



**CITY OF MANHATTAN BEACH  
DEPARTMENT OF COMMUNITY DEVELOPMENT  
MEMORANDUM**

**DATE:** October 11, 2023

**TO:** Planning Commission

**FROM:** Talyn Mirzakhania, Community Development Director

**THROUGH:** Adam Finestone, Planning Manager

**BY:** Angelica Ochoa, Associate Planner

**SUBJECT:** Consideration of a Use Permit and Coastal Development Permit for a new 2,140 square-foot, two-story commercial building at 229 13th Street, and finding the project exempt from the California Environmental Quality Act.

**APPLICANT:** MB Ocean View Partners LLC (Kyle Ransford)  
2301 Rosecrans Ave., #4130  
El Segundo, CA 90245

**BACKGROUND**

On February 8, 2023, the Community Development Department received an application requesting a Use Permit and Coastal Development Permit, to demolish an existing structure containing a restaurant (Ocean View Café) and residential duplex to accommodate the construction of a new commercial building located at 229 13<sup>th</sup> Street.

The duplex and garage was built at the rear of the lot in 1939, and the concrete block office building was added at the front of the lot in 1959. On June 10, 1980, the Board of Zoning Adjustment (BZA) approved the existing restaurant use per Resolution No. 80-16. On October 15, 1985, the City Council approved an Encroachment Permit, per Resolution No. 85-12, to allow commercial operations related to the restaurant in the public right-of-way on 13<sup>th</sup> Street. On November 21, 1989, the City Council approved Public Works Commission (PWC) Resolution No. 89-30 allowing modifications to specific encroachment conditions. Currently, Ocean View Café operates pursuant to the provisions of BZA Resolution No. 80-16 and PWC Resolution No. 89-30 for commercial use of the public right-of-way.

### Site Overview

The subject site is a 1,997 square-foot, rectangular lot with a zoning designation of Downtown Commercial (CD) in Area District III, located in the non-appealable portion of the City's Coastal Zone, and has a General Plan land use designation of Downtown Commercial. The site is currently improved with a 1,318 square-foot building, consisting of a single-story ground floor restaurant and a two-story duplex with a one car garage. The restaurant is located adjacent to the 13<sup>th</sup> Street public right-of-way with access from the walk street, and the duplex is located towards the rear alley of the lot with garage access from 13<sup>th</sup> Place.

The zoning designations of surrounding properties are Downtown Commercial (CD) to the north and east, and High-Density Residential (RH) to the south and west. Neighboring properties are occupied by a City-owned parking lot to the north, a restaurant (Uncle Bill's Pancake House) to the east, a triplex to the south, and a single-family residence to the west.

### Governing Regulations

The proposed project is subject to applicable provisions of the City's General Plan and Local Coastal Program (LCP).

### *Manhattan Beach General Plan*

The General Plan is a long range policy document that identifies the community's vision for its collective future and establishes the fundamental framework to guide decision-making about development, resource management, public safety, public services, and general community well-being. This vision is established through a series of goals and policies which serve as a framework for analysis of all land use actions taken by the City. The General Plan contains a series of "elements," including a Land Use Element which is used to guide the City's development, maintenance, and improvement of land and properties. The subject project was evaluated for conformance with the following applicable Land Use Element goals and policies:

- LU-5: Protect residential neighborhoods from the intrusion of inappropriate and incompatible uses.
- LU-6: Maintain the viability of the commercial areas of Manhattan Beach.
- LU-6.2: Encourage a diverse mix of businesses that support the local tax base, are beneficial to residents, and support the economic needs of the community.
- LU-7: Continue to support and encourage the viability of the Downtown area of Manhattan Beach.

### *Manhattan Beach Local Coastal Program*

A portion of the City is within the Coastal Zone and, thus, subject to applicable provisions of the California Coastal Act. The California Coastal Act is administered through the California Coastal Commission, and authorizes coastal jurisdictions to create Local Coastal Programs (LCPs) that specify appropriate location, type, and scale of new or changed uses of land. Each LCP includes a land use plan and measures to implement the plan (such as zoning ordinances). While an LCP reflects the unique characteristics of individual coastal communities, regional and Statewide interests and concerns must also be addressed. The California Coastal Commission certified the City's LCP in 1996.

The proposed project is located in the Coastal Zone and was reviewed for compliance with the LCP, including but not limited to the sections below:

- LCP Chapter A.16 - governs commercial districts, including the Downtown Commercial district where the project is located. Per LCP Section A.16.020.L-26, a Use Permit is required for ground floor office use adjacent to pedestrian areas.
- LCP Chapter A.84 - provides that "Use permits are required for use classifications typically having unusual site development features or operating characteristics requiring special consideration so that they may be designed, located, and operated compatibly with uses on adjoining properties and in the surrounding area."

### **PROJECT DESCRIPTION**

The applicant, Kyle Ransford on behalf of MB Ocean View Partners LLC, submitted an application to demolish all existing structures on site to accommodate the construction of a new 2,140 square-foot, two-story commercial building and a basement on the property. Specifically, the basement area includes a large open office area with a planting strip along the west facade, a meeting room, seating area, two bathrooms, a mechanical room, and storage room. The ground floor, located at the walk street level of 13<sup>th</sup> Street, includes a kitchenette/dining area for employees. In addition, the public right-of-way encroachment area will be improved with low-level landscaping and a walkway from the walk street to the front entry of the building. Vehicular access to the one required parking space and trash enclosure is provided from 13<sup>th</sup> Place. The second floor includes four offices, a meeting room, a bathroom, and an outdoor mechanical area. The project proposes the operation of "Offices, Business and Professional" uses, with operating hours from 7am to 7pm.

A **Project Overview** is provided in the following table:

PROJECT OVERVIEW		
Location:	229 13 <sup>th</sup> Street (See Vicinity Map – Attachment B)	
Legal Description:	Lot 10, Block 64, Manhattan Beach Division 2	
Assessor’s Parcel Number:	4179-025-015	
General Plan Land Use:	Downtown Commercial	
Zoning:	Downtown Commercial (CD)	
Area District:	III	
Land Use:	<u>Existing</u> Eating and Drinking Establishment/Residential	<u>Proposed</u> Office and/or other principally permitted uses in CD zoning district
Floor area:	<u>Required</u> 2,995 sq. ft.	<u>Proposed</u> 2,140 sq. ft. plus 1,755 sq. ft. of basement area
Parking:	<u>Required</u> 1 space	<u>Proposed</u> 1 space
Setbacks	<u>Required</u> None, except daylight plane setback on west side above 20 feet.	<u>Proposed</u> Ground floor: Front (south): 8.5 feet Rear (north): 10.67 feet East side: 0.5 feet West side: 0.5 feet Second floor: Front: 0.5 feet Rear: 0.5 feet East side: 0.5 feet West side: 4.56 feet
Height	<u>Required</u> 26 ft. (maximum)	<u>Proposed</u> 23.39 ft.

Hours of Operation	<u>Existing</u> 9:00 a.m. to 4:00 p.m.	<u>Proposed</u> 7:00 a.m. to 7:00 p.m.
Neighboring Zoning & Land Uses:	<u>North</u> : Downtown Commercial (CD); City parking lot	
	<u>South</u> : High-Density Residential (RH); triplex	
	<u>East</u> : CD; restaurant	
	<u>West</u> : RH; single-family residence	

An analysis of the proposed project and compliance with required findings is provided in the following “Discussion” section.

**DISCUSSION**

Consistency and Compliance with Governing Regulations

*Local Coastal Program - Land Use Allowance*

Pursuant to the City’s LCP Section A.16.020, personal services and retail uses such as beauty shops, shoe repair shops, or tailors are permitted by-right in the CD zone. However, when an office use is proposed on the ground floor adjacent to pedestrian areas, a Use Permit is required per LCP Section A.16.020.L-26. As the applicant is seeking flexibility to allow for a variety of possible tenants for “Offices, Business and Professional” uses in the proposed building, it is possible that the ground floor may be occupied by an office use. While the future tenant is unknown, the Use Permit removes a barrier for the property owner when marketing the building to potential tenants. Additionally, pursuant to the City’s LCP Section A.96.040, a Coastal Development Permit is required for the proposed project as it involves the demolition of all existing structures and construction of a new commercial building in the City’s Coastal Zone. Pursuant to LCP Section A.84.020, the Planning Commission is the decision-making authority for Use Permits and shall consider this request at a public hearing, along with the Coastal Development Permit, prior to rendering a decision on the application.

*Local Coastal Program - Development Standards*

Section A.64.050 of the City’s LCP states that, in the City’s CD zoning district, if the floor area factor of a site is more than 1:1, which is the case for the subject site, parking is required for the floor area over the 1:1. Floor area factor is defined as the ratio of square-footage of buildable floor area to lot area. In the case of the subject site, with a total, proposed buildable floor area of 2,140 square feet and a lot size of 1,997 square feet, the excess floor area is 143 square feet. Based on the percentage of total buildable floor area to total excess area, one parking space is required. Per Section A.64.030 of the LCP, retail and medical office use requires one parking space for every 200 square feet and general office use requires one parking space for every

300 square feet. The proposed one parking space meets the required parking for retail, medical office, general office and personal services uses based on the 1:1 ratio.

The proposed project complies with the applicable development LCP regulations per A.16.030, including the height limit of 26 feet (23.39 feet proposed), the maximum floor area of 2,995.5 square feet (2,140 square feet proposed), and other development standards identified in the Project Overview above.

### *General Plan Consistency*

As noted above, the project was reviewed for consistency with a number of General Plan goals and policies. The project has been determined to be consistent with following goals and policies for the reasons described below:

- LU-5: Protect residential neighborhoods from the intrusion of inappropriate and incompatible uses.

The proposed project is designed in a manner that it maintains compatibility with adjacent residential uses. Specifically, the project proposes to replace the existing restaurant use with less intense office use. Additionally, the proposed building will maintain additional setbacks at the top level to comply with the daylight plane requirement and provide privacy to the adjacent residences.

- LU-6: Maintain the viability of the commercial areas of Manhattan Beach.

Based on lot size and development standards established by the LCP, requiring retail or service uses on the ground floor of the project would adversely affect the viability of the property to attract tenants. As such, expanding the list of allowable uses to include office uses will assist in maintaining a viable commercial downtown area.

- LU-6.2: Encourage a diverse mix of businesses that support the local tax base, are beneficial to residents, and support the economic needs of the community.

The proposed commercial building will contribute to a mix of services to the community and visitors.

- LU-7: Continue to support and encourage the viability of the Downtown area of Manhattan Beach.

The proposed use is consistent and complimentary with neighboring uses, as many of the neighboring lots along Highland Avenue have also been developed with commercial uses, and the proposed use will be compatible with residential uses to the

south and west.

### Required Findings

Based upon substantial evidence in the record, staff believes that the project, as proposed and conditioned, meets the required findings for a Use Permit and Coastal Development Permit as demonstrated below.

#### *Use Permit*

The City's LCP Section A.84.010 provides that, "[u]se permits are required for use classifications typically having unusual...operating characteristics requiring special consideration so that they may be designed, located, and operated compatibly with uses on adjoining properties and in the surrounding area." In addition, per LCP Section A.84.060(A), an application for a Use Permit shall be approved by the decision-making authority only if all of the required findings below can be made.

- 1. The proposed location of the site is in accord with the objectives of this title and the purposes of the district in which the site is located.*

The proposed project is located in the City's CD zoning district. The LCP's stated purpose for the CD zone is to provide opportunities for residential, commercial, public and semipublic uses that are appropriate for the downtown area. That is, the CD zoning district is intended to accommodate a broad range of businesses and to serve beach visitors. The proposed ground floor office use is consistent with the commercial land use regulations in LCP Section A.16.020 because it will provide opportunities for additional business activity on a physically constrained site.

- 2. The proposed location of the use and the proposed conditions under which it would be operated or maintained will be consistent with the General Plan; will not be detrimental to the public health, safety or welfare of persons residing or working on the proposed project site or in or adjacent to the neighborhood of such use; and will not be detrimental to properties or improvements in the vicinity or to the general welfare of the city.*

The General Plan encourages a "vibrant downtown" that offers "services and activities for residents and visitors." The proposed office use is consistent with the General Plan's Downtown Commercial land use designation for the subject property because it would provide such services. In addition, the proposed office use will have minimum impacts to the neighboring residential lots to the south and west compared to a more intense use such as the existing restaurant. Furthermore, the project was reviewed by the Building and Traffic divisions, the Public Works and Fire Departments, and Waste Management, all of whom raised no concerns or objections that have not been addressed. Therefore, the

project will not be detrimental to the public health, safety or welfare of persons working on the site or in or adjacent to the neighborhood of such use, and will not be detrimental to properties or improvements in the vicinity or to the general welfare of the City.

3. *The proposed use will comply with the provisions of the City's LCP Title A, including any specific conditions required for the proposed use in the district in which it would be located.*

The proposed ground floor office use is permitted with the approval of a Use Permit within the subject property's zoning district (CD) per LCP Section A.16.020. If the Use Permit is approved, the proposed ground floor office use will be in compliance with all provisions of Title A of the LCP. Furthermore, operating characteristics and conditions of approval that serve to minimize any potential adverse impacts associated with the project such as the hours of operation, the City's noise ordinance, waste management, and signage requirements are included in the Draft Resolution (Attachment A to this staff report). Specifically, if adopted, the conditions in the Draft Resolution will ensure that the required findings for a Use Permit would continue to be met after construction and during future operations. If approved, the Resolution would serve as the governing resolution for the development and operation of the project.

4. *The proposed use will not adversely impact or be adversely impacted by nearby properties.*

The proposed ground floor office use does not adversely impact neighboring properties, as it is compatible with the surrounding uses in the CD zone, as is the overall structure in terms of its density, height, massing, and scale of the built environment. Furthermore, development of office uses is contemplated by the General Plan and will not create demands exceeding the capacity of public services and facilities, especially considering that the current use of the property (restaurant and residential duplex) is more intense than that being proposed. Lastly, the proposed one parking space will comply with parking requirements per LCP Section A.64.050.

### ***Coastal Development Permit***

Pursuant to Section A.96.150 of the Local Coastal Program, written findings are required for all decisions on Coastal Development Permits. Such findings must demonstrate the following:

- A. *That the project, as described in the application and accompanying material, or as modified by any conditions of approval, conforms with the certified Manhattan Beach Local Coastal Program.*



The General Plan and Local Coastal Program Land Use Plan designations for the property are Downtown Commercial, which “provides locations for a mix of commercial businesses, residential uses with discretionary review, and public uses, with a focus on pedestrian-oriented commercial businesses that serve Manhattan Beach residents. Visitor-oriented uses are limited to low-intensity businesses providing goods and services primarily to beachgoers.” The proposed ground floor office use adjacent to a walk street is a conditionally permitted use and contributes to the mix of commercial uses in the CD zoning district. Furthermore, it is compatible with the adjacent residential uses.

*B. If the project is located between the first public road and the sea, that the project conforms with the public access and recreation policies of Chapter 3 of the Coastal Act of 1976 (Commencing with Section 30200 of the Public Resources Code).*

The proposed project is not subject to this finding because it is not located between the first public road (Ocean Drive) and the sea. Nonetheless, the project does not create any impediments to public access.

## **PUBLIC OUTREACH**

A public notice for the October 11, 2023, public hearing was published in The Beach Reporter on September 28, 2023, and mailed to all property owners within a 500-foot radius of the project site, and posted at City Hall. As of the writing of this report, no public comments have been received through the posting of this report.

## **ENVIRONMENTAL DETERMINATION**

The City has reviewed the proposed project for compliance with the California Environmental Quality Act (CEQA) and has determined that the project qualifies for a Class 3 categorical exemption pursuant to Section 15303 (New Construction or Conversion of Small Structures) of the State CEQA Guidelines. Specifically, the proposed project meets the criteria for 15303(c). Furthermore, there are no features that distinguish this project from others in the exempt class, therefore there are no exceptions to the exemption. Thus, no further environmental review is necessary.

## **RECOMMENDATION**

Staff recommends that the Planning Commission conduct a public hearing and adopt the attached draft resolution approving the Use Permit and Coastal Development Permit to allow office use on the ground floor at 229 13<sup>th</sup> Street; and making a determination of exemption pursuant to CEQA.

**ATTACHMENTS:**

- A. Draft Resolution No. PC-\_\_
- B. Vicinity Map
- C. Architectural Plans
- D. Applicant's Written Materials (Application, Environmental Document and Project Narrative)

ATTACHMENT A

RESOLUTION NO. PC 23-XX

**A RESOLUTION OF THE MANHATTAN BEACH PLANNING COMMISSION APPROVING A USE PERMIT AND COASTAL DEVELOPMENT PERMIT FOR A NEW 2,140 SQUARE-FOOT, TWO-STORY COMMERCIAL BUILDING WITH GROUND-FLOOR OFFICE USES AT 229 13<sup>TH</sup> STREET (MB OCEAN VIEW PARTNERS LLC)**

**THE MANHATTAN BEACH PLANNING COMMISSION DOES HEREBY RESOLVE AS FOLLOWS:**

SECTION 1. On February 8, 2023, Kyle Ransford on behalf of MB Ocean View Partners LLC (“Applicant”) applied for a Use Permit and Coastal Development Permit to demolish an existing restaurant (Ocean View Café) and residential duplex to accommodate the construction of a new commercial building with office use on the ground floor (the “Project”) located at 229 13th Street.

SECTION 2. On October 11, 2023, the Planning Commission conducted a duly noticed public hearing to consider the Project, during which the Planning Commission received a presentation by staff and testimony from the Applicant and provided an opportunity for the public to provide evidence and testimony. The Planning Commission also received and reviewed written testimony received by the City prior to the public hearing.

SECTION 3. The Project qualifies for a Categorical Exemption from the California Environmental Quality Act (CEQA) Guidelines pursuant to Section 15303 (New Construction or Conversion of Small Structures) of the CEQA Guidelines. Specifically, the proposed Project meets the criteria for 15303 (c), there are no features that distinguish this Project from others in the exempt class; therefore, there are no exceptions to the exemption and no further environmental review is necessary.

SECTION 4. The record of the public hearing indicates:

- A. The legal description of the site is Lot 10, Block 64, Manhattan Beach Division 2, in the City of Manhattan Beach, County of Los Angeles. The site is located in Area District III and is zoned Downtown Commercial (CD), with a General Plan land use designation of Downtown Commercial. The site is within the non-appealable portion of the City’s Coastal Zone. The surrounding properties are zoned CD to the north and east, and Residential High Density (RH) to the south and west.
- B. The ground floor office use is conditionally permitted in the CD zoning district subject to a Use Permit and is in compliance with the City’s General Plan designation of Downtown Commercial. The General Plan encourages the Downtown Commercial land use category to provide “services and activities to our residents and visitors.”
- C. The applicant is requesting approval of a Use Permit and Coastal Development Permit to demolish the existing 1,318 square-foot building to accommodate the construction of a new 2,140 square-foot, two-story commercial building with a basement and ground floor office use adjacent to the walk street (13<sup>th</sup> Street).
- D. The Project is specifically consistent with the following goals and policies of the General Plan:

LU-5: Protect residential neighborhoods from the intrusion of inappropriate and incompatible uses.

LU-6: Maintain the viability of the commercial areas of Manhattan Beach.

LU-6.2: Encourage a diverse mix of businesses that support the local tax base, are beneficial to residents, and support the economic needs of the community.

LU-7: Continue to support and encourage the viability of the Downtown area of Manhattan Beach.

SECTION 5. Based upon substantial evidence in the record, and pursuant to the Local Coastal Program (LCP) Section A.84.060, the Planning Commission hereby makes the following findings related to the Use Permit:

- 1. **The proposed location of the expanded use is in accord with the objectives of Title A of the LCP and the purposes of the district in which the site is located.**

The proposed project is located in the City’s CD zoning district. The LCP’s stated purpose for the CD zone is to provide opportunities for residential, commercial, public and semipublic uses that are appropriate for the downtown area. That is, the CD zoning district is intended to accommodate a broad range of businesses and to serve beach visitors. The proposed ground floor office use is consistent with the commercial land use regulations in LCP Section A.16.020 because it will provide opportunities for additional business activity on a physically constrained site.

- 2. **The proposed location of the expanded use and the proposed conditions under which it would be operated or maintained will be consistent with the General Plan; will not be detrimental to the public health, safety or welfare of persons residing or working on the proposed project site or in or adjacent to the neighborhood of such use; and will not be detrimental to properties or improvements in the vicinity or to the general welfare of the city.**

The General Plan encourages a “vibrant downtown” that offers “services and activities for residents and visitors.” The proposed office use is consistent with the General Plan’s Downtown Commercial land

use designation for the subject property because it would provide such services. In addition, the proposed office use will have minimum impacts to the neighboring residential lots to the south and west compared to a more intense use such as the existing restaurant. Furthermore, the project was reviewed by the Building and Traffic divisions, the Public Works and Fire Departments, and Waste Management, all of whom raised no concerns or objections that have not been addressed. Therefore, the project will not be detrimental to the public health, safety or welfare of persons working on the site or in or adjacent to the neighborhood of such use, and will not be detrimental to properties or improvements in the vicinity or to the general welfare of the City.

3. **The proposed use will comply with the provisions of Title A of the LCP, including any specific condition required for the proposed use in the district in which it would be located.**

The proposed ground floor office use is permitted with the approval of a Use Permit within the subject property's zoning district (CD) per LCP Section A.16.020. If the Use Permit is approved, the proposed ground floor office use will be in compliance with all provisions of Title A of the LCP. Furthermore, operating characteristics and conditions of approval that serve to minimize any potential adverse impacts associated with the project such as the hours of operation, the City's noise ordinance, waste management, and signage requirements are included as conditions of approval herein. Specifically, if adopted, the conditions herein will ensure that the required findings would continue to be met after construction and during future operations, and this Resolution would serve as the governing resolution for the development and operation of the project.

4. **The proposed use will not adversely impact or be adversely impacted by nearby properties.**

The proposed ground floor office use will not adversely impact neighboring properties, because it is compatible with the surrounding uses in the CD zone, as is the overall structure in terms of its density, height, massing, and scale of the built environment. Furthermore, development of office uses is contemplated by the General Plan and will not create demands exceeding the capacity of public services and facilities, especially considering that the current use of the property (restaurant and residential duplex) is more intense than that being proposed. Lastly, the proposed one parking space will comply with parking requirements per LCP Section A.64.050.

**SECTION 6.** Based upon substantial evidence in the record, and pursuant to Section A.96.150 of the LCP, the Planning Commission hereby makes the following findings related to the Coastal Development Permit:

- (A) **That the project, as described in the application and accompanying material, or as modified by any conditions of approval, conforms with the certified LCP for the reasons described below:**

The General Plan and Local Coastal Program Land Use Plan designations for the property are Downtown Commercial, which "provides locations for a mix of commercial businesses, residential uses with discretionary review, and public uses, with a focus on pedestrian-oriented commercial businesses that serve Manhattan Beach residents. Visitor-oriented uses are limited to low-intensity businesses providing goods and services primarily to beachgoers." The proposed ground floor office use adjacent to a walk street is a conditionally permitted use and contributes to the mix of commercial uses in the CD zoning district. Furthermore, it is compatible with the adjacent residential uses.

- (B) **If the project is located between the first public road and the sea, that the project conforms with the public access and recreation policies of Chapter 3 of the Coastal Act of 1976 (Commencing with Section 30200 of the Public Resources Code).**

The proposed project is not subject to this finding because it is not located between the first public road (Ocean Drive) and the sea. Nonetheless, the project does not create any impediments to public access.

**SECTION 7.** Based upon the foregoing, the Planning Commission hereby **APPROVES** the Project, subject to the following conditions:

**General**

1. The Project shall be in substantial conformance with the plans and Project description submitted to, and approved by, the Planning Commission on October 11, 2023, as amended and conditioned. Any substantial deviation from the approved plans and Project description, as conditioned, shall require review by the Community Development Director to determine if further approval from the Planning Commission is required.
2. Any questions of intent or interpretation of any condition will be reviewed by the Community Development Director to determine if further Planning Commission review and action is required.
3. A Construction Management and Parking Plan (CMPP) shall be submitted by the applicant with the submittal of building plans to the Building Division. The CMPP shall be reviewed and approved by the City, including but not limited to, the City Traffic Engineer, Planning, Fire, Police and Public Works, prior to permit issuance. The

Plan shall include, but not be limited to, provisions for the management of all construction-related traffic, parking, staging, materials delivery, materials storage, and buffering of noise and other disruptions. The Plan shall minimize construction-related impacts to the surrounding neighborhood, and shall be implemented in accordance with the requirements of the Plan.

4. At any time in the future, the Planning Commission or City Council may review the Use Permit for the purpose of revocation or modification in accordance with the requirements of the Manhattan Beach Municipal Code (MBMC) Chapter 10.104. Modification may consist of conditions deemed reasonable to mitigate or alleviate impacts to adjacent land uses.
5. The property owner and/ or any building tenants shall allow Community Development Department staff to inspect the site at any time to determine compliance with conditions imposed and Municipal Code requirements.
6. A landscape plan shall be submitted for review during the plan check process and shall be subject to review and approval by the Community Development Director prior to issuance of a building permit. The landscape plan shall be prepared by a landscape designer, a licensed landscape architect, or other qualified person.
7. Plans shall be submitted to plan check and shall be in compliance with all applicable codes, including but not limited to Building and Fire Code requirements.
8. Future modifications and improvements to the tenant space shall be in compliance with applicable Building Division, Public Works, Waste Management, Fire Department, and Health Department regulations, when applicable.

**Operation**

9. The hours of operation shall be limited to 7am to 7pm daily.
10. The operators of each business occupying the property shall be responsible for policing the property and all areas adjacent to the business during the hours of operation to keep it free of litter and debris.
11. The operators of the business shall provide adequate management and supervisory oversight and implement techniques to prevent loitering and other security concerns outside the subject business.
12. All rooftop mechanical equipment shall be screened from view from the public right-of-way.
13. Noise emanating from the property shall not exceed the limitations prescribed by the City's Noise Ordinance as specified in Chapter 5.48 of the MBMC and shall not create a nuisance to nearby property owners.

**Refuse**

14. The Project shall comply with all refuse design, capacity and collection regulations in Section 5.24.030 and 10.60.100 of the MBMC.
15. No refuse generated at the subject site shall be located in the non-alley Public Right-of-Way for storage or pick-up, including the disposal of refuse in any refuse container established for public use. All refuse shall be stored within the approved trash enclosure area.

**Signage**

16. All new signs shall require permits, and shall be in compliance with the City's sign code.
17. A-frame or other sidewalk signs in the public right-of-way shall be prohibited.
18. No temporary banner or other signs shall be placed on the site without City permit and approval.

**Procedural**

19. The property owner shall be required to obtain an Encroachment Permit for any improvements in the public right-of-way.
20. Terms and Conditions are Perpetual; Recordation of Covenant. The provisions, terms and conditions set forth herein are perpetual, and are binding on the owner, its successors-in-interest, and, where applicable, all tenants and lessees of the site. Further, the owner shall submit the covenant, prepared and approved by the City, indicating its consent to the conditions of approval of this Resolution, and the City shall record the covenant with the Office of the County Clerk/Recorder of Los Angeles. Owner shall deliver the executed covenant, and all required recording and related fees, to the Department of Community Development within 30 days of the adoption of this Resolution. Notwithstanding the foregoing, the Director may, upon a request by owner, grant an extension to the 30-day time limit. The Project approval shall not become effective until recordation of the covenant.

21. Indemnity, Duty to Defend and Obligation to Pay Judgments and Defense Costs, Including Attorneys' Fees, Incurred by the City. The Applicant shall defend, indemnify, and hold harmless the City, its elected officials, officers, employees, volunteers, agents, and those City agents serving as independent contractors in the role of City officials (collectively "Indemnitees") from and against any claims, damages, actions, causes of actions, lawsuits, suits, proceedings, losses, judgments, costs, and expenses (including, without limitation, attorneys' fees or court costs) in any manner arising out of or incident to this approval, related entitlements, or the City's environmental review thereof. The Applicant shall pay and satisfy any judgment, award or decree that may be rendered against City or the other Indemnitees in any such suit, action, or other legal proceeding. The City shall promptly notify the Applicant or property owner of any claim, action, or proceeding and the City shall reasonably cooperate in the defense. If the City fails to promptly notify the Applicant or property owner of any claim, action, or proceeding, or if the City fails to reasonably cooperate in the defense, the Applicant or property owner shall not thereafter be responsible to defend, indemnify, or hold harmless the City or the Indemnitees. The City shall have the right to select counsel of its choice. The Applicant or property owner shall reimburse the City, and the other Indemnitees, for any and all legal expenses and costs incurred by each of them in connection therewith or in enforcing the indemnity herein provided. Nothing in this Section shall be construed to require the Applicant or property owner to indemnify Indemnitees for any Claim arising from the sole negligence or willful misconduct of the Indemnitees. In the event such a legal action is filed challenging the City's determinations herein or the issuance of the approval, the City shall estimate its expenses for the litigation. The owner shall deposit said amount with the City or enter into an agreement with the City to pay such expenses as they become due.

SECTION 8. The Planning Commission's decision is based upon each of the totally independent and separate grounds stated herein, each of which stands alone as a sufficient basis for its decision.

SECTION 9. This Resolution shall become effective when all time limits for appeal as set forth in LCP Section A.84.080 have expired.

SECTION 10. The Secretary of the Planning Commission shall certify to the adoption of this Resolution and shall forward a copy of this Resolution to the Applicant. The Secretary shall make this resolution readily available for public inspection.

SECTION 11. This entitlement shall lapse two years after its date of approval, unless implemented or extended pursuant to A.84.090 of the LCP.

