

**CITY OF MANHATTAN BEACH
DEPARTMENT OF COMMUNITY DEVELOPMENT
STAFF REPORT**

DATE: February 28, 2024

TO: Planning Commission

FROM: Talyn Mirzakhanian, Community Development Director

THROUGH: Adam Finestone, AICP, Planning Manager

BY: Austin Chavira, Assistant Planner

SUBJECT: Consideration of a Use Permit Amendment to allow a new outdoor seating area, alteration of an existing drive-thru lane into a two-vehicle lane drive-thru (Y-lane), and modification of the parking lot configuration at an existing commercial building located at 815 N. Sepulveda Boulevard; and making an environmental determination for the project in accordance with the California Environmental Quality Act

RECOMMENDATION

Staff recommends that the Planning Commission conduct a public hearing and adopt the attached resolution approving the Use Permit Amendment, subject to conditions, and make a determination of exemption pursuant to the California Environmental Quality Act (CEQA).

APPLICANT

Starbucks (Elizabeth Valerio) 5858 Wilshire Blvd. #200 Unit: 200 Los Angeles, CA 90036

BACKGROUND

On May 16, 2023, the Community Development Department received an application requesting a Use Permit Amendment for the construction of a new 181 square-foot unenclosed outdoor patio area for customer seating, alteration of an existing drive-thru lane into a two-vehicle lane drive-thru (Y-lane), and modifications of the parking lot configuration at an existing commercial building located at 815 N. Sepulveda Boulevard. The project site is

currently governed by a Use Permit (Board of Zoning Adjustment Resolution 79-9, included as Attachment “B” to this staff report), which conditionally permits an eating and drinking establishment use (restaurant). The existing building was previously occupied by a Jack-in-the-Box restaurant with indoor dining area and a drive-thru, and has been occupied by a Starbucks Coffee facility with indoor seating area and a drive-thru since 2022.

Site Overview

The project site is an approximately 21,100 square foot parcel (APN: 4170-038-022) located on the southwest corner of North Sepulveda Boulevard and Ninth Street. It is in the General Commercial (CG) zoning district, Area District I, and has a General Plan designation of General Commercial. In addition, the site is located within the Sepulveda Boulevard Corridor Overlay District (D8). The project site is currently occupied by an existing 1,470 square-foot restaurant with a single drive-thru lane, 25 parking stalls, landscaping, and associated site improvements.

As noted above, the site is currently occupied by Starbucks Coffee. The facility provides for both on-site and off-site consumption of food and beverages, and includes drive-thru services. The existing building has an indoor seating area, kitchen, food and beverage preparation areas, and a restroom.

The project site is surrounded by commercial and residential uses, including retail, personal services, and restaurant uses to the north (across Ninth Street); a parking lot to the south; a hotel and restaurant uses to the east (across North Sepulveda Boulevard); and single-family residential uses to the west. The Vicinity Map, included as Attachment “C,” demonstrates the site configuration and surrounding uses.

SITE OVERVIEW	
Location:	815 Manhattan Beach Boulevard
Legal Description:	Tract No 142 (EX OF STS), Lot 1 and all of lot 2 and lot 3
General Plan Land Use Designation:	General Commercial
Zoning Designation:	CG-D8 (General Commercial, Sepulveda Boulevard Overlay District)
Area District:	I
Existing Land Use:	Restaurant with drive-thru service

Proposed Land Use:	No change
Neighboring Zoning:	North: CG-D8-ROD (Residential Overlay District)
	East: CG-D8
	West: RS (Single-Family Residential)
	South: CG
Hours of Operations:	Monday - Sunday, 4:30 a.m. to 8:00 p.m. (no change)

Governing Regulations

The proposed project is reviewed for compliance with applicable regulations, including the City’s General Plan and Municipal Code.

Manhattan Beach General Plan

The General Plan is a long-range policy document, adopted in 2003, that identifies the community’s vision for its collective future and establishes the fundamental framework to guide decision-making about development, resource management, public safety, public services, and general community well-being. This vision is expressed in goals and policies that allow this vision to be accomplished. All projects are reviewed to ensure the project aligns with the General Plan’s goals and policies. General Plans contain required “elements,” or chapters, including a Land Use Element which is used to guide the City’s development, maintenance, and improvement of land and properties, and a Circulation Element, which guides the general location and extent of existing and future infrastructure to move people and goods around and through the City. (In Manhattan Beach, the Circulation Element is known as the Mobility Plan.) The subject project was evaluated for conformance with relevant Land Use Element and Mobility Plan goals and policies, as described later in this report.

Manhattan Beach Municipal Code

The Manhattan Beach Municipal Code (MBMC) serves to implement, in part, the vision established by the General Plan. Development projects that are subject to discretionary reviews, such as a Use Permit Amendment, are regulated by the Planning and Zoning Title (Title 10) of the MBMC. The overall purpose of these regulations is to protect and promote the public health, safety, and general welfare of the community, in addition to implementing the policies of the City of Manhattan Beach General Plan. The Planning and Zoning Title has several intended functions which include, but are not limited to, the following:

- Provide a precise guide for the physical development of the City in order to foster convenient, harmonious, and workable relationships among land uses;
- Promote the economic stability of existing land uses that are consistent with the General Plan, and protect them from intrusions by inharmonious or harmful land uses;
- Permit the development of office, commercial, industrial, and related land uses that are consistent with the General Plan in order to strengthen the City's economic base.

PROJECT DESCRIPTION

Elizabeth Valerio, on behalf of Starbucks, submitted an application for a Use Permit Amendment to establish a new outdoor seating area, alter an existing drive-thru lane into a two-vehicle lane drive-thru (Y-lane), and modify the parking lot at an existing restaurant located at 815 N. Sepulveda Boulevard. No additional modifications to the existing structure are proposed other than the new covered patio, and no changes in operating hours have been requested. The site modifications are described in further detail below and depicted on the project plans which are included as Attachment "D" to this report.

Covered Patio

The proposed covered patio is 181 square feet and would be attached to the east side of the existing building. It would be constructed such that it creates an extension of the existing metal fascia on the east side of the building, and colors and materials would match the existing building, and would double as a photovoltaic system. Tables, chairs, and other furnishings would provide seating for approximately 24 people on the patio, with decorative railings surrounding the seating area.

Drive-Thru Lane

The alteration to the drive-thru lane would create two lanes that would ultimately merge into one lane (essentially creating a "Y" configuration) in order to add stacking/additional queuing capacity to the site. The existing pre-menu board, vehicle height clearance bar, bollards, and menu board would be relocated to a new landscape island, and a second pre-menu board, vehicle height clearance bar, bollards, and menu board, would be added to another new landscape island. The two drive-thru lanes would merge just past the menu boards. The new drive-thru configuration would increase the capacity of the drive-thru lane from approximately 10 vehicles to 15 vehicles.

Parking Lot Reconfiguration

As a result of the alteration to the drive-thru lane, the parking lot would be reconfigured to better accommodate parking on the site and circulation through the site, and new landscaping would be installed. Restriping of the parking lot would change the perpendicular

spaces along the northern property line to parallel spaces, and would shift the parking spaces on the south side of the building so that they are adjacent to the southern property line instead of against the drive-through lane. The existing site provides 25 parking spaces. After the parking lot reconfiguration, there will be a total of 23 parking spaces provided (with a net loss of two parking spaces). It should be noted that the parking requirement is 22 parking spaces; therefore, the proposal complies with the parking requirement. The reconfigured parking lot includes two accessible stalls, which would be on the south side of the building. Additionally, while the site does not require a loading space, one would be provided between the drive-thru island and the restaurant.

Access to and from the site would continue to be taken from North Sepulveda Boulevard, with the northern driveway being ingress (enter) only and the southern driveway being egress (exit) only. Circulation would be one-way around the building in a counter-clockwise direction. Left-turns into and out of the site would continue to be prohibited.

DISCUSSION

Consistency and Compliance with Governing Regulations

General Plan Consistency

As noted above, the project is governed by the Manhattan Beach General Plan. As such, it was reviewed for consistency with relevant General Plan goals and policies. The project has been determined to be consistent with the following goals and policies for the reasons described below:

- Land Use Plan Goal LU-1: Maintain the low-profile development and small-town atmosphere of Manhattan Beach.

The project site consists of an existing low-profile structure and has operated as a drive-thru restaurant for more than 40 years. No significant increase in the size or scale of the structure, or in the scope of operations are proposed. As such, the proposed project would not adversely impact the City's low-profile development pattern or small-town atmosphere.

- Land Use Plan Policy LU-1.2: Require the design of all new construction to utilize notches, balconies, rooflines, open space, setbacks, landscaping, or other architectural details to reduce the bulk of buildings and to add visual interest to the streetscape.

The existing structure is a single-story commercial building measuring approximately 23 feet in height. Changes to the site include the addition of a covered patio which will not increase the bulk of the building. Proposed exterior landscape and parking lot enhancements will add visual interest to the streetscape.

- Land Use Plan Goal LU-3: Achieve a strong, positive community aesthetic.

The existing structure was recently remodeled to enhance the aesthetic appearance. The site modifications proposed as part of this project will further improve the aesthetic appeal of the site.

- Land Use Plan Policy LU-3.2: Promote the use of adopted design guidelines for new construction in Downtown, along Sepulveda Boulevard, and other areas to which guidelines apply.

The existing operator recently updated and refreshed their exterior façade to enhance and create a strong, positive community aesthetic that attracts residents and visitors alike along Sepulveda Boulevard. The parking lot reconfiguration and landscaping enhancements will further enhance the attractive and interesting environment of Sepulveda Boulevard by making less desirable elements such as large parking areas, blank walls, and trash areas less prominent as viewed from the street. Additionally, safe pedestrian access to the existing building will be maintained through the parking lot and adjacent public sidewalk.

- Land Use Plan Goal LU-5: Protect residential neighborhoods from the intrusion of inappropriate and incompatible uses.

The existing use of the property will not change, and access to and from the site will remain from North Sepulveda Boulevard. As such, intrusion of inappropriate and incompatible uses into the adjacent residential neighborhood is not anticipated.

- Land Use Plan Policy LU-5.1: Require the separation or buffering of residential areas from businesses which produce noise, odors, high traffic volumes, light or glare, and parking through the use of landscaping, setbacks, or other techniques.

The proposed project would continue to provide access to and from the site on North Sepulveda Boulevard. Additionally, existing and proposed landscaping will create a buffer between the project site and the residential property to the west. Conditions of approval have been proposed which will minimize the impacts of noise from drive-thru operations.

- Land Use Plan Policy LU-5.2: Work with all commercial property owners bordering residential areas to mitigate impacts and use appropriate landscaping and buffering of residential neighborhoods.

Existing site walls and landscaping along the north and west property lines will be enhanced to screen parking and drive-thru operations from Ninth Street and the adjacent residential property to the west. Conditions of approval have been proposed, which will minimize the impacts of noise from drive-thru operations.

- Land Use Plan Goal LU-6: Maintain the viability of the commercial areas of Manhattan Beach.

Sepulveda Boulevard has a variety of commercial uses, including restaurants with drive-thru facilities. The addition of the outdoor patio and increased capacity of the drive-thru operation will allow for greater viability of a restaurant at the project site.

- Land Use Plan Policy LU-6.3: Recognize the need for a variety of commercial development types and designate areas appropriate for each. Encourage development proposals that meet the intent of these designations.

The existing restaurant use is appropriate for the site, as it is located in the CG zoning district, and no change in use is proposed.

- Mobility Plan Goal I-2: Move commuter traffic through the City primarily on arterial streets and collector streets, as appropriate, to protect other streets from the intrusion of cut-through traffic.

One impact of the establishment changing from jack-in-the-Box to Starbucks has been a propensity for vehicles to spill out onto southbound North Sepulveda Boulevard. The project will increase the drive-thru queuing capacity on the project site, which will reduce the potential of vehicles backed up onto southbound North Sepulveda Boulevard. By doing so, the City also anticipates potential reduction of vehicles utilizing nearby residential streets as cut-through roadways, which typically results from drivers seeing the back-up and seeking an alternate route.

- Mobility Plan Goal I-3: Ensure adequate parking and loading facilities are available to support both residential and commercial needs while reducing adverse parking and traffic impacts.

The proposed modification of the existing parking lot configuration maintains off-street parking and loading requirements to help reduce parking and traffic impacts. The proposed “Y-lane” also serves to increase on-site queuing capacity, thereby reducing traffic impacts from queuing back-ups.

- Mobility Plan Policy I-3.3: Review development proposals to ensure potential adverse

parking impacts are minimized or avoided, and pedestrian and bicycle circulation are not negatively impacted.

The proposed modification of the existing parking lot configuration maintains vehicular parking consistent with the MBMC, and conditions of approval have been included in the draft resolution requiring bicycle parking to meet MBMC requirements.

Manhattan Beach Municipal Code Compliance

The subject property is zoned CG, which permits a variety of commercial uses. Based on use classifications for commercial uses described in section 10.08.050 of the MBMC, the existing use of the property is considered an eating and drinking establishment with drive-thru service. Pursuant to MBMC Section 10.16.020, an eating and drinking establishment, with or without drive-thru service, requires a use permit. As previously stated, the project site is currently governed by a use permit (Resolution 79-9) and is considered a legal conforming use.

Use permits are governed by Chapter 10.84 of the MBMC, and Section 10.84.020 vests decision-making authority for use permits with the Planning Commission. Additionally, Section 10.84.100 of the MBMC specifies that changes in development plans that would affect a condition of approval, shall be treated as a new application. As a result of the scope of changes described above, new conditions have been proposed which would result in the request being treated as a new application, and thus subject to consideration by the Planning Commission.

As specified in MBMC Section 10.84.010, “[u]se permits are required for use classifications typically having unusual site development features or operating characteristics requiring special consideration so that they may be designed, located, and operated compatibly with uses on adjoining properties and in the surrounding area.” Based on the proposed project modifications, staff has identified noise, vehicle headlight glare, and traffic, as operating characteristics which require special attention. To help mitigate potential impacts related to noise, conditions of approval have been included which would require noise emanating from drive-through menu boards to be directed away from residential properties to the west of the project site. The existing cement block wall and wood fence topper on the western property line would be maintained which would further assist in buffering noise from adjacent properties. The existing cement block wall and wood fence topper would also serve to mitigate the impacts of headlight glare on the properties to the west, and new landscaping on the north and east property lines would minimize such impacts on vehicles traveling eastbound along Ninth Street. Additionally, the proposed parking lot reconfiguration would provide permanent painted arrows for ingress (northerly entrance) and egress (southerly exit) to aide circulation into and through the project site. Therefore, no increase in the direction or intensity of headlight glare is anticipated.

Staff is aware that the change in operator of the subject property has resulted in a change to the hours of peak demand for the facility. The prior operator was a fast-food restaurant with peak demand around the lunch and dinner hours. The current operator is primarily engaged in selling coffee and similar beverages, with peak demand during the morning rush hour period. As such, there has been a noticeable increase in a.m. peak-period traffic to and from the site. One impact of this change has been a propensity for vehicles to spill out onto southbound North Sepulveda Boulevard. Since the initial occupancy of the building by Starbucks Coffee in October 2022, the City's traffic engineer has received several complaints from the community related to congestion caused by vehicles queuing in North Sepulveda Boulevard right-of-way while waiting to enter the drive-thru lane. By increasing queuing capacity on the subject property, the project will minimize impacts from vehicle backup onto North Sepulveda Boulevard, resulting in an overall improvement in traffic flow. Additionally, conditions of approval requiring on-site bicycle parking will encourage the use of alternate modes of transportation for patrons visiting the site.

