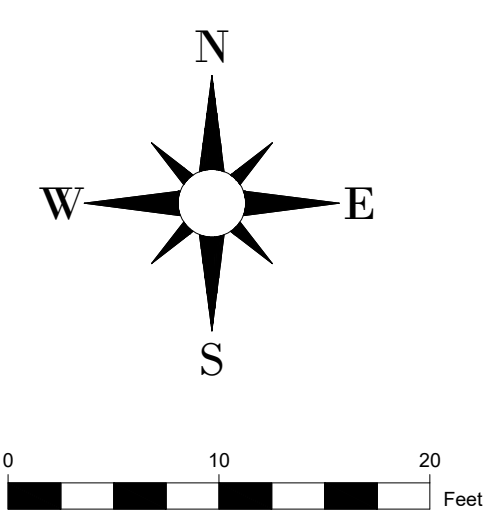
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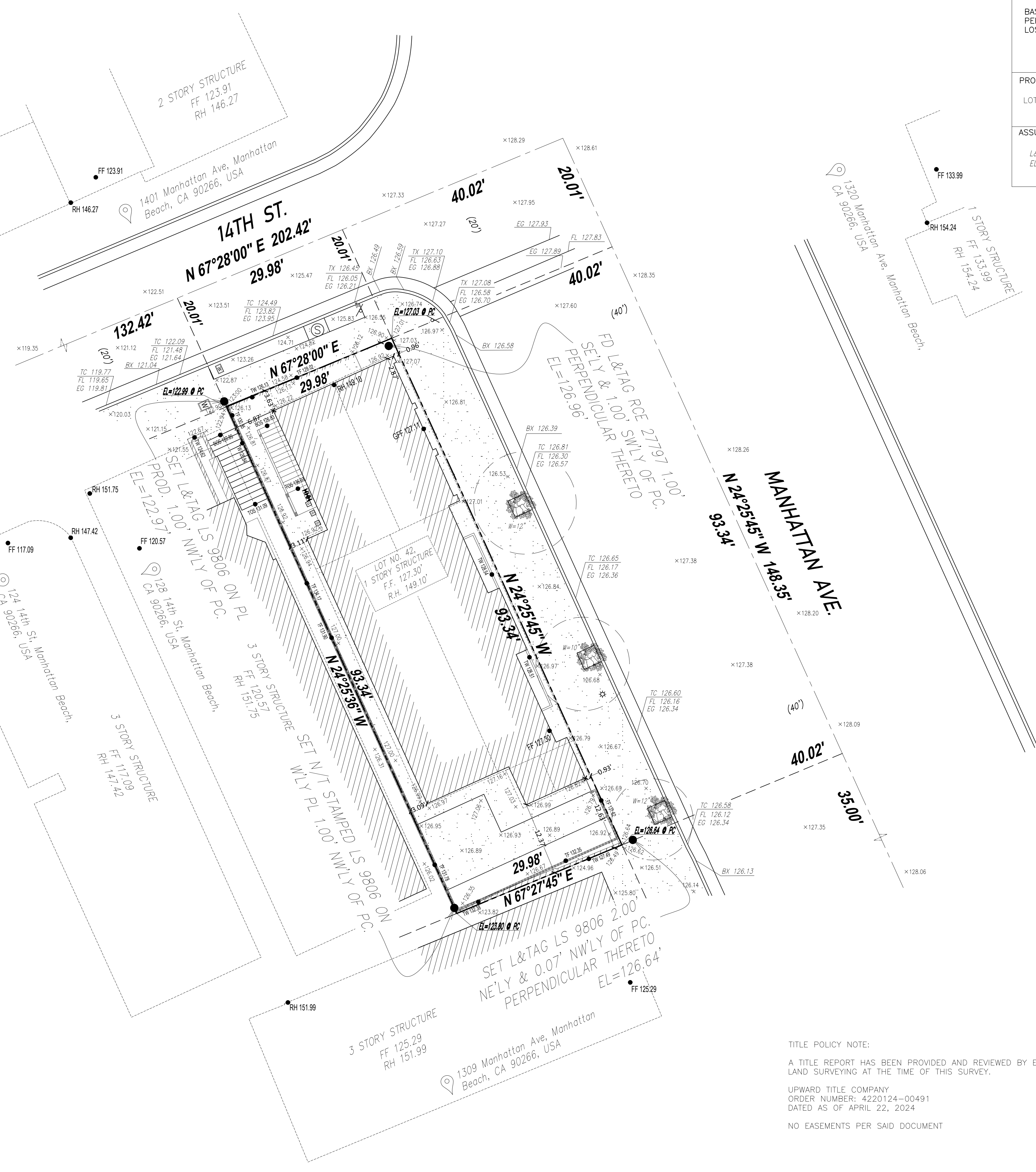
05/09/2024

PREPARED BY:
EAGLE EYE LAND SURVEYING
CIVIL ENGINEERING & LAND SURVEYING
1311 MANHATTAN BEACH BLVD.
#4 MANHATTAN BEACH, CA 92780
PHONE (310)955 8901



LEGEND & BLOCKS

SYMBOLS	HATCHING & LINE TYPE
◆ POWER POLE	BRICK PAVERS
○ LIGHT POLE	BUILDING
— GUY WIRE	BALCONY
⊕ WATER VALVE	ASPHALT
⊕ FIRE HYDRANT	CONCRETE
⊕ WATER METER	CHIMNEY
⊕ SEWER MANHOLE	STONE PAVERS
⊕ GAS VALVE	TILE PAVERS
⊕ GAS METER	WOOD DECK
⊕ ELECTRIC BOX	BRICK WALL
⊕ ELECTRIC METER	BUILDING LINE
⊕ ELECTRIC TRANSFORMER	CONCRETE BLOCK WALL
⊕ AIR CONDITIONER UNIT	CENTER LINE
⊕ WATER HEATER	CHAIN LINK FENCE
⊕ WATER SERVICE GRATE	CURB LINE
⊕ STORM DRAIN INLET	GUTTER LINE
⊕ MAIL BOX	PLANTER WALL
○ BOLLARD	PLANTER LINE
— DOUBLE GATE	PROPERTY LINE
— SLIDE GATE	POWER LINE
— SINGLE GATE	IRON FENCE
— FLAG POLE	RETAINING WALL
⊕ TRAFFIC CONTROL BOX	ROOF LINE
⊕ TRAFFIC LIGHT	STONE WALL
— SIGN	STAIRCASE LINE
⊕ HANDICAP SIGN	VINYL FENCE
⊕ HANDICAPPED PARKING	WOOD FENCE
⊕ BUILDING HEIGHT LOCATION	TREE
⊕ FINISH FLOOR HEIGHT LOCATION	DRILLPIECE
⊕ UNKNOWN UTILITY	



TITLE POLICY NOTE:
A TITLE REPORT HAS BEEN PROVIDED AND REVIEWED BY EAGLE EYE LAND SURVEYING AT THE TIME OF THIS SURVEY.
UPWARD TITLE COMPANY
ORDER NUMBER: 4220124-00491
DATED AS OF APRIL 22, 2024
NO EASEMENTS PER SAID DOCUMENT