October 11, 2023

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**Robert Tokashiki**  
Planning Commission Chair

I hereby certify that the following is a full, true, and correct copy of the Resolution as **ADOPTED** by the Planning Commission at its regular meeting on **October 11, 2023**, and that said Resolution was adopted by the following vote:

- AYES:**
- NOES:**
- ABSTAIN:**
- ABSENT:**

\_\_\_\_\_  
**Talyn Mirzakhanian,**  
Secretary to the Planning Commission

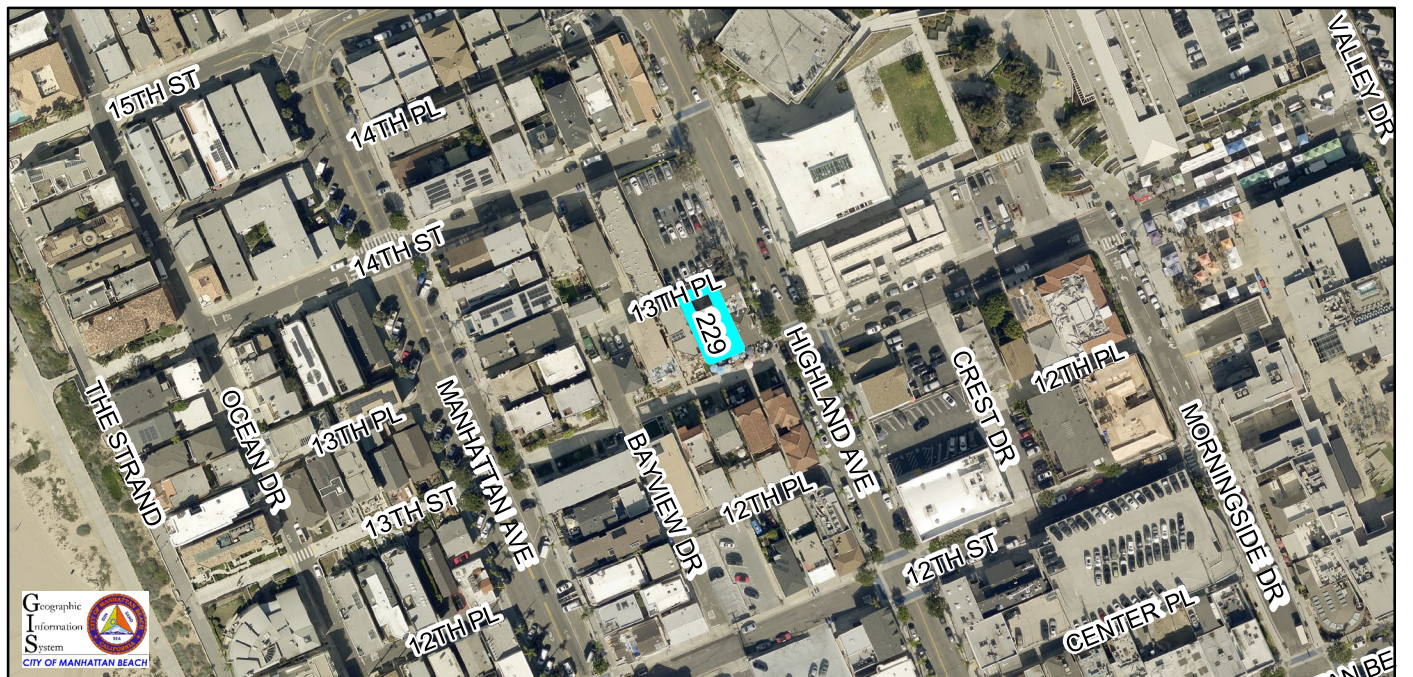
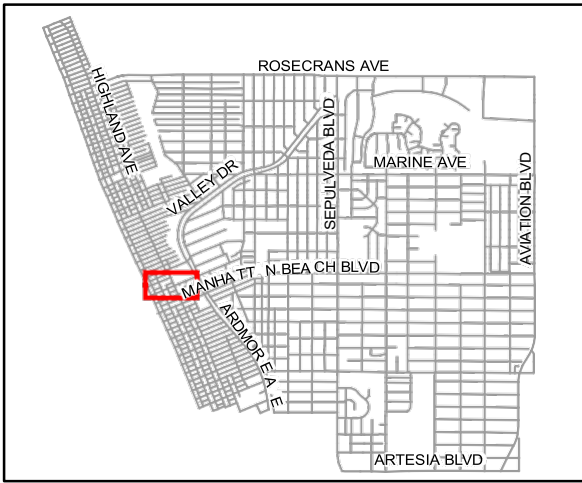
\_\_\_\_\_  
**Rosemary Lackow,**  
Recording Secretary

# Vicinity Map

## 229 13th Street



October 2023



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ABBREVIATIONS	
AB	ANCHOR BOLT
ABS	ACRYLONITRILE BUTADIENE STYRENE
A/C	AIR CONDITIONING
AFF	ABOVE FINISH FLOOR
AFG	ABOVE FINISH GRADE
ACSR	ALUMINUM CLAD STEEL REINFORCING
ACOUS	ACOUSTIC / ACOUSTICAL
ADJ	ADJACENT / ADJUSTABLE
ALUM	ALUMINUM
AMCI	AMERICAN CONCRETE INSTITUTE
ADA	AMERICAN WITH DISABILITIES ACT
ADDD	ADDITIONAL
AHU	AIR HANDLING UNIT
AISC	AMERICAN INSTITUTE OF STEEL CONSTRUCTION
ALT	ALTERNATE(TIVE)
AMP	AMPERAGE
ANCH	ANCHOR
APT	APARTMENT
APPROX	APPROXIMATELY
ARCH	ARCHITECT / URAL
ASTM	AMERICAN STANDARDS OF TESTING AND MATERIALS
ATTEN	ATTENUATION
AVB	AIR/VAPOR BARRIER
AWI	ARCHITECTURAL WOODWORKING INSTITUTE
BD	BOARD
BR	BEDROOM
BTUMINOUS	BITUMINOUS
BLDG	BUILDING
BLK(G)	BLOCK / BLOCKING
BM	BEAM
BO	BOTTOM OF
BOD	BASIS OF DESIGN
BOF	BOTTOM OF FOOTING
BS	BOTTOM SLAB
BOW	BOTTOM OF WALL
BSMT	BASEMENT
BTH RM	BATHROOM
BTU	BRITISH THERMAL UNIT
CAB	CABINET
CB	CATCH BASIN
CER	CERAMIC
CFM	CUBIC FEET PER MINUTE
CFOI	CONTRACTOR FURNISHED; OWNER INSTALLED
CH	CHANNEL
CIP	CAST-IN-PLACE
CJ	CEILING JOIST
CJNT	CONTROL JOINT
CL	CENTER LINE
CLG	CEILING
CLOS	CLOSET
CLR	CLEAR
CMU	CONCRETE MASONRY UNIT
CO	CLEAN OUT
COL	COLUMN
CONC	CONCRETE
CONST	CONSTRUCTION
CONT	CONTINUOUS
COORD	COORDINATE / ION
CPT	CASING (TYP)
CSMT	CASEMENT
CT	CERAMIC TILE
CU	CUBIC
D	"DRYER, DEEP"
DB	DECIBEL
DBL	DOUBLE
DEG	DEGREE
DEPT	DEPARTMENT
DIAG	DIAGONAL
DIAM	DIAMETER
DIA	DIAMETER
DN	DOWN
DR	DOOR / DINING ROOM
DS	DOWNSPOUT
DTL	DETAIL
DW	DISHWASHER
DWG	DRAWING
DWR	DRAWER
(E)	EXISTING
EA	EAST
EACH	EACH
EIPS	EXTERIOR INSULATION AND FINISH SYSTEM
ELECT	ELECTRICAL
ELEV	"ELEVATION, ELEVATION"
ENCL	ENCLOSURE
ENGR	ENGINEER
EQ	ELECTRICAL PANEL
EQ	EQUAL
EQUIP	EQUIPMENT
ESMT	EASEMENT
EST	ESTIMATE
EW	EACH WAY
EXH	EXHAUST
EXP	EXPANSION
EXT	EXTERIOR
FAM	FLUID APPLIED-MEMBRANE
FAN	FORCED AIR UNIT
FHA	FAIR HOUSING ACT
FCU	FAN COIL UNIT
FD	FLOOR DRAIN
FDN	FOUNDATION
FF	FIRE EXTINGUISHER
FFHB	FROST-FREE HOSE BIB
FIN	FINISHED
FG	FINISH GRADE
FIXT	FIXTURE
FLE	FINISH FLOOR ELEVATION
FL	FLOWLINE
FLR	FLOOR
FLOR	FLOORING
FO	FACE OF
FOC	FACE OF CONCRETE
FOF	FACE OF FINISH
FOIC	FURNISHED BY OWNER
FOIO	INSTALLED BY CONTRACTOR FURNISHED BY OWNER
FOM	INSTALLED BY OWNER
FOP	FACE OF MASONRY
FOS	FACE OF STUD
FPL	FIREPLACE
FRMG	FRAMING
FRT	FIRE-RETARDANT TREATED
FT	FOOT / FEET
FTG	FOOTING
FURN	FURNITURE
FV	FIELD VERIFY
GA	"ING
G	NATURAL GAS
GA MANUAL	GYP/SUM ASSOCIATION MANUAL
GAL	GALLON
GALV	"GALVANIZED, GALVANIC"
GB	GRAB BAR
GC	GENERAL CONTRACTOR
GEN	GENERAL
GL	GLASS
GLULAM	GLUE LAMINATED WOOD
GOV	GOVERNMENT
GSM	GALVANIZED SHEET METAL
GRD	GRADE
GWB	GYP/SUM WALL BOARD
GYP	GYP/SUM
HB	HOSE BIB
HD	HOLD/DOWN
HDR	HEADER
HDW	HARDWARE
HIM	HOLLOW METAL
HOR	HORIZONTAL
HR	HOUR
HSS	HOLLOW STRUCTURAL SECTION
HT	HEIGHT
HVAC	HEATING, VENTILATION, AIR CONDITIONING
HW	HOT WATER HEATER
IBC	INTERNATIONAL BUILDING CODE
ID	INSIDE DIAMETER / INTERIOR DESIGN
IE	INVERT ELEVATION
IC	IMPACT ISOLATION CLASS
IN	INCH
INSUL	INSULATION
INT	INTERIOR
JST	JOIST(S)
KIT	KITCHEN
KW	KILOWATT
L	LENGTH
LAM	LAMINATE(D)
LAT	LATERAL
LAV	LAVATORY
LB(S)	POUND(S)
LEV	LEVEL
LF	LINEAL FOOT
LH	LEFT HAND
LR	LEFT HAND REVERSE
LANDSCAPE	LANDSCAPE
LOC	LOCATION
LR	LIVING ROOM
LTG	LIGHTING
LVL	LAMINATED VENEER LUMBER
MACH RM	MACHINE ROOM
MAG	MAGNETIC
MATL	MATERIAL
MAX	MAXIMUM
MB	MAILBOX
MC	MEDICINE CABINET
MECH	MECHANICAL
MEMB	MEMBRANE
MEP	MECHANICAL, ELECTRICAL, PLUMBING
MEZZ	MEZZANINE
MER	MANUFACTURE(R),(D)
METAL	METAL
MIN	MINIMUM
MISC	MISCELLANEOUS
MO	MASONRY OPENING
MTL	METAL
MULL	MULLION
MULT	MULTIPLE
(N)	NEW
NA	NOT APPLICABLE
N/A	NOT APPLICABLE
NIC	NEIGHBORING GRADE
NOT IN CONTRACT	NOT IN CONTRACT
NUM	NUMBER
NO	NOMINAL
NTS	NOT TO SCALE
O	OVER
OC	ON CENTER
OD	"OUTSIDE DIAMETER, DIMENSION"
OFF	OPENING
OPNG	OPENING
OPV	OPPOSITE
OS	OVER/LOW
OVHD	OVERHEAD
OVHG	OVERHANG
PBD	PARTICLE BOARD
PC	PROPERTY CORNER
PE	PEDESTAL
PERF	PERFORATED
PERIM	PERIMETER
PERM	PERMANENT
PERP	PERPENDICULAR
PH	PHASE
PL	PROPERTY LINE
PLAM	PLASTIC LAMINATE
PLT	PLATE
PLAS	PLASTER
PLYWD	PLYWOOD
POL	POLISHED
PPR	PIPE
PREFAB	PREFABRICATED
PREFIM	PRELIMINARY
PRM	PRIMARY
PRKG	PARKING
PROJ	PROJECT
PROP	PROPERTY CORNER
PSF	POUNDS PER SQUARE FOOT
PSI	POUNDS PER SQUARE INCH
PSL	PARALLEL STRAND LUMBER
PT	"POST-TENSION, PRESSURE TREATED"
PT	PARTITION
PTN	PARTITION
PVA	POLYVINYL ACRYLIC
PVC	POLYVINYL CHLORIDE
PVG	PAVING
PWT	PORCELAIN WALL TILE
QTY	QUANTITY
R	"RADIUS, RISER"
REF	REFLECTED CEILING PLAN
RD	"ROOF DRAIN, ROAD"
RO	ROUGH OPENING
RAD	RADIUS
REC	RECESSED
REF	"REFERENCE, REFRIGERATOR"
REIN	REINFORCE(D),(ING)
REQ	REQUIRED
RES	RESISTANT
RESIL	RESILIENT
RET	RETAINING
REV	"REVERSE, REVIS(D),(ION)"
RHR	"RIGHT HAND, ROOF HATCH"
RHM	RIGHT HAND REVERSE
RM	ROOM
RO	ROUGH OPENING
ROW	RIGHT-OF-WAY
RPM	REVOLUTIONS PER MINUTE
RTU	RIGHT ROOFTOP UNIT
S	SOUTH
SAM	SELF-ADHERING MEMBRANE
SC	SOLID CORE
SCHED	SCHEDULE
SD	STORM DRAIN
SECT	SECTION
SFR	SQUARE FOOT/FEET
SH	SHEET
SHT	SINGLE-FAMILY RESIDENCE
SIM	SIMILAR
SIMILAR	SIMILAR
SPKLR	SPEAKER(S) / SPECIFIED
SQ	SQUARE
SQ IN	SQUARE INCH
SS	STAINLESS STEEL
SSAM	STANDING SEAM
SW	SANITARY SEWER
ST	"STAIRS, STREET"
STC	SOUND TRANSMISSION CLASS STANDARD
STL	STEEL
STR	STORAGE
STRUCT	STRUCTURAL
SUSP	SUSPENDED
SV	SHEET VINYL
SYM	SYMMETRICAL
T	TREAD
T&G	TONGUE AND GROOVE
TBD	TO BE DETERMINED
TELE	TELEPHONE
TEMP	"TEMPERATURE, TEMPERED, TEMPORARY"
TFF	TOP OF FINISH FLOOR
THK	"THICKNESS"
THRU	THROUGH
TOP	TOP OF
TOP OF BEAM	TOP OF BEAM
TOP OF CONCRETE, CURB"	TOP OF CONCRETE, CURB"
TOP OF FINISH	TOP OF FINISH
TOP OF WALL	TOP OF WALL
TV	TELEVISION
TYP	TYPICAL
UL	UNDERWRITERS LABORATORIES
UNO	UNLESS NOTED OTHERWISE
UTILITY	UTILITY
UNREINFORCED MASONRY	UNREINFORCED MASONRY
V	VOLT
VCT	VINYL COMPOSITE TILE
VERT	VERTICAL
VIF	VERIFY IN FIELD
VOL	VOLUME
W	"WEST, WIDTH, WASHER"
W	WITH
W/D	WASHER & DRYER
WIT	WITHIN
W/O	WITHOUT
WC	WATER CLOSET
WF	WIDE FLANGE
WP	"WEATHERPROOF, WEATHERPROOF"
W	WOOD
W/DW	WINDOW
WRB	WEATHER RESISTIVE BARRIER
WT	WEIGHT
YD	YARD
&	AND
@	ANGLE
#	AT
+	NUMBER
+	PLUS OR MINUS

SYMBOLS	
	NEW GRIDLINES
	EXIST/ADJ BLDG GRIDLINES
	NORTH ARROW
	BUILDING ELEVATION DRAWING NUMBER SHEET NUMBER
	BUILDING SECTION DRAWING NUMBER SHEET NUMBER
	WALL SECTION DRAWING NUMBER SHEET NUMBER
	INTERIOR ELEVATION DRAWING NUMBER SHEET NUMBER
	DETAIL DRAWING NUMBER SHEET NUMBER
	SPOT ELEVATION
	DATUM / DIMENSION / CONTROL POINT
	MATCHLINE SEE XXXXXX
	MATCHLINE DRAWING SHEET SHOW'G ADJ CONDITION
	EXISTING CONTOURS REVISED CONTOURS
	PROPERTY LINE
	DASHED LINE INDICATES HIDDEN, OVERHEAD, OR DEMOD ITEMS
	CENTERLINE
	BREAK LINE
	ALIGN ELEMENTS
	APPLIANCE/FIXTURE TAG
	ASSEMBLY TAG (WALL, FLOOR, CEILING, ROOF)
	DOOR TAG
	FINISH TAG
	ROOM TAG
	WINDOW TAG
	REVISION TAG / REVISION CLOUD

BUILDING CODES	
2022 CALIFORNIA BUILDING CODE	
2022 CALIFORNIA GREEN BUILDING STANDARDS CODE	
2022 CALIFORNIA MECHANICAL CODE	
2022 CALIFORNIA ELECTRICAL CODE	
2022 CALIFORNIA PLUMBING CODE	
2022 CALIFORNIA RESIDENTIAL CODE	

SCOPE OF WORK	
DEMO OF EXISTING STRUCTURES ON SITE.	
THE CONSTRUCTION OF A NEW TWO-STORY COMMERCIAL OFFICE BUILDING WITH BASEMENT AND ATTACHED GARAGE.	
APPLICATION OF USE PERMIT	

DEFERRED SUBMITTALS	
FIRE SPRINKLER SYSTEM TO BE A DEFERRED SUBMITTAL	

RENOVATION LEGEND	
	EXISTING ELEMENT
	DEMOLISHED ELEMENT
	NEW ELEMENT


MATERIAL LEGEND	
	ALUMINUM
	ASHLAR STONE
	BRICK FACE/COMMON
	CEMENTITIOUS UNDERLAYMENT
	CONCRETE
	CONCRETE MASONRY UNIT
	EARTH, COMPACTED FILL
	EARTH, UNDISTURBED
	GRAVEL FILL
	GROUT, SAND
	INSULATION, BATT
	INSULATION, RIGID
	INSULATION, SPRAY FOAM
	ORIENTED STRAND BOARD
	PARTICLE BOARD
	PLYWOOD
	STEEL, OTHER METALS
	WOOD, BLOCKING OR SHIM
	WOOD, FINISHED
	WOOD, FRAMING
	WOOD, GLUE-LAMINATED

PROJECT DIRECTORY	
<p><b>MECHANICAL</b> NATIONAL ENGINEERING 30 THOMAS IRVINE, CA 92618 (949) 716-9990 CONTACT: TIM KIM TIM.KIM@NATIONALENG.COM</p> <p><b>ELECTRICAL</b> NATIONAL ENGINEERING 30 THOMAS IRVINE, CA 92618 (949) 716-9990 CONTACT: GABE TUASON GABE.TUASON@NATIONALENG.COM</p> <p><b>PLUMBING</b> NATIONAL ENGINEERING 30 THOMAS IRVINE, CA 92618 (949) 716-9990 CONTACT: TIM KIM TIM.KIM@NATIONALENG.COM</p> <p><b>ENERGY / TITLE-24</b> NATIONAL ENGINEERING 30 THOMAS IRVINE, CA 92618 (949) 716-9990 CONTACT: GABE TUASON GABE.TUASON@NATIONALENG.COM</p> <p><b>PHOTOVOLTAIC</b> NATIONAL ENGINEERING 30 THOMAS IRVINE, CA 92618 (949) 716-9990 CONTACT: GABE TUASON GABE.TUASON@NATIONALENG.COM</p>	<p><b>OWNER</b> OCEAN VIEW PARTNERS LLC 2301 ROSECRANS AVE, SUITE 4130 EL SEGUNDO, CA 90254 CONTACT: KYLE RANSFORD</p> <p><b>ARCHITECT</b> LANEY LA, INC. 725 CYPRESS AVE HERMOSA BEACH, CA 90254 (310) 870-7175 CONTACT: KAMERON SELBY KAMERON@LANEY.LA</p> <p><b>SURVEY</b> DENN ENGINEERS 3914 DEL AMO BLVD., STE 921 TORRANCE, CA 90503 (310) 542-9433</p> <p><b>GEO-TECHNICAL ENGINEER</b> NORCAL ENGINEERING 10641 HUMBOLDT STREET LOS ALAMITOS, CA 90720 (562) 799-9467</p> <p><b>STRUCTURAL ENGINEER</b> LABIB FUNK + ASSOCIATES 319 MAIN STREET EL SEGUNDO, CA 90245 (213) 239-9700 CONTACT: RONALD PERALBO RONALD.PERALBO@LABIBFUNK.COM</p> <p><b>CIVIL ENGINEER</b> LABIB FUNK + ASSOCIATES 319 MAIN STREET EL SEGUNDO, CA 90245 (213) 239-9700 CONTACT: RONALD PERALBO RONALD.PERALBO@LABIBFUNK.COM</p> <p><b>FIRE</b> DELTA FIRE 7356 FULTON AVE. NORTH HOLLYWOOD, CA 91605 (888) 898-9473 CONTACT: BRETT GREEN BGREENE@DELTAFIREPROTECTION.COM</p>

SHEET INDEX	
<b>COVER SHEET &amp; GENERAL INFO</b>	G101 COVER SHEET
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<b>DIAGRAMS</b>	G301 CODE INFORMATION G302 ENCROACHMENT PERMIT G303 EGRESS, FIRE RATING & OCCUPANT LOAD DIAGRAM G304 TRASH DIAGRAM
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<b>SECTIONS</b>	A301 BUILDING SECTIONS A302 BUILDING SECTIONS A303 BUILDING SECTIONS

229 13TH ST	
<b>PROJECT INFORMATION</b>	
<b>PROJECT ADDRESS:</b> 229 13TH ST, MANHATTAN BEACH, CA 90266	<b>BUILDING CONSTRAINTS:</b> FRONT SETBACK: 0'-0" REAR SETBACK: 0'-0" SIDE SETBACK: 0'-0"
<b>LEGAL DESCRIPTION:</b> MANHATTAN BEACH DIV # 2 LOT 10	<b>APN:</b> 417-902-5015
<b>ZONING:</b> CD / AREA DISTRICT III	<b>OCCUPANCY GROUP:</b> B
<b>LOT AREA (NET):</b> 1,997 SF	<b>OFF-STREET PARKING PROPOSED:</b> 1 SPACE
<b>LOT COVERAGE:</b> 1,952 SF (97.7%)	<b>NO. OF STORIES:</b> 2 STORY
<b>FLOOR AREA RATIO:</b> PROPOSED 1.02 (ALLOWED 1.5)	
<b>BUILDABLE FLOOR AREA:</b> PROPOSED 2,140 SF (ALLOWED 2,995 SF) *PER MBMC 10.64.030 (1) ONE OFF-STREET PARKING SPOT PER 300SF O/ALLOWABLE BFA	
<b>ENLARGED PLANS</b>	
A401	STAIR PLAN & INTERIOR ELEVATIONS
<b>ASSEMBLIES</b>	
A701	DETAILS - FLOOR ASSEMBLIES
A702	DETAILS - WALL ASSEMBLIES
<b>SCHEDULES &amp; DIAGRAMS</b>	
A802	DOOR & WINDOW SCHEDULES
<b>DETAILS</b>	
A901	FOUNDATION DETAILS
A902	DETAILS - ROOF
A903	DETAILS - STAIRS AND HANDRAILS
A904	DETAILS - TRANSITIONS
A905	DOOR DETAILS
A906	WINDOW DETAILS
A907	MISC. DETAILS



# Laney LA


**PROJECT NAME**  
229 13TH STREET

**PROJECT NUMBER**  
22008

**CLIENT**  
OCEAN VIEW PARTNERS LLC

**PROJECT ADDRESS**  
229 13TH STREET  
MANHATTAN BEACH, CA

**ARCHITECT**  
ANTHONY LANEY AIA  
LANEY LA, INC.  
725 CYPRESS AVE  
HERMOSA BEACH CA 90254  
(310) 870-7175  
ANTHONY@LANEY.LA



MARK	DATE	DESCRIPTION
-	01-25-23	CDP+CUP SUBMISSION
1	05-25-23	PLANNING CHECK SET #1
2	07-18-23	PLANNING CHECK SET #2

**PROJECT NO:** 22008  
**MODEL FILE:**  
22008 - 229 13th St - Powers  
**DRAWN BY:**  
**COPYRIGHT:**

**SHEET TITLE**  
**COVER SHEET**

# G101

SHEET 11 OF 59

CITY OF MANHATTAN BEACH

MANHATTAN BCH CITY

BUILDING & SAFETY

PUBLIC WORKS

GENERAL CONSTR.

**A) REFUSE STORAGE:** RESIDENTIAL PROPERTIES MUST PROVIDE AN ENCLOSED STORAGE AREA FOR REFUSE CONTAINERS. THESE AREAS MUST BE CONSTRUCTED TO MEET THE REQUIREMENTS OF MBMC 5.24.030. THE AREA MUST BE SHOWN IN DETAIL ON THE PLANS BEFORE A PERMIT IS ISSUED.

**B) DRIVEWAY HEIGHT:** THE BACK OF THE DRIVEWAY APPROACH MUST BE 6" HIGHER THAN THE FLOW LINE ON THE STREET PER MBMC 9.76.030.

**C) PUBLIC WAY IMPROVEMENTS:** SIDEWALK, DRIVEWAY CURB, AND GUTTER REPAIRS OR REPLACEMENT MUST BE COMPLETED PER PUBLIC WORKS SPECIFICATIONS. IN THE CASE WHERE THE GARAGE LEVEL IS BELOW THE STREET DRAINAGE FLOW LINES, THE COMBINED SLOPE OF PUBLIC AND PRIVATE APPROACH SHALL NOT EXCEED 15%. IT SHALL BE THE DUTY OF EVERY PERSON CUTTING OR MAKING AN EXCAVATION ACROSS ANY PUBLIC STREET, ALLEY OR SIDEWALK, TO MAINTAIN ADEQUATE CROSSINGS FOR VEHICLES AND FOR PEDESTRIANS. (MBMC 17.16.100)

BEST MANAGEMENT PRACTICES

**A) TYPE OF CONSTRUCTION:** ALL PERSONS WORKING ON THE SITE SHOULD OBTAIN, READ, AND UNDERSTAND THE BEST MANAGEMENT PRACTICES PAMPHLET FOR THE TYPE(S) OF CONSTRUCTION BEING DONE.

**B) SITE WASH-OFF:** STOCKPILES OF SOILS, DEMOLITION DEBRIS, CEMENT, SAND, TOPSOIL, ETC., MUST BE COVERED WITH WATERPROOF MATERIALS OR BERMED TO PREVENT BEING WASHED OFF SITE.

**C) LIQUID MATERIALS:** FUELS, OILS, PAINTS, SOLVENTS, AND OTHER LIQUID MATERIALS SHALL NOT BE WASHED INTO THE STREET.

**D) CONCRETE WASTE:** WASTE CONCRETE MUST NOT BE WASHED INTO STREET, STORM DRAIN CATCH BASINS, OR PUBLIC RIGHT-OF-WAY. ALL DUST AND SLURRY FROM CONCRETE CUTTING MUST BE REMOVED USING WET-DRY VACUUM OR EQUIVALENT.

**E) SOLID WASTE:** TRASH AND OTHER CONSTRUCTION SOLID WASTE MUST BE PLACED IN A COVERED TRASH RECEPTACLE.

**F) ERODED SOIL:** ERODED SOIL FROM DISTURBED SLOPED MUST BE CONTAINED USING BERMS, SILT FENCES, SETTING BASINS, OR GOOD EROSION MANAGEMENT PRACTICES SUCH AS RESEEDING.

**G) WASH WATER:** WASH WATER FROM CLEANING CONSTRUCTION VEHICLES AND EQUIPMENT MUST BE KEPT ON-SITE WITHIN A CONTAINMENT AREA.

**H) CONCRETE DRIVEWAY:** CONSTRUCT NEW COMMERCIAL CONCRETE DRIVEWAY TYPE WERE NOTED ON SITE PLAN. NEW CONCRETE SHALL BE CLASS 520-C-2500.

**I) PREFABRICATED BEAMS:** SUBMIT CERTIFICATE OF PREFABRICATED BEAMS TO BUILDING INSPECTOR PRIOR TO INSTALLATION OF SUCH BEAM.

FIRE

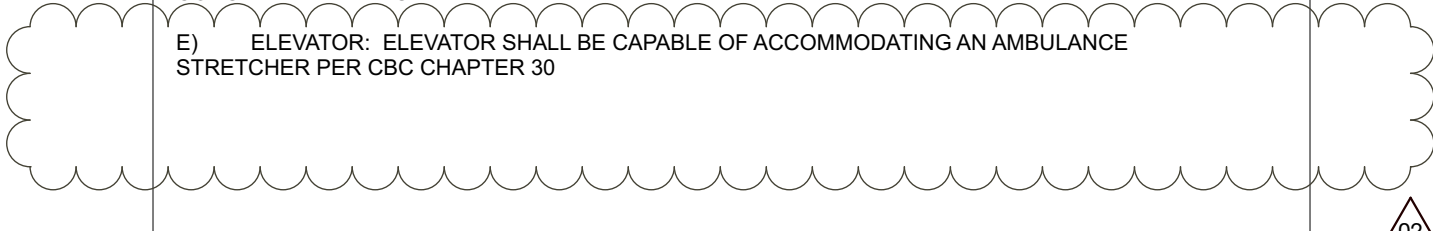
**A) ELEVATOR:** SHAFT OPENING SHALL HAVE A 1-HOUR FIRE RATED PROTECTION LANDING FOR THE BASEMENT FLOOR LEVEL AND 2ND FLOOR LEVEL.

**B) COMMUNICATION:** TWO-WAY COMMUNICATION IS REQUIRED AT THE ELEVATOR CONDUIT RACEWAY FOR FUTURE INSTALLATION OF AN EMERGENCY RESPONDER RADIO COVERAGE SYSTEM OR FOR FUTURE EXPANSION OF THE SYSTEM.

**C) NEW BUILDING:** ALL NEW BUILDINGS SHALL BE PROVIDED AT LEAST ONE DEDICATED CONDUIT RACEWAY FOR FUTURE INSTALLATION OF AN EMERGENCY RESPONDER RADIO COVERAGE SYSTEM OR FOR FUTURE EXPANSION OF THE SYSTEM.

**D) SOLAR:** ANY FUTURE SOLAR SYSTEMS AND/OR ENERGY STORAGE SYSTEMS SHOULD BE CONSIDERED AT THIS TIME.

**E) ELEVATOR:** ELEVATOR SHALL BE CAPABLE OF ACCOMMODATING AN AMBULANCE STRETCHER PER CBC CHAPTER 30



**A) CONSTRUCTION TIMES:** CONTRACTOR SHALL CONFIRM HOURS FOR CONSTRUCTION ACTIVITY WITH LOCAL AGENCY AND ONLY OPERATE DURING APPROVED HOURS. NO CONSTRUCTION IS PERMITTED OUTSIDE OF THOSE HOURS.

**B) CONSTRUCTION SIGNS:** CONTRACTOR SHALL CONFIRM REQUIREMENTS FOR CONSTRUCTION SITE SIGNAGE WITH LOCAL AGENCY. CONTRACTOR SHALL PROVIDE AND MAINTAIN REQUIRED SIGNAGE AT PROJECT SITE AT ALL TIMES.