MBMC Chapter 10.64 regulates the number of parking spaces required for all development projects in the City. Based on the size of the facility, inclusive of the proposed outdoor seating area, and land use classification, the project is required to maintain 22 parking spaces, and it will provide 23 parking spaces. While this is three spaces less than currently exist on the site, it is consistent with the requirement for the site. Additionally, while the site does not require a loading space, one would be provided between the drive-through island and the restaurant. (It should be noted that the use permit which currently governs the subject property [BZA Resolution 79-9] included a condition that specified a number and location of parking spaces designated for employee use. The MBMC does not specify a requirement for employee parking separately from that for patrons, as the total demand for parking is assumed to include that for both employees and patrons. According to the Institute of Transportation Engineers (ITE) Parking Generation Manual, the parking requirements do not distinguish between employee and customer parking demand since the parking lot serves both. The ITE is the national standard of best practices and real world parking data for various land uses.)

Interdepartmental Review

The Traffic and Building Divisions, along with the Public Works and Fire Departments, have reviewed the request. The divisions and departments raised no concerns or objections to the proposal.

Required Findings

Pursuant to MBMC Section 10.84.060, in order to approve a use permit or an amendment thereto, the Planning Commission must make certain findings in order to ensure that the use operates in a manner that is compatible with uses on adjacent properties and in the surrounding area. The required findings are addressed below.

Use Permit

- 1. The proposed location of the use is in accord with the objectives of this title and the purposes of the district in which the site is located.*

The project site is zoned CG. The specific purpose of the CG zone is to “provide opportunities for the full range of retail and service businesses deemed suitable for location in Manhattan Beach, including businesses not permitted in other commercial districts because they attract heavy vehicular traffic or have certain adverse impacts; and to provide opportunities for offices and certain limited industrial uses that have impacts comparable to those of permitted retail and service uses to occupy space not in demand for retailing or services.” The subject site is currently developed with a drive-thru restaurant use in an existing commercial building, which has occupied the site for more than 40 years. Based on the nature of a drive-thru business, it has the propensity to attract heavier vehicular traffic than other commercial uses, which is appropriate for North Sepulveda Boulevard.

- 2. The proposed location of the use and the proposed conditions under which the uses would be operated or maintained will be consistent with the General Plan; will not be detrimental to the public health, safety or welfare of persons residing or working on the proposed project site or in or adjacent to the neighborhood of such uses; and will not be detrimental to properties or improvements in the vicinity or to the general welfare of the city.*

The General Plan encourages a “general commercial district” that provides “opportunities for a broad range of retail and service commercial and professional office uses intended to meet the needs of local residents and businesses and to provide goods and services for the regional market.” As described in the General Plan Consistency section above, the proposed project is consistent with applicable General Plan goals and policies. Further, conditions of approval have been proposed which would mitigate any detrimental impacts to the public health, safety or welfare. As a result of the minimal nature of site improvements, detrimental impacts to properties and improvements are not anticipated. Rather, the project would assist in reducing the existing impacts related to noise, headlight glare, and traffic.

- 3. The proposed use will comply with the provisions of this title, including any specific condition required for the proposed uses in the district in which they would be located.*

The existing restaurant use, which will remain unchanged, is a permitted use at the property, subject to approval of a use permit. If the Use Permit Amendment is approved, the existing restaurant use and proposed expansion of restaurant operations will continue to be in compliance with all provisions of Title 10 of the MBMC. Furthermore, operating characteristics and conditions of approval that serve to minimize any potential adverse impacts associated with the project are included in the draft resolution (Attachment “A” to

this staff report). If adopted, the conditions in the draft resolution will ensure compliance with the required findings for a Use Permit and serve as the governing resolution for the development and operation of the project.

4. *The proposed use will not adversely impact nor be adversely impacted by nearby properties. Potential impacts are related but not necessarily limited to traffic, parking, noise, vibration, odors, resident security and personal safety, and aesthetics, or create demands exceeding the capacity of public services and facilities which cannot be mitigated.*

The existing restaurant use and proposed modifications do not adversely impact neighboring properties, as they are compatible with the surrounding commercial uses in the CG zone. Since the initial occupancy of the building by Starbucks Coffee in October 2022, the City's Code Enforcement Division has received a complaint on July 7, 2023 from the community related to loud noise caused by vehicle delivery of goods after normal operating hours. Additionally, conditions of approval have been identified which will mitigate traffic, noise, parking, and aesthetic conditions which may currently impact the surrounding properties and public rights-of-way. Furthermore, the existing and proposed uses were contemplated when the General Plan was adopted, and will not create demands exceeding the capacity of public services and facilities.

ENVIRONMENTAL DETERMINATION

The project qualifies for a Categorical Exemption from the California Environmental Quality Act (CEQA) pursuant to CEQA Guidelines Section 15301, Existing Facilities, which is a Class 1 exemption. The proposed Use Permit Amendment involves a new unenclosed outdoor patio area with patron seating, alteration of an existing drive-thru lane into a two-vehicle lane drive-thru (Y-lane), and modification of the existing parking lot configuration at an existing commercial building. There are no features that distinguish this project from others in the exempt class; therefore, there are no unusual circumstances. The modifications constitute minor alterations to the existing private structure and parking / circulation facilities, which are intended to accommodate existing patrons, and are not intended to accommodate an expansion of use at the site. To the extent that there is any expansion of use, it would be negligible.

PUBLIC OUTREACH

A public notice for the February 28, 2024, public hearing was published in The Beach Reporter, mailed to all property owners and residents within a 500-foot radius of the project site, and posted at City Hall, on February 15, 2024. As of the writing of this report, staff has received one public comment from neighbors (Attachment "F").

CONCLUSION

Staff recommends that the Planning Commission conduct the public hearing, and adopt the attached draft resolution approving the Use Permit Amendment as described and analyzed in this report. Staff further recommends that the Planning Commission make a determination that the project is categorically exempt from further review pursuant to CEQA.

ATTACHMENTS:

- A. Draft Resolution No. PC 24-____
- B. Board of Zoning Adjustment Resolution 79-9
- C. Vicinity Map
- D. Architectural Plans
- E. Applicant's Written Documents
- F. Public comment received after February 21, 2024 at 5pm

RESOLUTION NO. PC 24-__

RESOLUTION OF THE MANHATTAN BEACH PLANNING COMMISSION APPROVING A USE PERMIT AMENDMENT TO ALLOW A NEW OUTDOOR SEATING AREA, ALTERATION OF AN EXISTING DRIVE-THRU LANE INTO A TWO-VEHICLE LANE DRIVE-THRU (Y-LANE), AND MODIFICATION OF THE PARKING LOT CONFIGURATION AT AN EXISTING COMMERCIAL BUILDING LOCATED AT 815 NORTH SEPULVEDA BOULEVARD AND MAKING A DETERMINATION OF EXEMPTION PURSUANT TO THE CALIFORNIA ENVIRONMENTAL QUALITY ACT

THE MANHATTAN BEACH PLANNING COMMISSION DOES HEREBY RESOLVE AS FOLLOWS:

SECTION 1. On May 8, 1979, the Board of Zoning Adjustment adopted Resolution 79-9, approving a Use Permit for a restaurant use with drive-thru service at an existing commercial building located at 815 N. Sepulveda Boulevard ("Property").

SECTION 2. On May 16, 2023, Starbucks ("Applicant") applied for a Use Permit Amendment to allow the construction of a new 181 square-foot unenclosed outdoor patio area with patron seating, alteration of an existing drive-thru lane into a two-vehicle lane drive-thru (Y-lane), and modification of the existing parking lot configuration at an existing commercial building ("Project"). Pursuant to the Manhattan Beach Municipal Code, the existing and proposed use is classified as an eating and drinking establishment.

SECTION 3. A Use Permit Amendment is required to modify development plans previously established by a Use Permit pursuant to Manhattan Beach Municipal Code Section 10.84.100, which specifies that, "[A] request for changes in conditions of approval of a use permit variance, minor exception, precise development plan or site development permit or a change to development plans that would affect a condition of approval, shall be treated as a new application." Thus, a request to modify development plans and the conditions of approval is processed as a Use Permit Amendment under the purview of the Planning Commission.

SECTION 4. On February 28, 2024, the Planning Commission conducted a duly noticed public hearing to consider the Project, during which the Planning Commission received a presentation by staff and testimony from the Applicant, and provided an opportunity for the public to provide evidence and testimony. The Planning Commission also received and reviewed written testimony received by the City prior to the public hearing.

SECTION 5. The Project qualifies for a Categorical Exemption from the California Environmental Quality Act (CEQA) pursuant to CEQA Guidelines Section 15301, Existing Facilities, which is a Class 1 exemption. The proposed Use Permit Amendment involves a new unenclosed outdoor patio area with patron seating, alteration of an existing drive-thru lane into a two-vehicle lane drive-thru (Y-lane), and modification of the existing parking lot configuration at an existing commercial building. There are no features that distinguish this project from others in the exempt class; therefore, there are no unusual circumstances. The modifications constitute minor alterations to the existing private structure and parking / circulation facilities, which are intended to accommodate existing patrons, and are not intended to accommodate an expansion of use at the site. To the extent that there is any expansion of use, it would be negligible. Thus, no further environmental review is necessary, and the Planning Commission finds the Project exempt from CEQA.

SECTION 6. The record of the public hearing indicates:

- A. The legal description of the site is: Tract No 142 (EX OF STS), Lot 1 and all of lot 2 and lot 3, in the City of Manhattan Beach, County of Los Angeles. The site is located in Area District I and is zoned CG, General Commercial, Sepulveda Boulevard Corridor Overlay (D8). The surrounding properties are zoned CG-D8-ROD (Residential Overlay District) to the north, CG to the south, CG-D8 to the east, and RS (single-family residential) to the west.
- B. The use is conditionally permitted in the CG zone subject to a Use Permit and is in compliance with the City's General Plan designation of General Commercial. The General Plan designation of General Commercial encourages "a broad range of retail and service commercial and professional office uses intended to meet the needs of local residents and businesses and to provide goods and services for the regional market."
- C. The current tenant, Starbucks, has been in operation at the Property since 2022. The use is currently governed by a Use Permit approved by the Board of Zoning Adjustment in 1979. The use is located on North Sepulveda Boulevard in an area with a variety of other commercial present.
- D. The Applicant is requesting approval of a Use Permit Amendment to allow the construction of a new 181 square-foot unenclosed outdoor patio area with patron seating, alteration of an existing drive-thru lane into a two-vehicle lane drive-thru (Y-lane), and modification of the existing parking lot configuration at an existing commercial building located at 815 North Sepulveda Boulevard
- E. The Project is consistent with following General Plan Goals and Policies, as described in the staff report prepared for the Project:

Land Use Plan Goal LU-1: Maintain the low-profile development and small-town atmosphere of Manhattan Beach.

The project site consists of an existing low-profile structure and has operated as a drive-thru restaurant for more than 40 years. No significant increase in the size or scale of the structure, or in the scope of operations are proposed. As such, the proposed project would not adversely impact the City's low-

profile development pattern or small-town atmosphere.

Land Use Plan Policy LU-1.2: Require the design of all new construction to utilize notches, balconies, rooflines, open space, setbacks, landscaping, or other architectural details to reduce the bulk of buildings and to add visual interest to the streetscape.

The existing structure is a single-story commercial building measuring approximately 23 feet in height. Changes to the site include the addition of a covered patio which will not increase the bulk of the building. Proposed exterior landscape and parking lot enhancements will add visual interest to the streetscape.

Land Use Plan Goal LU-3: Achieve a strong, positive community aesthetic.

The existing structure was recently remodeled to enhance the aesthetic appearance. The site modifications proposed as part of this project will further improve the aesthetic appeal of the site.

Land Use Plan Policy LU-3.2: Promote the use of adopted design guidelines for new construction in Downtown, along Sepulveda Boulevard, and other areas to which guidelines apply.

The existing operator recently updated and refreshed their exterior façade to enhance and create a strong, positive community aesthetic that attracts residents and visitors alike along Sepulveda Boulevard. The parking lot reconfiguration and landscaping enhancements will further enhance the attractive and interesting environment of Sepulveda Boulevard by making less desirable elements such as large parking areas, blank walls, and trash areas less prominent as viewed from the street. Additionally, safe pedestrian access to the existing building will be maintained through the parking lot and adjacent public sidewalk.

Land Use Plan Goal LU-5: Protect residential neighborhoods from the intrusion of inappropriate and incompatible uses.

The existing use of the property will not change, and access to and from the site will remain from North Sepulveda Boulevard. As such, intrusion of inappropriate and incompatible uses into the adjacent residential neighborhood is not anticipated.

Land Use Plan Policy LU-5.1: Require the separation or buffering of residential areas from businesses which produce noise, odors, high traffic volumes, light or glare, and parking through the use of landscaping, setbacks, or other techniques.

The proposed project would continue to provide access to and from the site on North Sepulveda Boulevard. Additionally, existing and proposed landscaping will create a buffer between the project site and the residential property to the west. Conditions of approval have been proposed which will minimize the impacts of noise from drive-thru operations.

Land Use Plan Policy LU-5.2: Work with all commercial property owners bordering residential areas to mitigate impacts and use appropriate landscaping and buffering of residential neighborhoods.

Existing site walls and landscaping along the north and west property lines will be enhanced to screen parking and drive-thru operations from Ninth Street and the adjacent residential property to the west. Conditions of approval have been proposed, which will minimize the impacts of noise from drive-thru operations.

Land Use Plan Goal LU-6: Maintain the viability of the commercial areas of Manhattan Beach.

Sepulveda Boulevard has a variety of commercial uses, including restaurants with drive-thru facilities. The addition of the outdoor patio and increased capacity of the drive-thru operation will allow for greater viability of a restaurant at the project site.

Land Use Plan Policy LU-6.3: Recognize the need for a variety of commercial development types and designate areas appropriate for each. Encourage development proposals that meet the intent of these designations.

The existing restaurant use is appropriate for the site, as it is located in the CG zoning district, and no change in use is proposed.

Mobility Plan Goal I-2: Move commuter traffic through the City primarily on arterial streets and collector streets, as appropriate, to protect other streets from the intrusion of cut-through traffic.

One impact of the establishment changing from Jack-in-the-Box to Starbucks has been a propensity for vehicles to spill out onto southbound North Sepulveda Boulevard. The project will increase the drive-thru queuing capacity on the project site, which will reduce the potential of vehicles backed up onto southbound North Sepulveda Boulevard. By doing so, the City also anticipates potential reduction of vehicles utilizing nearby residential streets as cut-through roadways, which typically results from drivers seeing the back-up and seeking an alternate route.

Mobility Plan Goal I-3: Ensure adequate parking and loading facilities are available to support both residential and commercial needs while reducing adverse parking and traffic impacts.

The proposed modification of the existing parking lot configuration maintains off-street parking and loading requirements to help reduce parking and traffic impacts. The proposed “Y-lane” also serves to increase on-site queuing capacity, thereby minimizing traffic impacts from queuing back-ups.

Mobility Plan Policy I-3.3: Review development proposals to ensure potential adverse parking impacts are minimized or avoided, and pedestrian and bicycle circulation are not negatively impacted.

The proposed modification of the existing parking lot configuration maintains vehicular parking consistent with the MBMC, and conditions of approval have been included in the draft resolution requiring bicycle parking to meet MBMC requirements.

SECTION 7. Based upon substantial evidence in the record, and pursuant to Manhattan Beach Municipal Code Section 10.84.060 the Planning Commission hereby finds:

- A. The proposed location of the use is in accord with the objectives of this title and the purposes of the district in which the site is located for the following reasons:

The Project site is zoned CG. The specific purpose of the CG zone is to “provide opportunities for the full range of retail and service businesses deemed suitable for location in Manhattan Beach, including businesses not permitted in other commercial districts because they attract heavy vehicular traffic or have certain adverse impacts; and to provide opportunities for offices and certain limited industrial uses that have impacts comparable to those of permitted retail and service uses to occupy space not in demand for retailing or services.” The subject site is currently developed with a drive-thru restaurant use in an existing commercial building which has occupied the site for more than 40 years. Based on the nature of a drive-thru business, it has the propensity to attract heavier vehicular traffic than other commercial uses, which is appropriate for North Sepulveda Boulevard.