**C) CONSTRUCTION FENCE:** CONTRACTOR SHALL PROVIDE CONSTRUCTION FENCE PER CBC 3303 AT PUBLIC RIGHT-OF-WAY FOR PEDESTRIAN PROTECTION IF ANY WORK IS TO BE PERFORMED ON ANY BUILDING OR STRUCTURE ADJACENT TO PUBLIC RIGHT-OF-WAY.

**D) DEMOLITION:** NO DEMOLITION SHALL COMMENCE WITHOUT A VALID DEMOLITION PERMIT. WORK COMMENCES WITHOUT A VALID PERMIT MAY BE SUBJECT TO A SPECIAL INVESTIGATION BEFORE A PERMIT MAY BE ISSUED.

**E) GRADING PERMIT:** A GRADING PERMIT IS REQUIRED WHEN GRADING OR EXCAVATION INVOLVES A CUT OR FILL DEPTH OF 3' OR MORE AND/OR 200 CUBIC YARDS. SUBMIT GRADING PLAN AND SOILS REPORT TO THE BUILDING DIVISION FOR REVIEW AND APPROVAL. DUST SHALL BE CONTROLLED CONTINUOUSLY BY WATERING OR BY OTHER APPROVED MEANS OF EXCAVATING. CONTRACTOR SHALL NOTIFY THE UNDERGROUND SERVICE ALERT (1-800-422-4133) PRIOR TO ANY EXCAVATION.

**F) SHORING PERMIT:** A SHORING PERMIT IS REQUIRED FOR ANY VERTICAL CUT OR FILL THAT IS EQUAL TO OR GREATER THAN 5' IN HEIGHT. ENGINEERED SHORING PLANS AND CALCULATIONS AND SOILS REPORT MUST BE SUBMITTED TO THE BUILDING DIVISION FOR REVIEW AND APPROVAL PER SECTION 3301.2 OF THE CBC. THE HOLDER OF A SHORING PERMIT SHALL NOTIFY IN WRITING ALL THE OWNERS OF ADJOINING PROPERTIES NOT LESS THAN 10 DAYS BEFORE SUCH EXCAVATION IS TO COMMENCE. AN OSHA PERMIT IS ALSO REQUIRED - A COPY OF WHICH SHALL BE SUBMITTED TO THE BUILDING DIVISION. SHORING CONTRACTOR SHALL NOTIFY THE UNDERGROUND SERVICE ALERT (1-800-422-4133) PRIOR TO ANY EXCAVATION.

**G) SANDBLASTING:** THE SANDBLASTING MUST BE WET SANDBLASTING AND ALL THE PRECAUTIONARY MEASURES MUST BE TAKEN BY THE CONTRACTOR TO PROTECT LIFE AND PROPERTY OF NEIGHBORS, RESIDENTS AND THE PUBLIC. ADJACENT PROPERTY OWNERS MUST BE NOTIFIED AT LEAST (2) DAYS PRIOR TO SANDBLASTING.

**H) SITE DRAINAGE:** PROVIDE ROOF GUTTERS AND DOWNSPOUTS OR CONCRETE PAVEMENT/SWALE ON GROUND TO DIVERT OR CARRY SURFACE WATER AWAY FROM BUILDING TO CATCH BASIN AND DRAIN PIPES THROUGH CURB TO STREET AND STORM DRAIN SYSTEM.

**I) STAIRWAYS:** WIDTH OF STAIRWAYS SHALL BE 36" MIN CLEAR TAKEN FROM FACE OF FINISH. GUARDRAILS OR HANDRAIL PICKETS SHALL HAVE A MAXIMUM 4" SPACING BETWEEN PICKETS.

**J) GARAGE DOOR:** GARAGE DOOR OPENING INCLUDING HARDWARE SHALL BE 7' MINIMUM AND 18" WIDE. GARAGE DOOR SPRINGS AND OPENERS SHALL BE STATE APPROVED AND WITH MANUFACTURER'S LABEL. DOOR LEADING FROM GARAGE TO DWELLING UNIT SHALL BE A 20 MINUTE FIRE RATED, 1-3/8" SOLID WOOD, SELF-CLOSING, AND TIGHT FITTING DOOR.

**K) NAILS:** ONLY COMMON NAILS SHALL BE PERMITTED FOR THE REQUIRED NAILINGS ON VERTICAL AND HORIZONTAL DIAPHRAGMS SUCH AS SHEAR WALLS AND ROOF/FLOOR SHEATHINGS RESPECTIVELY.

**L) REBAR WELDING:** WELDING OF REBAR SHALL COMPLY WITH CBC, STANDARD 19-1. CONTRACTOR TO SUBMIT WELDING PROCEDURES AND QUALIFICATION OF DEPUTY/SPECIAL INSPECTIONS IN ACCORDANCE WITH SPECIAL INSPECTION PROGRAM TO THE BUILDING DIVISION FOR APPROVAL PRIOR TO ANY WELDING WORK.

**M) FUTURE UTILITIES:** CONTRACTOR TO PROVIDE UNDERGROUND CONDUIT FOR FUTURE ELECTRICAL LINES AT THE FRONT PROPERTY LINES. CONTRACTOR TO COORDINATE WITH INSPECTOR FOR ADDITIONAL COMMENTS.

**A) BACK FLOW DEVICES:** ALL LANDSCAPE IRRIGATION BACK FLOW DEVICES MUST MEET CURRENT CITY REQUIREMENTS FOR PROPER INSTALLATION.

**B) WASTE REMOVAL:** NO DISCHARGE OF CONSTRUCTION WASTEWATER, BUILDING MATERIALS, DEBRIS, OR SEDIMENT FROM THE SITE IS PERMITTED. NO REFUSE OF ANY KIND GENERATED ON A CONSTRUCTION SITE MAY BE DEPOSITED IN RESIDENTIAL, COMMERCIAL, OR PUBLIC REFUSE CONTAINERS AT ANY TIME. THE UTILIZATION OF WEEKLY REFUSE COLLECTION SERVICE BY THE CITY'S HAULER FOR ANY REFUSE GENERATED AT THE CONSTRUCTION SITE IS STRICTLY PROHIBITED. FULL DOCUMENTATION OF ALL MATERIALS/TRASH LANDFILLED AND RECYCLED MUST BE SUBMITTED TO THE PERMITS DIVISION IN COMPLIANCE OF THE CITY'S CONSTRUCTION AND DEMOLITION RECYCLING ORDINANCE.

**C) SEWER CLEANOUT:** A PROPERTY LINE CLEANOUT MUST BE INSTALLED ON A 6 DEGREE SANITARY SEWER LATERAL. IF THERE IS NO 6 DEGREE LATERAL, THEN A ONE ONE MUST BE INSTALLED WITHIN THE PROPERTY LINES. SEE LOCAL PUBLIC WORKS DEPARTMENT FOR TYPICAL CONSTRUCTION DETAILS.

**D) BACKWATER VALVE:** A BACKWATER VALVE IS REQUIRED ON THE SANITARY SEWER LATERAL IF THE DISCHARGES FROM FIXTURES WITH FLOOD LEVEL RIMS ARE LOCATED BELOW THE NEXT UPSTREAM MANHOLE COVER OF THE PUBLIC SEWER. SEE LOCAL PUBLIC WORKS DEPARTMENT FOR TYPICAL CONSTRUCTION DETAILS.

**E) EXISTING SEWER LATERAL:** IF AN EXISTING SEWER LATERAL IS USED, IT MUST BE TELEVISED TO VERIFY ITS STRUCTURAL INTEGRITY. THE TAPE MUST BE MADE AVAILABLE FOR REVIEW BY THE PUBLIC WORKS DEPARTMENT. THE LOCAL PUBLIC WORKS DEPARTMENT WILL REVIEW THE TAPE AND DETERMINE AT THAT TIME IF THE SANITARY LATERAL NEEDS REPAIRING, REPLACING, OR THAT IT IS STRUCTURALLY SOUND AND CAN BE USED IN ITS PRESENT CONDITION.

**F) UNUSED LATERALS:** ANY UNUSED WATER OR SANITARY SEWER LATERALS MUST BE ABANDONED AT THE CITY MAIN.

**G) PROTECTION OF PROPERTY:** IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO PROTECT ALL THE STREET SIGNS, STREET LAMPS/LIGHTS, PARKING METERS, AND/OR TREES AROUND THE PROPERTY. IF THEY ARE DAMAGED, LOST OR REMOVED, IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO REPLACE THEM AT THE CONTRACTOR'S EXPENSE. THE CONTRACTOR IS ALSO RESPONSIBLE FOR ANY STREET MARKINGS THAT ARE DAMAGED OR REMOVED BY THE CONTRACTOR'S OPERATIONS. CONTACT THE PUBLIC WORKS INSPECTOR FOR SIGN SPECIFICATION AND SUPPLIERS.

**H) WATER METERS:** WATER METERS MUST REMAIN ACCESSIBLE FOR METER READERS DURING CONSTRUCTION. WATER METERS SHALL BE PLACED NEAR THE PROPERTY LINE AND OUT OF THE DRIVEWAY APPROACH WHENEVER POSSIBLE. THE WATER METER BOX MUST BE PURCHASED FROM THE CITY AND MUST HAVE A TRAFFIC RATED LID IF THE BOX IS LOCATED IN THE DRIVEWAY.

**I) PARKWAY TREES:** IF ANY PARKWAY TREES ARE REMOVED, THEY MUST BE REPLACED WITH TREES SELECTED FROM THE CITY'S APPROVED PARKWAY TREE LIST AND PLANTED IN ROOT BARRIER BOXES.

**J) BEST MANAGEMENT PRACTICES:** EROSION AND SEDIMENT CONTROL DEVICES BMP'S (BEST MANAGEMENT PRACTICES) MUST BE IMPLEMENTED AROUND THE CONSTRUCTION SITE TO PREVENT DISCHARGE TO THE STREET AND ADJACENT PROPERTIES. CONTROL MEASURES MUST ALSO BE TAKEN TO PREVENT STREET SURFACE WATER FROM ENTERING THE SITE.

**K) DRAIN LINES:** ALL DRAIN LINES INSTALLED WITHIN THE STREET RIGHT-OF-WAY MUST BE CONSTRUCTED OF DUCTILE IRON PIPE. DRAINS MUST BE SHOWN ON PLANS.

**L) RUNOFF DISCHARGE:** ALL RUNOFF WATER FROM THE ROOF AND SIDE YARDS AND PATIOS MUST DISCHARGE ONTO STREET.

**M)** A MOP SINK MUST BE INSTALLED AND/OR MUST BE SHOWN ON THE SITE PLAN AND PLUMBING PLAN.

PLANNING

**A) SEPARATE PERMITS:** SEPARATE PERMITS AND PLANS ARE REQUIRED FOR SPAS, POOLS, PAVEMENTS, DEMOLITION, AND SEWER CAP OF EXISTING BUILDINGS.

**B) VERTICAL PROJECTIONS IN SETBACKS:** FENCE, WALL, AND HANDRAIL HEIGHTS AS MEASURED FROM THE LOWEST FINISHED GRADE ADJACENT TO EACH SECTION OF THESE STRUCTURES, MAY BE A MAXIMUM OF 42" IN THE FRONT YARD SETBACK, AND 72" AT ALL OTHER LOCATIONS ON SITE UNLESS LOCATED IN A LINE-OF-SIGHT OR DRIVEWAY VISIBILITY AREA. CONTRACTOR TO CONFIRM HEIGHT LIMITATIONS WITH THE LOCAL PLANNING DEPARTMENT.

**C) ADDRESS NUMBERS:** BUILDING ADDRESS NUMBERS SHALL CONTRACT WITH THEIR BACKGROUND AND BE 4" MINIMUM HIGH WITH A MINIMUM STROKE WIDTH OF 0.5" PER CBC R319.9.

**D) ON SITE PARKING:** PARKING IS NOT PERMITTED IN REQUIRED YARDS OR OPEN SPACE EXCEPT FOR A 20' WIDE FRONT YARD DRIVEWAY.

**E) FUTURE SOLAR WATER HEATING:** A "CAPPED TEE" FITTING MUST BE INSTALLED OVER THE COLD WATER SUPPLY LINE ABOVE THE WATER HEATER FOR FUTURE SOLAR WATER HEATING. PTT RELIEF VALVE SHALL TERMINATE OUTSIDE THE BUILDING.

**F) UNDERGROUND CONDUIT:** ROUTE UNDERGROUND CONDUIT TO POWER POLE PER PUBLIC WORKS STANDARD DETAILS. STUB OUT FOR PROPERTY LINE FOR FUTURE UNDERGROUNDING OF UTILITIES WHEN APPLICABLE.

**G) MECHANICAL EQUIPMENT SCREENING:** PROVIDE VISUAL SCREENING FOR PROPOSED MECHANICAL EQUIPMENT AND UTILITY METERS. TOP NEED NOT TO BE SCREENED IF LOCATED ON INTERIOR SIDE OF DWELLING.

**H) METER CLEARANCE:** GAS AND ELECTRIC METERS MUST CLEAR PROPERTY LINES BY 3'-0".

**I) CESSPOOL LOCATIONS:** IF THERE IS AN EXISTING CESSPOOL ON SITE, IT MUST BE LOCATED BY CITY PERSONNEL BEFORE DEMOLITION OR BUILDING PERMITS CAN BE ISSUED. CONTRACTOR TO VERIFY EXISTENCE OF CESSPOOL WITH LOCAL AUTHORITY HAVING JURISDICTION PRIOR TO PROCEEDING WITH DEMOLITION OR CONSTRUCTION ACTIVITIES.

**A) CONSTRUCTION DOCUMENTS:** THE CONTRACTOR SHALL BE RESPONSIBLE FOR READING AND COMPLYING WITH ALL NOTES INCLUDED IN THE CONTRACT DOCUMENTS. THE CONTRACTOR SHALL BRING ANY AND ALL DISCREPANCIES OR CONFLICTS TO THE ATTENTION OF THE ARCHITECT. THE CONTRACTOR SHALL THOROUGHLY REVIEW THE CONSTRUCTION DRAWINGS, SPECIFICATIONS, ADDENDUMS, AND ANY REVISIONS ISSUED AND SHALL REPORT ANY DISCREPANCIES TO THE ARCHITECT FOR WRITTEN CLARIFICATION.

**B) CONSTRUCTION DOCUMENTS:** THE CONSTRUCTION DRAWINGS AND SPECIFICATIONS ARE REPRESENTATIONAL OF THE FINISHED STRUCTURE AND DO NOT INDICATE THE MEANS + METHODS OF CONSTRUCTION, TECHNIQUES, SEQUENCING, OR PROCEDURES REQUIRED FOR CONSTRUCTION.

**C) APPROVED DRAWING SET:** THE CONTRACTOR SHALL KEEP AND MAINTAIN THE CITY APPROVED RECORD SET OF DRAWINGS AT THE JOB SITE AT ALL TIMES. THE CONTRACTOR SHALL KEEP THE SET CURRENT WITH ANY APPROVED REVISIONS OR ADDENDA.

**D) MINIMUM STANDARDS OF WORK:** IF ANY CONFLICT EXISTS IN QUALITY OF WORK OR CODE REQUIREMENTS, THE HIGHER QUALITY AND MORE RESTRICTIVE SHALL APPLY.

**E) NOT IN SCOPE:** WORK INDICATED ON THE DRAWINGS OR IN THE SPECIFICATIONS AS N.I.C. OR BY SEPARATE CONTRACTORS, IS NOT INCLUDED WITHIN THE CONTRACT OR CONSTRUCTION DOCUMENTS FOR THE PROJECT. CONTRACTOR SHALL COOPERATE FULLY WITH ALL SEPARATE CONTRACTORS CONTRACTED WITH THE OWNER.

**F) CODE COMPLIANCE:** THE WORK SHALL BE COMPLIANT WITH ALL APPLICABLE CODE, ORDINANCES, AND REGULATIONS LISTED IN THE CONSTRUCTION DOCUMENTS AND AS REQUIRED BY THE LOCAL AUTHORITY HAVING JURISDICTION.

**G) OSHA COMPLIANCE:** WORK SHALL COMPLY WITH PERTINENT HEALTH AND SAFETY REGULATIONS FOR REQUIRED METHODS TO PROTECT ALL PERSONS INVOLVED WITH THE WORK OR VISITING THE SITE DURING THE CONSTRUCTION PERIOD.

**H) SITE MEASUREMENTS:** CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL DIMENSIONS IN THE FIELD PRIOR TO STARTING ANY WORK. THE CONTRACTOR SHALL REPORT ANY DISCREPANCIES BETWEEN FIELD CONDITIONS AND THE DRAWINGS TO THE ARCHITECT PRIOR TO CONTINUING WORK.

**I) DIMENSIONS:** THE CONTRACTOR SHALL NOTIFY THE ARCHITECT OF ANY CONFLICTING DIMENSIONS BETWEEN ARCHITECTURAL + ENGINEERING DRAWINGS, THE DRAWINGS SHALL NOT BE SCALED.

**J) DETAILS:** DETAILS PROVIDED WITHIN THE CONSTRUCTION DOCUMENTS ARE INTENDED TO SHOW THE INTENT OF THE DESIGN. MINOR MODIFICATIONS MAY BE REQUIRED PER FIELD CONDITIONS. CONTRACTOR TO NOTIFY ARCHITECT OF SUCH REVISIONS.

**K) SUBSTITUTIONS:** NO SUBSTITUTIONS ARE ALLOWED UNLESS SPECIFICATIONS ARE SUBMITTED TO AND APPROVED BY THE OWNER AND ARCHITECT.

**L) CONTRACT DEVIATIONS:** ANY VALUE ENGINEERING OR SUBSTITUTION OF REQUIREMENTS NOTED IN THE CONTRACT DOCUMENTS TAKEN WITHOUT WRITTEN CONSENT FROM THE ARCHITECT SHALL RELEASE THE ARCHITECT FROM ANY AND ALL LIABILITY FOR THAT PORTION OF THE PROJECT.

**M) COORDINATION WITH CONTRACTORS/CONSULTANTS:** THE CONTRACTOR SHALL COORDINATE THEIR WORK WITH ALL OTHER TRADES, CONSULTANTS, AND SUB-CONTRACTORS WORKING ON THE PROJECT WHETHER UNDER CONTRACT OF THE CONTRACTOR OR OWNER.

**N) DIMENSIONS:** ALL DIMENSIONS ARE TO FACE OF STUD (F.O.S.) UNLESS NOTED OTHERWISE. CONTRACTOR SHALL NOTIFY ARCHITECT OF ANY DIMENSIONAL CONFLICTS WITHIN THE CONTRACT DOCUMENTS.

**O) SITE ACCESS:** THE CONTRACTOR SHALL GIVE THE CLIENT, ARCHITECT, CONSULTANTS, AND INSPECTORS ACCESS TO THE JOB SITE DURING NORMAL BUSINESS HOURS FOR THE DURATION OF CONSTRUCTION.

**P) SITE OBSERVATION:** ANY SITE OBSERVATION BY THE ARCHITECT DURING CONSTRUCTION IS FOR THE SOLE PURPOSE OF REVIEWING THE WORK FOR COMPLIANCE WITH THE CONTRACT DOCUMENTS. THE ARCHITECT IS NOT RESPONSIBLE FOR INSPECTION OF PROTECTIVE MEASURE OR THE CONSTRUCTION PROCEDURES OR FOR GUARANTEEING THE CONTRACTOR'S WORK.

**Q) DAMAGES:** CONTRACTOR TO PROTECT ALL AREAS ADJACENT TO CONSTRUCTION AREAS FROM DAMAGE CAUSED BY MOVEMENT OF MATERIALS OR DUST. ALL DAMAGE INCURRED SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE.

**R) SITE EGRESS:** ALL EXIT DOORS, EXIT ACCESS, AND CORRIDORS SHALL REMAIN UNOBSTRUCTED AT ALL TIMES. MATERIALS SHALL NOT BE STORED OR STOCKPILED IN A MANNER WHICH BLOCKS EGRESS OR CREATES AN UNSAFE CONDITION.

**S) SITE CLEANLINESS:** CONTRACTOR SHALL MAINTAIN A CLEAN JOB SITE FREE OF TRASH AND DEBRIS. WORK AREAS SHALL BE MAINTAINED IN A BROOM CLEAN CONDITIONS AT THE END OF EACH WORK DAY/SHIFT.

**T) STORING + DISPOSING OF MATERIALS:** ALL CONSTRUCTION WORK INCLUDING MATERIALS OF CONSTRUCTION AND PROCEDURES FOR STORING, DISPOSING OF, AND INSTALLING MATERIALS SHALL CONFORM TO THE LATEST ADOPTED CODES OF THE LOCAL AUTHORITY HAVING JURISDICTION.

**U) ROUGH UTILITIES:** CONTRACTOR SHALL FURNISH AND INSTALL ROUGH PLUMBING AND ELECTRICAL AND FINAL HOOK-UP FOR ALL SPECIFIED FIXTURES, APPLIANCES, AND EQUIPMENT.

**V) ACCESS PANELS:** CONTRACTOR SHALL INCLUDE IN THE BASE BID ALL ACCESS PANELS REQUIRED IN CEILINGS, WALLS, OR FLOORS FOR ACCESS TO ALL EQUIPMENT AS REQUIRED PER APPLICABLE CODE.

**W) EQUIPMENT STANDARDS:** ALL ELECTRICAL, MECHANICAL AND PLUMBING FIXTURES/EQUIPMENT SHOULD BE LISTED AND LABELED BY AN APPROVED TESTING AGENCY.

**X) SUBMITTALS:** THE CONTRACTOR SHALL SUBMIT TO THE ARCHITECT SUBMITTALS FOR REVIEW DURING CONSTRUCTION PRIOR TO COMMENCEMENT OF SPECIFIC WORK. SUBMITTALS INCLUDE MATERIAL DATA SHEETS, PHYSICAL SAMPLES, AND SHOP DRAWINGS AND SHALL BE SUPPLIED TO THE ARCHITECT AS REQUESTED.



Laney LA

PROJECT NAME  
229 13TH STREET

PROJECT NUMBER  
22008

CLIENT  
OCEAN VIEW PARTNERS LLC

PROJECT ADDRESS  
229 13TH STREET  
MANHATTAN BEACH, CA

ARCHITECT  
ANTHONY LANEY AIA  
LANEY LA, INC.  
725 CYPRESS AVE  
HERMOSA BEACH CA 90254  
(310) 870-7175  
ANTHONY@LANEY.LA



MARK	DATE	DESCRIPTION
-	01-25-23	CDP+CUP SUBMISSION
1	05-25-23	PLANNING CHECK SET #1
2	07-18-23	PLANNING CHECK SET #2

PROJECT NO: 22008  
MODEL FILE:  
22008 - 229 13th St - Powers  
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SHEET TITLE  
GENERAL NOTES

G201  
SHEET 12 OF 59



**Laney LA**

PROJECT NAME  
229 13TH STREET

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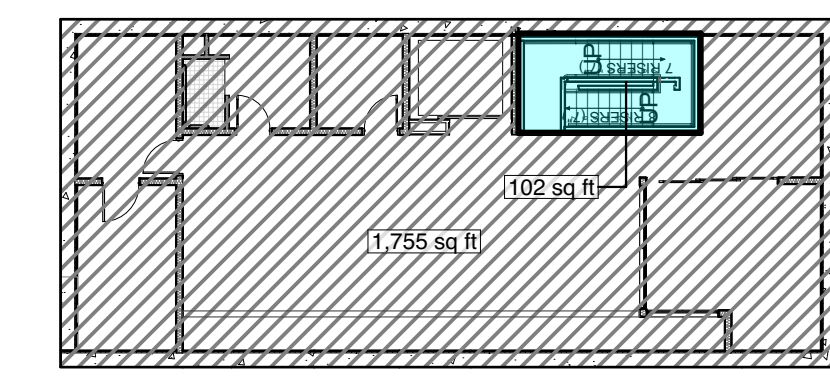
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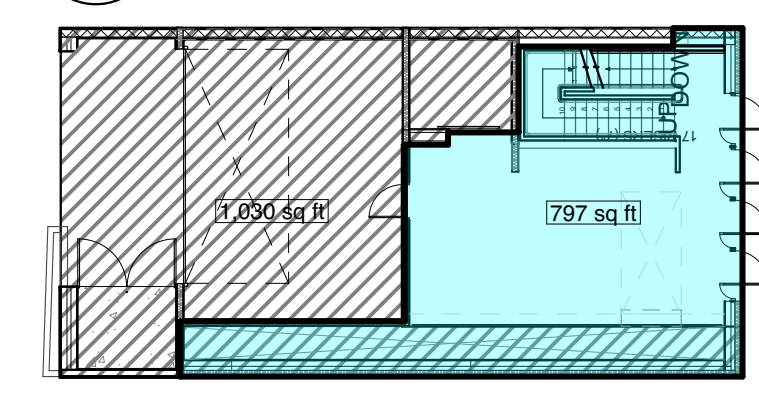
**FAF/BFA CALCULATIONS**

BASEMENT: 102 SF (STAIRCASE)  
 1ST FLOOR: 797 SF OF BFA  
 EXEMPT SPACE = GARAGE, DRIVEWAY & ELEVATOR  
 2ND FLOOR: 1,241 SF OF BFA  
 EXEMPT SPACE = MECHANICAL, ELEVATOR, STAIRCASE & VOID  
 TOTAL SQ FT: ALLOWED BFA: 1.5 x 1,997 SF = 2,997.7 SF  
 PROPOSED BFA: 2,140 SF / 1,997 SF = BFA OF 1.07

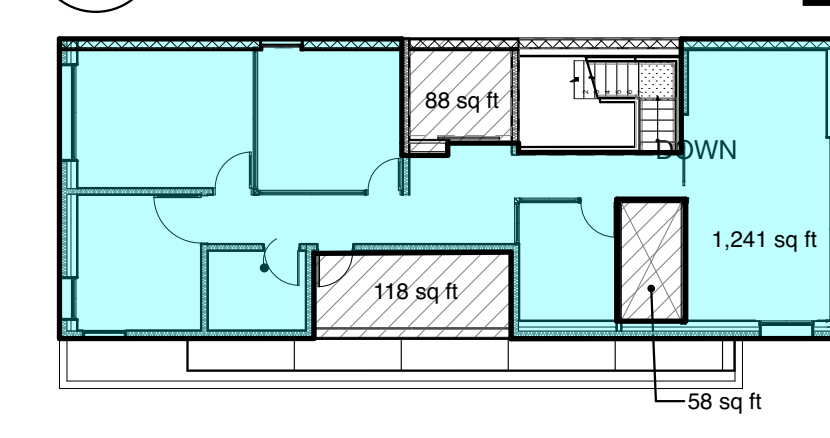
10.64.050 - REDUCED PARKING FOR CERTAIN DISTRICTS AND USES.  
**A. CD DISTRICT**  
 1. BUILDING SITES EQUAL TO OR LESS THAN 10,000 SF.  
 IF THE FAF IS LESS THAN 1:1, NO PARKING IS REQUIRED; IF THE FAF EXCEEDS 1:1, ONLY THE EXCESS FLOOR AREA OVER THE 1:1 RATIO SHALL BE CONSIDERED IN DETERMINING THE REQUIRED PARKING PRESCRIBED BY SECTION 10.64.030  
 REQUIRED: 2,140 SF - 1,997 SF = 143 SF. 1 PARKING SPACE / 300 SF OVER 1:1; THEREFOR 1 SPACE REQ'D  
 PROVIDED: 1 PARKING SPOT



**1 BASEMENT BFA**  
SCALE: 1/16" = 1'-0" 0 8' 16' 32'



**2 1st FLOOR BFA**  
SCALE: 1/16" = 1'-0" 0 8' 16' 32'



**3 2nd FLOOR BFA**  
SCALE: 1/16" = 1'-0" 0 8' 16' 32'

02

MARK	DATE	DESCRIPTION
-	01-25-23	CDP+CUP SUBMISSION
1	05-25-23	PLANNING CHECK SET #1
2	07-18-23	PLANNING CHECK SET #2

PROJECT NO: 22008  
 MODEL FILE:  
 22008 - 229 13th St - Powers  
 DRAWN BY:  
 COPYRIGHT:

SHEET TITLE  
**CODE INFORMATION**

**G301**  
 SHEET 13 OF 59

This page is part of your document - DO NOT DISCARD



20220680782

Recorded/Filed in Official Records  
Recorder's Office, Los Angeles County,  
California

06/30/22 AT 09:04AM

Pages:  
0006

FEES: 32.00  
TAXES: 0.00  
OTHER: 0.00  
PAID: 32.00



LEADSHEET



202206303930011

00022508874



013508447

SEQ:

01

SECURE - Daily - Time Sensitive



THIS FORM IS NOT TO BE DUPLICATED

229 13th St Encroachment

FOR REFERENCE ONLY: 20220680782

RECORDING REQUESTED BY:

City of Manhattan Beach

WHEN RECORDED MAIL TO:

Director of Community Development  
City of Manhattan Beach  
1400 Highland Avenue  
Manhattan Beach, CA 90266

SPACE ABOVE THIS LINE RESERVED FOR RECORDER'S USE

ENCROACHMENT PERMIT AGREEMENT

THIS AGREEMENT is made and entered into at Manhattan Beach, California, this June 14, 2022, by and between the CITY OF MANHATTAN BEACH, a municipal corporation in the County of Los Angeles, California, hereinafter called the "CITY", and

Kyle Ransford,  
MB Ocean View Partners, LLC

hereinafter called the "OWNER(S)," which parties do agree as follows:

1. MB Ocean View Partners, LLC represents that it is the Owner(s) in fee of real property located at, 229 13th St., Manhattan Beach, legally described as MANHATTAN BEACH DIV # 2 LOT 10 as per recorded in Map Book 1, Pages 95-96, in the office of the Los Angeles County Recorder.

2. The parties further agree that the application was presented to the Community Development Department of the City for permission to encroach in and over a portion of 13th St., with improvements consisting of,

deck, patio

and, that a sketch of the proposed improvement and encroachment is on file in the Community Development Department of the City and is by reference incorporated herein and made a part hereof; and that permit is hereby granted for that certain encroachment permit herein requested.

3. In consideration of the permission granted by the City to permit the improvements hereinabove described in paragraph 2, in, upon, or over public right of way, the Owner(s) covenant and agree to the following:

1

- a. Owner(s) shall permit the City, its officers, employees & agents to enter upon said real property at any and every place therein for the purpose of repair, maintenance, or replacement of the facilities or properties on or in said public right of way, hereby waiving any and all claims for damages or liability in connection therewith for property damages incurred;
- b. Owner(s) shall give at least 24 hours' notice to the Community Development Department of the City requesting inspection of any and all improvements relating to this permit;
- c. Owner(s) shall reimburse the City for any damages caused to City-owned facilities by construction or maintenance of the encroachment over said public right of way by the Owner(s), their heirs, successors or assigns;
- d. Owner(s) shall remove the encroachment at their own expense upon thirty days written notice by the City to the Owner(s), their heirs, successors or assigns, in the event, in the opinion of the city, the public right of way becomes necessary for a paramount municipal purpose. Should any cost be incurred by the City in the removal of the encroachment, such cost shall be a lien upon the subject property.
- e. Owner(s) acknowledge that the City of Manhattan Beach did not inspect the property to verify that the existing private improvements in the public right-of-way (encroachment area) are in conformance with the approved plans, current Manhattan Beach Municipal Code and policy requirements and/or the description as stated in the Encroachment Permit application. Owner(s) also acknowledges that any existing non-conforming improvements will be required to be removed or otherwise brought into conformance in the future. Compliance will be required at the time of new construction with any future significant remodel or construction of a new house on the property or significant improvement to the right-of-way. Compliance may be required by the city at an earlier date.
- f. Owner(s) shall hold and save the City harmless from any action at law whatsoever or at all or from any claim or damage by reason of the maintenance of the encroachment over the right of way owned by the City.

2



Laney LA

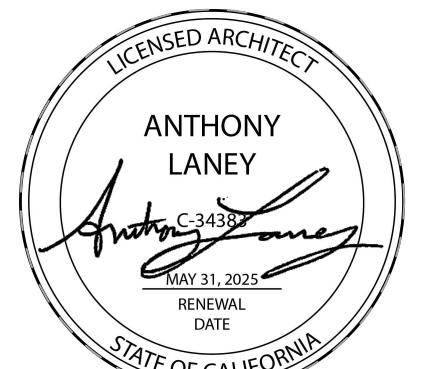
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229 13TH STREET

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CLIENT  
OCEAN VIEW PARTNERS LLC

PROJECT ADDRESS  
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MANHATTAN BEACH, CA

ARCHITECT  
ANTHONY LANEY AIA  
LANEY LA, INC.  
725 CYPRESS AVE  
HERMOSA BEACH CA 90254  
(310) 870-7175  
ANTHONY@LANEY.LA



g. This permit is issued to the Owner(s) only as legal Owner(s) of the real property hereinabove described in paragraph 1 of this agreement, which is the hereindescribed contiguous parcel. Upon sale of the above parcel, this Encroachment Permit shall not succeed to the new Owner(s) except upon review of the City of Manhattan Beach and reissuance to the new owner(s) upon said new Owner(s) application. In the event that the new Owner(s) does/do not apply for an Encroachment Permit for the continued use of the hereindescribed land as conditioned by this permit, the undersigned Owner(s) shall restore the land described herein within fifteen (15) days of recordation of the sale.

h. Owner(s) shall perform all work in accordance with City policy, standard specifications, and ordinances.

i. Owner(s) recognizes and understands that this permit may create a possessory interest subject to property taxation and, further, Owner(s) agrees(s) to make payment of any property taxes levied on such interest.

4. The Owner(s) further agree(s) to insure the City against all risks of loss by reason of construction or maintenance of the encroachment by (1) naming the City as an additional insured on the Owner(s)' public liability and property damage insurance policy carrying a combined single limit coverage of \$500,000 against any injury, death or loss arising out of the encroachment, and (2) further agreeing that failure to maintain such insurance policy shall be grounds for cancellation of this permit.

5. This agreement shall be recorded in the Office of the Recorder of Los Angeles County, State of California.

OWNER(S) (notarized)

Kyle Ransford,  
MB Ocean View Partners, LLC

CITY OF MANHATTAN BEACH  
Talya Mirzakhanian,  
Planning Manager

3

TO BE FILLED OUT  
BY NOTARY PUBLIC

A notary public or other officer completing this certificate verifies only the identity of the individual who signed the document to which this certificate is attached, and not the truthfulness, accuracy, or validity of that document.

STATE OF CALIFORNIA

County of Los Angeles

On June 14, 2022 before me, Teressa D Scott, Notary Public,  
(Date) (Name of Notary Public)

personally appeared Kyle Ransford  
(Name(s) of Signer(s))

who proved to me on the basis of satisfactory evidence to be the person(s) whose name(s) is/are subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their authorized capacity(ies), and that by his/her/their signature(s) on the instrument the person(s), or the entity upon behalf of which the person(s) acted, executed the instrument.

I certify under PENALTY OF PERJURY under the laws of the State of California that the foregoing paragraph is true and correct.

WITNESS my hand and official seal.

Signature Teressa D Scott (Seal)

CALIFORNIA ALL-PURPOSE ACKNOWLEDGMENT CIVIL CODE § 1189

A notary public or other officer completing this certificate verifies only the identity of the individual who signed the document to which this certificate is attached, and not the truthfulness, accuracy, or validity of that document.

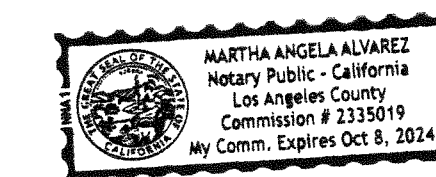
State of California )  
County of Los Angeles )  
On June 29, 2022 before me, Martha Angela Alvarez, Notary Public  
Date Here Insert Name and Title of the Officer  
personally appeared Talya Mirzakhanian  
Name(s) of Signer(s)

who proved to me on the basis of satisfactory evidence to be the person(s) whose name(s) is/are subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their authorized capacity(ies), and that by his/her/their signature(s) on the instrument the person(s), or the entity upon behalf of which the person(s) acted, executed the instrument.

I certify under PENALTY OF PERJURY under the laws of the State of California that the foregoing paragraph is true and correct.

WITNESS my hand and official seal.

Signature Martha Angela Alvarez  
Signature of Notary Public



Place Notary Seal Above

OPTIONAL  
Though this section is optional, completing this information can deter alteration of the document or fraudulent reattachment of this form to an unintended document.

Description of Attached Document  
Title or Type of Document: \_\_\_\_\_  
Document Date: \_\_\_\_\_ Number of Pages: \_\_\_\_\_  
Signer(s) Other Than Named Above: \_\_\_\_\_  
Capacity(ies) Claimed by Signer(s)  
Signer's Name: \_\_\_\_\_ Signer's Name: \_\_\_\_\_  
 Corporate Officer - Title(s): \_\_\_\_\_  Corporate Officer - Title(s): \_\_\_\_\_  
 Partner -  Limited  General  Partner -  Limited  General  
 Individual  Attorney in Fact  Individual  Attorney in Fact  
 Trustee  Guardian or Conservator  Trustee  Guardian or Conservator  
 Other: \_\_\_\_\_  Other: \_\_\_\_\_  
Signer Is Representing: \_\_\_\_\_ Signer Is Representing: \_\_\_\_\_

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MARK	DATE	DESCRIPTION
-	01-25-23	CDP+CUP SUBMISSION
1	05-25-23	PLANNING CHECK SET #1
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SHEET TITLE  
ENCROACHMENT PERMIT

G302  
SHEET 14 OF 59



**Laney LA**

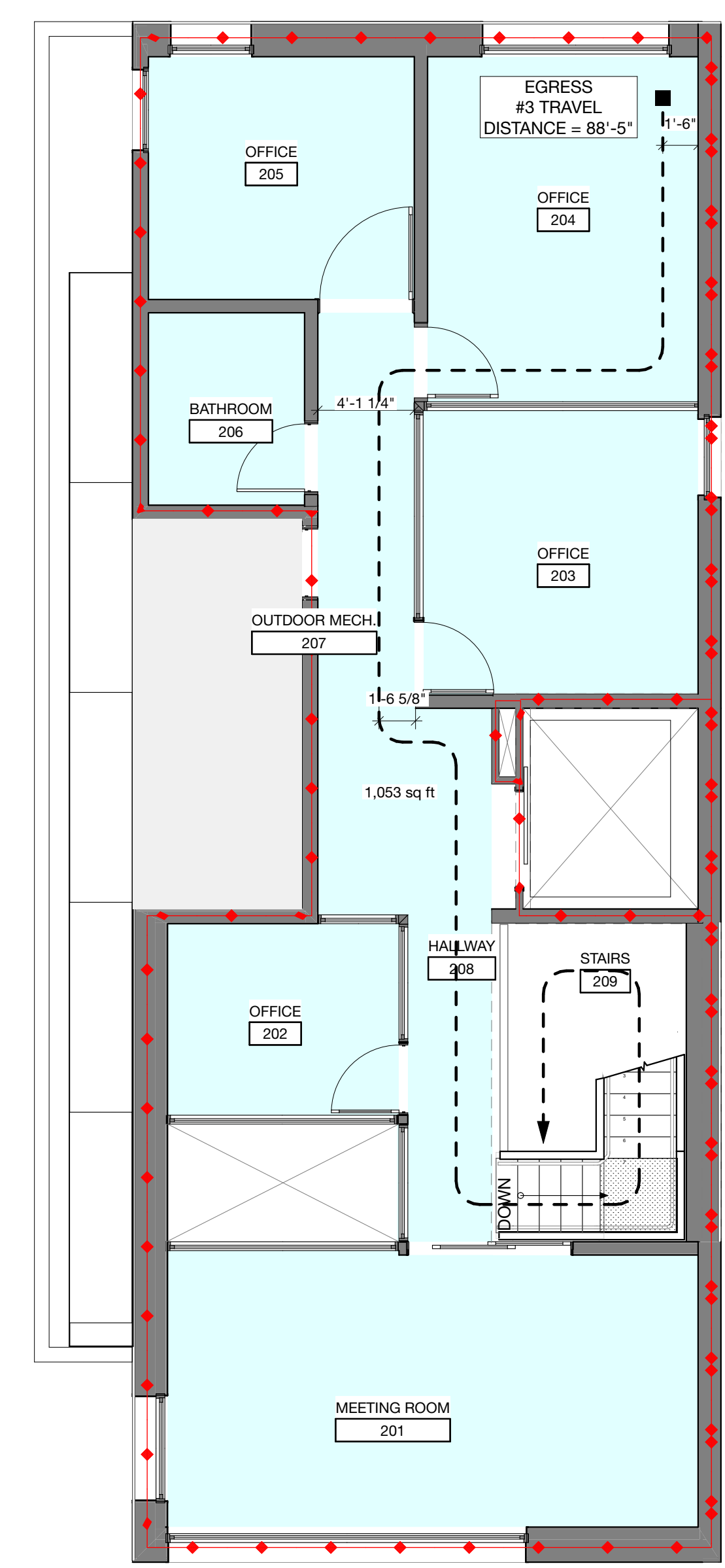
**PROJECT NAME**  
229 13TH STREET  
22008

**PROJECT NUMBER**  
22008

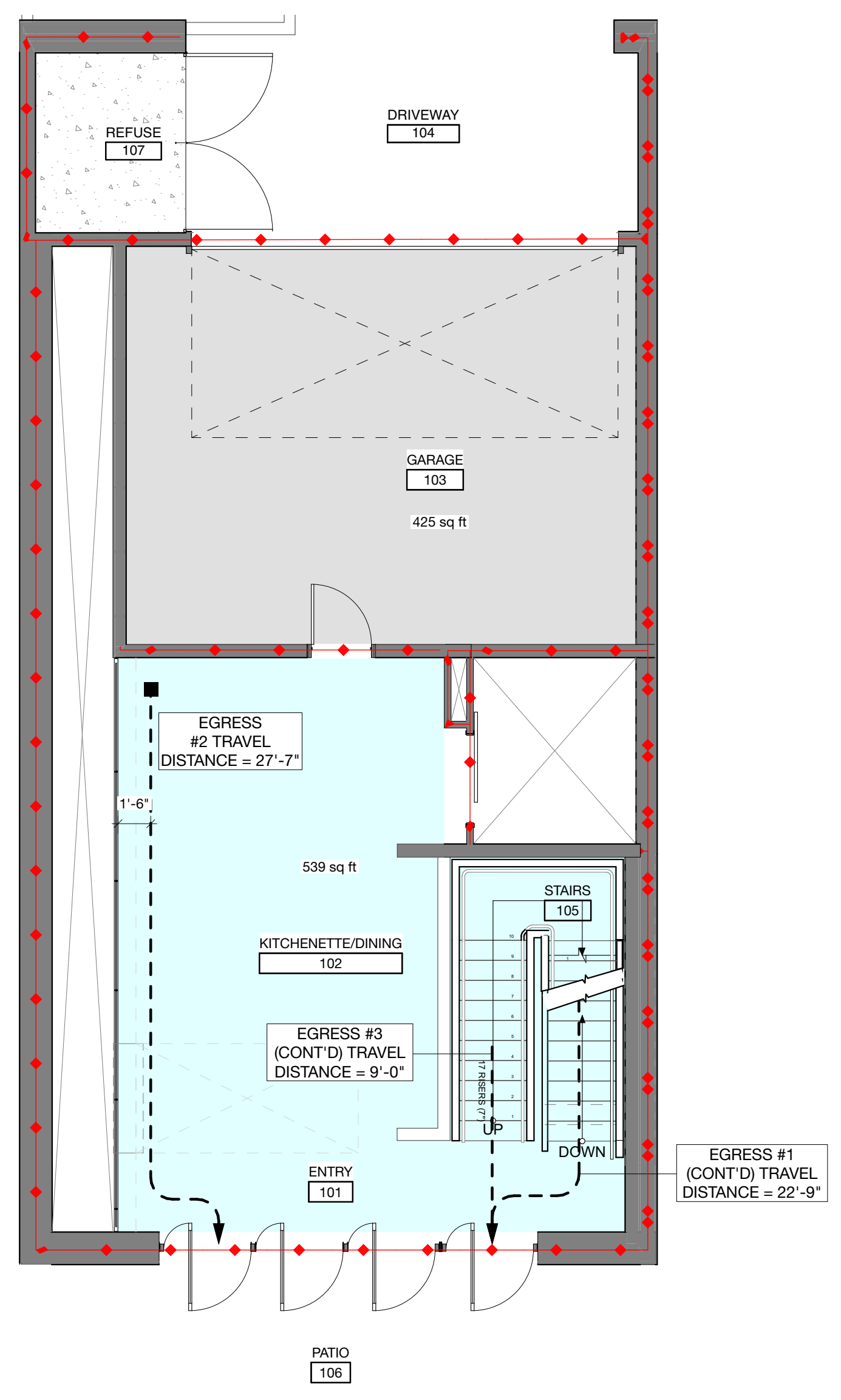
**CLIENT**  
OCEAN VIEW PARTNERS LLC

**PROJECT ADDRESS**  
229 13TH STREET  
MANHATTAN BEACH, CA

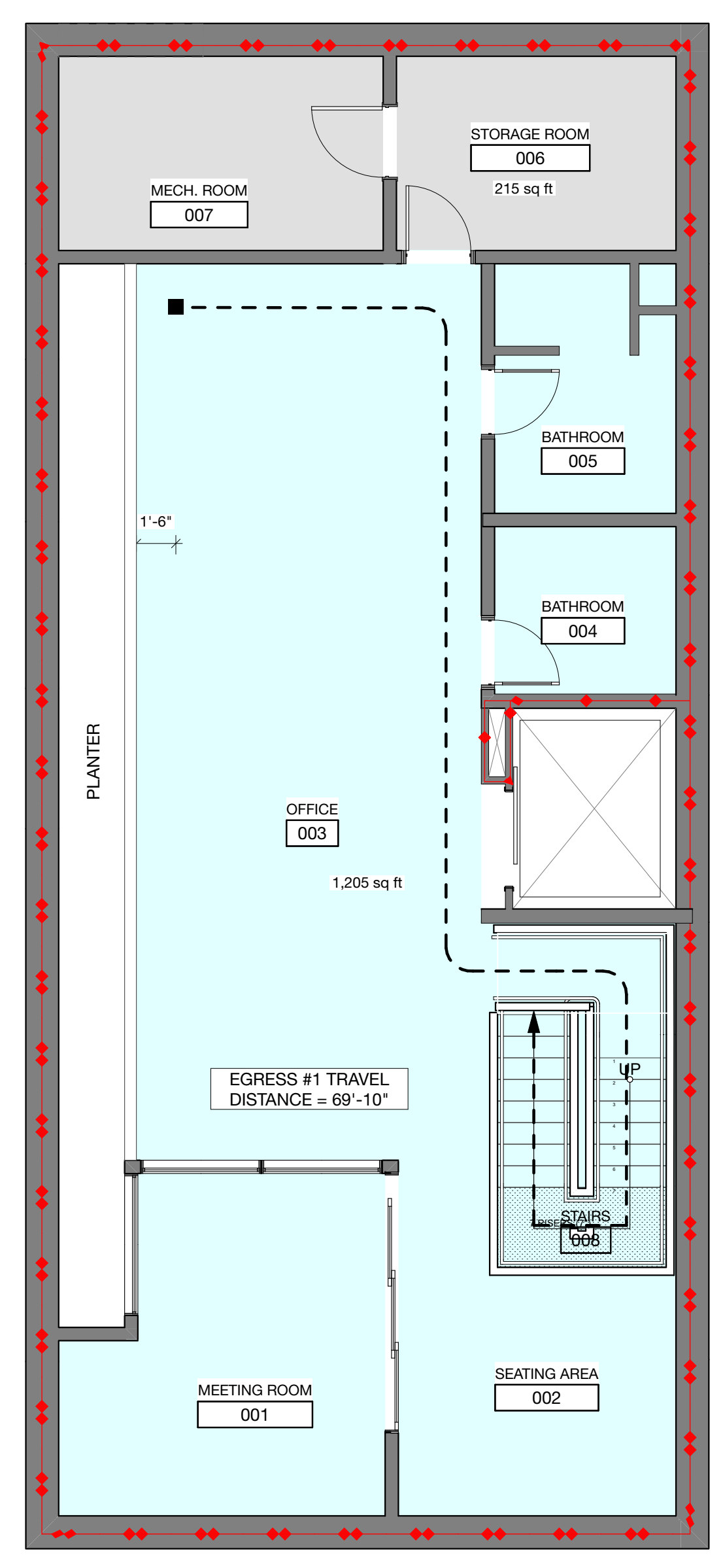
**ARCHITECT**  
ANTHONY LANEY AIA  
LANEY LA, INC.  
725 CYPRESS AVE  
HERMOSA BEACH CA 90254  
(310) 870-7175  
ANTHONY@LANEY.LA



**3 2nd FLOOR EGRESS PLAN**  
SCALE: 3/16" = 1'-0"  
0 4' 8' 12'



**2 1st FLOOR EGRESS PLAN**  
SCALE: 3/16" = 1'-0"  
0 4' 8' 12'



**1 BASEMENT EGRESS PLAN**  
SCALE: 3/16" = 1'-0"  
0 4' 8' 12'

MARK	DATE	DESCRIPTION
-	01-25-23	CDP+CUP SUBMISSION
1	05-25-23	PLANNING CHECK SET #1
2	07-18-23	PLANNING CHECK SET #2

PROJECT NO: 22008  
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SHEET TITLE  
**EGRESS, FIRE RATING & OCCUPANT LOAD DIAGRAM**

**G303**  
SHEET 15 OF 59

**SYMBOLS / LEGEND**

**OCCUPANT LOAD FACTORS (SQ FT/OCC) PER SECTION 1004**

- GENERAL BUSINESS AREAS: 150 SF NET
- MECHANICAL, STORAGE AREAS: 300 SF GROSS
- EGRESS PATH OF TRAVEL
- FIRE RATING 1HR
- FIRE RATING 2HR

**OCCUPANT LOADS**

**BASEMENT**  
BUSINESS = 1205 SF / 150 = 9  
MECHANICAL = 215 SF / 300 = 1  
TOTAL = 10 OCC

**1ST FLOOR**  
BUSINESS = 539 SF / 150 = 4 OCC  
MECHANICAL = 425 SF / 300 = 2 OCC  
TOTAL = 6 OCC

**2ND FLOOR**  
BUSINESS = 1177 / 150 = 8  
MECHANICAL = 118 SF / 300 = 1 OCC  
TOTAL = 9 OCC

**TOTAL OCCUPANTS = 25**

**EGRESS TRAVEL DISTANCE**

**BASEMENT**  
EGRESS #1 TRAVEL DISTANCE = 69'-10"  
EGRESS #1 (CONT'D) TRAVEL DISTANCE = 22'-9"  
TOTAL TRAVEL DISTANCE = 92'-7"

**1ST FLOOR**  
EGRESS #2 TRAVEL DISTANCE = 27'-7"  
TOTAL TRAVEL DISTANCE = 27'-7"

**2ND FLOOR**  
EGRESS #3 TRAVEL DISTANCE = 88'-5"  
EGRESS #3 (CONT'D) TRAVEL DISTANCE = 9'-0"  
TOTAL TRAVEL DISTANCE = 97'-5"

**PLUMBING FIXTURE COUNT**

BASED ON OCCUPANT LOAD FACTOR TABLE 4-1

FUNCTION OF SPACE	OCCUPANT LOAD FACTOR (SQUARE FEET)	SQUARE FOOTAGES TAKEN FROM OCCUPANT LOAD CALCULATIONS. REFER TO EGRESS & OCCUPANT LOAD TABLE.
BUSINESS - OFFICE, SALES/SOLICITING, ADMINISTRATION, FOOD PROCESSING, COURTROOM, AMBULATORY CLINIC)	150 SEE CBC 1004.8	1205 + 215 + 539 + 425 + 1177 + 118 = 3679 SF / 150 SF = 25 OCCUPANTS

**TABLE 422.1 MINIMUM PLUMBING FACILITIES**

B BUSINESS OCCUPANCY (OFFICE, PROFESSIONAL OR SERVICE TYPE TRANSACTIONS)	WATER CLOSETS (FIXTURES PER PERSON)		LAVATORIES (FIXTURES PER PERSON)	
	MALE	FEMALE	MALE	FEMALE
	1: 1-50	2: 16-30	1: 1-75	1: 1-50

**REQUIRED & PROPOSED FIXTURE COUNT**

TOTAL OCCUPANTS = 25 OCC / 2 = 13 MALE, 13 FEMALE  
REQUIRED: MALE: 1 WC, FEMALE: 1 WC  
PROPOSED: 3 SINGLE OCCUPANT WATER CLOSETS AND LAVATORIES



**Laney LA**

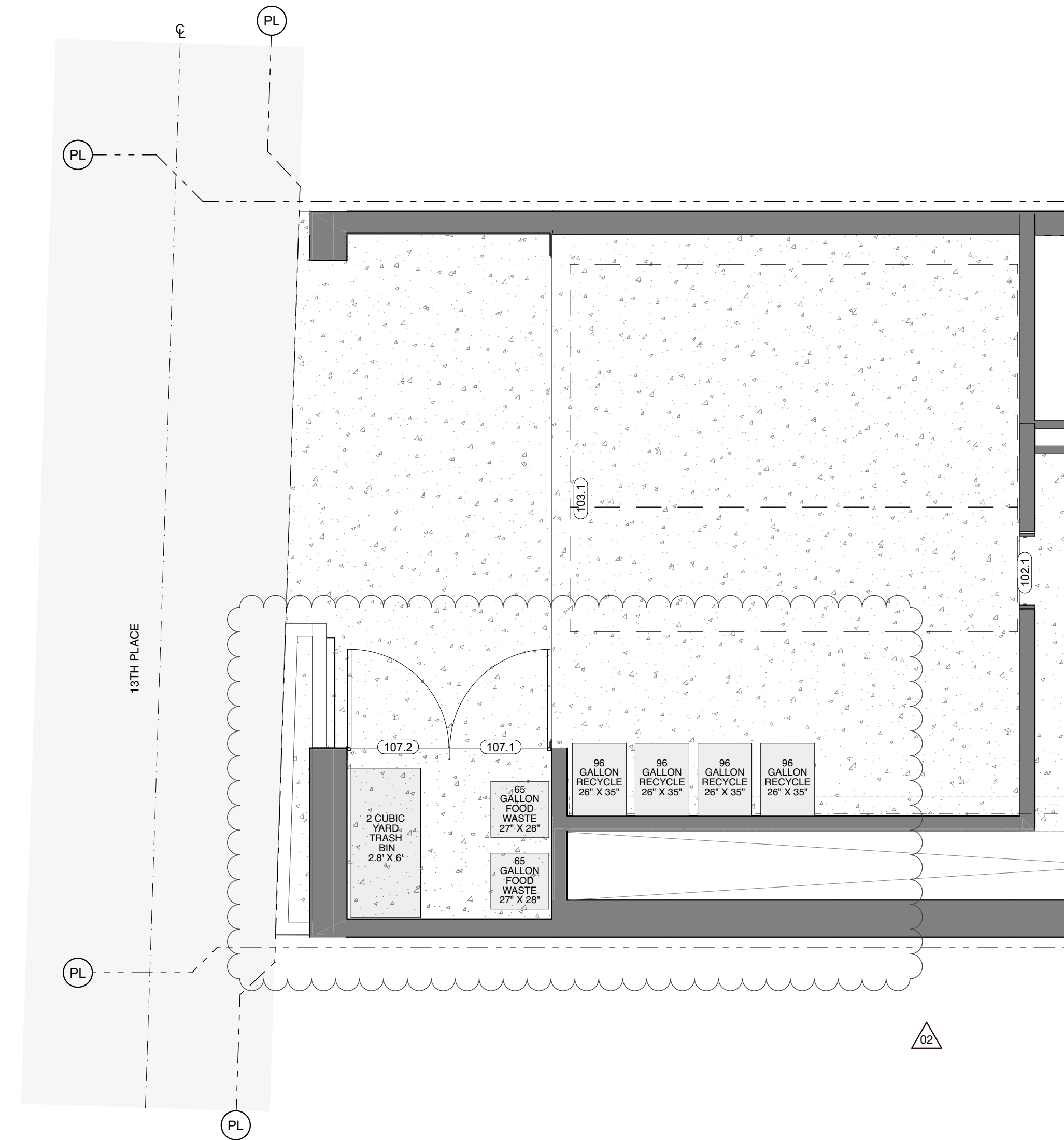
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229 13TH STREET

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PROJECT ADDRESS  
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ARCHITECT  
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LANEY LA, INC.  
725 CYPRESS AVE  
HERMOSA BEACH CA 90254  
(310) 870-7175  
ANTHONY@LANEY.LA



**1 TRASH DIAGRAM**  
SCALE: 1/4" = 1'-0"

MARK	DATE	DESCRIPTION
-	01-25-23	CDP+CUP SUBMISSION
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SHEET TITLE  
**TRASH DIAGRAM**

**G304**  
SHEET 16 OF 59

## SURVEY AND TOPOGRAPHY

FOR  
POWERSCOURT PARTNERS LLC  
2301 ROSECRANS AVENUE, SUITE 4130  
EL SEGUNDO, CA 90254  
PHONE 310-492-5055

### JOB ADDRESS

229 13TH STREET  
MANHATTAN BEACH, CA 90266

### LEGAL DESCRIPTION

LOT 10, BLOCK 64  
MANHATTAN BEACH DIV # 2  
M.B. 1-95-96  
APN 4179-025-015

THIS MAP CORRECTLY REPRESENTS A SURVEY MADE BY ME OR UNDER MY DIRECTION IN CONFORMANCE WITH THE REQUIREMENTS OF PROFESSIONAL LAND SURVEYORS ACT



GARY J. ROEHL R.C.E. 30826

DRAWN BY FM CHECK BY TS

DRAWN ON JUNE 7, 2022

### REVISIONS

REVISIONS

### LEGEND

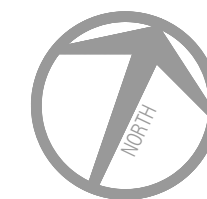
	EXISTING BUILDING		BRICK
	CONCRETE		WOOD DECK
+ 106.76	EXISTING ELEVATION		
	EXISTING CONTOUR		
	BLOCK WALL	X	EXISTING FENCE

BCR	BEGINNING OF CURB RETURN
CATV	CABLE TV PULL BOX
CONC.	CONCRETE
CHMNY	CHIMNEY
CEFB	CITY ENGINEERS FIELD BOOK
CL	CENTERLINE
C.L.F. / W.I.F.	CHAIN LINK FENCE / WROUGHT IRON FENCE
ELY	EASTERLY
ES	EDGE OF GUTTER
EM	ELECTRIC METER
FF	FRESH FLOOR
FM	FIRE HYDRANT
FL	FLOW LINE
GFF	GARAGE FRESH FLOOR
GM	GAS METER
GUY / SW	GUY WIRE
I.P.	IRON PIPE MONUMENT
L&T	LEAD AND TAG TO THE MONUMENT
MAH	MANHOLE (SANITARY SEWER / STORM DRAIN)
NLY	NORTHERLY
N&T	NAIL AND TAG MONUMENT
PB	PULL BOX (EDISON / TRAFFIC / STREET LIGHT)
PB (CONT)	TELEPHONE / CABLE TV
PC	PROPERTY CORNER / PROP. CORNER
PL	PROPERTY LINE / PROP. LINE
PP / UP	POWER POLE / UTILITY POLE
PPT	PARADET
PWFB	PUBLIC WORKS FIELD BOOK
R.R.	RAIL ROAD
REB	ROAD DEPARTMENT FIELD BOOK
R.S.	RECORD OF SURVEY
SPV / S&W	SPRINKLER AND WASHER MONUMENT
SUV	SOUTHERLY
SSCO	SANITARY SEWER CLEANOUT
STW / STREET	STAKE, STAKE AND TAG MONUMENT
STL / LT	STREET LIGHT POLE / LIGHT POLE
TC	TOP OF CURB
TX / BX	TOP OF APRON / BOTTOM OF APRON
WLY	WESTERLY
WM	WATER METER

NOTE: ALL SETBACK DIMENSIONS SHOWN ARE MEASURED TO EXTERIOR SURFACE OF BUILDINGS UNLESS OTHERWISE NOTED.  
BOUNDARY MONUMENTS ARE NOT NECESSARILY SET ON PROPERTY CORNERS. PLEASE REFER TO THE NOTATION ON THIS SURVEY PLAN FOR OFFSET DIMENSIONS. IF THERE ARE ANY QUESTIONS, PLEASE DO NOT HESITATE TO CONTACT DENN ENGINEERS FOR CLARIFICATION BY PHONE AT: (310) 542-9433, M-F 8:00 AM TO 5:00 PM

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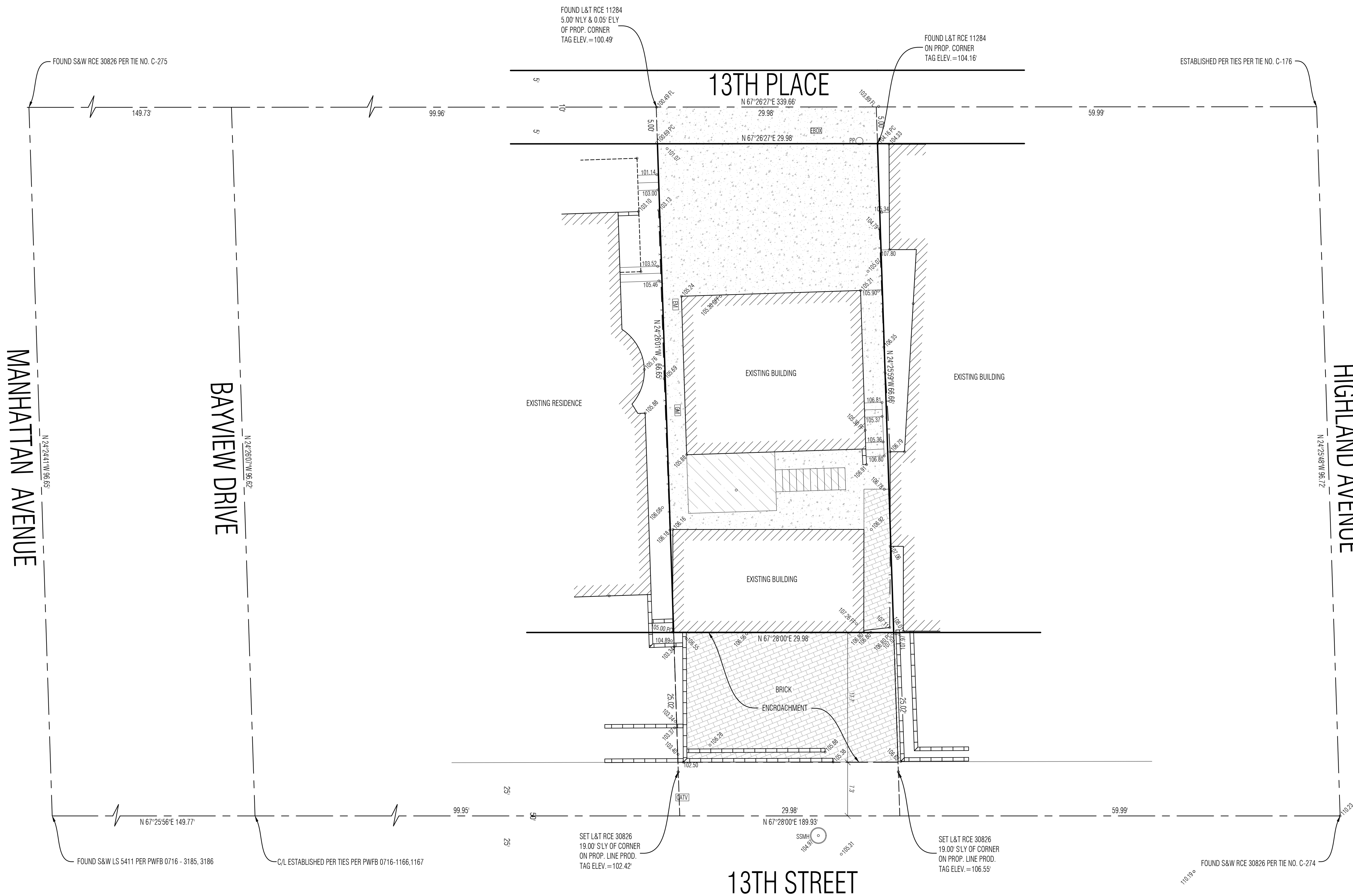


SCALE 1" = 8'

LOT AREA = 1,997 SF  
ENCROACHMENT AREA = 529 SF  
SUM = 2,527 SF

SHEET 1 OF 1

JOB NO. 22-227



NOTE:  
A TITLE POLICY HAS BEEN PROVIDED AND REVIEWED BY DENN ENGINEERS AT THE TIME OF THIS SURVEY. ANY READILY AVAILABLE ITEMS AFFECTING THIS PROPERTY HAVE BEEN PLOTTED BASED ON PROVIDED DOCUMENTS.