- B. The proposed location of the use and the proposed conditions under which the uses would be operated or maintained will be consistent with the General Plan; will not be detrimental to the public health, safety or welfare of persons residing or working on the proposed project site or in or adjacent to the neighborhood of such uses; and will not be detrimental to properties or improvements in the vicinity or to the general welfare of the city for the following reasons:

The General Plan encourages a “general commercial district” that provides “opportunities for a broad range of retail and service commercial and professional office uses intended to meet the needs of local residents and businesses and to provide goods and services for the regional market.” As described in the General Plan Consistency section above, the proposed Project is consistent with applicable General Plan goals and policies. Further, conditions of approval have been proposed which would mitigate any detrimental impacts to the public health, safety or welfare. As a result of the minimal nature of site improvements, detrimental impacts to properties and improvements are not anticipated. Rather, The Project would assist in reducing the existing impacts related to noise, headlight glare, and traffic.

- C. The proposed use will comply with the provisions of this title, including any specific condition required for the proposed uses in the district in which they would be located for the following reasons:

The existing restaurant use and proposed expansion of restaurant operations use are permitted uses at the Property, subject to approval of a use permit. If the Use Permit Amendment is approved, the existing restaurant use and proposed expansion of restaurant operations will continue to be in compliance with all provisions of Title 10 of the Manhattan Beach Municipal Code (“MBMC”). Furthermore, operating characteristics and conditions of approval that serve to minimize any potential adverse impacts associated with the Project are included in this resolution which will ensure compliance with the required findings for a Use Permit and serve as the governing resolution for the development and operation of the Project.

- D. The proposed use will not adversely impact or be adversely impacted by nearby properties. Potential impacts are related but not necessarily limited to traffic, parking, noise, vibration, odors, resident security and personal safety, and aesthetics, or create demands exceeding the capacity of public services and facilities which cannot be mitigated for the following reasons:

The existing restaurant use and proposed modifications do not adversely impact neighboring properties, as they are compatible with the surrounding commercial uses in the CG zone. Additionally, conditions of approval have been identified which will mitigate traffic, noise, parking, and aesthetic conditions which may currently impact the surrounding properties and public rights-of-way. Furthermore, the existing and proposed uses were contemplated when the General Plan was adopted, and will not create demands exceeding the capacity of public services and facilities.

SECTION 8. Based upon the foregoing, the Planning Commission hereby **APPROVES** the Use Permit Amendment to allow the construction of a new 181 square-foot unenclosed outdoor patio area with patron seating, alteration of an existing drive-thru lane into a two-vehicle lane drive-thru (Y-lane), and modification of the existing parking lot configuration at an existing commercial building, subject to the conditions below. All conditions applied to BZA Resolution No. 79-9 remain in full effect unless expressly modified by the conditions contained herein:

General

1. The Project shall be in substantial conformance with the plans and Project description submitted to, and approved by, the Planning Commission on February 28, 2024, as amended and conditioned. Any substantial deviation from the approved plans and Project description, as conditioned, shall require review by the Community Development Director to determine if approval from the Planning Commission is required.
2. Any questions of intent or interpretation of any condition will be reviewed by the Community Development Director to determine if Planning Commission review and action is required.
3. Modifications and improvements to the tenant space shall be in compliance with applicable Building Division and Fire Department regulations when applicable.

Operation

4. The Project shall be operated in conformance with all applicable provisions of the MBMC.
5. The operators of the business shall provide adequate management and supervisory techniques to prevent loitering and other security concerns outside the subject business.
6. Speakers utilized as part of drive-thru operations shall be oriented at least 90 degrees away from the western property line.
7. The operators of the business shall police the Property and all areas adjacent to the business during the hours of operation to keep it free of litter and food debris.
8. No deliveries shall occur between 8:00 p.m. and 8:00 a.m.
9. A pedestrian railing shall be installed around the perimeter of the proposed outdoor seating area.
10. Upon determination that there are reasonable grounds for revocation or modification of the Use Permit, the Planning Commission or City Council may review the Use Permit in accordance with the requirements of MBMC Chapter 10.104. Modification may consist of conditions deemed reasonable to mitigate or alleviate impacts to adjacent land uses.
11. City staff will periodically review the approved use permit to determine compliance with conditions imposed and Municipal Code requirements.
12. Bicycle parking shall be provided at a rate consistent with that established by the MBMC. The location of bicycle parking shall be shown on the building plans submitted for the Project, in substantial compliance with the approved plans.

Refuse

13. Building plans submitted for the Project shall demonstrate compliance with all trash enclosure requirements established by the Public Works department, in substantial compliance with the approved plans.

Landscaping

14. Landscaping shall be maintained in healthy and thriving manner.
15. Landscaping along the northern property line shall be maintained at a height that adequately shields the adjacent public right-of-way (Ninth Street) from headlights of vehicles on the Project site, in substantial compliance with the approved plans.

Signage

16. All new signs and alterations to existing signs shall be subject to separate permits and shall be in compliance with the City's sign code.
17. No temporary banner or other temporary signs shall be placed on the site without City permit and approval.

Procedural

18. The property owner shall be required to obtain a City of Manhattan Beach right-of-way encroachment permit for any projections into the public right-of-way.
19. Terms and Conditions are Perpetual; Recordation of Covenant. The provisions, terms and conditions set forth herein are perpetual, and are binding on the owner, its successors-in-interest, and, where applicable, all tenants and lessees of the site. Further, the owner shall submit the covenant, prepared and approved by the City, indicating its consent to the conditions of approval of this Resolution, and the City shall record the covenant

with the Office of the County Clerk/Recorder of Los Angeles. Owner shall deliver the executed covenant, and all required recording and related fees, to the Department of Community Development within 30 days of the adoption of this Resolution. Notwithstanding the foregoing, the Director may, upon a request by owner, grant an extension to the 30-day time limit. The Project approval shall not become effective until recordation of the covenant.

SECTION 9. Indemnity, Duty to Defend and Obligation to Pay Judgments and Defense Costs, Including Attorneys' Fees, Incurred by the City. The operator shall defend, indemnify, and hold harmless the City, its elected officials, officers, employees, volunteers, agents, and those City agents serving as independent contractors in the role of City officials (collectively "Indemnitees") from and against any claims, damages, actions, causes of actions, lawsuits, suits, proceedings, losses, judgments, costs, and expenses (including, without limitation, attorneys' fees or court costs) in any manner arising out of or incident to this approval, related entitlements, or the City's environmental review thereof. The operator shall pay and satisfy any judgment, award or decree that may be rendered against City or the other Indemnitees in any such suit, action, or other legal proceeding. The City shall promptly notify the owner of any claim, action, or proceeding and the City shall reasonably cooperate in the defense. If the City fails to promptly notify the owner of any claim, action, or proceeding, or if the City fails to reasonably cooperate in the defense, the owner shall not thereafter be responsible to defend, indemnify, or hold harmless the City or the Indemnitees. The City shall have the right to select counsel of its choice. The owner shall reimburse the City, and the other Indemnitees, for any and all legal expenses and costs incurred by each of them in connection therewith or in enforcing the indemnity herein provided. Nothing in this Section shall be construed to require the owner to indemnify Indemnitees for any Claim arising from the sole negligence or willful misconduct of the Indemnitees. In the event such a legal action is filed challenging the City's determinations herein or the issuance of the approval, the City shall estimate its expenses for the litigation. The owner shall deposit said amount with the City or enter into an agreement with the City to pay such expenses as they become due.

SECTION 10. The Planning Commission's decision is based upon each of the totally independent and separate grounds stated herein, each of which stands alone as a sufficient basis for its decision.

SECTION 11. This Resolution shall become effective when all time limits for appeal as set forth in MBMC Section Chapter 10.100 have expired.

SECTION 12. The Secretary of the Planning Commission shall certify to the adoption of this Resolution and shall forward a copy of this Resolution to the Applicant. The Secretary shall make this resolution readily available for public inspection.

[Continued on following page]

SECTION 13. This Use Permit Amendment shall lapse two years after its date of approval, unless implemented or extended pursuant to 10.84.090 of the Municipal Code.

February 28, 2024

Robert Tokashiki
Planning Commission Chair

I hereby certify that the following is a full, true, and correct copy of the Resolution as **ADOPTED** by the Planning Commission at its regular meeting on **February 28, 2024**, and that said Resolution was adopted by the following vote:

AYES:

NOES:

ABSTAIN:

ABSENT:

Talyn Mirzakhianian
Secretary to the Planning Commission

Rosemary Lackow
Recording Secretary

(7) 3 1

RESOLUTION 79-9

RESOLUTION OF THE BOARD OF ZONING ADJUSTMENT OF THE CITY OF MANHATTAN BEACH APPROVING THE CONDITIONAL USE PERMIT FOR THE PROPERTY CONSISTING OF LOTS 1, 2 and 3, BLOCK 14, TRACT 142, IN THE CITY OF MANHATTAN BEACH FOR THE RESTAURANT KNOWN AS JACK-IN-THE-BOX (815 Sepulveda Boulevard)

WHEREAS, the Board of Zoning Adjustment of the City of Manhattan Beach conducted a public hearing to consider an application for a conditional use permit for the property consisting of Lots 1, 2, and 3, Block 14, Tract 142, located at 815 Sepulveda Boulevard, in the City of Manhattan Beach; and

WHEREAS, said application was filed by Foodmaker, Inc., owner of the subject property; and

WHEREAS, said public hearing was advertised pursuant to applicable law and testimony was invited from interested persons and received from the applicant's representative; and

WHEREAS, the purpose of the proposed conditional use permit would be to allow the expansion of an existing 1400 square foot restaurant to 2000 square feet which would allow the expansion of the seating capacity from 32 patrons to approximately 55 patrons;

WHEREAS, the project has been evaluated in accordance with the California Environmental Quality Act, and a Negative Declaration has been filed; and

WHEREAS, the Board of Zoning Adjustment made the following findings with regard to the subject application:

1. The Board of Zoning Adjustment processed a conditional use permit in 1977 to allow the expansion of the subject restaurant from a food-to-go only restaurant to a food-to-go and a sit-down restaurant.
2. During those proceedings public opposition was received regarding refuse problems on 9th Street and noise and traffic exiting onto 9th Street, and as a result of this opposition at that previous hearing, the Board recommended to other City Boards that the driveway be closed; and, it has subsequently been closed.
3. The property is designated C-2 and it is joined on the west by R-1 property and on the other directions joined by general commercial and by streets.
4. The proposed addition would require 20 parking spaces and the plot plan submitted with the application shows 23 spaces.
5. The project site requires 1375 square feet in landscaping and the plans show approximately 1400 square feet designated for landscaping.
6. The signs are in compliance with the Sign Code at the present time.
7. The proposed expansion did not receive any opposition at this hearing and it is not anticipated that the proposed expansion will create any nuisance to the adjoining properties.

NOW, THEREFORE, BE IT RESOLVED, that based on the above findings, that the Board of Zoning Adjustment hereby approves the conditional use permit subject to the following conditions:

1. That bicycle rack for a minimum of five bicycles be provided adjacent to the front entrance at a safe location.
2. That the remote speaker system not create a nuisance to adjacent property owners.
3. That a pedestrian railing be installed at the southeast corner of the proposed addition to prevent pedestrians from walking directly into exiting vehicular traffic.
4. That adequate trash receptacles be provided at or near all exits to allow removal of refuse from vehicle to receptacle.

(page 1 of 2)

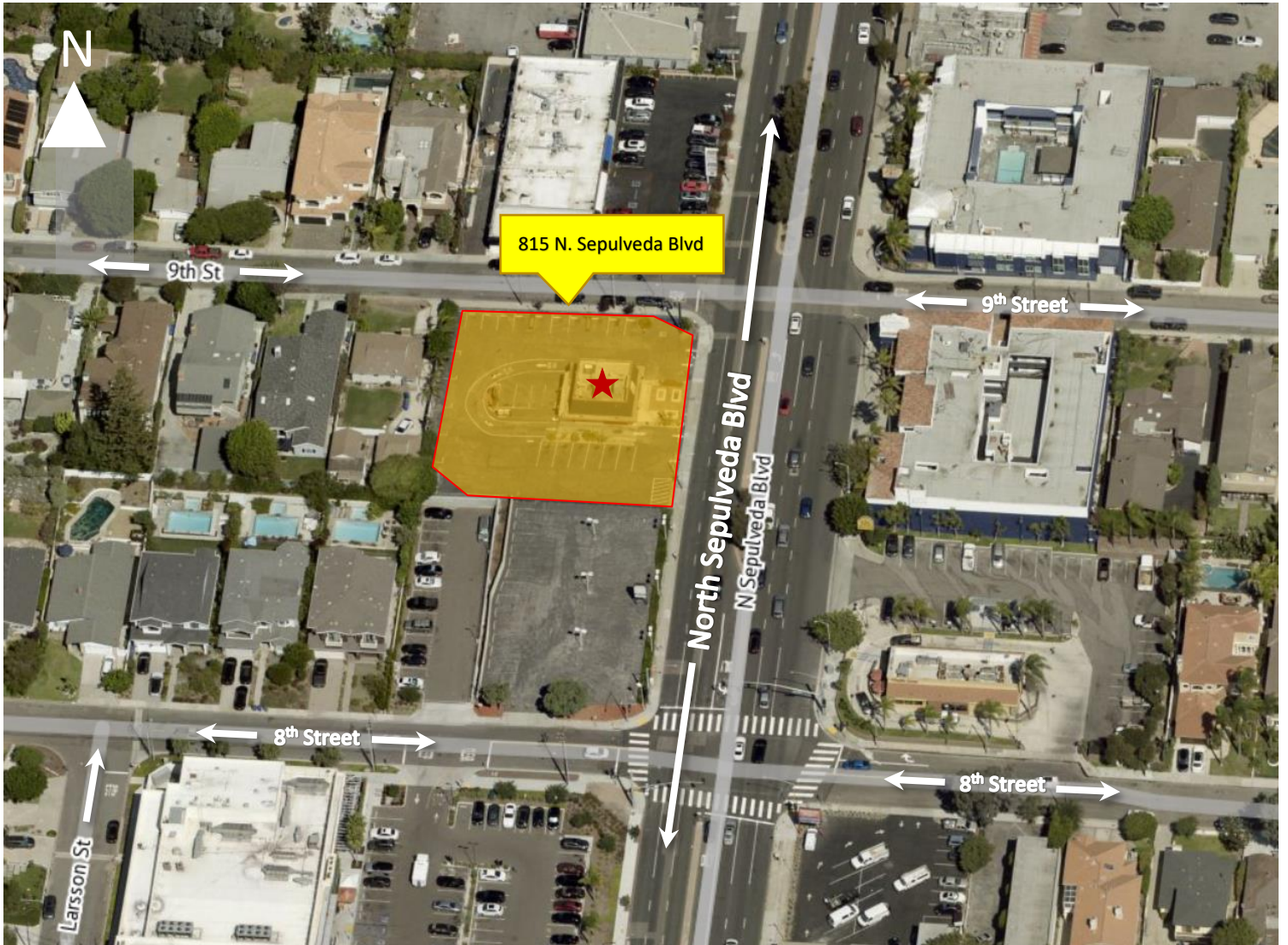
RESOLUTION 79-9
(continued)

5. That the three parking spaces directly west of the building be used for employees only to avoid conflict when exiting with vehicles waiting for car service.
6. That the proposed conditional use permit be reviewed on an annual basis.
7. That the proposed signs on the north and the south are not permitted by the current Sign Code.