FIRST AMERICAN TITLE COMPANY  
ORDER NO. 6865225  
DATED JUNE 28, 2022



**Laney LA**

**PROJECT NAME**  
229 13TH STREET  
22008

**PROJECT NUMBER**  
22008

**CLIENT**  
OCEAN VIEW PARTNERS LLC

**PROJECT ADDRESS**  
229 13TH STREET  
MANHATTAN BEACH, CA

**ARCHITECT**  
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HERMOSA BEACH CA 90254  
(310) 870-7175  
ANTHONY@LANEY.LA



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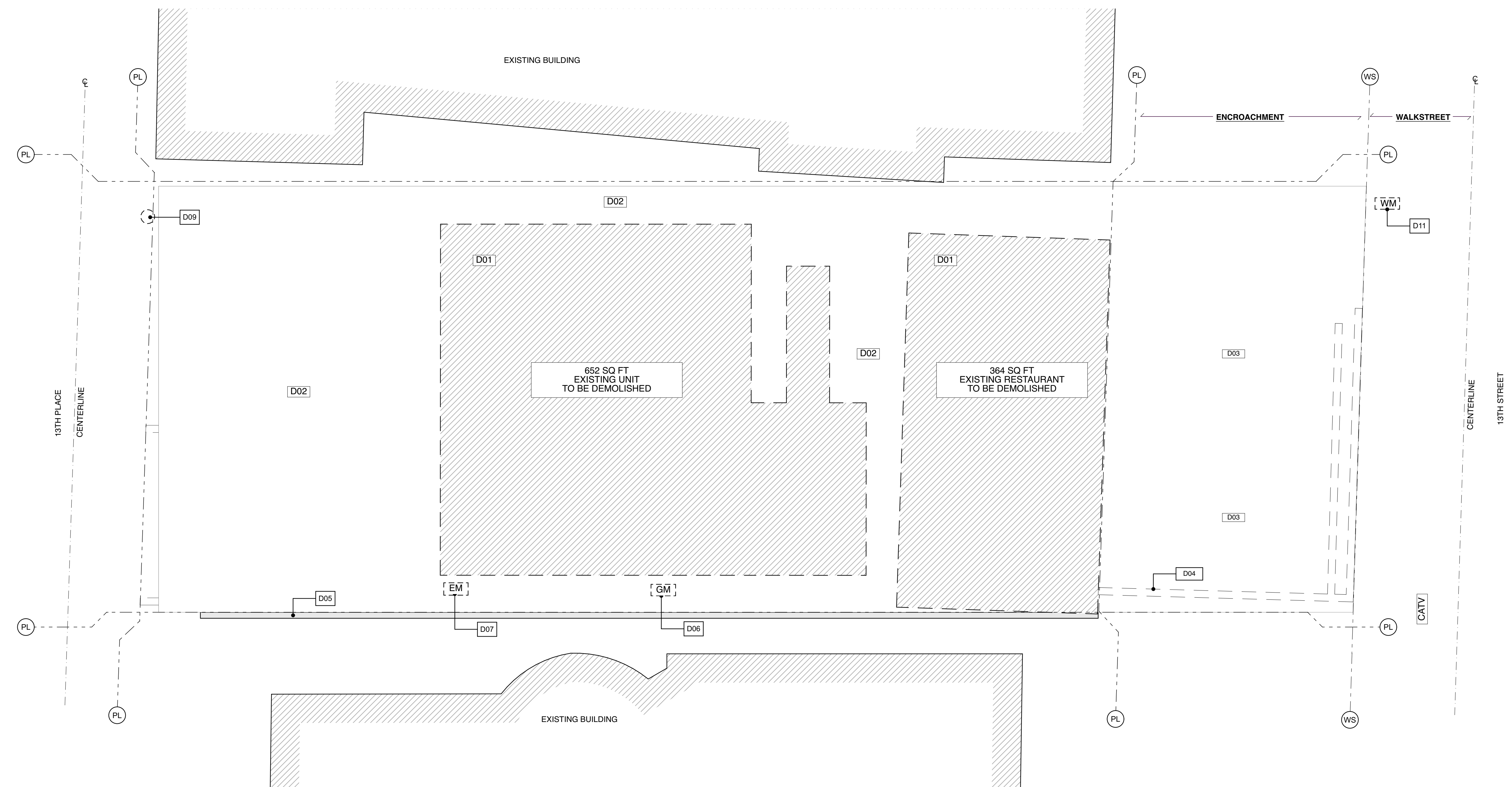
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**SHEET TITLE**

**DEMO PLAN**

**AD101**

SHEET 20 OF 59



**1 DEMO PLAN**  
SCALE: 1/4" = 1'-0"  
0 2 4 8  
N

**KEYNOTES**

- D01 (E) HOUSE, DECK, GARAGE & CONCRETE SLABS TO BE DEMOLISHED AND REMOVED FROM SITE.
- D02 (E) HARDSCAPE TO BE REMOVED.
- D03 (E) LANDSCAPE ELEMENTS TO BE REMOVED W/ RIGHT-OF-WAY PERMIT
- D04 (E) SITE WALL TO BE REMOVED W/ RIGHT-OF-WAY PERMIT
- D05 (E) NEIGHBORING SITE WALL & FENCE TO REMAIN. GC TO PROTECT IN PLACE.
- D06 (E) GAS METER TO BE RELOCATED. GC TO COORDINATE REQUIREMENTS WITH LOCAL SERVICE PROVIDER.
- D07 (E) ELECTRICAL METER TO BE RELOCATED. GC TO COORDINATE REQUIREMENTS WITH LOCAL SERVICE PROVIDER.
- D08 NOT USED
- D09 (E) POWER POLE TO BE REMOVED; GC TO COORDINATE REQUIREMENTS WITH LOCAL SERVICE PROVIDER AND JURISDICTION
- D10 NOT USED
- D11 (E) WATER METER TO BE RELOCATED INTO ENCROACHMENT AREA PER JURISDICTION CORRECTIONS; COORDINATE REQUIREMENTS W/ SERVICE PROVIDER





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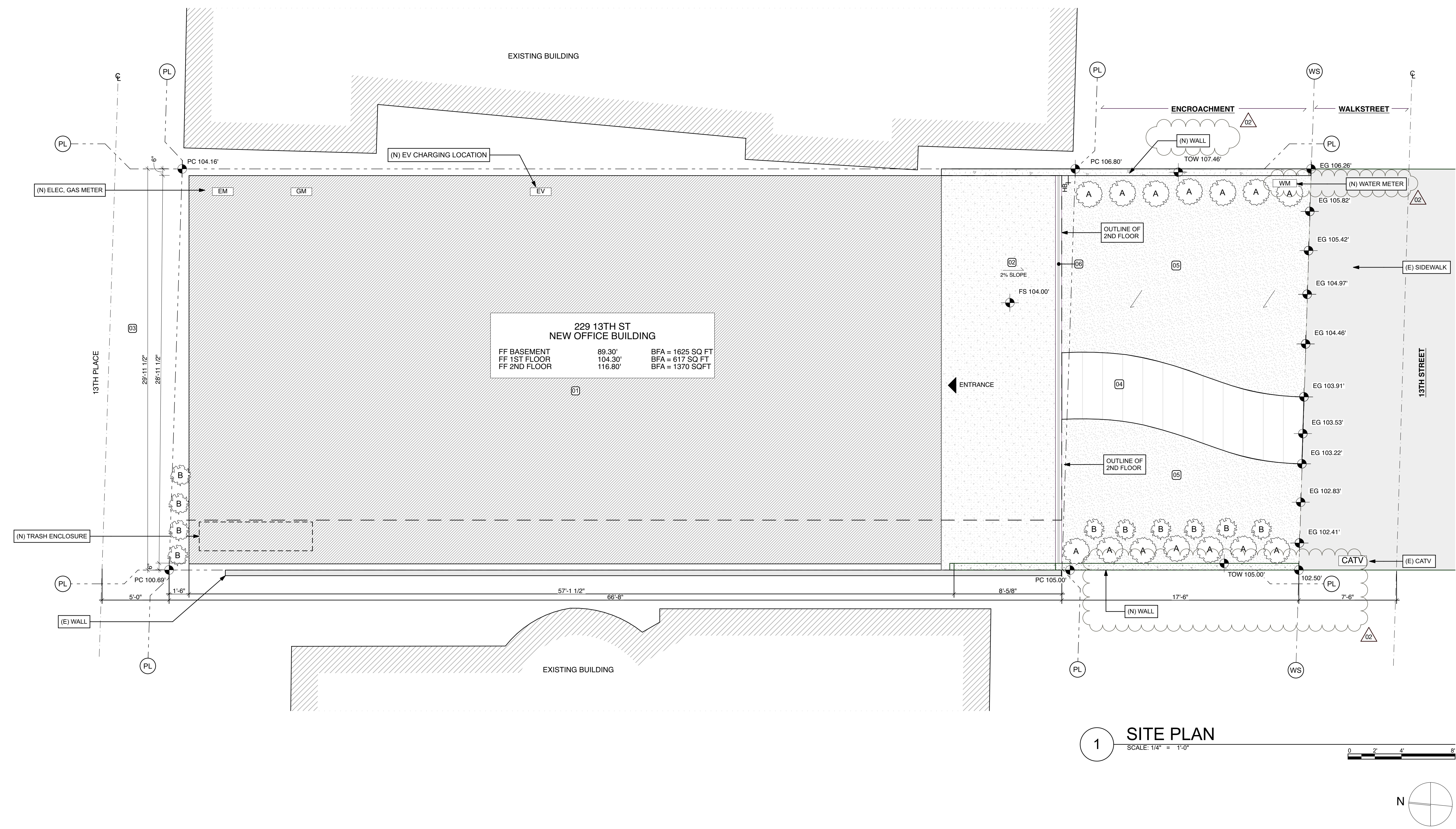


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PROJECT NO: 22008  
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SHEET TITLE  
**SITE PLAN**

**A101**  
SHEET 22 OF 59



229 13TH ST NEW OFFICE BUILDING		
FF BASEMENT	89.30'	BFA = 1625 SQ FT
FF 1ST FLOOR	104.30'	BFA = 617 SQ FT
FF 2ND FLOOR	116.80'	BFA = 1370 SQ FT

**KEYNOTES**

- 01 OFFICE BUILDING FOOTPRINT
- 02 COVERED ENTRY PATIO
- 03 CONCRETE DRIVEWAY
- 04 ADA ACCESSIBLE PATHWAY
- 05 SOFTSCAPE
- 06 LINEAR TRENCH DRAIN





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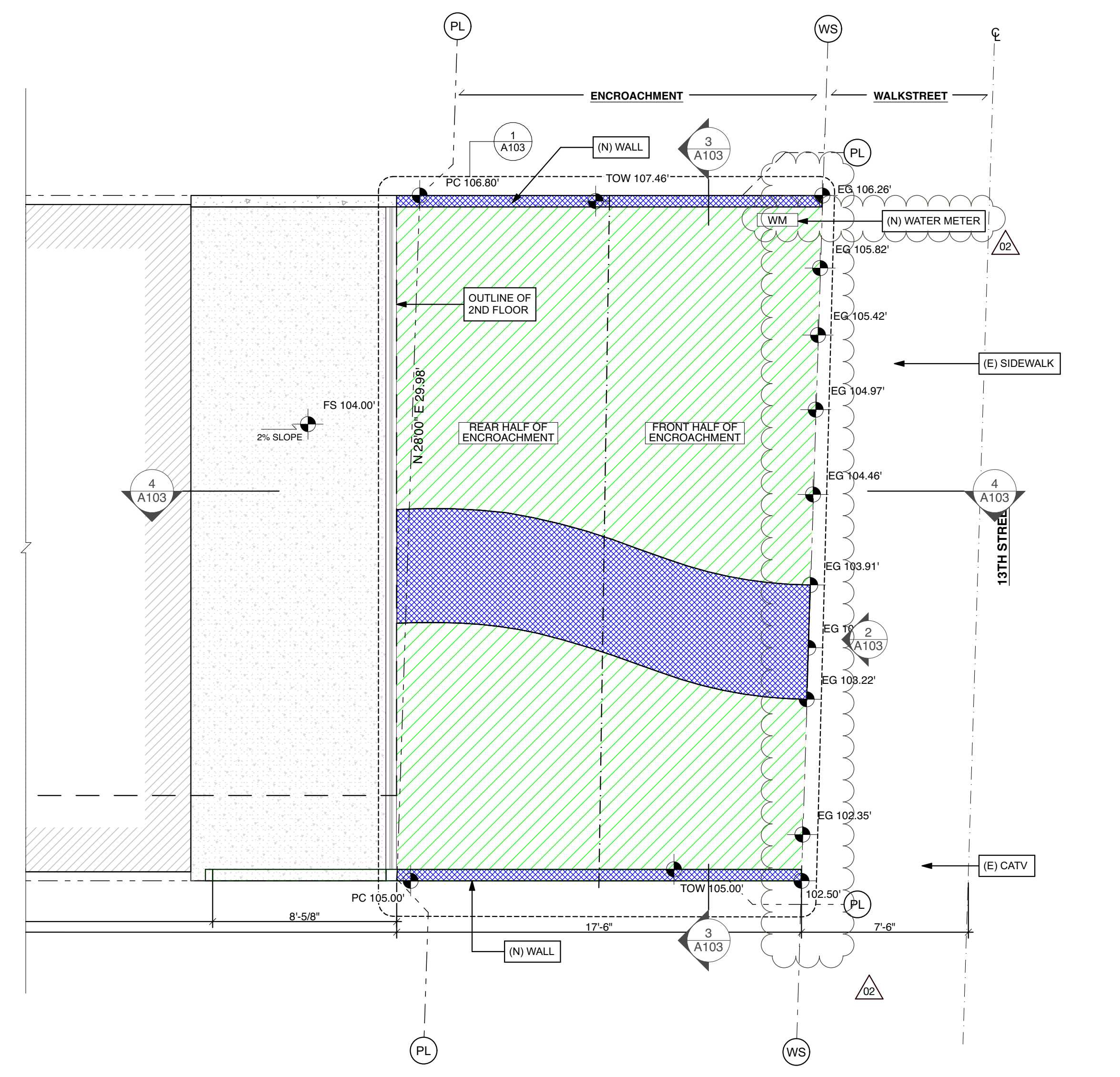
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**SHEET TITLE**

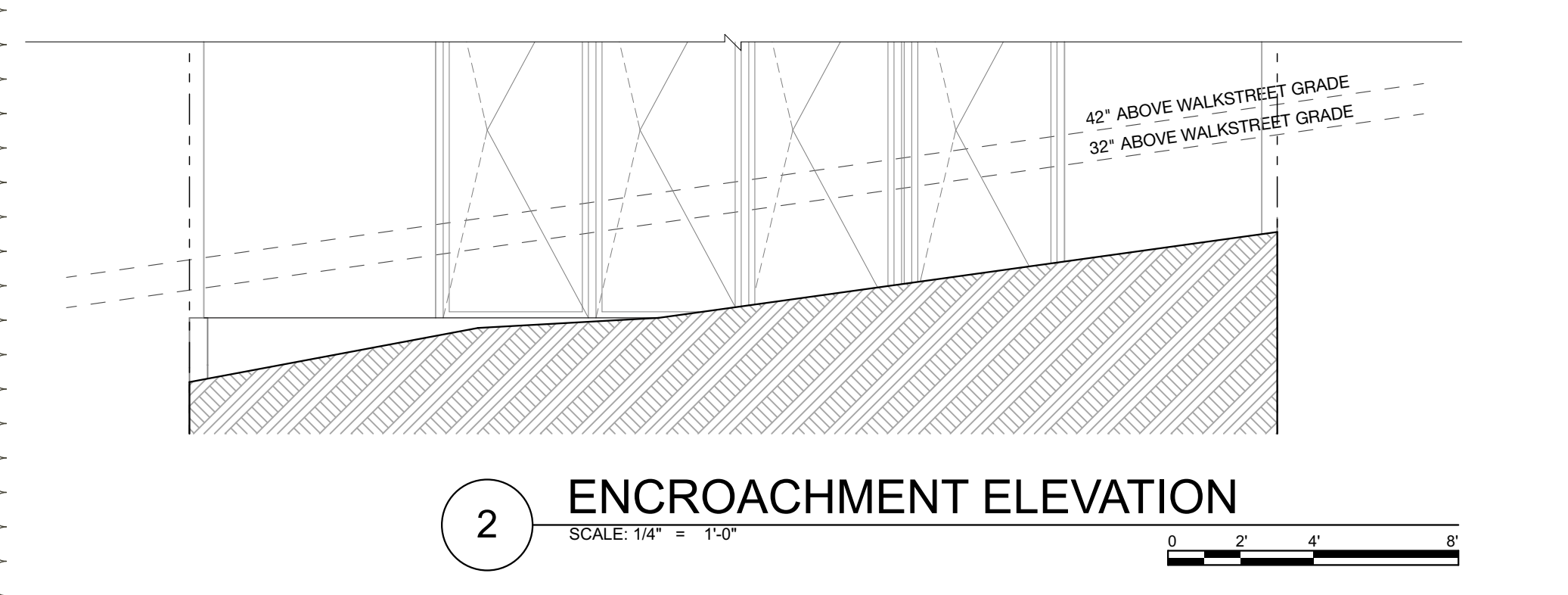
**ENCROACHMENT PLAN**

**A103**

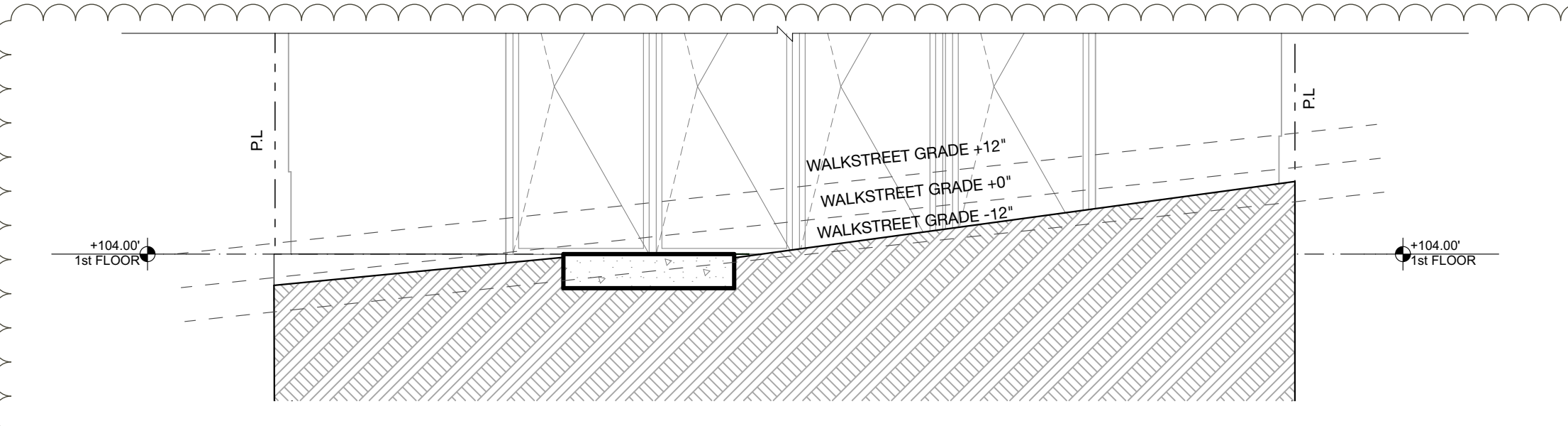
SHEET 24 OF 59



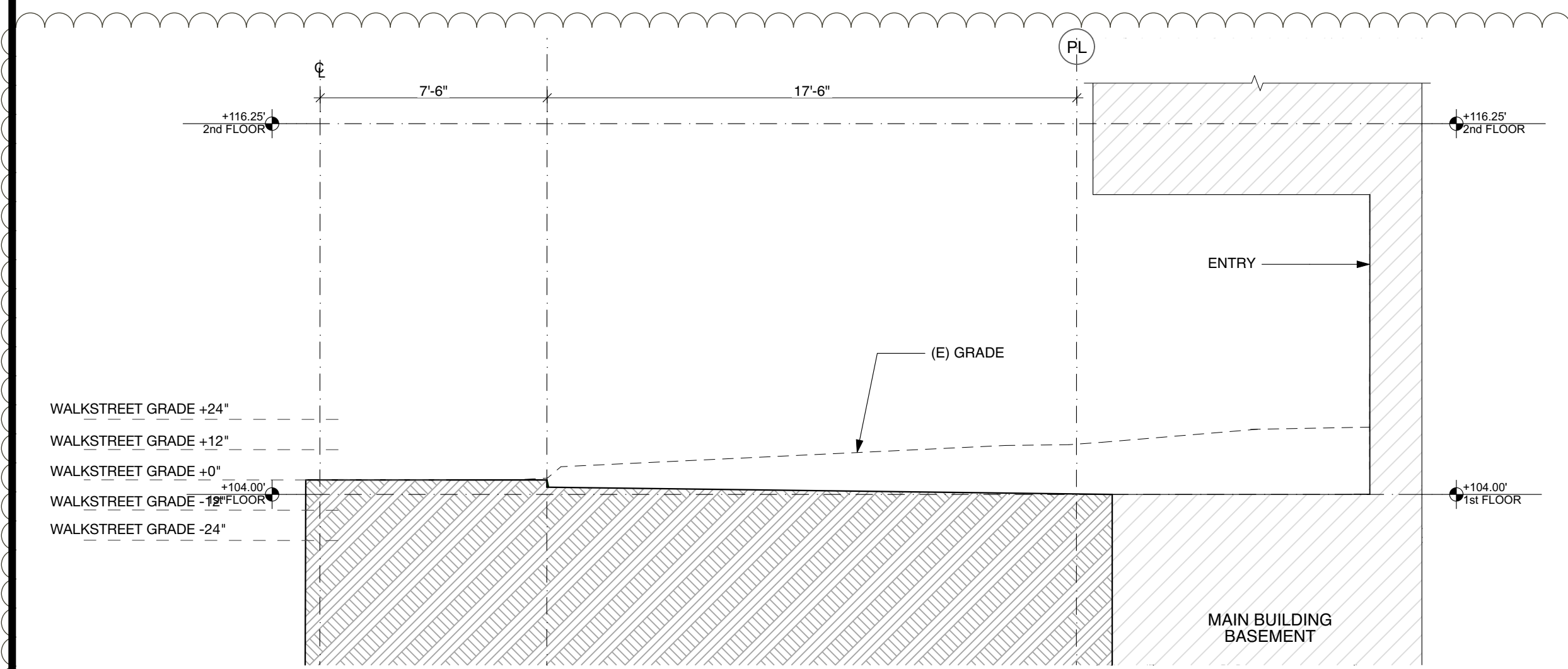
**1 ENCROACHMENT PLAN**  
SCALE: 1/4" = 1'-0"  
N



**2 ENCROACHMENT ELEVATION**  
SCALE: 1/4" = 1'-0"



**3 ENCROACHMENT SECTION**  
SCALE: 1/4" = 1'-0"



**4 CROSS SECTION**  
SCALE: 1/4" = 1'-0"

**KEYNOTES**

- IMPERVIOUS SURFACE SHALL BE SLOPED AWAY FROM THE BUILDING AT 2% MINIMUM GRADE FOR A MINIMUM DISTANCE OF 10 FEET; LOT SHALL BE GRADED TO DRAIN SURFACE WATER AWAY FROM FOUNDATION WALLS. GRADE SHALL FALL 6 INCHES MINIMUM WITHIN THE FIRST 10 FEET - PER SECTION R401.3.
  - ALL SITE DRAINAGE WILL TERMINATE AT AN APPROVED PUBLIC WAY LOCATION VIA A NON-EROSIVE DEVICE.
  - ALL PLANTS (EXCEPT EXISTING TREES) SHALL BE MAINTAINED AT A MAXIMUM HEIGHT OF 42"
  - ALL LANDSCAPE IRRIGATION PROVIDED BY POTABLE (NOT RECLAIMED) WATER MUST USE DRIP OR MICROSPIRIRGATION SYSTEMS PER CODE 7.44.020 J. - PERMANENT WATER CONSERVATION MEASURES.
- DRAINAGE**
- DRAINAGE FROM A PRIVATE COLLECTION SYSTEM THAT DISCHARGES A CONCENTRATED FLOW SHALL BE DIRECTED TO A PUBLIC VEHICULAR ALLEY OR STREET VIA A NON-EROSIVE DEVICE PURSUANT TO PUBLIC WORKS DEPARTMENT CONSTRUCTION STANDARDS EXCEPT AS PERMITTED BY THE DIRECTOR OF PUBLIC KORKS. DRAINAGE IS NOT ALLOWED TO BE DISCHARGED IN A CONCENTRATED FLOW OVER PUBLIC WALKWAY.

- UTILITIES**
- A MINIMUM OF 30 INCHES OF CLEARANCE IS REQUIRED ON EACH SIDE OF ALL WATER AND SEWER MAINS FOR FREE-STANDING AND RETAINING WALLS WITH A CONTINUOUS FOOTING, UNLESS OTHERWISE APPROVED BY THE DIRECTOR OF PUBLIC WORKS.
- PROVIDE NOTARIZED OWNER'S ENCROACHMENT PERMIT AGREEMENT AND AGENCY-SIGNED INSURANCE ENDORSEMENT FORM #1 (GENERAL) TO COMMUNITY DEVELOPMENT DEPARTMENT PRIOR TO FINAL INSPECTION

**SYMBOLS / LEGEND**


**LANDSCAPE CALCULATION (ENCROACHMENT)**

<b>LOT AREA:</b>	1,997 SF
<b>BLDG FOOTPRINT:</b>	1,952 SF
<b>DRIVEWAY:</b>	0 SF (UNDER-COVER)
<b>ENCROACHMENT:</b>	529 SF
<b>LANDSCAPE/HARDSCAPE AREA</b>	
= LOT - BLDG FOOTPRINT - DRIVEWAY	
= 1,997 SF - 1,952 SF - 0 SF	
= 45 SF + 529 SF ENCROACHMENT	
= 574 SF	
<b>MINIMUM REQUIRED LANDSCAPED AREA PER 7.36.150.B.3</b>	
= 574 SF X 33%	
= 174 SF	
<b>PROPOSED LANDSCAPED AREA</b>	
= 353 SF	
<b>MAX AREA OF HIGH WATER USE PLANTS</b>	
= 574 SF X 20%	
= 114 SF ALLOWED	
<b>PROPOSED AREA OF HIGH WATER USE PLANTS</b>	
= 0 SF	
<b>FRONT YARD SETBACK AREA</b>	
= N/A	



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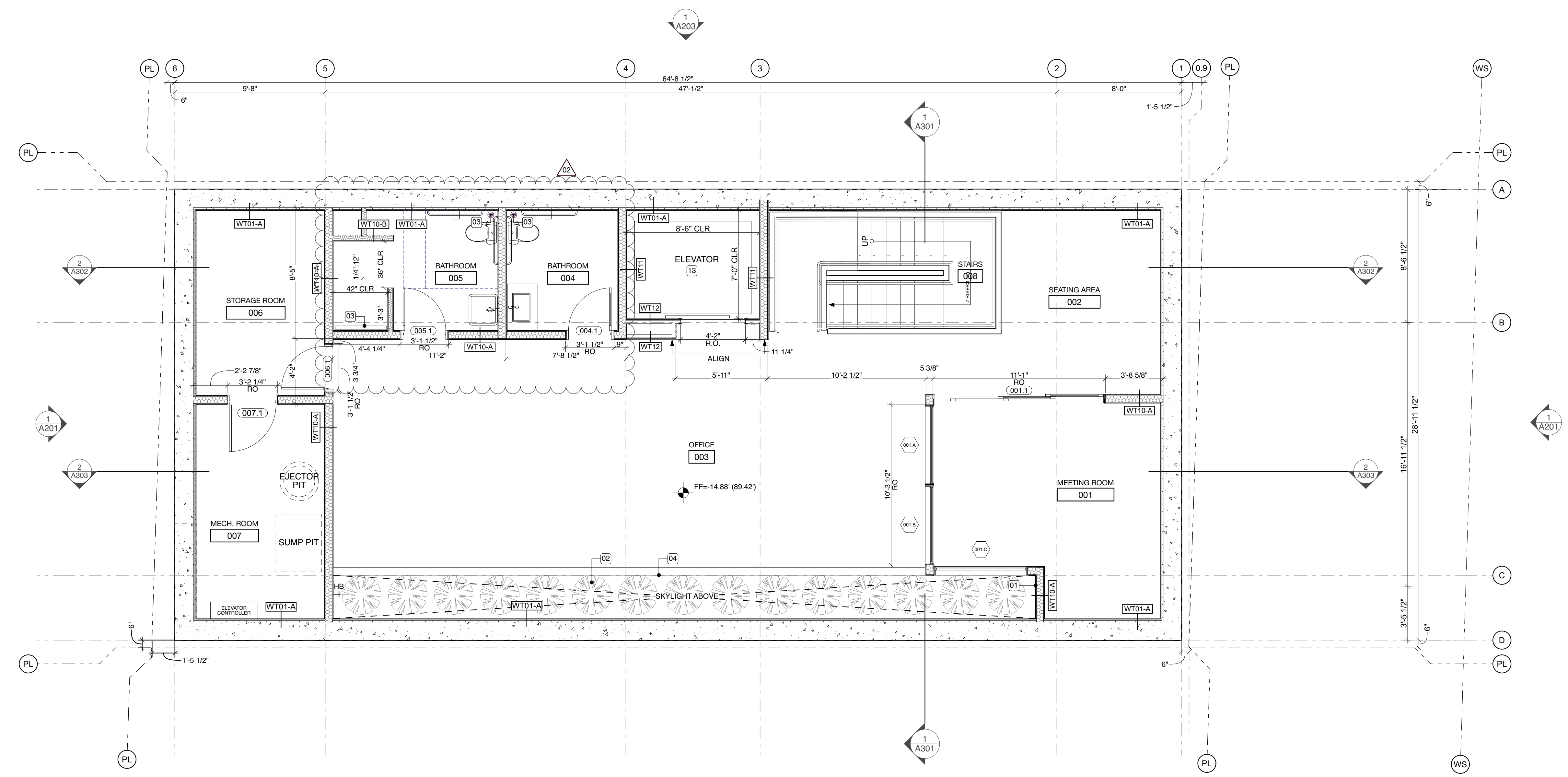


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SHEET TITLE  
**BASEMENT PLAN**

**A111**  
SHEET 27 OF 59



**1 BASEMENT PLAN**  
SCALE: 1/4" = 1'-0"  
0 2 4 8  
N

**KEYNOTES**

- |   |   |
|---|---|
| <ul style="list-style-type: none"> <li>01 ALIGN WALL FINISH W/ MAIN FLOOR INTERIOR WALL FINISH ABOVE</li> <li>02 PLANTING AREA; PLANTS FOR REF ONLY; NIC</li> <li>03 DRAIN; FLOOR SLOPED 1/4":12" MIN; DRAIN TO SUMP PUMP</li> <li>04 EDGE OF CEILING; ABOVE</li> <li>05 CABINETRY/MILLWORK</li> <li>06 SKYLIGHT</li> <li>07 TRASH LOCATION</li> <li>08 ELECTRIC METER 3'-0" MIN OFFSET FROM GAS METER; PER CODE</li> <li>09 EV CHARGING LOCATION</li> <li>10 DRIVEWAY SLOPE AND GRADE PER CIVIL</li> <li>11 TRASH ENCLOSURE DRAIN TO SANITARY SEWER</li> <li>12 ROOF ACCESS LADDER; PROVIDE FALL RESTRAINT ANCHOR POINTS PER CODE</li> <li>13 ELEV PER SPEC; SIZED TO MEET EGRESS CODE</li> <li>14 6" CURB PER CIVIL</li> <li>15 DAYLIGHT STORMWATER TO STREET CATCH BASIN; PER CIVIL</li> </ul> | <ul style="list-style-type: none"> <li>17 KITCHENETTE/DINING AREA IS FOR OFFICE USE ONLY. NOT FOR PUBLIC USE</li> <li>18 MECHANICAL EQUIPMENT. REFER TO MECHANICAL DRAWINGS</li> <li>19 REQUIRED SCREEN FOR MECHANICAL EQUIPMENT</li> <li>20 GATE FOR TRASH ENCLOSURE</li> <li>21 BEAM ABOVE</li> </ul> |
|---|---|

NOTE: SEPARATE PERMITS AND PLANS ARE REQUIRED FOR SIGNS, DEMOLITION, AND SEWER CAP OF EXISTING BUILDINGS



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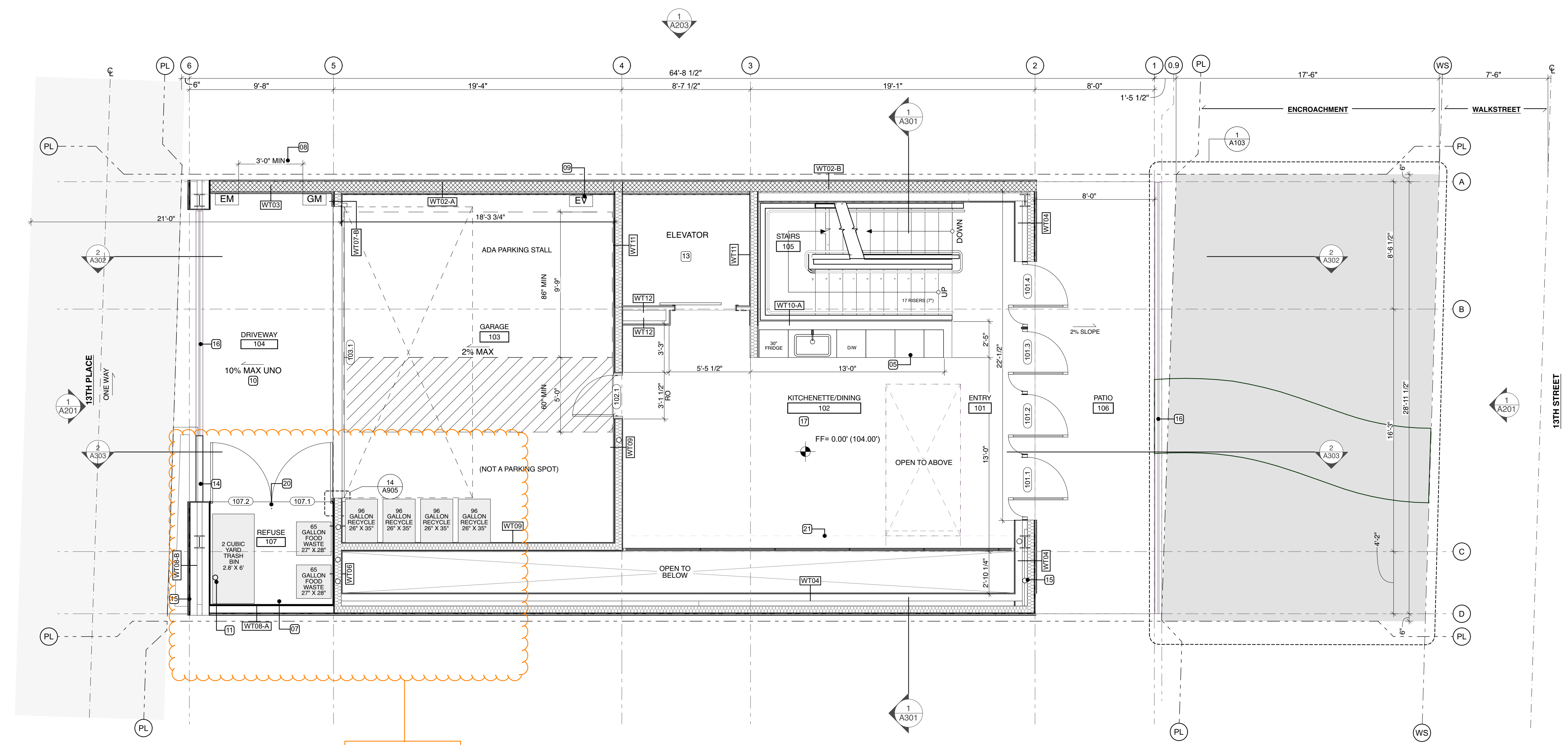
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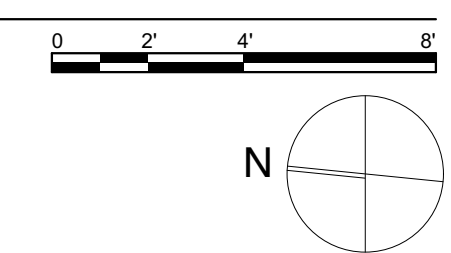
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**SHEET TITLE**  
1st FLOOR PLAN

**A112**  
SHEET 28 OF 59



**1 1st FLOOR PLAN**  
SCALE: 1/4" = 1'-0"



**KEYNOTES**

- 01 ALIGN WALL FINISH W/ MAIN FLOOR INTERIOR WALL. FINISH ABOVE
- 02 PLANTING AREA; PLANTS FOR REF ONLY; NIC
- 03 DRAIN; FLOOR SLOPED 1/4"-12" MIN; DRAIN TO SUMP PUMP
- 04 EDGE OF CEILING; ABOVE
- 05 CABINETRY/MILLWORK
- 06 SKYLIGHT
- 07 TRASH LOCATION
- 08 ELECTRIC METER 3'-0" MIN OFFSET FROM GAS METER; PER CODE
- 09 EV CHARGING LOCATION
- 10 DRIVEWAY SLOPE AND GRADE PER CIVIL
- 11 TRASH ENCLOSURE DRAIN TO SANITARY SEWER
- 12 ROOF ACCESS LADDER; PROVIDE FALL RESTRAINT ANCHOR POINTS PER CODE
- 13 ELEV PER SPEC; SIZED TO MEET EGRESS CODE
- 14 6" CURB PER CIVIL
- 15 DAYLIGHT STORMWATER TO STREET CATCH BASIN; PER CIVIL
- 16 TRENCH DRAIN TIED INTO STORMWATER SYSTEM; PER CIVIL
- 17 KITCHENETTE/DINING AREA IS FOR OFFICE USE ONLY. NOT FOR PUBLIC USE
- 18 MECHANICAL EQUIPMENT. REFER TO MECHANICAL DRAWINGS
- 19 REQUIRED SCREEN FOR MECHANICAL EQUIPMENT
- 20 GATE FOR TRASH ENCLOSURE
- 21 BEAM ABOVE

NOTE: SEPARATE PERMITS AND PLANS ARE REQUIRED FOR SIGNS, DEMOLITION, AND SEWER CAP OF EXISTING BUILDINGS



**Laney LA**

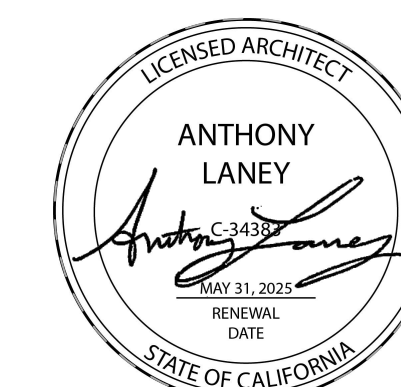
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(310) 870-7175  
ANTHONY@LANEY.LA

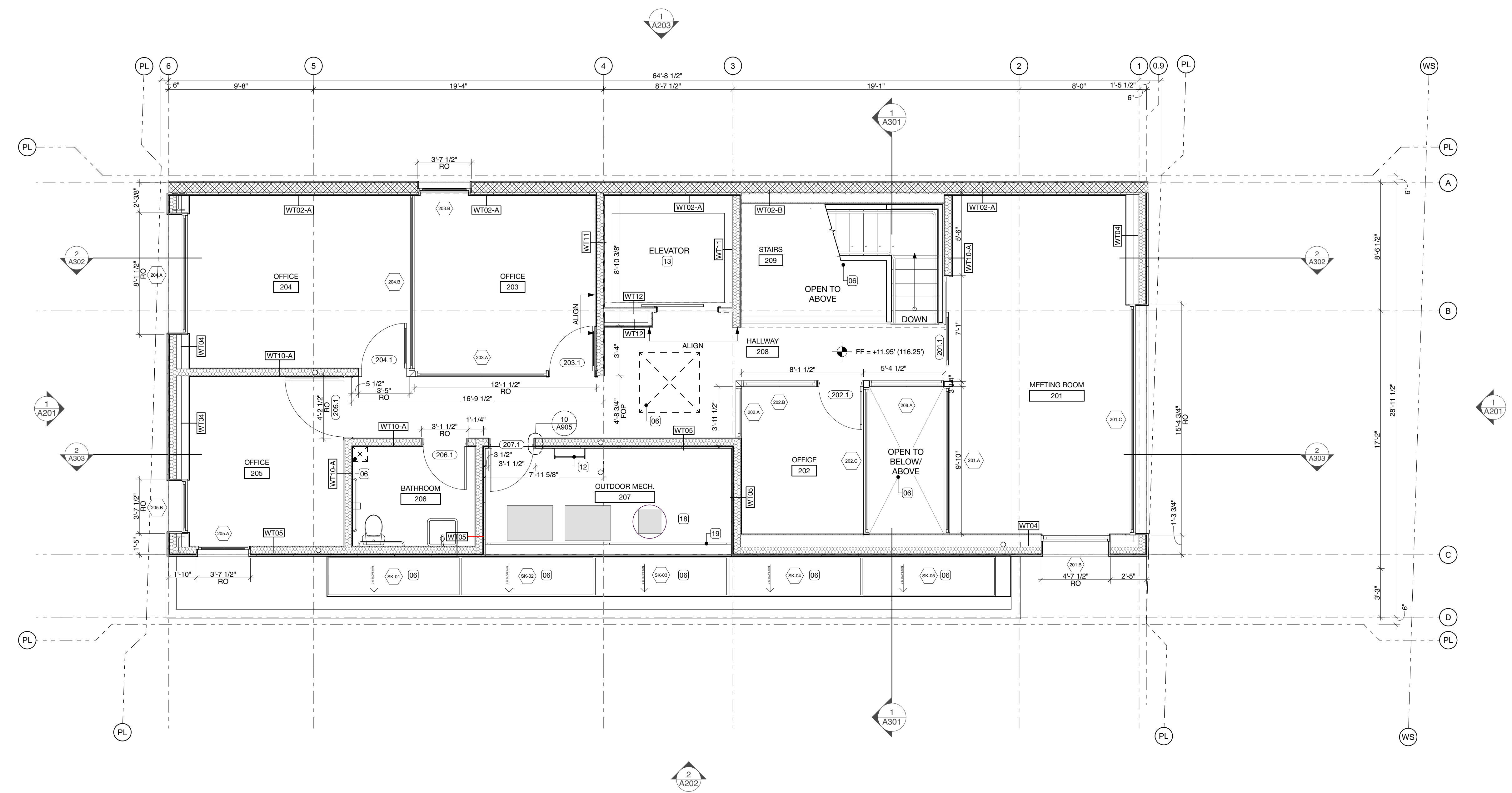


MARK	DATE	DESCRIPTION
-	01-25-23	CDP+CUP SUBMISSION
1	05-25-23	PLANNING CHECK SET #1
2	07-18-23	PLANNING CHECK SET #2

PROJECT NO: 22008  
MODEL FILE:  
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SHEET TITLE  
**2nd FLOOR PLAN**

**A113**  
SHEET 29 OF 59



**1 2nd FLOOR PLAN**  
SCALE: 1/4" = 1'-0"  
N

**KEYNOTES**

- 01 ALIGN WALL FINISH W/ MAIN FLOOR INTERIOR WALL FINISH ABOVE
- 02 PLANTING AREA; PLANTS FOR REF ONLY; NIC
- 03 DRAIN; FLOOR SLOPED 1/4":12" MIN; DRAIN TO SUMP PUMP
- 04 EDGE OF CEILING; ABOVE
- 05 CABINETRY/MILLWORK
- 06 SKYLIGHT
- 07 TRASH LOCATION
- 08 ELECTRIC METER 3'-0" MIN OFFSET FROM GAS METER; PER CODE
- 09 EV CHARGING LOCATION
- 10 DRIVEWAY SLOPE AND GRADE PER CIVIL
- 11 TRASH ENCLOSURE DRAIN TO SANITARY SEWER
- 12 ROOF ACCESS LADDER; PROVIDE FALL RESTRAINT ANCHOR POINTS PER CODE
- 13 ELEV PER SPEC; SIZED TO MEET EGRESS CODE
- 14 6" CURB PER CIVIL
- 15 DAYLIGHT STORMWATER TO STREET CATCH BASIN; PER CIVIL
- 16 TRENCH DRAIN TIED INTO STORMWATER SYSTEM; PER CIVIL
- 17 KITCHENETTE/DINING AREA IS FOR OFFICE USE ONLY. NOT FOR PUBLIC USE
- 18 MECHANICAL EQUIPMENT; REFER TO MECHANICAL DRAWINGS
- 19 REQUIRED SCREEN FOR MECHANICAL EQUIPMENT
- 20 GATE FOR TRASH ENCLOSURE
- 21 BEAM ABOVE

NOTE: SEPARATE PERMITS AND PLANS ARE REQUIRED FOR SIGNS, DEMOLITION, AND SEWER CAP OF EXISTING BUILDINGS



**Laney LA**

**PROJECT NAME**  
229 13TH STREET

**PROJECT NUMBER**  
22008

**CLIENT**  
OCEAN VIEW PARTNERS LLC

**PROJECT ADDRESS**  
229 13TH STREET  
MANHATTAN BEACH, CA

**ARCHITECT**  
ANTHONY LANEY AIA  
LANEY LA, INC.  
725 CYPRESS AVE  
HERMOSA BEACH CA 90254  
(310) 870-7175  
ANTHONY@LANEY.LA

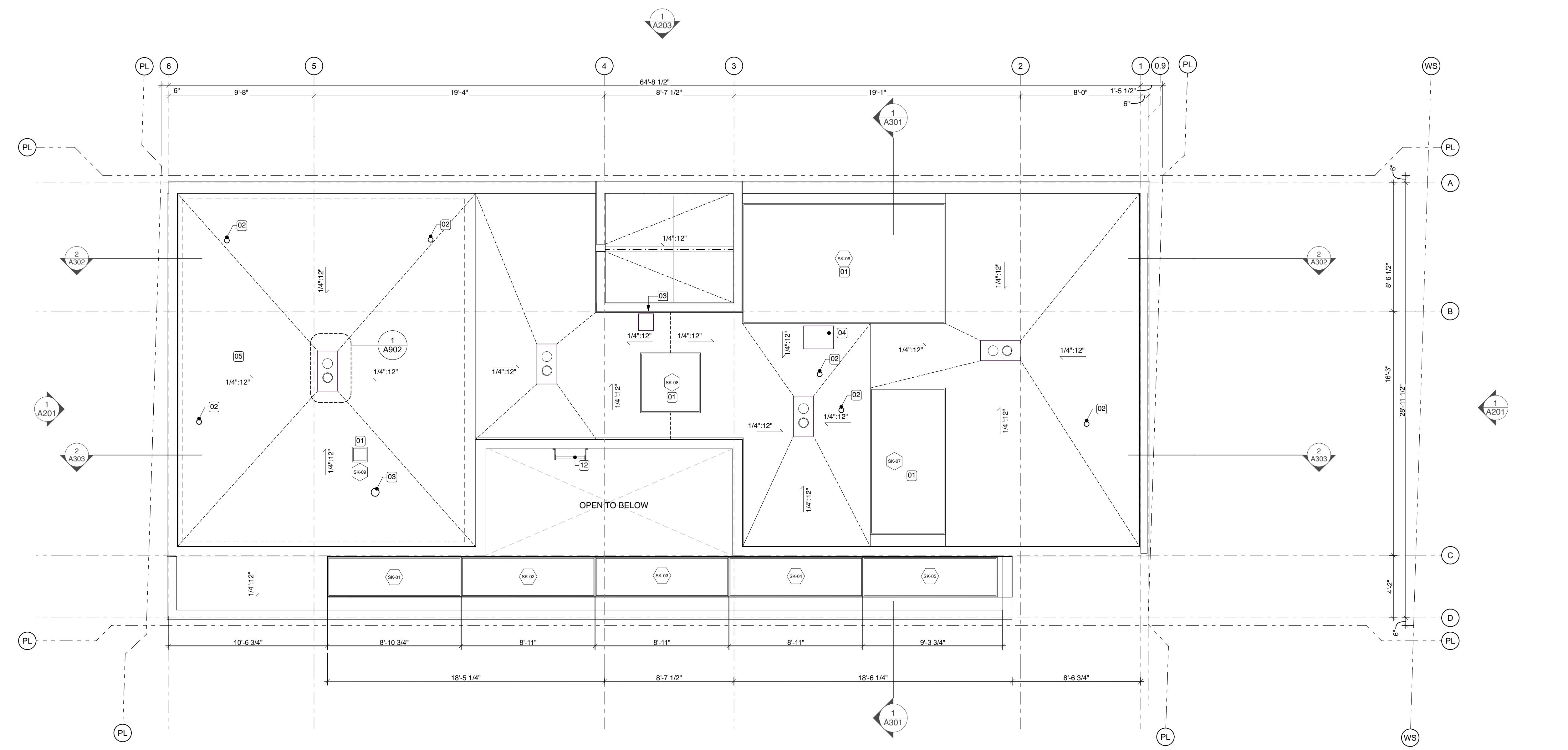


MARK	DATE	DESCRIPTION
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1	05-25-23	PLANNING CHECK SET #1
2	07-18-23	PLANNING CHECK SET #2

**PROJECT NO:** 22008  
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**SHEET TITLE**  
ROOF PLAN

**A114**  
SHEET 30 OF 59



**1 ROOF PLAN**  
SCALE: 1/4" = 1'-0"  
0 2' 4' 8'  
N

**KEYNOTES**

- 01 (N) SKYLIGHT
- 02 (N) AIR INTAKE; PER MECH SHEET
- 03 (N) EXHAUST; PER MECH SHEET
- 04 (N) RELIEF AIR DUCT; PER MECH SHEET
- 05 FUTURE SOLAR-ASSISTED WATER HEATING SYSTEM

NOTE: SEPARATE PERMITS AND PLANS ARE REQUIRED FOR SIGNS, DEMOLITION, AND SEWER CAP OF EXISTING BUILDINGS

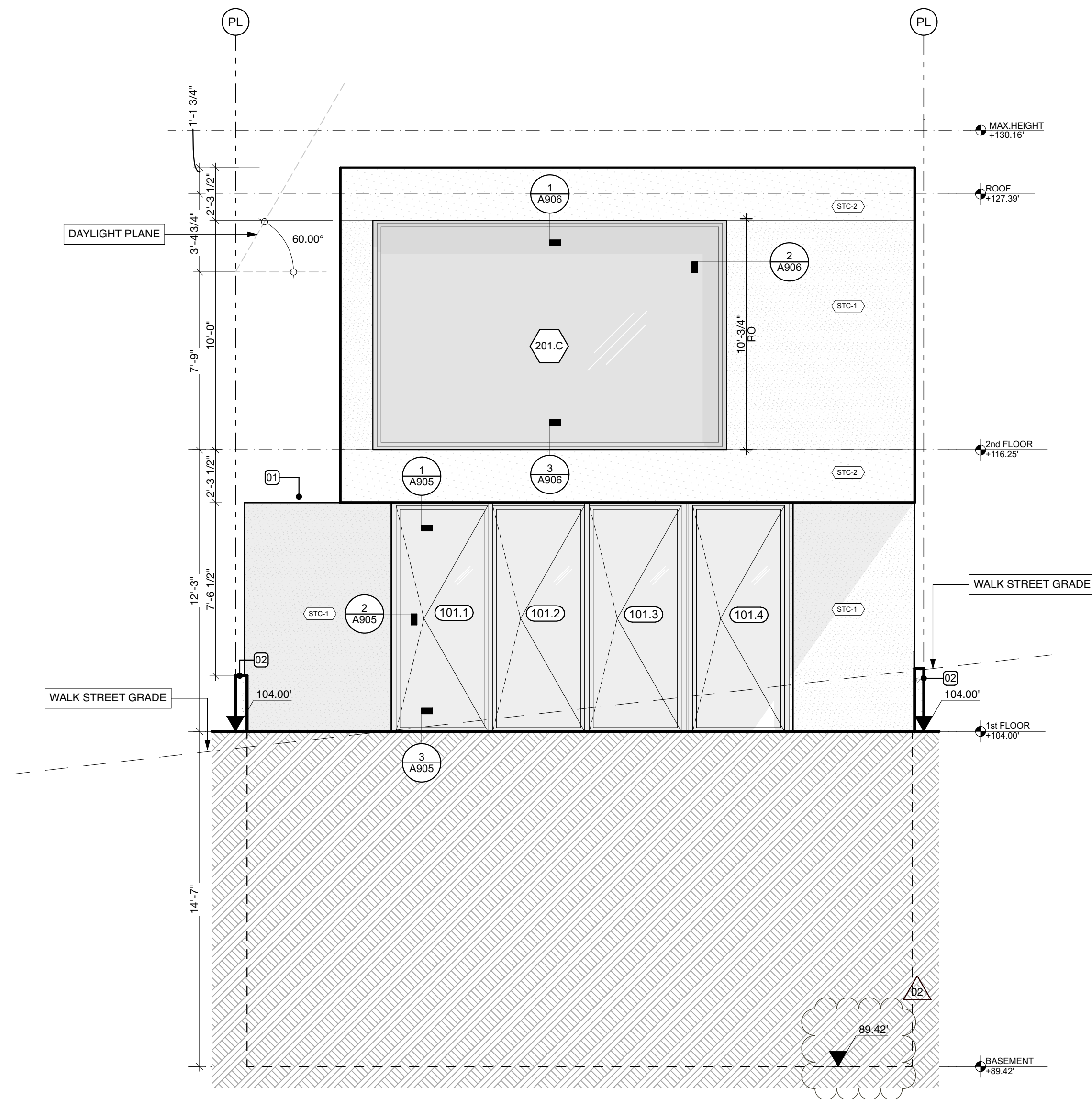
**ELEVATION NOTES**

- 01 SKYLIGHT PER PLAN
- 02 SITE WALL
- 03 CURB PER CIVIL
- 04 MECHANICAL SCREENING AND SAFETY RAILING PER CODE
- 05 ROOF ACCESS LADDER

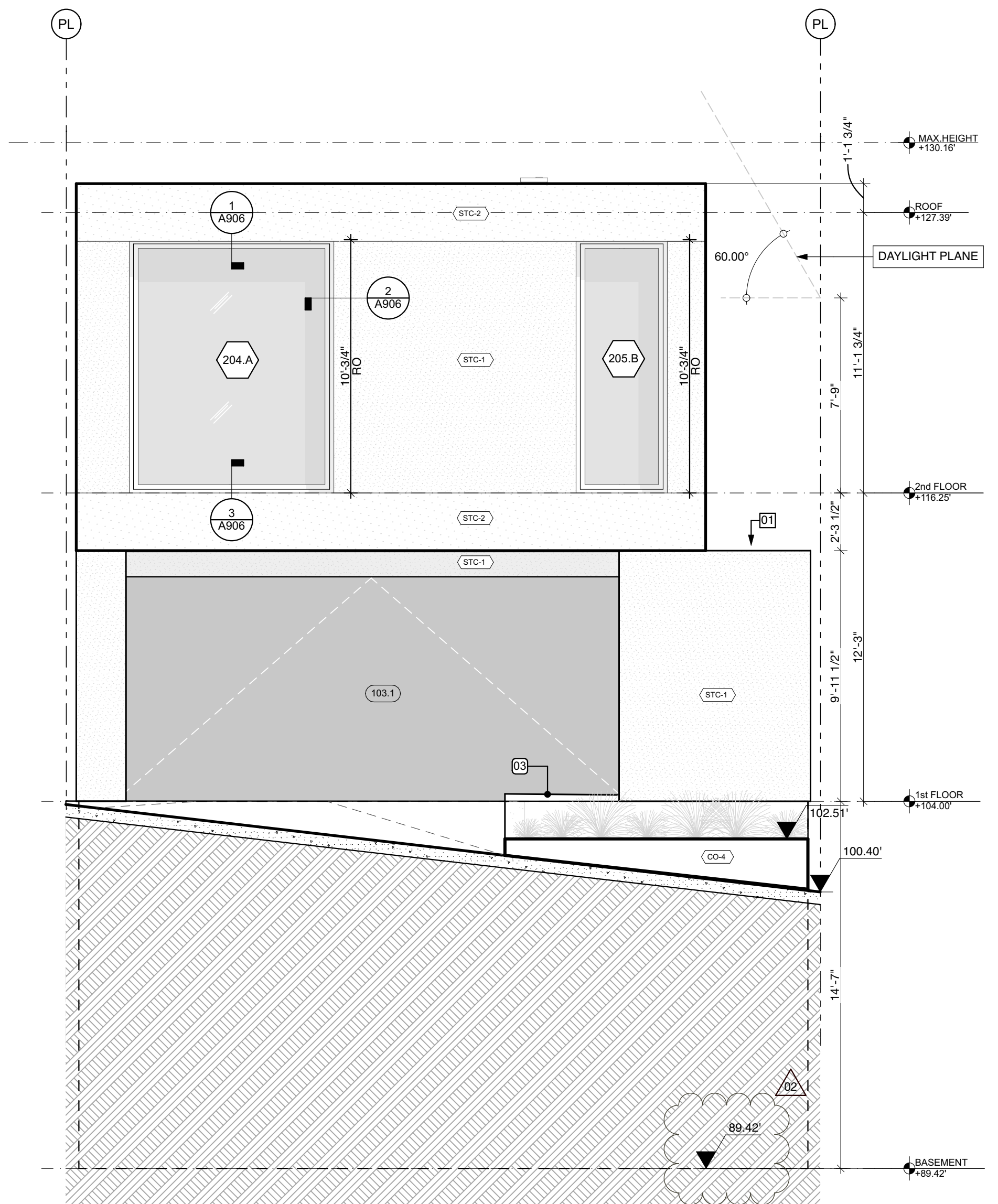
NOTE: HEIGHT LIMIT: PARAPET, SATELLITE ANTENNA, RAILS, SKYLIGHTS, AND ROOF EQUIPMENT MUST BE WITHIN THE HEIGHT LIMIT.