I hereby certify that the foregoing is a full, true and correct copy of the Resolution as adopted by the Board of Zoning Adjustment at their regular meeting of May 8, 1979, and that said Resolution was adopted by the following vote:

AYES: Clancy, Cole, Duffy, Simpson, and Logan
NOES: None
ABSENT: None
NOT VOTING: None

THOMAS H. CORLEY, Secretary to the Board of Zoning Adjustment

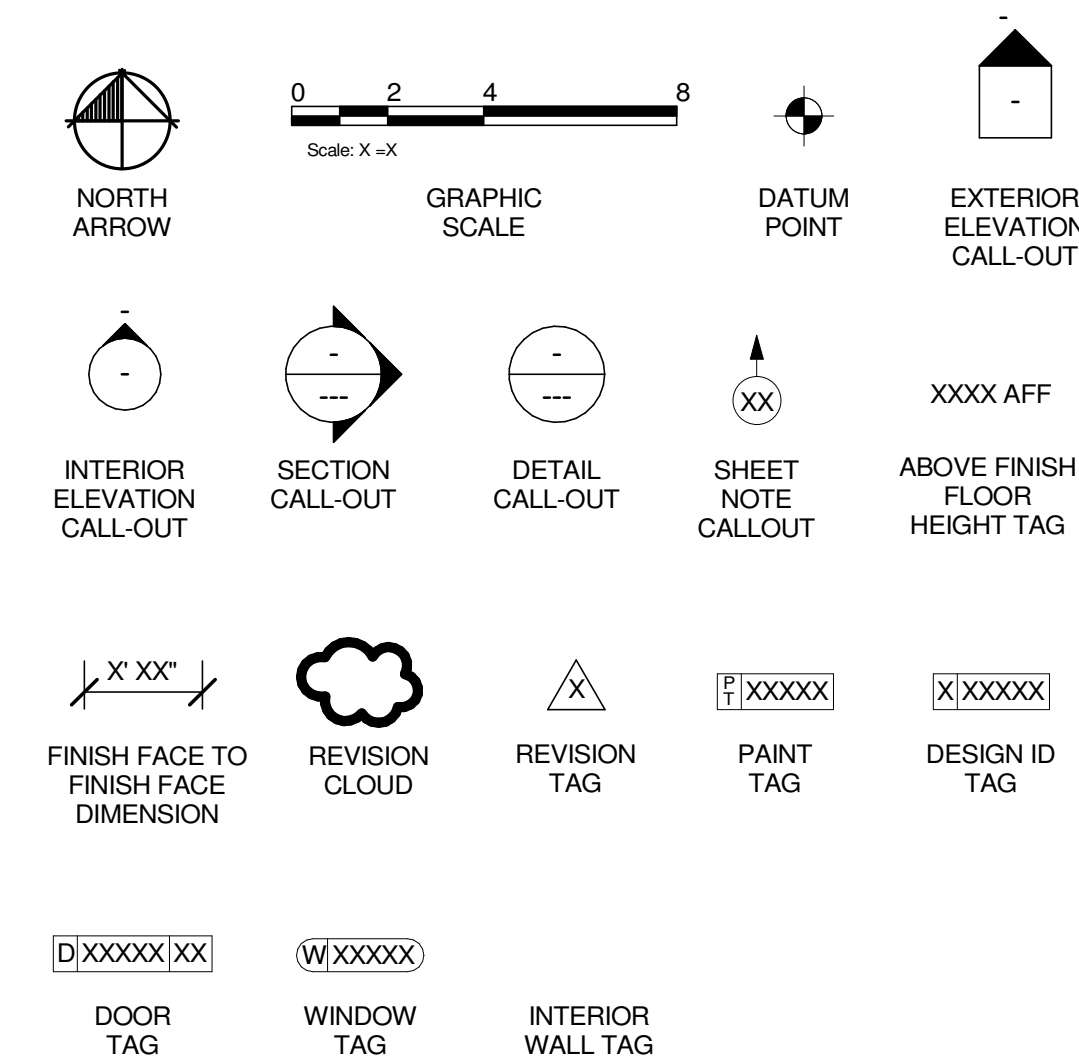


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ABBREVIATIONS

A/C	AIR CONDITIONING	I.D.	INSIDE DIAMETER
ACT	ACOUSTICAL CEILING TILE	LEED	LEADERSHIP IN ENERGY AND ENVIRONMENTAL DESIGN
ADJ	ADJUSTABLE	LL	LANDLORD
AFF	ABOVE FINISHED FLOOR	LV	LOW VOLTAGE
AMP	AMPERE		
ARCH	ARCHITECT		
BOH	BACK OF HOUSE	MAX	MAXIMUM
CAB	CABINET	MEP	"MECHANICAL, ELECTRICAL AND PLUMBING"
CL	CENTER LINE	MFR	MANUFACTURER
CLG	CEILING	MIN	MINIMUM
CM	STARBUCKS CONSTRUCTION MANAGER	NIC	NOT IN CONTRACT
CTR	CENTER	NL	NIGHT LIGHT
CX	COMMISSIONING	NTS	NOT TO SCALE
CXA	COMMISSIONING AGENT		
DEG	DEGREE	OC	ON CENTER
DET	DETAIL	O.D.	OUTSIDE DIAMETER
DIA	DIAMETER	PIR	PASSIVE INFRARED SENSOR
DIM	DIMENSION	PLC	PLACE
DM	STARBUCKS DESIGN MANAGER		
DN	DOWN	R	RADIUS
EA	EACH	REF	REFERENCE
EL	ELEVATION	REQ'D	REQUIRED
EQ	EQUAL	REV	REVISION
EXIST	EXISTING	RND	ROUND
EXT	EXTERIOR	SB	STARBUCKS
FF&E	FURNITURE, FIXTURE, AND EQUIPMENT	SC	SOLID CORE
FLR	FLOOR	SF	SQUARE FEET
FOH	FRONT OF HOUSE	SHT	SHEET
FOIC	FURNISHED BY OWNER, INSTALLED BY CONTRACTOR	SH	SIMILAR
FOIO	FURNISHED BY OWNER, INSTALLED BY OWNER	SPEC	SPECIFICATION
FT	FOOT/FEET	SQ	SQUARE
G	GROUND	TEMP	TEMPORARY
GC	GENERAL CONTRACTOR	TYP	TYPICAL
GWB	GYPSPUM WALLBOARD	UC	UNDER COUNTER
HC	HOLLOW CORE	UNO	UNLESS NOTED OTHERWISE
HDW	HARDWARE	VERT	VERTICAL
HM	HOLLOW METAL	VIF	VERIFY IN FIELD
HORIZ	HORIZONTAL		
HR	HOUR		
HT	HEIGHT		
HVAC	HEATING, VENTILATING AND AIR CONDITIONING		

ARCHITECTURAL SYMBOL LEGEND



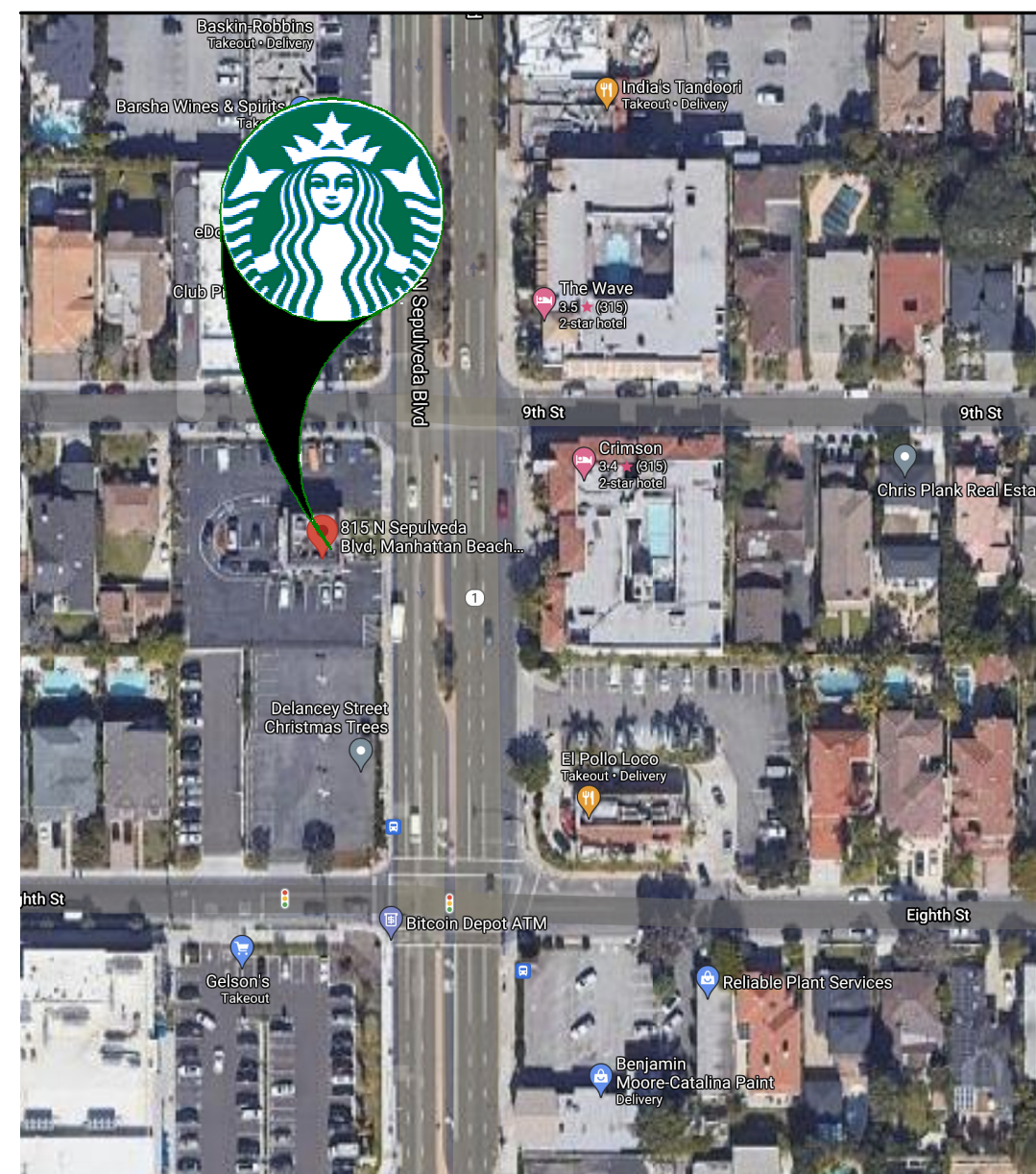
DEFERRED / SEPARATE PERMITS

EXTERIOR SIGNAGE:	SIGNAGE VENDOR SHALL BE RESPONSIBLE FOR PREPARING DRAWINGS AND OBTAINING ALL BUILDING PERMITS AS REQUIRED BY LOCAL JURISDICTION
SOLAR PANELS::	SOLAR PANEL VENDOR SHALL BE RESPONSIBLE FOR PREPARING DRAWINGS AND OBTAINING ALL BUILDING PERMITS AS REQUIRED BY LOCAL JURISDICTION

SCOPE OF WORK

AN (E) STARBUCKS WITH A DRIVE-THRU COFFEE SHOP. SCOPE OF WORK INCLUDES DEMOLITION OF (E) SITE PARKING TO PREPARE FOR NEW PARKING LAYOUT THROUGHOUT. PREPARING SITE FOR NEW Y-LANE DRIVE THRU AND ORDER POINT. RELOCATION OF (N) ACCESSIBLE PARKING STALLS AND PATH OF TRAVEL FROM STALLS. (N) PATIO AREA WITH CANOPY ABOVE AND SOLAR PANELS ABOVE THE CANOPY.

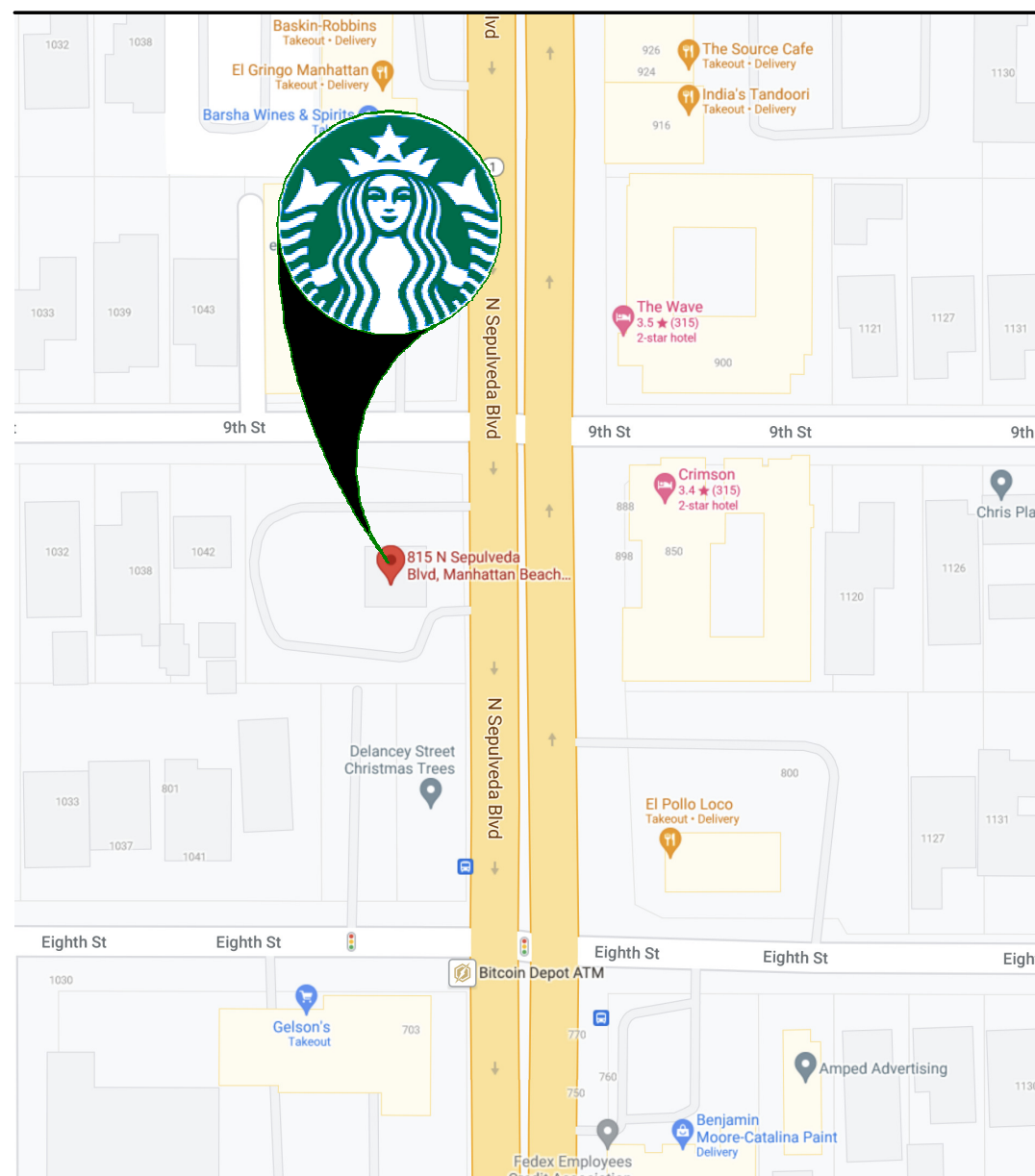
VICINITY PLAN



RESPONSIBILITY LEGEND

GC	GENERAL CONTRACTOR
LL	LANDLORD
SB	STARBUCKS
VD	VENDOR

AERIAL MAP



PROJECT CONTACTS

MAILING ADDRESS:	STARBUCKS COFFEE COMPANY 2401 UTAH AVENUE SOUTH MS STOP: S-SD10 SEATTLE, WASHINGTON 98134 (206) 318-1575
SR. DESIGN MANAGER:	STEVEN POON STARBUCKS COFFEE COMPANY 555 ANTON BLVD., SUITE 300 COSTA MESA, CA 92626 (714) 477-2853 PHONE SPOON@STARBUCKS.COM
DESIGN MANAGER:	SLADE BLANCHARD STARBUCKS COFFEE COMPANY 555 ANTON BLVD., SUITE 300 COSTA MESA, CA 92626 (714) 477-2857 PHONE SBLANCH@STARBUCKS.COM
CONSTRUCTION MANAGER:	MATT ROBITAILLE STARBUCKS COFFEE COMPANY 555 ANTON BLVD., SUITE 300 COSTA MESA, CA 92626 (714) 477-2852 PHONE MROBITAI@STARBUCKS.COM
CONSTRUCTION REPRESENTATIVE:	MICHELE GURLEY STARBUCKS COFFEE COMPANY 555 ANTON BLVD., SUITE 300 COSTA MESA, CA 92626 (714) 477-2850 PHONE MGURLEY@STARBUCKS.COM
LANDLORD:	PARHAM (PAUL) SOROUDI P.O. BOX 24654 LOS ANGELES, CA 90024 (213) 305-1802 PHONE PAUL@E-CONVENIRE.COM
ARCHITECT OF RECORD:	MARLEN BUTCHER VALERIO ARCHITECTS INC. 5858 WILSHIRE BLVD., SUITE 200 LOS ANGELES, CA 90036 (323) 954-8996 X118 PHONE MBUTCHER@VALERIOINC.COM
MEP CONSULTANT OF RECORD:	MILAN PESAKOVIC ACIES ENGINEERING 3371 OLCOTT ST. SANTA CLARA, CA 95054 (408) 522-5255 X123 PHONE MILAN@ACIES.NET
STRUCTURAL CONSULTANT:	RICHARD PLUMP PLUMP ENGINEERING, INC. 914 E. KATELLA AVE. ANAHEIM, CA 92805 (714) 385-1835 X103 PHONE RICHARDPLUMP@PEICA.COM

PARKING EXISTING AND NEW

EXISTING STALLS: 25
BASED ON THE 1 PER 75 SQ. FT.
NET AREA = 1,470 SQ. FT.
PATIO AREA = 181 SQ. FT.
TOTAL = 1,651 SQ. FT. / 75 = 22.01 = 22 STALLS REQUIRED
23 STALLS PROPOSED INCLUDING 2 ACCESSIBLE STALLS, INCLUDING 1 VAN ACCESSIBLE

BUILDING INFORMATION

TYPE OF USE:	EATING & DRINKING ESTABLISHMENT
TYPE OF CONSTRUCTION:	V-B
# OF STORIES:	1
BUILDING HEIGHT:	± 20'-7"
SPRINKLERED:	NO
# OF EMPLOYEE/SHIFT:	4
OCCUPANCY TYPE:	B
OCCUPANT LOAD:	
CAFE	327 S.F./15= 22
RETAIL	101 S.F./60= 2
PREP	416 S.F./200= 3
B.O.H.	604 S.F./200= 3
QUEUE	22 S.F./5= 5
UNOCCUPIED:	272 S.F.
TOTAL INTERIOR OCCUPANT LOAD:	35 OCCUPANTS
TOTAL EXITS:	1 REQUIRED/ 2 PROVIDED
GROSS TENANT AREA:	± 1,742 S.F.
NET TENANT AREA:	±1,470 S.F.

PLUMBING FIXTURES: OCCUPANCY LOAD CALCULATION*

INT. SEATING:	327 S.F. / 30 = 11
PATIO SEATING:	181 S.F. / 30 = 6
REMAINING:	1143 S.F. / 200 = 8
TOTAL:	= 25 (< 50)
	(12.5 MEN, 12.5 WOMEN)

GENERAL NOTES

- THE DRAWINGS AND PROJECT MANUAL TOGETHER CONSTITUTE THE CONTRACT FOR CONSTRUCTION. ALL GENERAL REQUIREMENTS ARE TO BE MET AND ALL MATERIALS, FINISHES AND SYSTEMS ARE TO BE INSTALLED AND PERFORM PER SPECIFICATIONS UNLESS OTHERWISE NOTED.
- GENERAL CONTRACTOR SHALL VISIT THE SITE. REVIEW THE BUILDING SHELL DRAWINGS AS SUBMITTED BY THE LANDLORD OR STARBUCKS AND BECOME THOROUGHLY FAMILIAR WITH THE SITE CONDITIONS PRIOR TO CONSTRUCTION.
- GENERAL CONTRACTOR SHALL CONSULT WITH STARBUCKS CONSTRUCTION MANAGER TO RESOLVE ANY CHANGES, OMISSIONS OR PLAN DISCREPANCIES PRIOR TO CONSTRUCTION.
- ALL WORK SHALL BE PERFORMED IN STRICT COMPLIANCE WITH LOCAL, COUNTY, STATE AND FEDERAL CODES AND ORDINANCES.
- GENERAL CONTRACTOR SHALL VERIFY THE LOCATION OF ALL UTILITIES.
- GENERAL CONTRACTOR TO VERIFY ALL DIMENSIONS, INCLUDING CLEARANCES REQUIRED BY OTHER TRADES AND NOTIFY STARBUCKS CONSTRUCTION MANAGER OF ANY DISCREPANCIES PRIOR TO PROCEEDING WITH THE WORK. ALL DIMENSIONS ARE TO THE FACE OF THE FINISHED SURFACE UNLESS NOTED OTHERWISE. ALL DIMENSIONS TO BE TAKEN FROM DESIGNATED DATUM POINT. DO NOT SCALE DRAWINGS.
- GENERAL CONTRACTOR SHALL PATCH AND REPAIR ALL EXISTING WALLS, FLOORS, CEILINGS, OR OTHER SURFACES IDENTIFIED TO REMAIN THAT MAY BECOME DAMAGED DURING THE COURSE OF THE WORK.
- THE GENERAL CONTRACTOR IS RESPONSIBLE FOR OBTAINING PERMITS FOR FIRE PROTECTION, PLUMBING, MECHANICAL, AND ELECTRICAL SYSTEMS PRIOR TO INSTALLATION OF SUCH SYSTEMS.
- GENERAL CONTRACTOR SHALL RETAIN ONE SET OF PERMIT PLANS ON-SITE TO DOCUMENT ALL CHANGES MADE DURING CONSTRUCTION. THE RECORD DRAWINGS SHALL BE ISSUED TO THE OWNER AT PROJECT CLOSE-OUT AS DESCRIBED IN THE GENERAL REQUIREMENTS OF THE PROJECT MANUAL.
- GENERAL CONTRACTOR IS RESPONSIBLE FOR COORDINATING DELIVERY OF MATERIALS FROM STARBUCKS CONTRACTED THIRD PARTY LOGISTICS DISTRIBUTION SERVICES AND VENDOR DIRECT SHIPMENTS. SEE THE PROJECT MANUAL FOR ADDITIONAL INFORMATION.
- RESPONSIBILITY FOR SUPPLY AND DELIVERY OF MATERIALS AND EQUIPMENT IS IDENTIFIED IN THE DRAWING SCHEDULE SHEETS UNDER THE COLUMN LABELED "RESPONSIBILITY".
- FOR THE PURPOSE OF THE DOCUMENTS, TO "INSTALL", SHALL MEAN TO PROVIDE ALL FASTENERS, MISCELLANEOUS HARDWARE, BLOCKING, ELECTRICAL CONNECTIONS, PLUMBING CONNECTIONS AND OTHER ITEMS REQUIRED FOR A COMPLETE AND OPERATIONAL INSTALLATION, UNLESS OTHERWISE NOTED.
- ALL ITEM SUBSTITUTIONS MUST BE APPROVED BY THE STARBUCKS CONSTRUCTION MANAGER.
- OBTAIN CAL-OSHA PERMIT TO ANY DEMOLITION WORK THAT INVOLVES ASBESTOS/HAZARDOUS WASTE REMOVAL/DISPOSAL/ABATEMENT.
- COMPLY WITH CBC SEC. 3306 REGARDING PROTECTION OF PEDESTRIANS DURING CONSTRUCTION.
- SEPARATE PERMITS AND PLANS ARE REQUIRED FOR SIGNS, DEMOLITION, AND SEWER CAP OF EXISTING BUILDINGS.

SITE INFORMATION

CODE AUTHORITIES:	
BUILDING CODE:	2022 CALIFORNIA BUILDING CODE
PLUMBING CODE:	2022 CALIFORNIA PLUMBING CODE
MECHANICAL CODE:	2022 CALIFORNIA MECHANICAL CODE
ELECTRICAL CODE:	2022 CALIFORNIA ELECTRICAL CODE
ENERGY CODE:	2022 CALIFORNIA ENERGY CODE
FIRE CODE:	2022 CALIFORNIA FIRE CODE
GREEN CODE:	2022 CALIFORNIA GREEN BLDG STD. CODE
ZONING:	
ZONING TYPE:	CG-D8 (AREA DISTRICT I)
APN #:	4170-038-022
TRACT:	NO. 142 (EX OF STS)
LOT:	LOT 1 AND ALL OF LOTS 2 AND LOT 3

INDEX OF SHEETS ATTACHMENT D

SHEET	SHEET TITLE	REVISION 1	REVISION 2	REVISION 3	REVISION 4	REVISION 5
GENERAL						
G001	GENERAL INFORMATION					
ARCHITECTURAL						
A001	EXISTING SITE PLAN & PARKING					
A001.1	PROPOSED SITE PLAN					
C01	PARKING PLAN					
ARCHITECTURAL						
A201	PROPOSED EXTERIOR ELEVATIONS					
A202	PROPOSED EXTERIOR ELEVATIONS					
A203	EXISTING EXTERIOR ELEVATIONS					
A204	EXISTING EXTERIOR ELEVATIONS					
INTERIORS						
I101	FF & E PLAN- GROUND FLOOR					
LANDSCAPE						
L1	LANDSCAPE CUP SITE PLAN					



STARBUCKS®
2401 UTAH AVENUE SOUTH
SEATTLE, WASHINGTON 98134
(206) 318-1575

THESE DRAWINGS AND THE PROJECT MANUAL ARE CONFIDENTIAL AND SHALL REMAIN THE SOLE PROPERTY OF STARBUCKS CORPORATION, WHICH IS THE OWNER OF THE COPYRIGHT IN THIS WORK. THEY SHALL NOT BE REPRODUCED (IN WHOLE OR IN PART), SHARED WITH THIRD PARTIES OR USED IN ANY MANNER ON OTHER PROJECTS OR EXTENSIONS TO THIS PROJECT WITHOUT THE PRIOR WRITTEN CONSENT OF STARBUCKS CORPORATION. THESE DRAWINGS AND SPECIFICATIONS ARE INTENDED TO EXPRESS DESIGN INTENT FOR A PROTOTYPICAL STARBUCKS STORE (WHICH IS SUBJECT TO CHANGE AT ANYTIME) AND DO NOT REFLECT ACTUAL SITE CONDITIONS. NEITHER PARTY SHALL HAVE ANY OBLIGATION NOR LIABILITY TO THE OTHER (EXCEPT STATED ABOVE) UNTIL A WRITTEN AGREEMENT IS FULLY EXECUTED BY BOTH PARTIES.

STARBUCKS TEMPLATE VERSION: i2021.10.22



5858 Wilshire Blvd #200 T:323.954.8996
Los Angeles, CA 90036

381 Park Ave South #823 T:212.252.8996
New York, NY 10016

www.valerioinc.com info@valerioinc.com



PROJECT NAME:
SEPULVEDA & 9TH

PROJECT ADDRESS:
**815 N SEPULVEDA BLVD
MANHATTAN BEACH, CA 90266
LOS ANGELES COUNTY**

STORE #:	66657
PROJECT #:	92070-001
ISSUE DATE:	03/03/23
DESIGN MANAGER:	STEVEN POON
STORE DESIGNER:	KATIE RIFFKIN
CHECKED BY:	VALERIO

Revision Schedule			
Rev	Date	By	Description
	03/03/23	MB	CUP

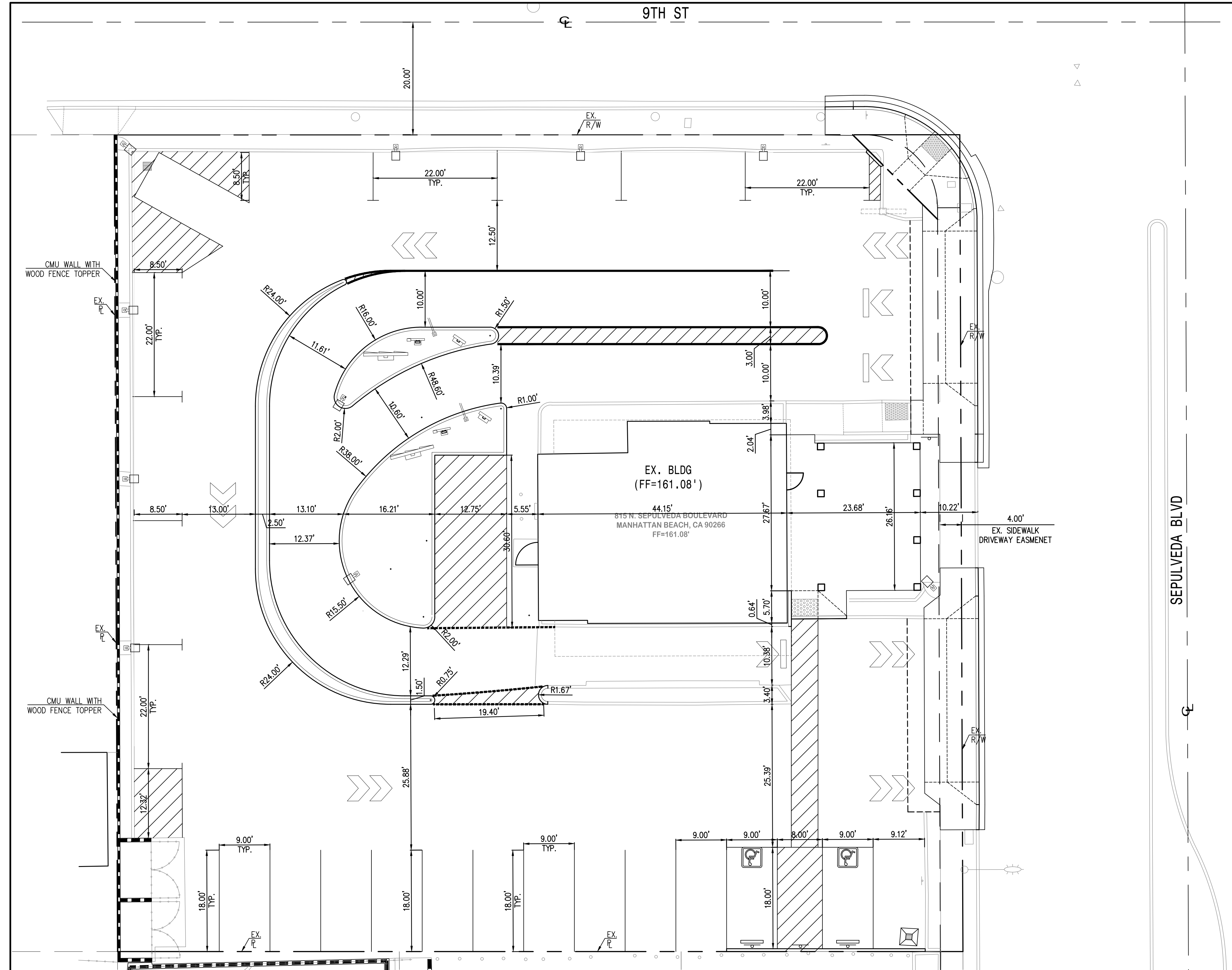
SHEET TITLE:
GENERAL INFORMATION

SCALE: AS SHOW

SHEET NUMBER:
G001

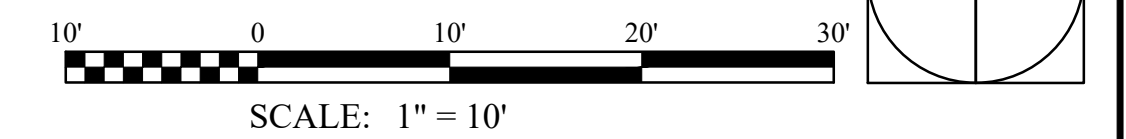
PARKING AREA PLAN

815 N SEPULVEDA BLVD, MANHATTAN BEACH, CA 90266




LEGEND:

= LIGHT POLE



CITY OF MANHATTAN BEACH
PUBLIC WORKS DEPARTMENT - ENGINEERING DIVISION

STARBUCKS GRADING PLAN
815 SEPULVEDA BLVD., MANHATTAN BEACH, CA 90266
PARKING AREA PLAN




NO WORK SHALL BE DONE ON THIS SITE UNTIL USA AGENCY IS NOTIFIED OF INTENTION TO GRADE OR EXCAVATE, TWO WORKING DAYS BEFORE YOU DIG.