**MAX HEIGHT CALCULATION**

PROPERTY CORNER ELEVATIONS	HEIGHT LIMIT	MAX. ALLOWABLE HEIGHT
SE 106.80'   SW 105.00'   NW 100.69'   NE 104.16'	26'	130.16'
AVERAGE OF CORNER ELEVATIONS + HEIGHT LIMIT = MAXIMUM ALLOWABLE HEIGHT ELEVATION (MBC10.60.050) $106.80' + 105.00' + 100.69' + 104.16' = 416.65'$ $416.65' / 4 = 104.16'$ $104.16' + 26' = 130.16'$ ALLOWABLE MAX HEIGHT		



**2 SOUTH ELEVATION**  
SCALE: 1/4" = 1'-0"



**1 NORTH ELEVATION**  
SCALE: 1/4" = 1'-0"



**Laney LA**

PROJECT NAME  
229 13TH STREET

PROJECT NUMBER  
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CLIENT  
OCEAN VIEW PARTNERS LLC

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ARCHITECT  
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ANTHONY@LANEY.LA



MARK	DATE	DESCRIPTION
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SHEET TITLE  
**ELEVATIONS**

**A201**

SHEET 39 OF 59



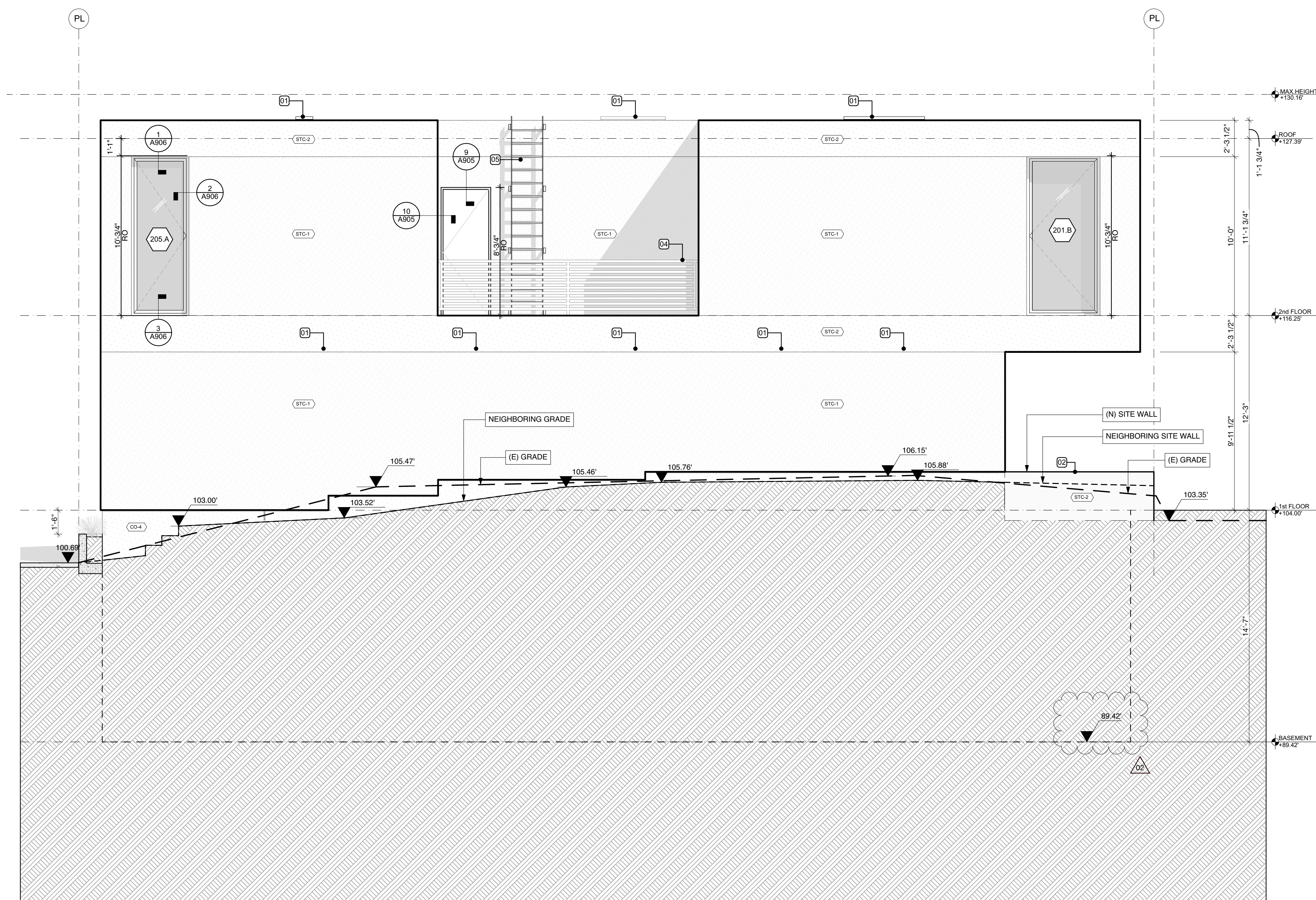
**ELEVATION NOTES**

- 01 SKYLIGHT PER PLAN
- 02 SITE WALL
- 03 CURB PER CIVIL
- 04 MECHANICAL SCREENING AND SAFETY RAILING PER CODE
- 05 ROOF ACCESS LADDER

NOTE: HEIGHT LIMIT: PARAPET, SATELLITE ANTENNA, RAILS, SKYLIGHTS, AND ROOF EQUIPMENT MUST BE WITHIN THE HEIGHT LIMIT.

**MAX HEIGHT CALCULATION**

PROPERTY CORNER ELEVATIONS	HEIGHT LIMIT	MAX. ALLOWABLE HEIGHT
SE 106.80'   SW 105.00'   NW 100.69'   NE 104.16'	26'	130.16'
AVERAGE OF CORNER ELEVATIONS + HEIGHT LIMIT = MAXIMUM ALLOWABLE HEIGHT ELEVATION (MBMC10.60.050) $106.80' + 105.00' + 100.69' + 104.16' = 416.65'$ $416.65' / 4 = 104.16'$ $104.16' + 26' = 130.16'$ ALLOWABLE MAX HEIGHT		



**1 WEST ELEVATION**  
SCALE: 1/4" = 1'-0"



**Laney LA**

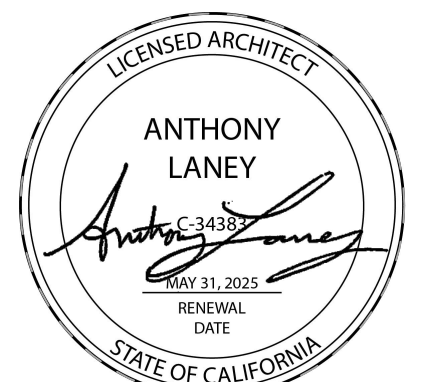
PROJECT NAME  
POWERSCOURT - 13TH STREET

PROJECT NUMBER  
22008

CLIENT  
CARDINAL INVESTMENTS

PROJECT ADDRESS  
229 13TH STREET  
MANHATTAN BEACH, CA

ARCHITECT  
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LANEY LA, INC.  
725 CYPRESS AVE  
HERMOSA BEACH CA 90254  
(310) 870-7175  
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MARK	DATE	DESCRIPTION
-	01-25-23	CDP+CUP SUBMISSION
1	05-25-23	PLANNING CHECK SET #1
2	07-18-23	PLANNING CHECK SET #2

PROJECT NO: 00000  
MODEL FILE:  
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SHEET TITLE  
**ELEVATIONS**

**A202**  
SHEET 40 OF 81

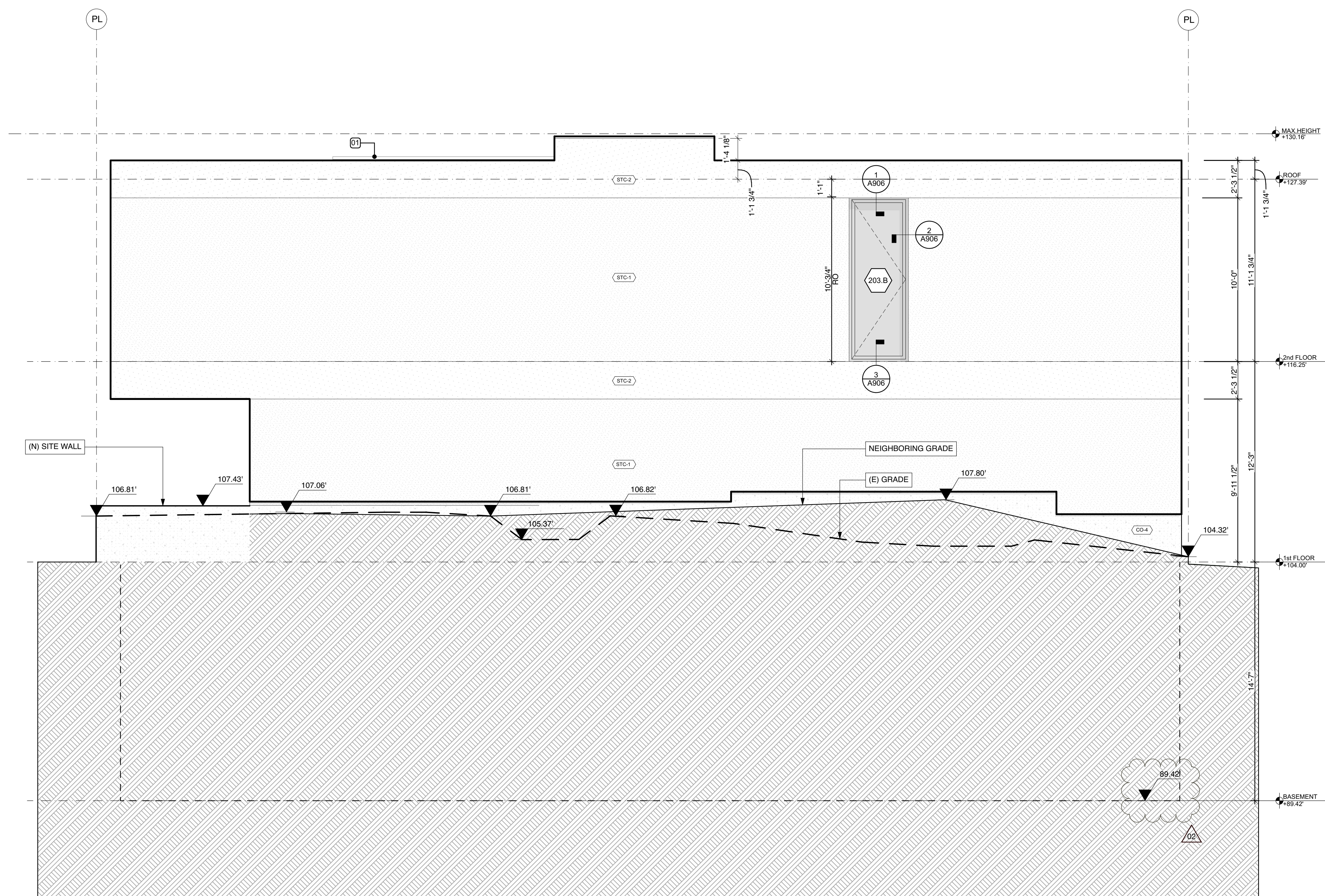
**ELEVATION NOTES**

- 01 SKYLIGHT PER PLAN
- 02 SITE WALL
- 03 CURB PER CIVIL
- 04 MECHANICAL SCREENING AND SAFETY RAILING PER CODE
- 05 ROOF ACCESS LADDER

NOTE: HEIGHT LIMIT: PARAPET, SATELLITE ANTENNA, RAILS, SKYLIGHTS, AND ROOF EQUIPMENT MUST BE WITHIN THE HEIGHT LIMIT.

**MAX HEIGHT CALCULATION**

PROPERTY CORNER ELEVATIONS	HEIGHT LIMIT	MAX. ALLOWABLE HEIGHT
SE 106.80'   SW 105.00'   NW 100.69'   NE 104.16'	26'	130.16'
AVERAGE OF CORNER ELEVATIONS + HEIGHT LIMIT = MAXIMUM ALLOWABLE HEIGHT ELEVATION (MBCM10.60.050) $106.80' + 105.00' + 100.69' + 104.16' = 416.65'$ $416.65' / 4 = 104.16'$ $104.16' + 26' = 130.16'$ ALLOWABLE MAX HEIGHT		



1 EAST ELEVATION  
SCALE: 1/4" = 1'-0"



**Laney LA**

**PROJECT NAME**  
POWERSCOURT - 13TH STREET  
22008

**PROJECT NUMBER**  
22008

**CLIENT**  
CARDINAL INVESTMENTS

**PROJECT ADDRESS**  
229 13TH STREET  
MANHATTAN BEACH, CA

**ARCHITECT**  
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(310) 870-7175  
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MARK	DATE	DESCRIPTION
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2	07-18-23	PLANNING CHECK SET #2

PROJECT NO: 00000  
MODEL FILE:  
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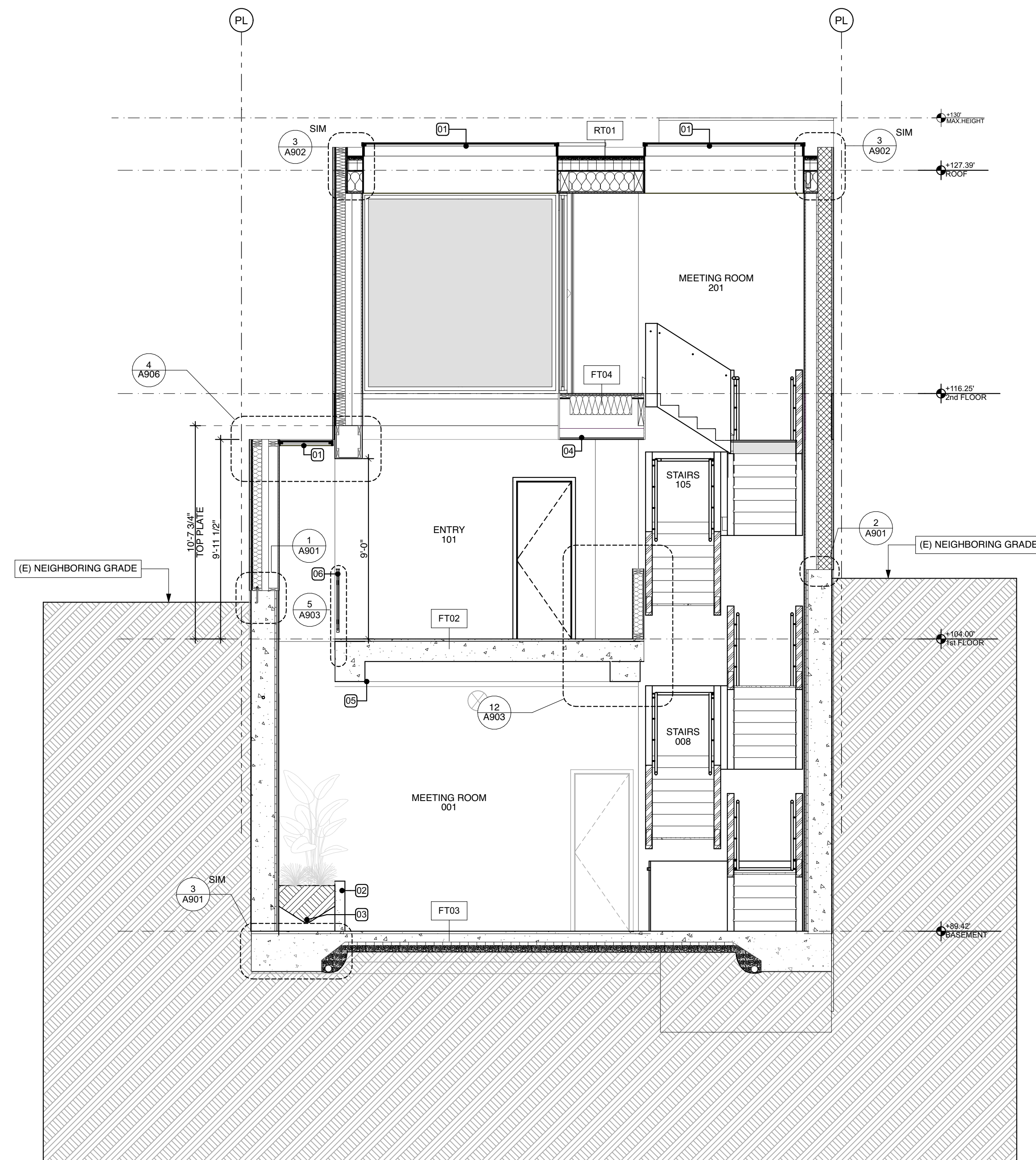
SHEET TITLE  
**ELEVATIONS**

**A203**  
SHEET 41 OF 81

**SECTION NOTES**

- 01 SKYLIGHT
- 02 PLANTING AREA; PLANTS FOR REF ONLY; NIC
- 03 DRAIN; PLANTER SLOPED 1/4":12" MIN; DRAIN TO SUMP PUMP
- 04 DROPPED CEILING; FINISH PER PLAN
- 05 CONCRETE BEAM; PER STRUCT
- 06 GUARDRAIL
- 07 ELEV PER SPEC; SIZED TO MEET EGRESS CODE
- 08 DRIVEWAY SLOPE AND GRADE PER CIVIL
- 09 6" CURB PER CIVIL
- 10 TRENCH DRAIN TIED INTO STORMWATER SYSTEM; PER CIVIL

NOTE: HEIGHT LIMIT: PARAPET, SATELLITE ANTENNA, RAILS, SKYLIGHTS, AND ROOF EQUIPMENT MUST BE WITHIN THE HEIGHT LIMIT.



**1** W-E SECTION  
SCALE: 1/4" = 1'-0"  
0 2' 4' 8'



**Laney LA**

PROJECT NAME  
POWERSCOURT - 13TH STREET

PROJECT NUMBER  
22008

CLIENT  
CARDINAL INVESTMENTS

PROJECT ADDRESS  
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MANHATTAN BEACH, CA

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(310) 870-7175  
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MARK	DATE	DESCRIPTION
-	01-25-23	CDP+CUP SUBMISSION
1	05-25-23	PLANNING CHECK SET #1
2	07-18-23	PLANNING CHECK SET #2

PROJECT NO: 00000  
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SHEET TITLE  
**BUILDING SECTIONS**

**A301**  
SHEET 42 OF 81

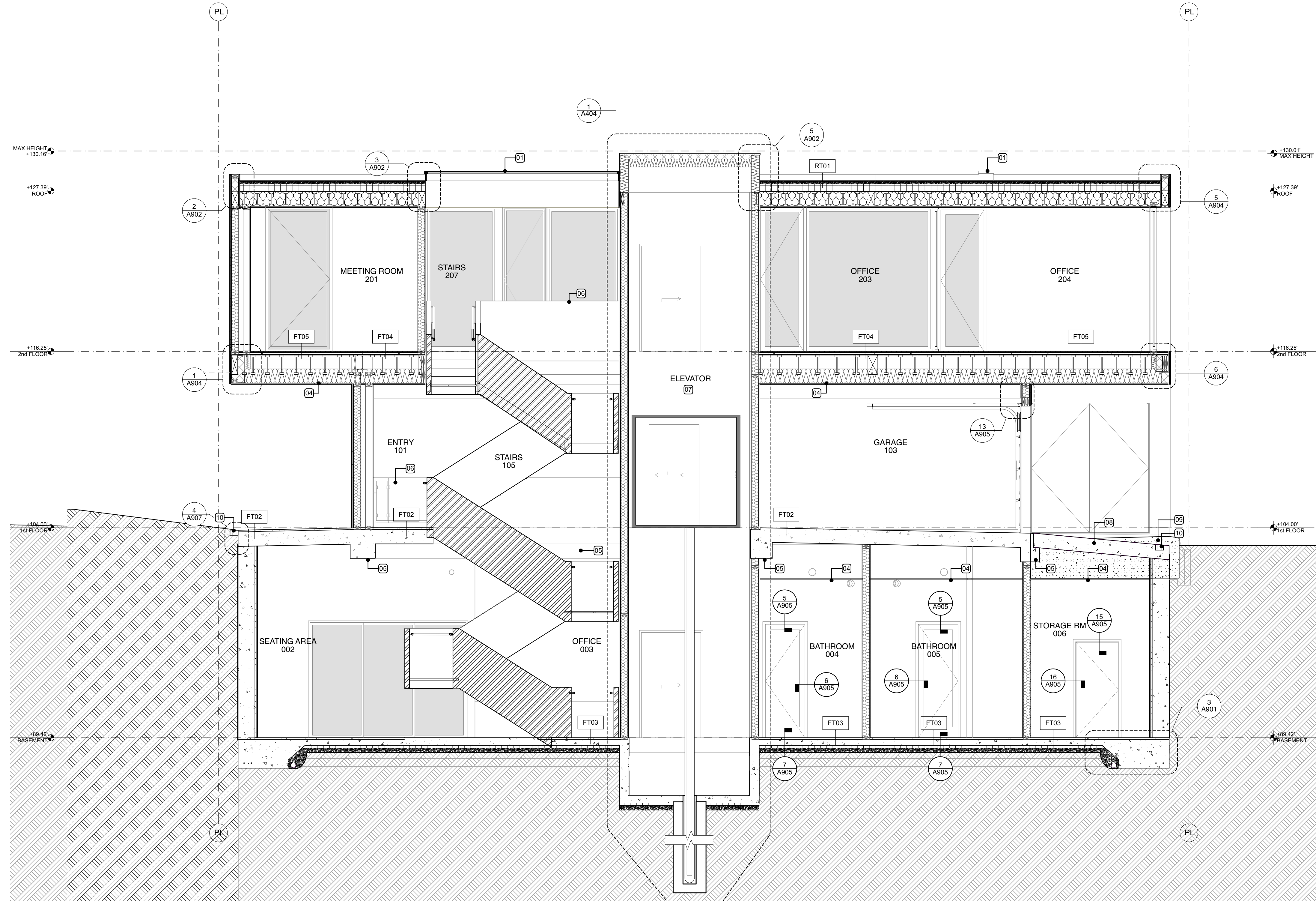
**KEYNOTES**

- 01 SKYLIGHT
- 02 PLANTING AREA; PLANTS FOR REF ONLY; NIC
- 03 DRAIN; PLANTER SLOPED 1/4":12" MIN; DRAIN TO SUMP PUMP
- 04 DROPPED CEILING; FINISH PER PLAN
- 05 CONCRETE BEAM; PER STRUCT
- 06 GUARDRAIL
- 07 ELEV PER SPEC; SIZED TO MEET EGRESS CODE
- 08 DRIVEWAY SLOPE AND GRADE PER CIVIL
- 09 6" CURB PER CIVIL
- 10 TRENCH DRAIN TIED INTO STORMWATER SYSTEM; PER CIVIL

**SYMBOLS / LEGEND**

- WALLS TO REMAIN
- ▤ WALLS TO BE DEMO'D
- NEW WALLS

NOTE: HEIGHT LIMIT: PARAPET, SATELLITE ANTENNA, RAILS, SKYLIGHTS, AND ROOF EQUIPMENT MUST BE WITHIN THE HEIGHT LIMIT.



1 N/S SECTION@ STAIR  
SCALE: 1/4" = 1'-0"



**Laney LA**

PROJECT NAME  
POWERSCOURT - 13TH STREET

PROJECT NUMBER  
22008

CLIENT  
CARDINAL INVESTMENTS

PROJECT ADDRESS  
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MARK	DATE	DESCRIPTION
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SHEET TITLE  
**BUILDING SECTIONS**

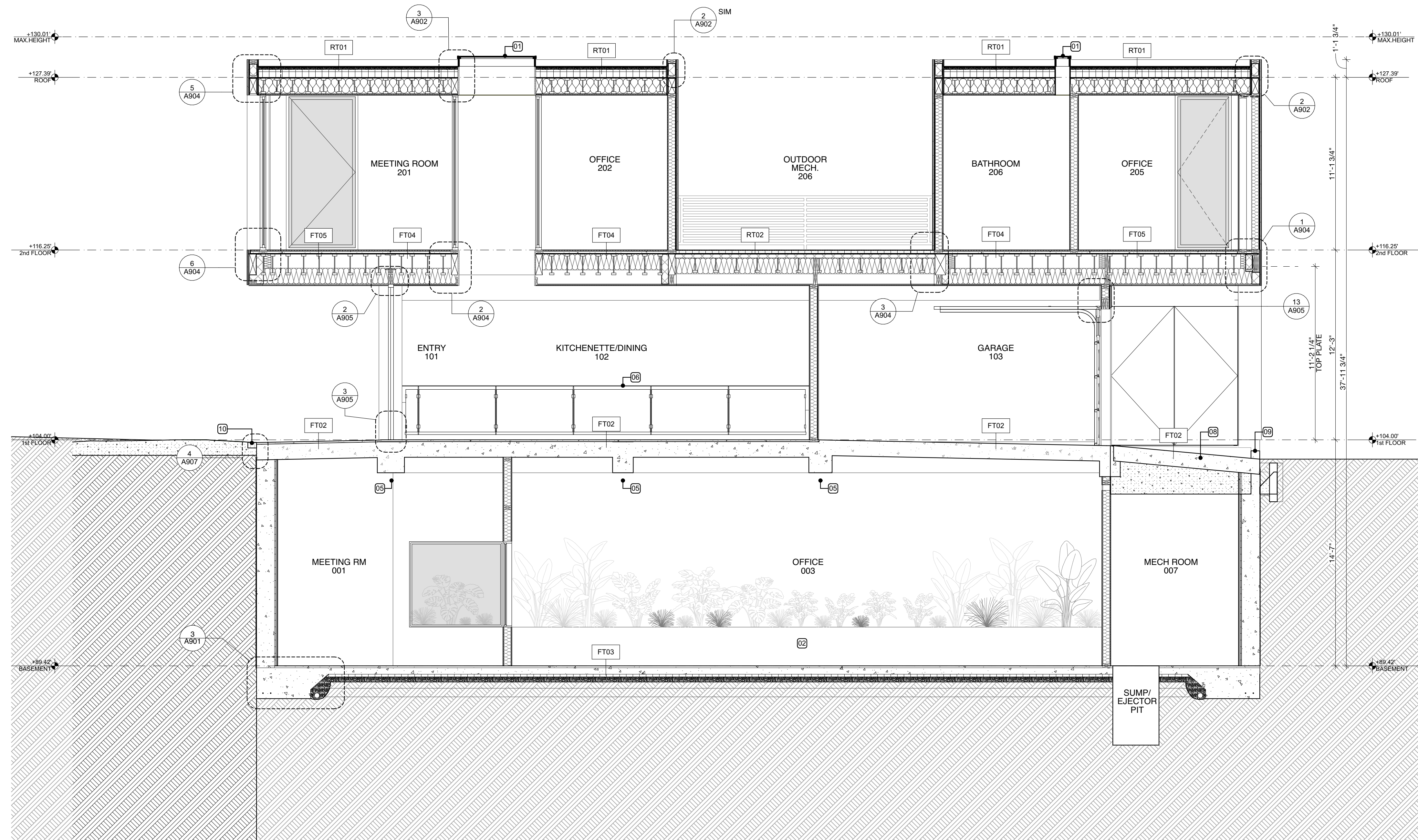
**A302**  
SHEET 43 OF 81

**KEYNOTES**

- 01 SKYLIGHT
- 02 PLANTING AREA; PLANTS FOR REF ONLY; NIC
- 03 DRAIN; PLANTER SLOPED 1/4":12" MIN; DRAIN TO SUMP PUMP
- 04 DROPPED CEILING; FINISH PER PLAN
- 05 CONCRETE BEAM; PER STRUCT
- 06 GUARDRAIL
- 07 ELEV PER SPEC; SIZED TO MEET EGRESS CODE
- 08 DRIVEWAY SLOPE AND GRADE PER CIVIL
- 09 6" CURB PER CIVIL
- 10 TRENCH DRAIN TIED INTO STORMWATER SYSTEM; PER CIVIL

**SYMBOLS / LEGEND**

- WALLS TO REMAIN
- ▤ WALLS TO BE DEMO'D
- NEW WALLS



1 N/S SECTION@ ENTRY  
SCALE: 1/4" = 1'-0"



**Laney LA**

PROJECT NAME  
229 13TH STREET

PROJECT NUMBER  
22008

CLIENT  
OCEAN VIEW PARTNERS LLC

PROJECT ADDRESS  
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MANHATTAN BEACH, CA

ARCHITECT  
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MARK	DATE	DESCRIPTION
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2	07-18-23	PLANNING CHECK SET #2

PROJECT NO: 22008

MODEL FILE:  
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SHEET TITLE  
**BUILDING SECTIONS**