SUPPLEMENTAL NOTES:

- THE CONTRACTOR SHALL LOCATE, VERIFY AND PROTECT ALL EXISTING UNDERGROUND UTILITIES. DAMAGED UTILITIES SHALL BE REPLACED IN KIND AT THE CONTRACTOR'S EXPENSE.
- DUE TO INDIVIDUAL LOT IMPROVEMENTS, THE EXISTING WATER, SEWER AND/OR GAS LATERALS MAY NOT BE AT THE LOCATIONS SHOWN OR SHOWN IN THEIR ENTIRETY. THE CONTRACTOR SHALL EXERCISE CAUTION WHEN EXCAVATING.
- THE CONTRACTOR SHALL DETERMINE THE DEPTH OF THE GAS, SEE, CABLE, SEWER, STORM DRAIN AND WATER AT ALL INTERSECTIONS AND INTERFERENCES PRIOR TO CONSTRUCTION AND AS NOTED ON PLANS.



DATE SIGNED: 02-15-2024



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914 E. KATELLA AVENUE
ANAHEIM, CALIFORNIA 92805
(714) 385-1835, FAX (714) 385-1834

NO.	DESCRIPTION	BY	DATE

NO.	DESCRIPTION	BY	DATE

REVIEWED BY: _____ DATE: _____

PROJECT MANAGER (NAME): **TRYFON P. TRYFONOPOULOS** DATE: 02-15-2024

RECOMMENDED BY: **KATHERINE DOHERTY** DATE: _____

SCALE: 1" = 10'
DATE: 02-15-2024
DRAWING NO.: **C01**
SHEET 1 OF 1



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SEATTLE, WASHINGTON 98134
(206) 318-1575

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PROJECT NAME:
SEPULVEDA & 9TH

PROJECT ADDRESS:
815 N SEPULVEDA BLVD
MANHATTAN BEACH, CA 90266
LOS ANGELES COUNTY

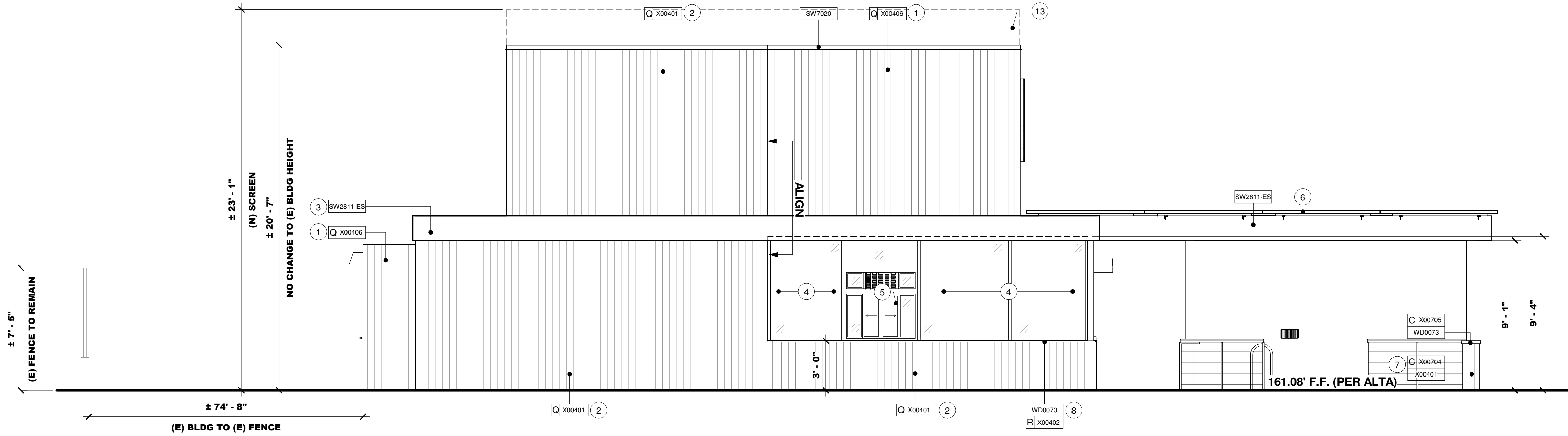
STORE #: 66657
PROJECT #: 92070-001
ISSUE DATE: 03/03/23
DESIGN MANAGER: STEVEN POON
STORE DESIGNER: KATIE RIFFKIN
CHECKED BY: VALERIO

Revision Schedule			
Rev	Date	By	Description
	03/03/23	MB	CUP

SHEET TITLE:
PROPOSED EXTERIOR ELEVATIONS

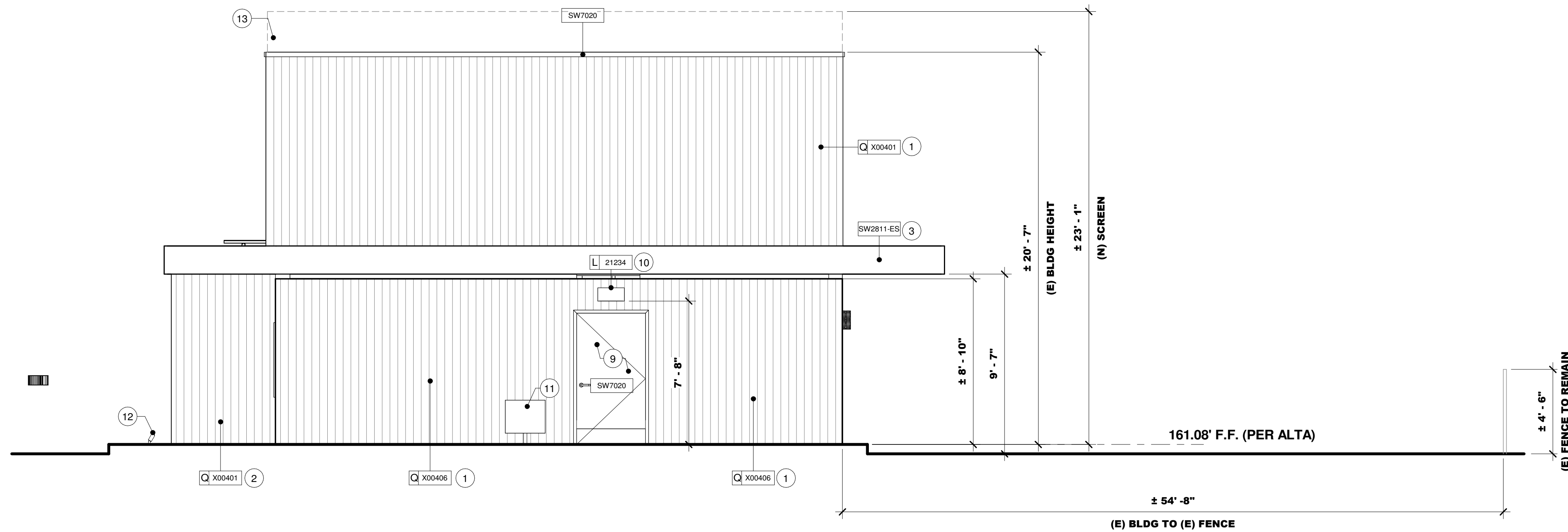
SCALE: 1/4" = 1'-0"

SHEET NUMBER:
A202



01 PROPOSED SOUTH ELEVATION

SCALE: 1/4" = 1'-0"



02 PROPOSED WEST ELEVATION

SCALE: 1/4" = 1'-0"

EXTERIOR SIGNAGE

EXTERIOR SIGNAGE SCHEDULE - "S"					
DESIGN ID	COUNT	DESCRIPTION	FURN. BY	INST. BY	COMMENTS
SIGNAGE - DISK					
13164	1	SIGN - DISK SF ILLUMINATED FLUSH MOUNTED EVOLVED - 60IN 1525MM	SB	GC	UNDER SEPARATE PERMIT
SIGNAGE - DRIVE THRU					
14106	1	SIGN - DT CLEARANCE BAR ARROW SERIES FREESTANDING	SB	GC	UNDER SEPARATE PERMIT
14327	1	SIGN - DT DIRECTIONAL ILLUMINATED ARROW SERIES - 46IN 1170MM	SB	GC	UNDER SEPARATE PERMIT
SIGNAGE - OTHER					
21164	1	SIGN - MOBILE ORDER PICK UP ILLUMINATED FLUSH MOUNT	SB	GC	UNDER SEPARATE PERMIT

GENERAL NOTES

- GENERAL CONTRACTOR TO COORDINATE AND SCHEDULE SIGNAGE INSTALLATION WITH THE SIGNAGE CONTRACTOR PROVIDING A MINIMUM SCHEDULING NOTICE OF 4 WEEKS AND 1 WEEK PRIOR TO SCHEDULED DATE OF INSTALLATION. CONSTRUCTION MANAGER TO PROVIDE GENERAL CONTRACTOR WITH SIGNAGE CONTRACTOR CONTACT INFORMATION.
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- GENERAL CONTRACTOR TO PROVIDE FIRE TREATED WOOD STUD BLOCKING OR EQUIVALENT TO SUPPORT SIGNAGE.
- SIGNAGE CONTRACTOR SHALL VERIFY SIZE AND LOCATION OF ANY AND ALL ALLOWABLE MONUMENT OR POLE SIGNAGE AND PROVIDE SHOP DRAWING(S) PRIOR TO FABRICATION TO THE STARBUCKS DESIGNER FOR APPROVAL.
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- GENERAL CONTRACTOR TO CLEAN, PATCH AND REPAIR EXISTING EXTERIOR AS REQUIRED.
- PARAPETS, SATELLITES, ANTENNAE, RAILS, SKYLIGHTS, ROOF EQUIPMENT MUST BE WITHIN THE HEIGHT LIMIT.

KEYED NOTES

- (E) ALL WOOD CLADDING ON (E) EXTERIOR WALLS, WOOD CLADDING TO END IN ALIGNMENT WITH STOREFRONT.
- (E) WABI SABI WOOD CLADDING ON (E) EXTERIOR WALLS FASTENED WITH CORROSION PROOF STEEL FASTENINGS THAT CONFORM TO ASTM A153 IS RECOMMENDED SUCH AS 304 & 316 STAINLESS STEEL
- (E) PAINT FINISH ON (N) METAL FASCIA, SW7020
- (E) STOREFRONT WINDOWS IN (E) OPENING.
- (E) DT WINDOW W/ AIR CURTAIN.
- (N) SOLAR CANOPY, TRELIS PAINTED TO MATCH (E) METAL FASCIA.
- (N) COLUMNS W/ CASEWORK CASING AND CAPS. COLUMNS TO NOT OBSTRUCT DRIVER SIGHT LINE, REFER TO SITE PLAN.
- (E) WOOD TRIM TO ALIGN WITH BOTTOM OF MULLION, AS SHOWN.
- (E) FINISH ON (E) SERVICE DOOR, (N) PAINT SW7020
- (E) FLOOD LIGHT, CENTERED OVER BOH DOOR. REFER TO RCP.
- (E) GAS METER, TO BE PAINTED SW7020
- (E) LIGHTING TO BE PLACE IN (E) PLANTER.
- (E) SCREEN TO COVER (N) ROOF TOP UNIT.



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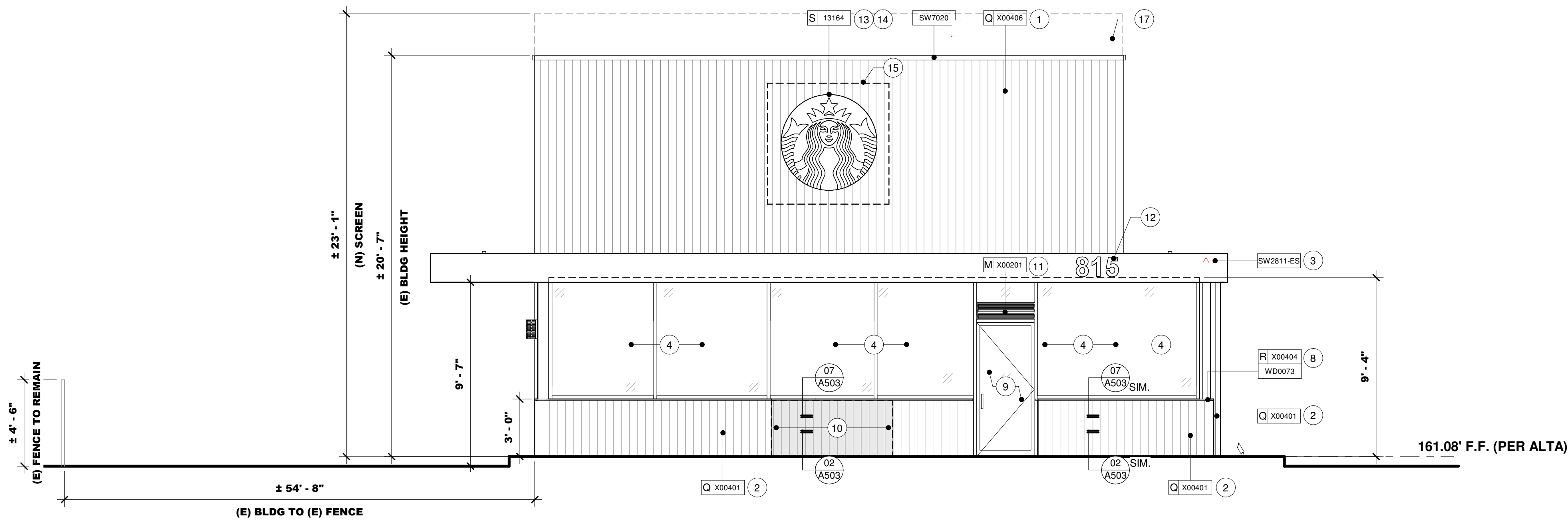
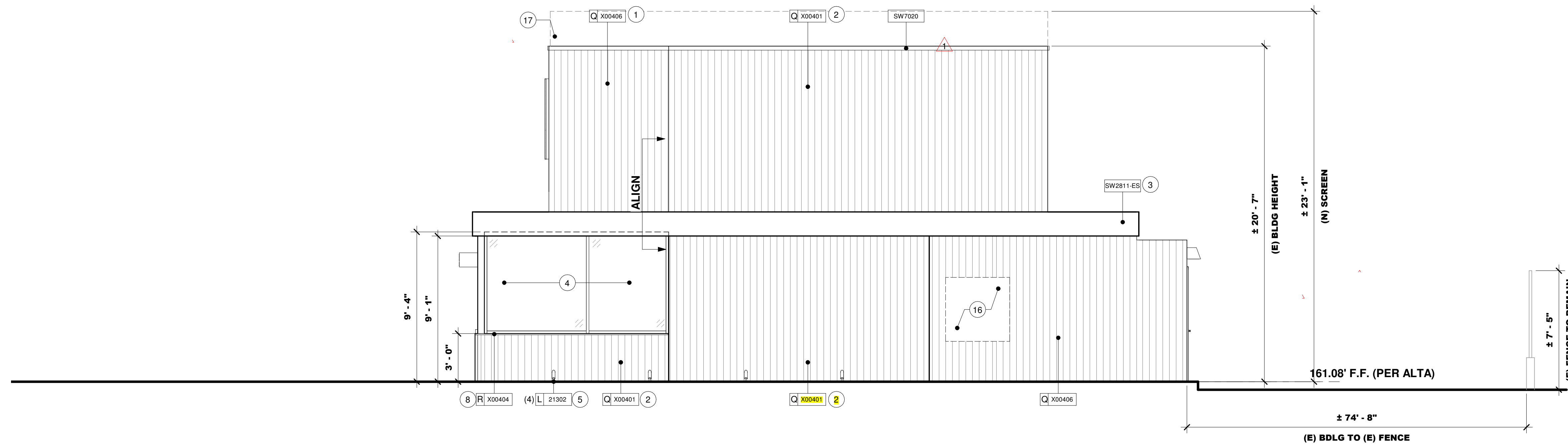
STORE #: 66657
PROJECT #: 92070-001
ISSUE DATE: 06/10/22
DESIGN MANAGER: STEVEN POON
STORE DESIGNER: SLADE BLANCHARD
CHECKED BY: MARLEN BUTCHER

Revision Schedule			
Rev	Date	By	Description
03	03/23	MB	CUP

SHEET TITLE:
EXISTING EXTERIOR ELEVATIONS

SCALE: 1/4" = 1'-0"

SHEET NUMBER:
A203



EXTERIOR SIGNAGE

EXTERIOR SIGNAGE SCHEDULE - "S"					
DESIGN ID	COUNT	DESCRIPTION	FURN. BY	INST. BY	COMMENTS
SIGNAGE - DISK					
13164	1	SIGN - DISK SF ILLUMINATED FLUSH MOUNTED EVOLVED - 60IN 1525MM	SB	GC	UNDER SEPARATE PERMIT
SIGNAGE - DRIVE THRU					
14091	1	SIGN - DT DIRECTIONAL EXIT SIGN ILLUMINATED ARROW SERIES - 46IN 1170MM	SB	GC	UNDER SEPARATE PERMIT
14106	1	SIGN - DT CLEARANCE BAR ARROW SERIES FREESTANDING	SB	GC	UNDER SEPARATE PERMIT
14327	1	SIGN - DT DIRECTIONAL ILLUMINATED ARROW SERIES - 46IN 1170MM	SB	GC	UNDER SEPARATE PERMIT
SIGNAGE - OTHER					
21164	1	SIGN - MOBILE ORDER PICK UP ILLUMINATED FLUSH MOUNT	SB	GC	UNDER SEPARATE PERMIT

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KEYED NOTES

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- (N) PAINT FINISH ON (E) PATCH AND REPAIRED METAL FASCIA.
- (N) STOREFRONT WINDOWS IN (E) OPENING.
- (N) LIGHTING TO RF. PLACE IN (E) PLANTER.
- NOT USED
- NOT USED
- (N) WOOD TRIM TO ALIGN WITH BOTTOM OF MULLION, AS SHOWN.
- (N) STOREFRONT DOOR.
- GRAY HATCH INDICATES (N) INFILL WALL TO MATCH (E) ADJACENT WALLS.
- (N) AIR CURTAIN
- STORE ADDRESS. PROVIDE 3" HIGH BLACK ACRYLIC STORE ADDRESS ON FASCIA ABOVE MAIN ENTRY DOORS.
- PROVIDE J-BOX FOR BUILDING SIGNAGE. COORDINATE LOCATION WITH SIGNAGE VENDOR SHOP DRAWINGS.
- PROVIDE SIGNAGE DISCONNECT ON INSIDE FACE OF WALL.
- 3/4" MARINE GRADE PLYWOOD BLOCKING FOR EXTERIOR SIGNAGE. EXTEND BLOCKING 8" MIN. BEYOND EDGE OF SIGNAGE.
- (N) SOLAR PANEL INVERTER/DISCONNECT
- (N) SCREEN TO COVER (N) ROOF TOP UNIT.



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PROJECT ADDRESS:
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LOS ANGELES COUNTY

STORE #: 66657
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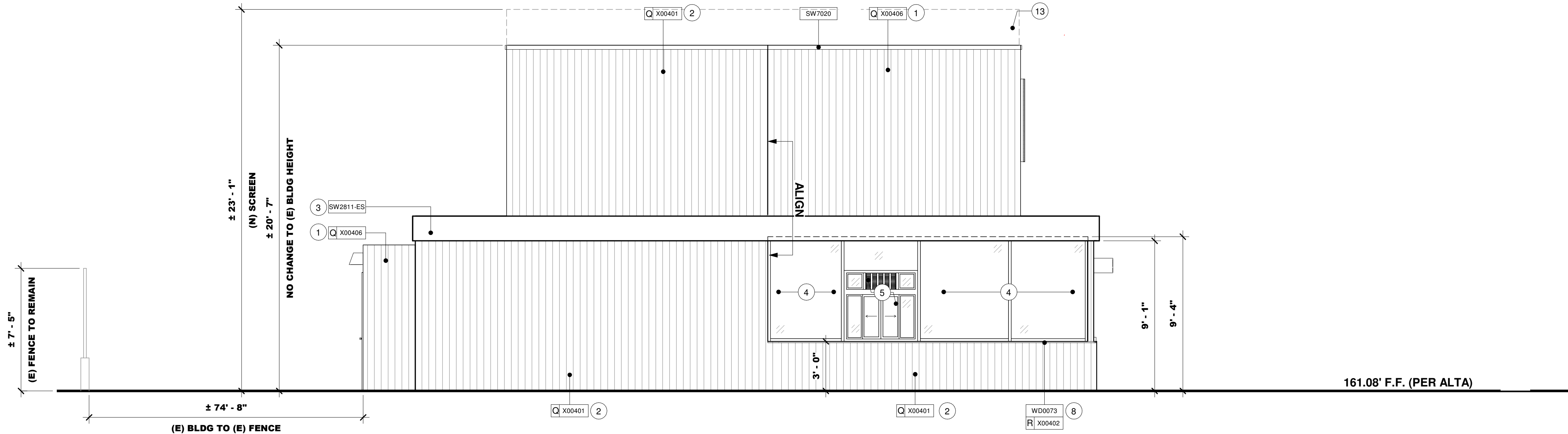
Revision Schedule

Rev	Date	By	Description
	03/03/23	MB	CUP

SHEET TITLE:
EXISTING EXTERIOR ELEVATIONS

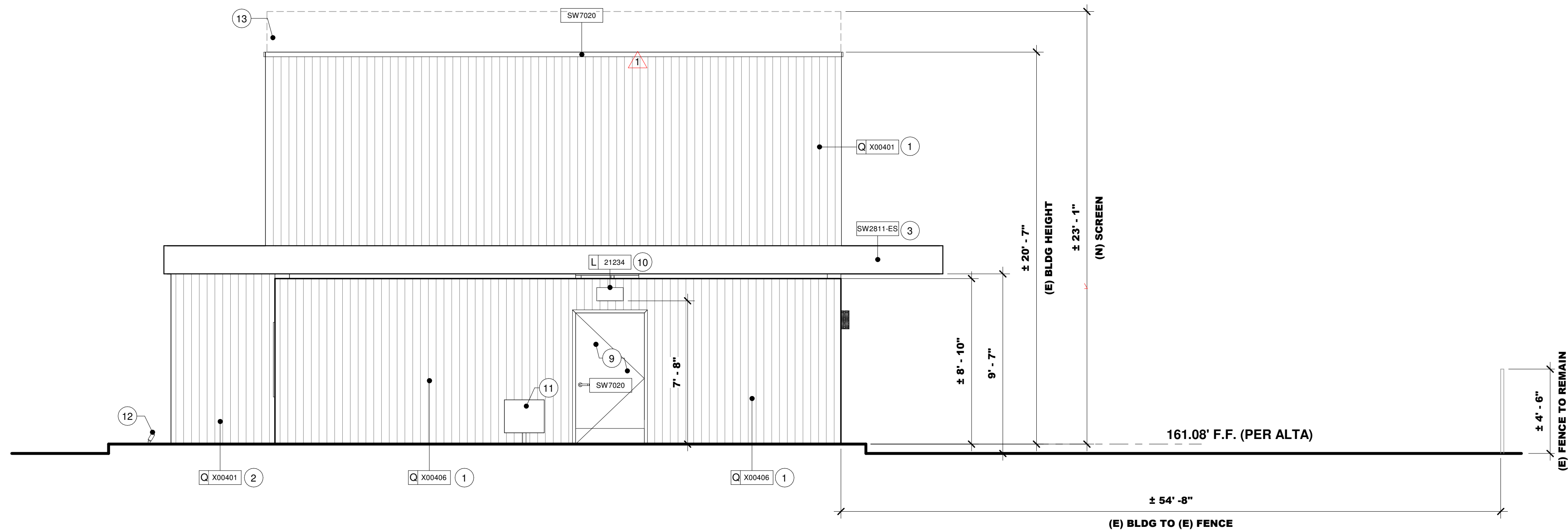
SCALE: 1/4" = 1'-0"

SHEET NUMBER:
A204



01 EXISTING SOUTH ELEVATION

SCALE: 1/4" = 1'-0"



02 EXISTING WEST ELEVATION

SCALE: 1/4" = 1'-0"

EXTERIOR SIGNAGE

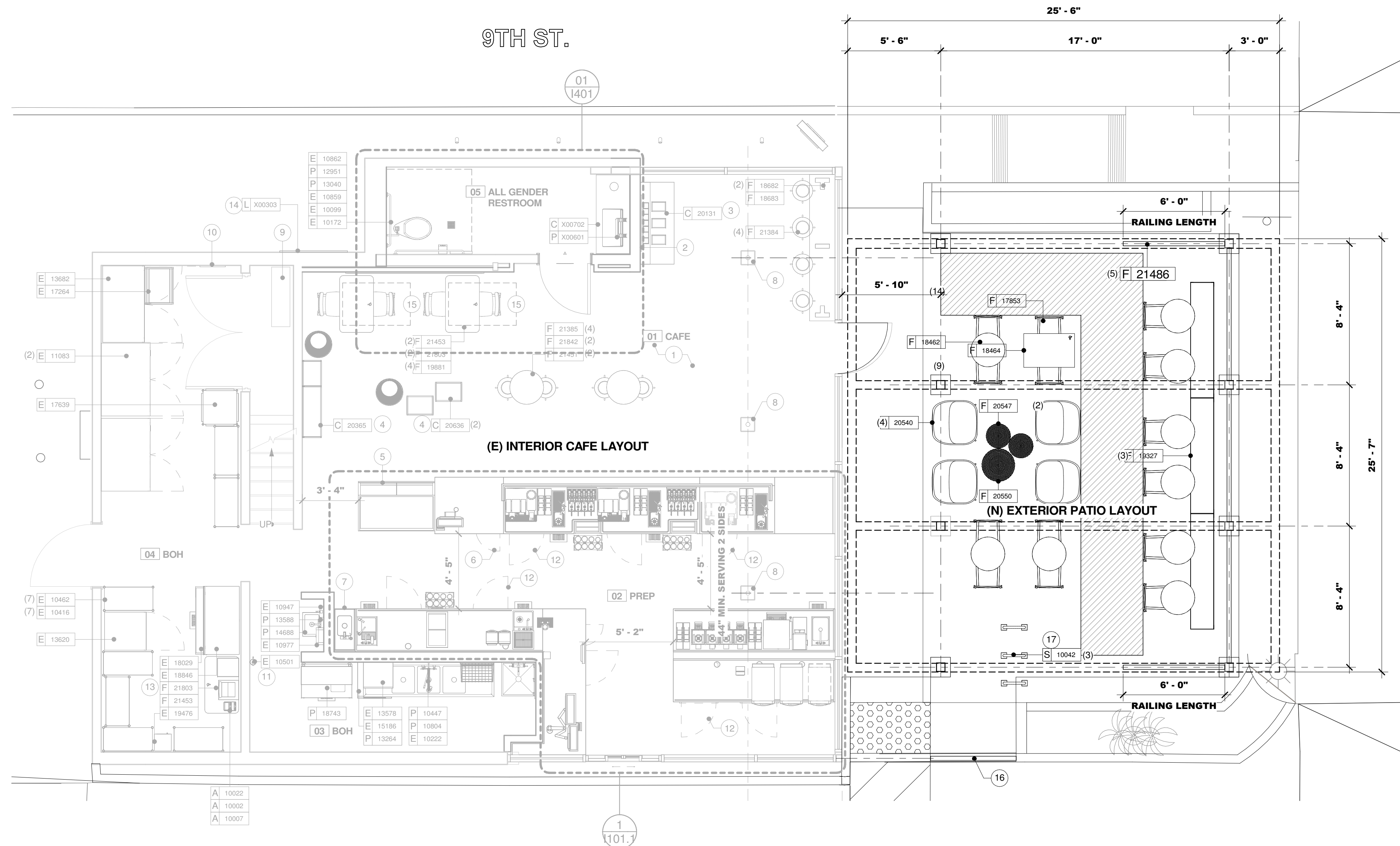
EXTERIOR SIGNAGE SCHEDULE - "S"					
DESIGN ID	COUNT	DESCRIPTION	FURN. BY	INST. BY	COMMENTS
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KEYED NOTES

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Revision Schedule			
Rev	Date	By	Description
	03/03/23	MB	CUP

SHEET TITLE:
FF & E PLAN- GROUND FLOOR

SCALE: 1/4" = 1'-0"

SHEET NUMBER:
1101

LEGEND

- ⊗ REFER TO KEYED NOTES
- X XXXXX EQUIPMENT TAG
- ☒ FIRE EXTINGUISHER
- ⊡ ADA CLEARANCE (30" X 48")

GENERAL NOTES

- A. GENERAL CONTRACTOR TO SCHEDULE WITH LOCAL REFRIGERATION CONTRACTOR TO CONDUCT INITIAL FOOD CASE START-UP AND TESTING. FOR LIST OF APPROVED START UP CONTRACTORS, CONTACT PROJECT CONSTRUCTION REPRESENTATIVE.
- B. THE SITE IS SERVED BY THE MUNICIPAL WATER AND SEWER SYSTEM UNLESS OTHERWISE NOTED.
- C. ALL FOOD STORAGE SHALL BE 6" (150mm) A.F.F.
- D. ALL WOOD SURFACES (DOORS, TRIM, SHELVES, CABINETS) SHALL BE SEALED.
- E. ALL EQUIPMENT AND INSTALLATION WILL MEET NATIONAL SANITATION FOUNDATION STANDARDS OR EQUIVALENT.
- F. ALL EQUIPMENT AND CABINETRY WILL BE FLUSH MOUNTED TO COUNTERS, WALLS OR FLOORS, OR BE RAISED TO ALLOW FOR CLEANING.
- G. CONFIRM ALL NECESSARY EQUIPMENT CLEARANCES PER PRODUCT CUT SHEET (E.G. ICE MACHINE).
- H. FOR LOCATION OF COUNTERTOP EQUIPMENT, REFER TO CASEWORK ELECTRICAL DETAILS.
- I. EQUIPMENT UNITS SHALL CONTAIN NO EXPOSED THREADS, EMBELLISHMENTS OR OVERHANGING EDGES THAT SERVE AS PLACES FOR ACCUMULATION OF DUST, DIRT AND DEBRIS.
- J. WARMING OVEN(S) SHOWN FOR PERMITTING PURPOSES. INSTALLATION AT STORE OPENING TO BE VERIFIED BY STARBUCKS CONSTRUCTION REPRESENTATIVE.
- K. EACH HAND WASHING SINK WILL HAVE A SINGLE SERVICE TOWEL AND SOAP DISPENSER, AND ALL HAND SINKS TO HAVE A COMBINATION FAUCET OR PREMIXING FAUCET.
- L. FOR PLUMBING FIXTURES, REFER TO THE PLUMBING DESIGN PLAN. FOR DATA DEVICE SCHEDULE, REFER TO THE ELECTRICAL DESIGN PLAN.
- M. SEE ELEVATIONS FOR DISTRIBUTION OF CUP DISPENSERS.
- N. PROVIDE FIRE EXTINGUISHERS AS NOTED ON THE APPROVED PLANS FROM THE LOCAL JURISDICTION.

KEYED NOTES

- 1. INSTALL CAFE FURNITURE THROUGHOUT AS SHOWN.
- 2. COMMUNITY BOARD. SEE INTERIOR FINISH ELEVATIONS.
- 3. CONDIMENT CART. SEE INTERIOR FINISH ELEVATIONS.
- 4. PLACE MERCHANDISE FIXTURES AND RETAIL FLOOR BASKETS PER PLAN. STORE OPERATORS TO ORDER RETAIL FLOOR BASKETS.
- 5. DO NOT BLOCK FOOD CASE INTAKE/EXHAUST.
- 6. SAFE LOCATED AT POS CABINET. SEE ELECTRICAL FOR ADDITIONAL INFORMATION.
- 7. HAND SINK W/ INTEGRAL SPLASH GUARD.
- 8. SEE INTERIOR ELEVATIONS FOR (N) FINISHES ON (E) COLUMNS.
- 9. LOCATION OF (E) SWITCHGEAR.
- 10. LOCATION OF LUTRON PANEL.
- 11. LOCATION OF FIRE EXTINGUISHER.
- 12. G.C. TO REVERSE HINGE ON U.C. REFRIGERATOR TO LEFT HAND SWING AS SHOWN.
- 13. PRIMARY MANAGER'S DESK.
- 14. FUTURE SOLAR PANEL INVERTER/DISCONNECT
- 15. 30" X 48" ADA CLEARANCE.
- 16. RAILING TO BE INSTALLED AT THE SOUTHEAST CORNER OF THE PROPOSED ADDITION TO PREVENT PEDESTRIANS FROM WALKING DIRECTLY INTO EXISTING VEHICULAR TRAFFIC
- 17. (N) BICYCLE RACKS
- 18. (N) TRASH RECEPTACLES



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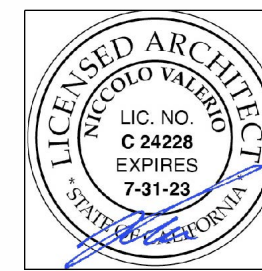
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MANHATTAN BEACH, CA 90266
LOS ANGELES COUNTY**

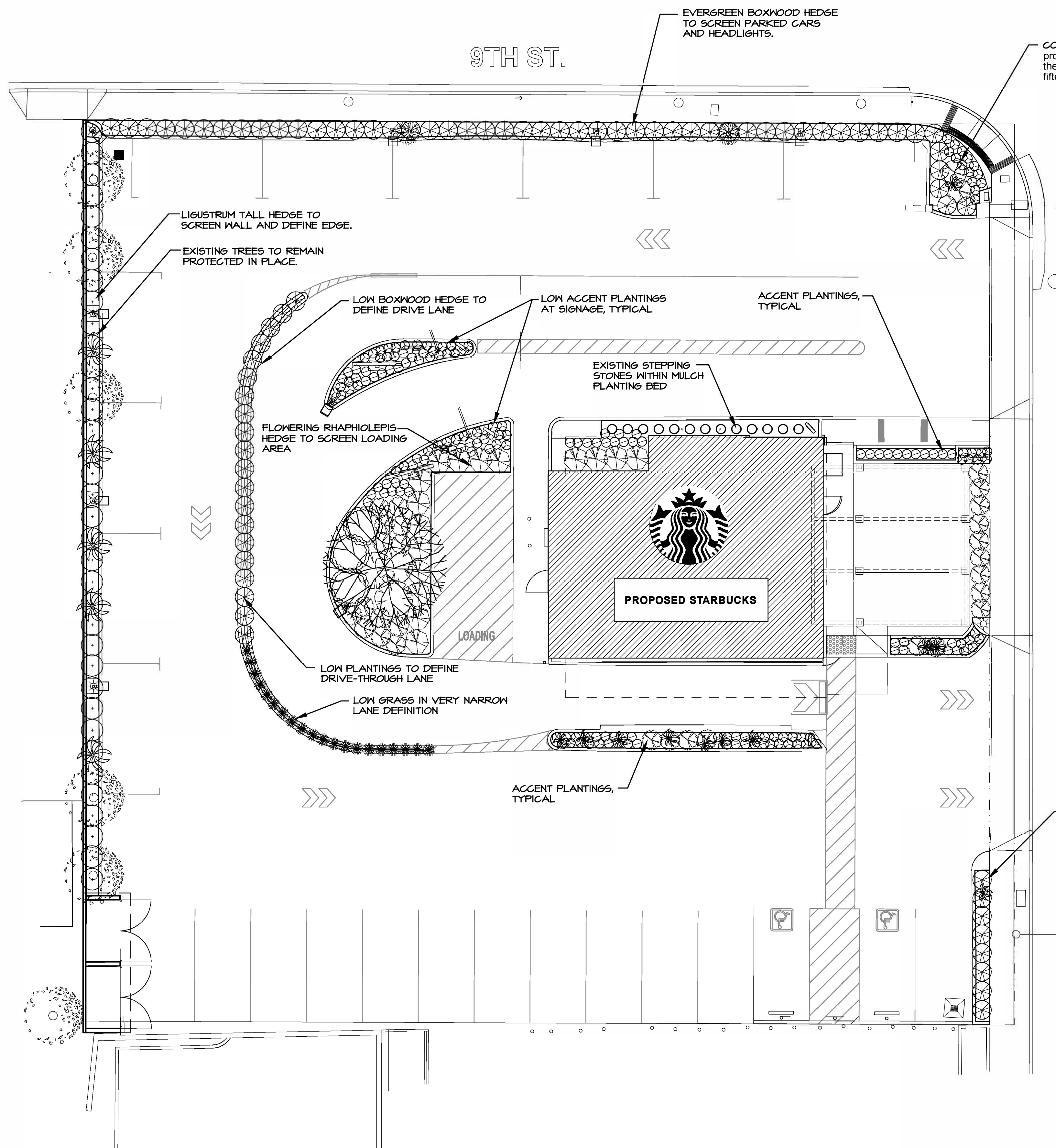
STORE #: 66657
PROJECT #: 92070-001
ISSUE DATE: 02/07/23
DESIGN MANAGER: STEVEN POON
STORE DESIGNER: KATIE RIFFKIN
CHECKED BY: VALERIO

Revision Schedule			
Rev	Date	By	Description

SHEET TITLE:
**LANDSCAPE CUP
SITE PLAN**

SCALE: AS SHOWN

SHEET NUMBER:
L-1



CORNER ACCENT PLANTINGS AND INGRESS IDENTIFICATION PLANTINGS. Visibility of a driveway crossing a street property line shall not be blocked between a height of three feet (3') and nine feet (9') for a depth of five feet (5') from the street property line as viewed from the edge of the right-of-way on either side of the driveway at a distance of fifteen feet (15') or at the nearest property line intersecting the street property line, whichever is less.

SEPULVEDA BLVD.

EVERGREEN BOXWOOD HEDGE TO SCREEN PARKED CARS AND HEADLIGHTS.

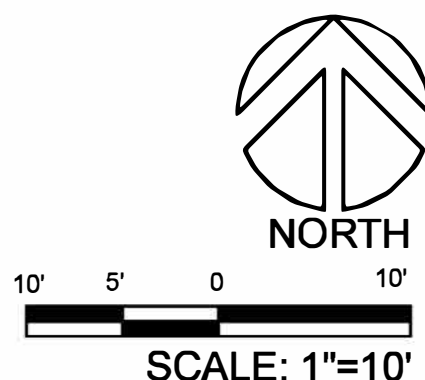
Visibility of a driveway crossing a street property line shall not be blocked between a height of three feet (3') and nine feet (9') for a depth of five feet (5') from the street property line as viewed from the edge of the right-of-way on either side of the driveway at a distance of fifteen feet (15') or at the nearest property line intersecting the street property line, whichever is less.

MANHATTAN BEACH, SUNSET ZONE 24
MUCOLS REGION 3, SOUTH COASTAL

SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE	WATER USE
	KOELREUTERIA BIPINNATA	CHINESE FLAME TREE	24" BOX	MODERATE

SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE	WATER USE
	ALOE RUDIKOPPE	LITTLE RED RIDING HOOD ALOE	5 GALLON	LOW
	BUXUS MICROPHYLLA JAPONICA 'WINTER GEM'	WINTER GEM BOXWOOD	5 GALLON	MODERATE
	CAREX DIVULSA	SEDGE GRASS	5 GALLON	MODERATE
	CEANOTHUS GLORIOSUS 'ANCHOR BAY'	ANCHOR BAY CALIFORNIA LILAC	5 GALLON	LOW
	HEMEROCALLIS HYBRID 'STELLA DEL ORO'	DWARF DAY LILY	5 GALLON	MODERATE
	HESPERALOE PARVIFLORA 'BRAKELIGHTS'	BRAKELIGHTS RED YUCCA	5 GALLON	VERY LOW
	LANTANA 'NEW GOLD'	NEW GOLD LANTANA	5 GALLON	LOW
	LIGUSTRUM JAPONICUM 'TEXANUM'	PRIVET	5 GALLON	MODERATE
	RHAPHIOLEPIS INDICA 'JACK EVANS'	JACK EVANS INDIAN HAWTHORNE	5 GALLON	MODERATE

IRRIGATION NOTES:
IRRIGATION SYSTEM SHALL BE CONTROLLED BY A "SMART" CONTROLLER CAPABLE OF MAKING SMALL CHANGES TO THE TIMER BASED ON AN ON-SITE WEATHER SENSOR. BREAKS IN PIPES CAN BE DETECTED AND SYSTEM SHUT DOWN BY FLOW SENSOR AND MASTER VALVE. THE APPLICATION SHALL BE BY A "DRIP" IRRIGATION SYSTEM PROVIDING WATER IN A SLOW CONTROLLED MANNER TO PREVENT RUNOFF AND WATER WASTE. METHOD OF PROVIDING WATER SHALL EITHER BE BY DRIP TUBE OR POINT SOURCE DEPENDING ON THE SITUATION. TREES SHALL BE IRRIGATED BY BUBBLERS. SYSTEM SHALL BE SEPARATED INTO HYDROZONES BY SOLAR EXPOSURE. PLANS SHALL MEET CITY'S WATER EFFICIENT LANDSCAPE ORDINANCE. 3" MINIMUM DEPTH MULCH SHALL COVER ALL PLANTING AREAS. NO SOIL SHALL BE EXPOSED.



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LANDSCAPE ARCHITECTURE
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ENVIRONMENTAL DESIGN
LAKE FOREST, CALIFORNIA
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Starbucks
815 N. Sepulveda Blvd.
Amendment to Use Permit Resolution #79-9

Tenant Improvement Building permit was issued in 2022 to convert and remodel an existing drive-thru restaurant into a new Starbucks Drive-thru Café.

The scope of work for the 2022 permit consisted of:

- Complete interior remodel.
- Demolition of sloped mansard roof & shingles.
- Exterior wood cladding.

Currently, Starbucks is proposing a new site improvement for:

- Parking Lot reconfiguration.
- Alter the existing Drive-thru to create a Y-Lane.
- Add 181 sq.ft. of outdoor patio/seating area with new railing and furniture
- Create a solar canopy above patio area.

Starbucks is requesting an amendment to the original Use Permit Resolution #79-9 or a New CUP for:

- Alter existing Drive-thru Lane to a Y-Lane.
- Add 181 sq.ft. of Outdoor patio with seating.
- Install new Solar Canopy above the outdoor patio.
- Relocate the 3 employee parking spaces per Conditions D Res #79-9.

Findings:

1. The proposed location of the use is in accord with the objectives of this title and the purposes of the district in which the site is located;
 - a. In 1977, Jack in the Box drive-thru received a CUP approval for a restaurant expansion with existing DT, Res 77-28. The location and use will remain the same for the Starbucks site improvement. The new proposal is to add a Y-Lane to maintain a longer car stack onsite to pre-empt any car spill-over onto the PRW.
 - b. In 1984, Starbucks received a CUP approval for 500 outdoor patio. The approved entitlement was never implemented and thus voided. The new proposal is similar to the originally approved CUP with the Outdoor patio located in the same area.
2. The proposed location of the use and the proposed conditions under which it would be operated or maintained will be consistent with the General Plan; will not be detrimental to the public health, safety or welfare of persons residing or working in or adjacent to

Starbucks
815 N. Sepulveda Blvd.
Amendment to Use Permit Resolution #79-9

the neighborhood of such use; and will not be detrimental to properties or improvements in the vicinity or to the general welfare of the city;

- a. The proposed Y-lane Drive-thru will allow the queue to be onsite. This will alleviate or pre-empt any future issues with the queue backing into the PRW.
 - b. The additional 181 sq.ft. of outdoor patio will enhance the site and neighborhood by providing a well designed and safe area for customers and neighbors to gather.
 - c. Also there are sufficient parking onsite for the additional 181 sq.ft patio area.
 - d. Starbucks will maintain and comply to the Conditions per Res #79-9.
3. The proposed use will comply with the provisions of this title, including any specific condition required for the proposed use in the district in which it would be located.
- a. The proposed use is in-line with the conditions of Resolution #79-9. The request for an amendment to the Resolution #79-9 or a new CUP is to alter an already existing use (Drive-way) and adding a previously approved use (Outdoor patio seating).
 - b. Maintain sufficient parking per the parking code.
 - c. Maintain but relocate the 3 employee parking spaces.
 - d. Maintain the DT driveways.
 - e. Maintain and enhance site circulation.
 - f. Only new item added to the existing site is a solar canopy.
4. The proposed use will not adversely impact nor be adversely impacted by nearby properties. Potential impacts are related but not necessarily limited to: traffic, parking, noise, vibration, odors, resident security and personal safety, and aesthetics, or create demands exceeding the capacity of public services and facilities which cannot be mitigated.
- a. The proposed site changes will not adversely affect or impact the nearby properties and neighborhood due to:
 - b. The Y-Lane DT will mitigate/pre-empt any future car spill-over onto the PRW.
 - c. Reconfiguration of the parking will improve the circulation with wider and easier access and exit.
 - d. The outdoor patio seating will create a more welcoming use as well as creating a social and visual connection to the surrounding neighborhood.
 - e. The Solar canopy will positively impact the site, neighborhood and city with it's Green Energy.

From: [Eman](#)
To: [Austin Chavira](#)
Subject: [EXTERNAL] Formal complaint against Starbucks. Against the permit for outdoor patio
Date: Thursday, February 22, 2024 7:51:12 PM

EXTERNAL EMAIL: Do not click links or open attachments unless you trust the sender and know the content is safe.

This is a formal complaint against Starbucks located at 814 Sepulveda Blvd. Manhattan Beach. The delivery truck delivers at 2am every night and beeps all the time. This was brought to the attention of management and corporate, and the City of Manhattan Beach with no respect or regards to the residents.

I do not endorse an outside seating area or a double drive through lanes. The situation with PCH is already a burden, such a high-customer-volume coffee shop would increase traffic congestion and exacerbate what they described as an already **taxing parking situation.**

Eman Khalifeh
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Manhattan Beach, CA 90266