**A303**

SHEET 44 OF 59



**Laney LA**

PROJECT NAME  
229 13TH STREET

PROJECT NUMBER  
22008

CLIENT  
OCEAN VIEW PARTNERS LLC

PROJECT ADDRESS  
229 13TH STREET  
MANHATTAN BEACH, CA

ARCHITECT  
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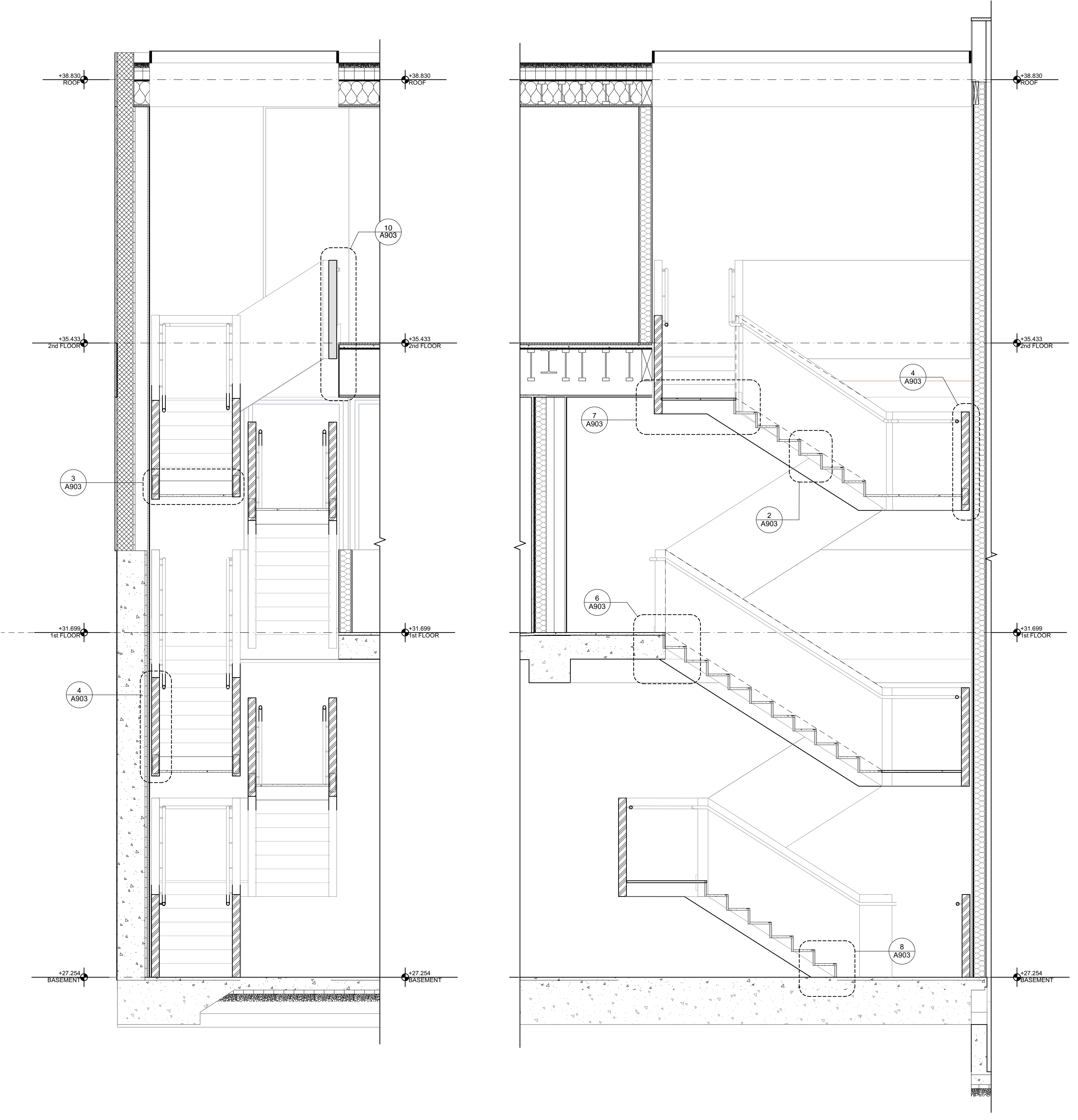


MARK	DATE	DESCRIPTION
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PROJECT NO: 22008  
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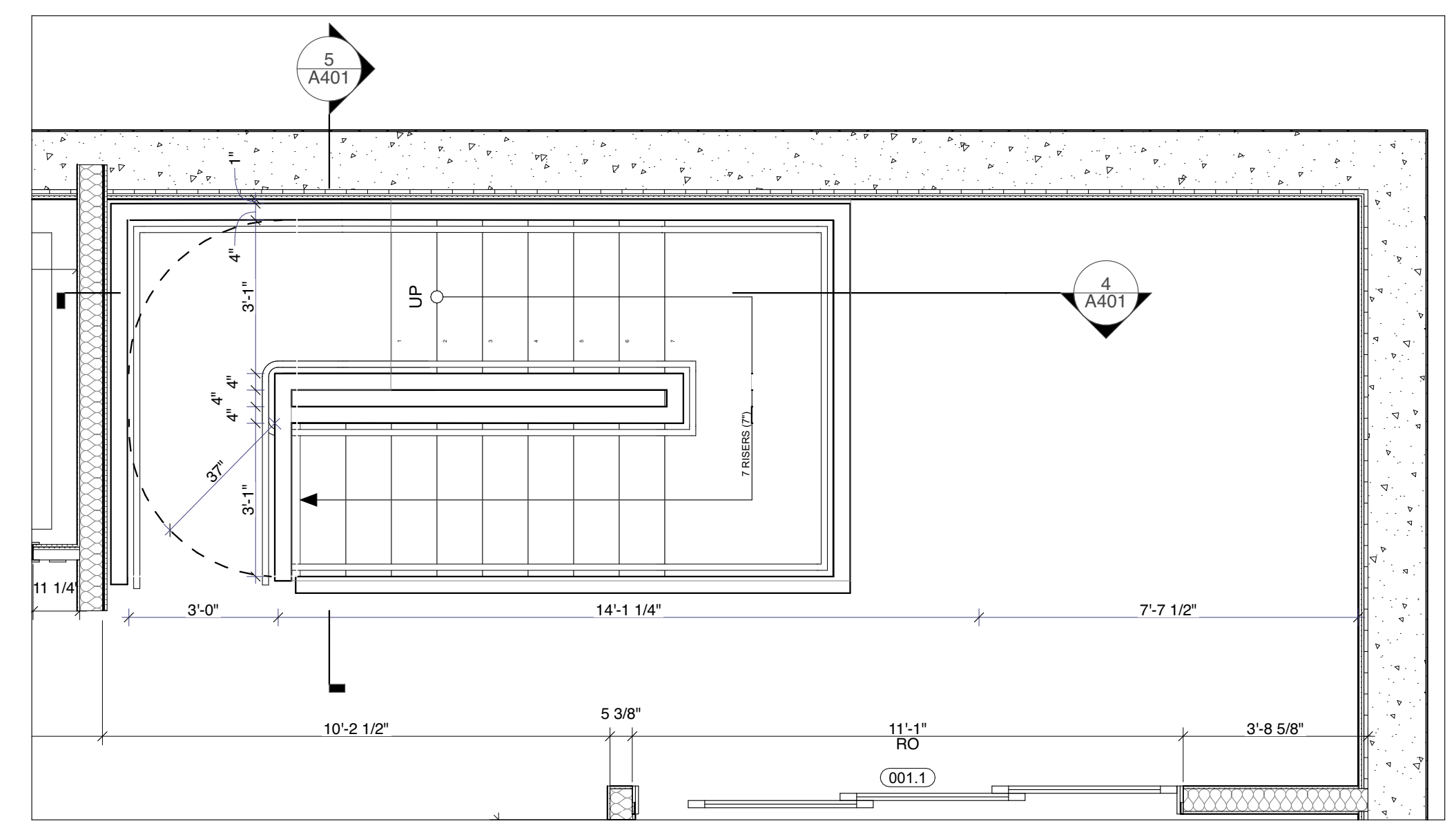
SHEET TITLE  
**STAIR PLAN & INTERIOR ELEVATIONS**

**A401**  
SHEET 45 OF 59

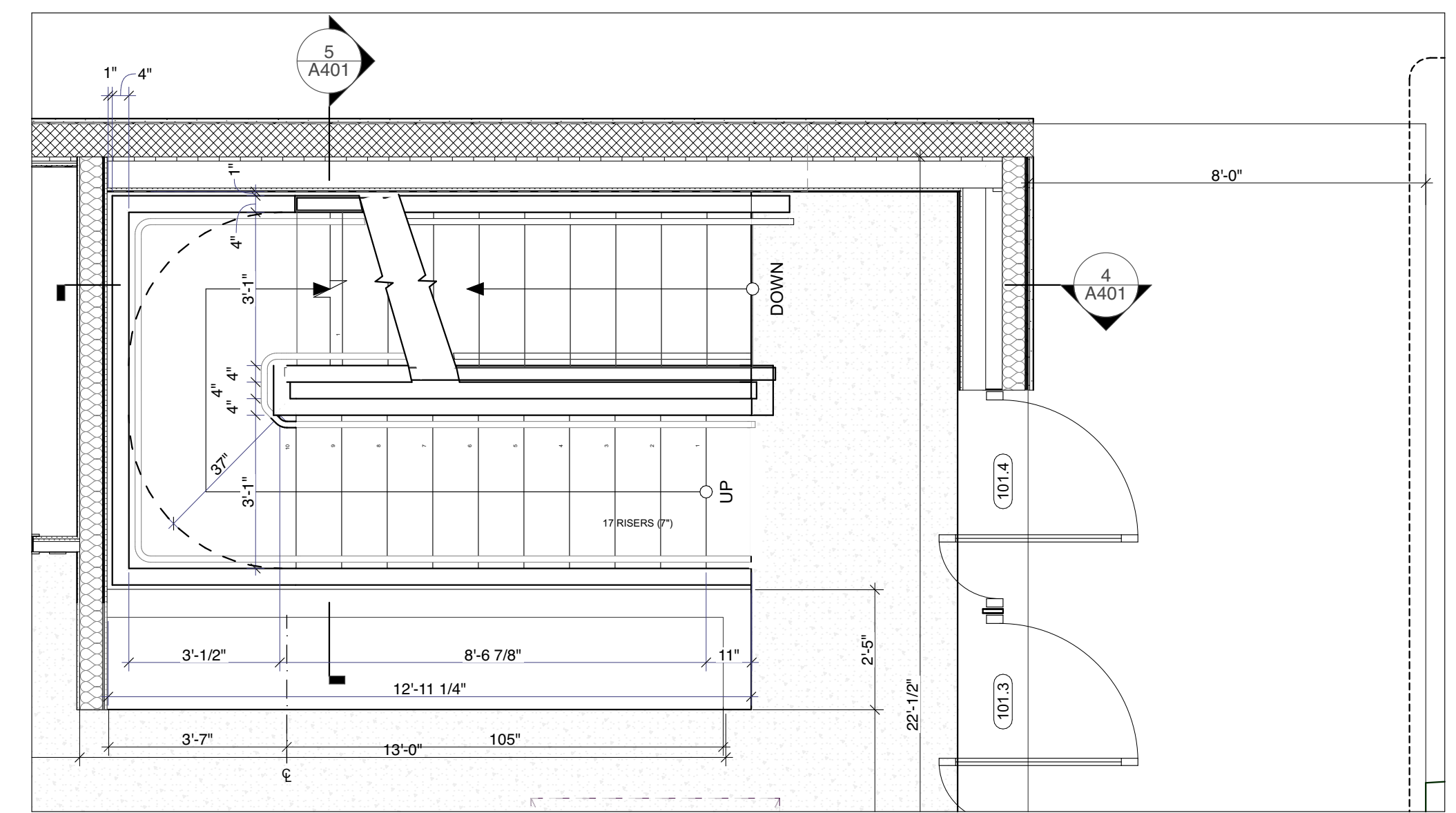


5 SECTION B  
SCALE: 3/8" = 1'-0"

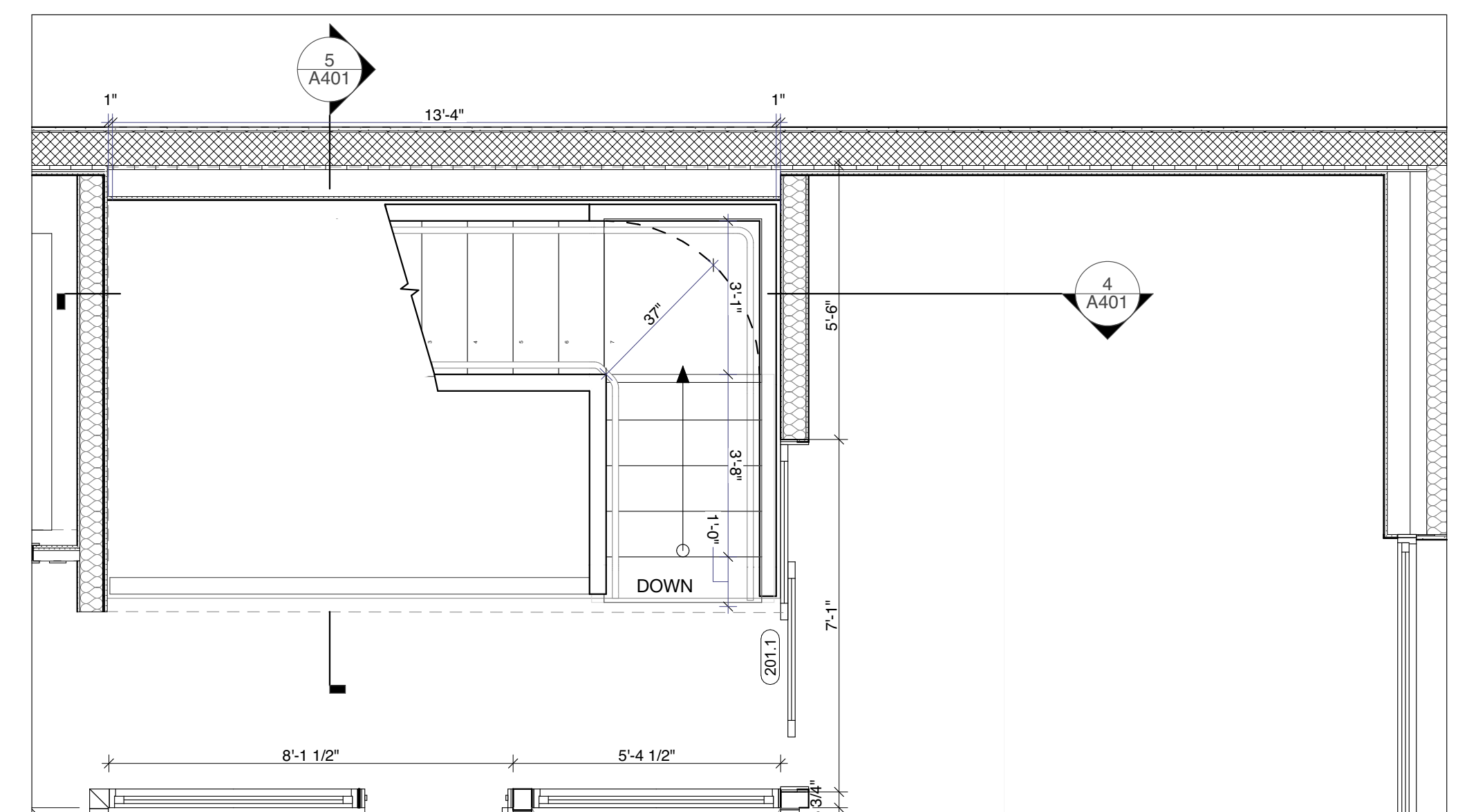
4 SECTION A  
SCALE: 3/8" = 1'-0"



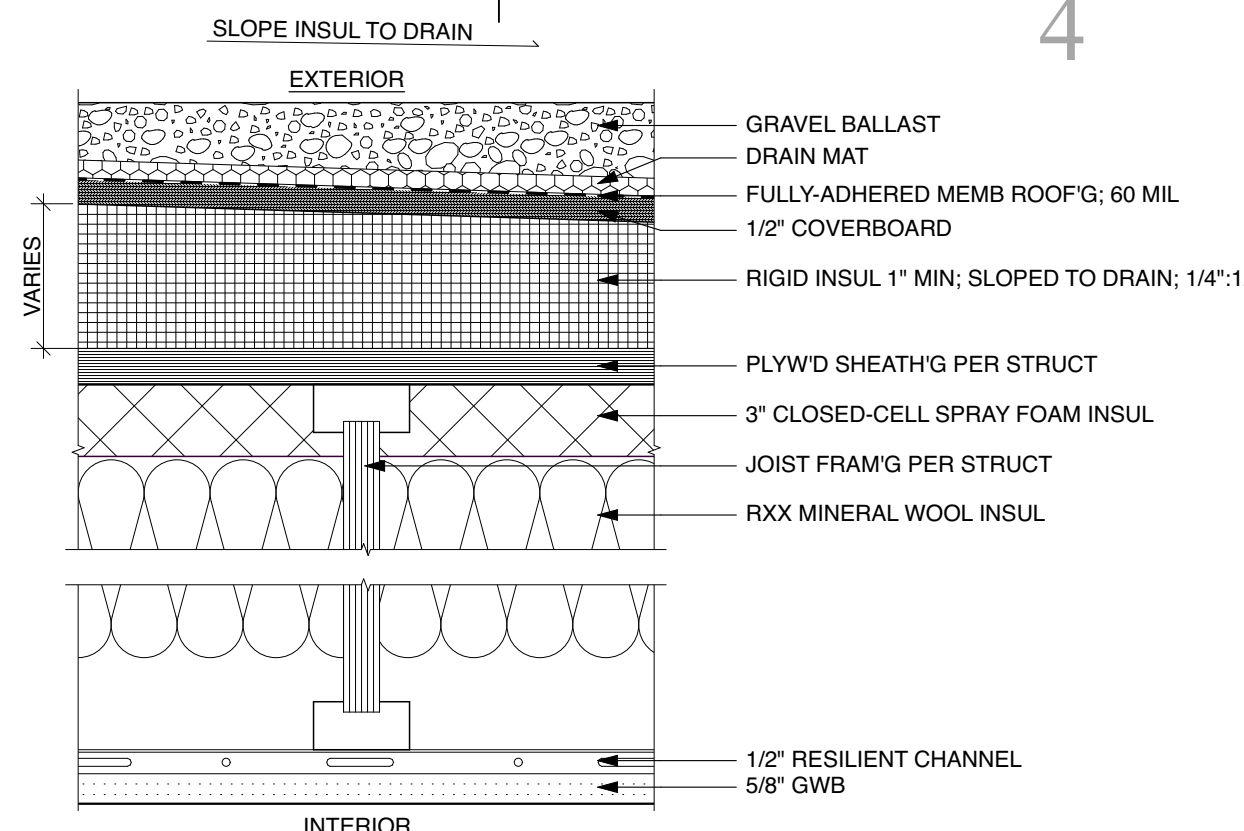
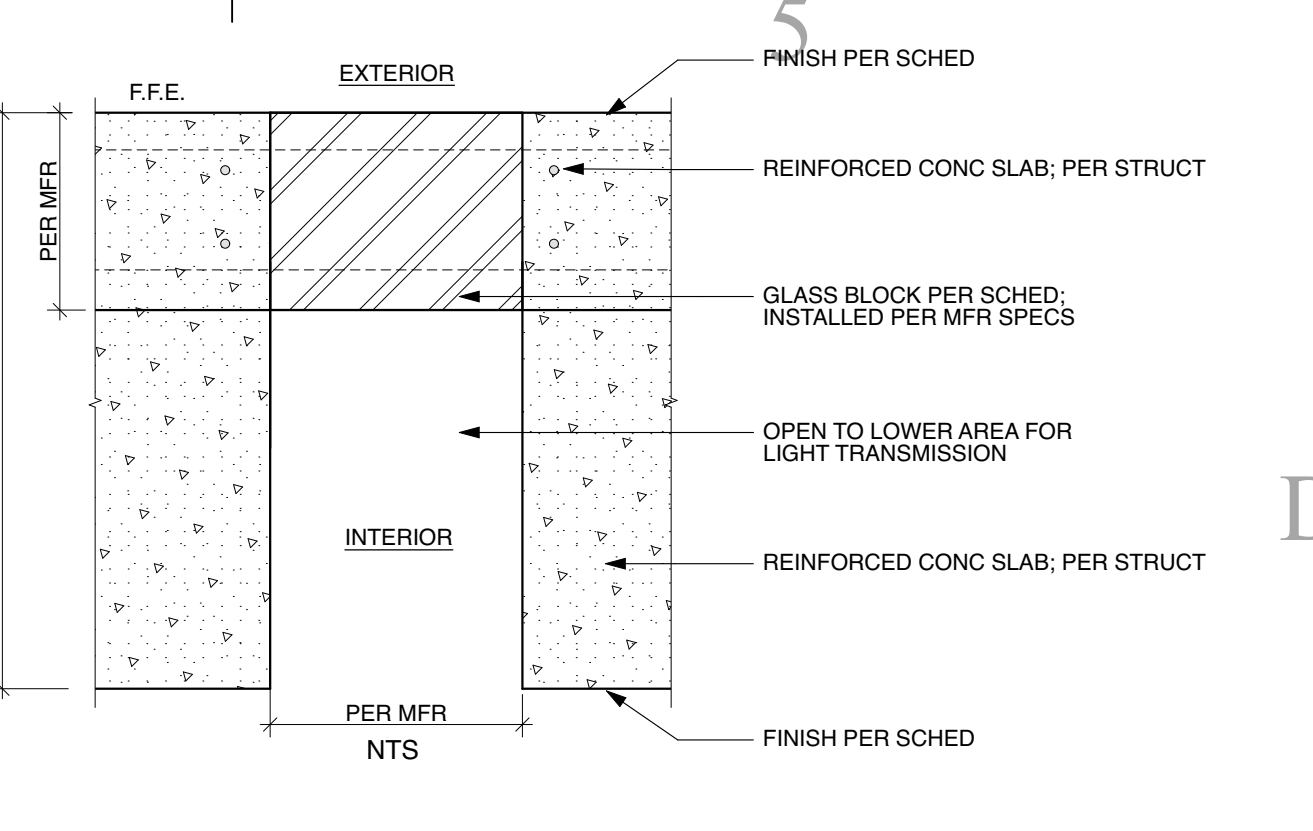
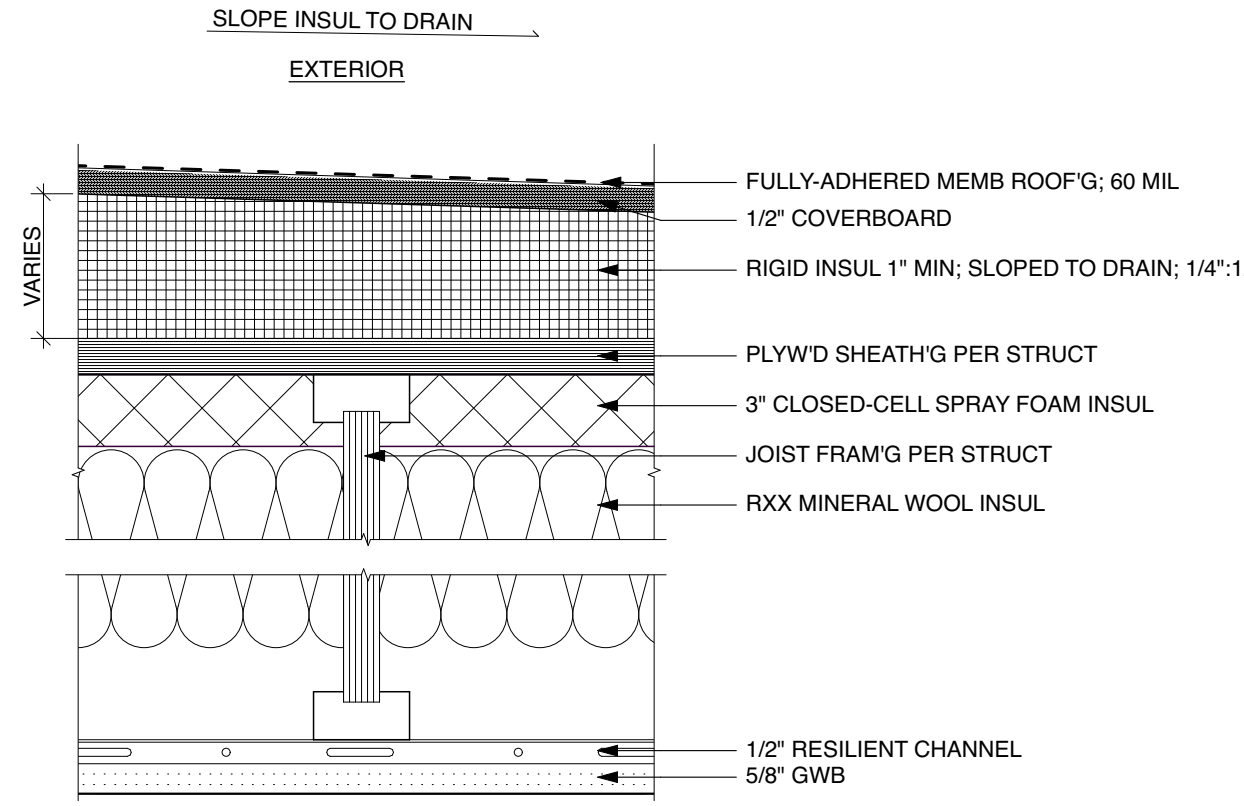
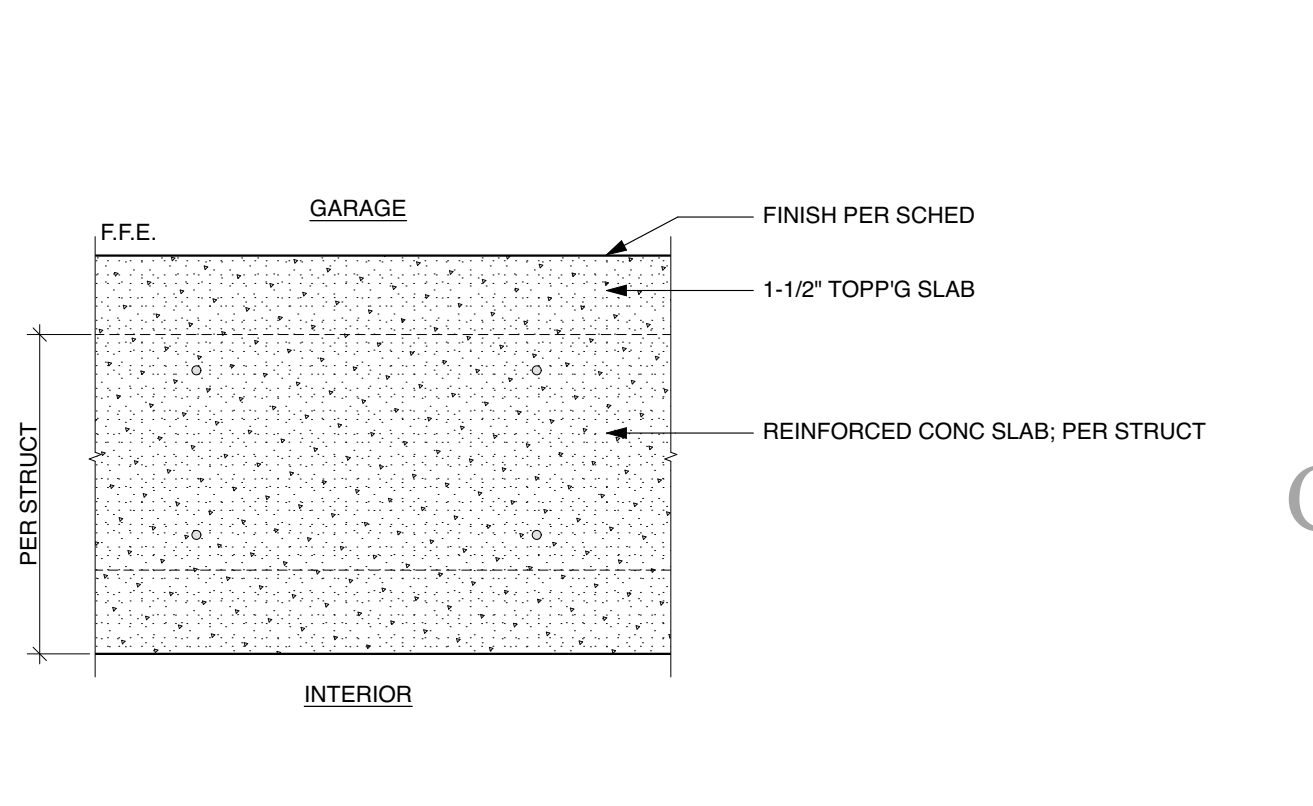
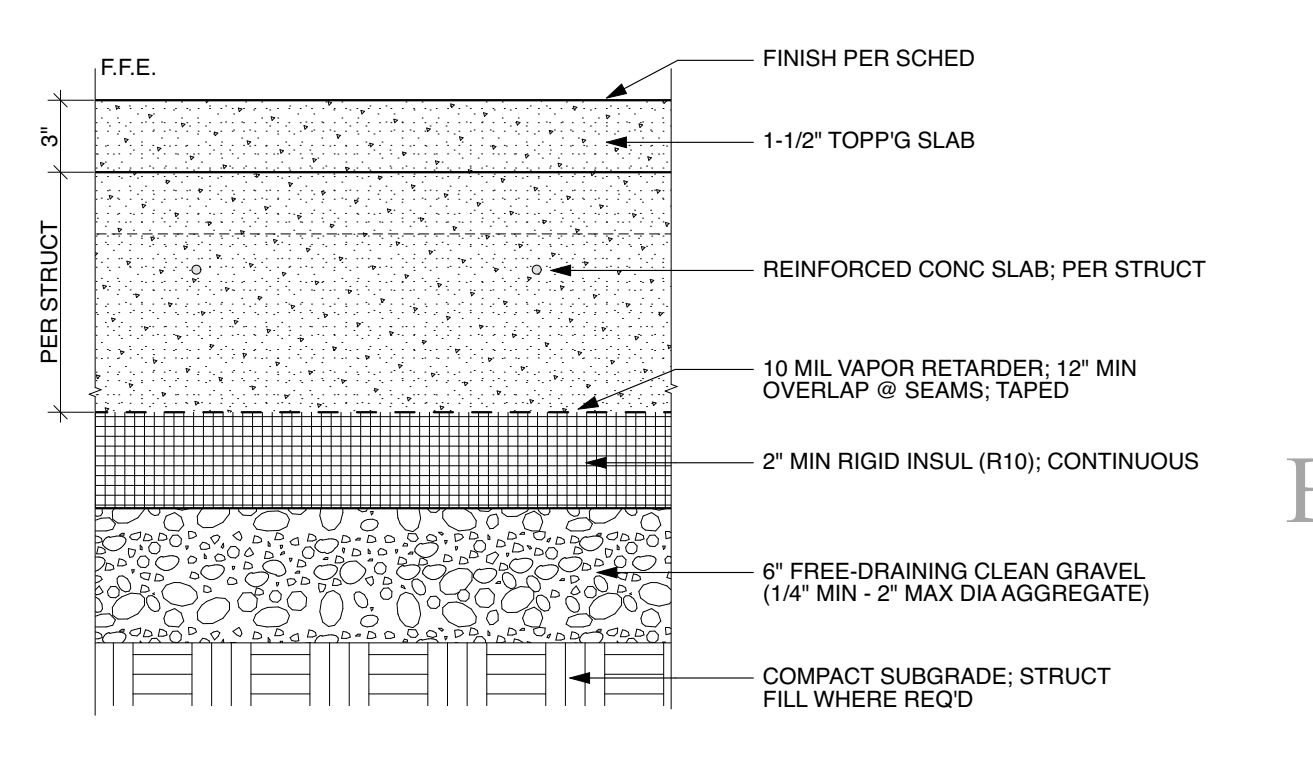
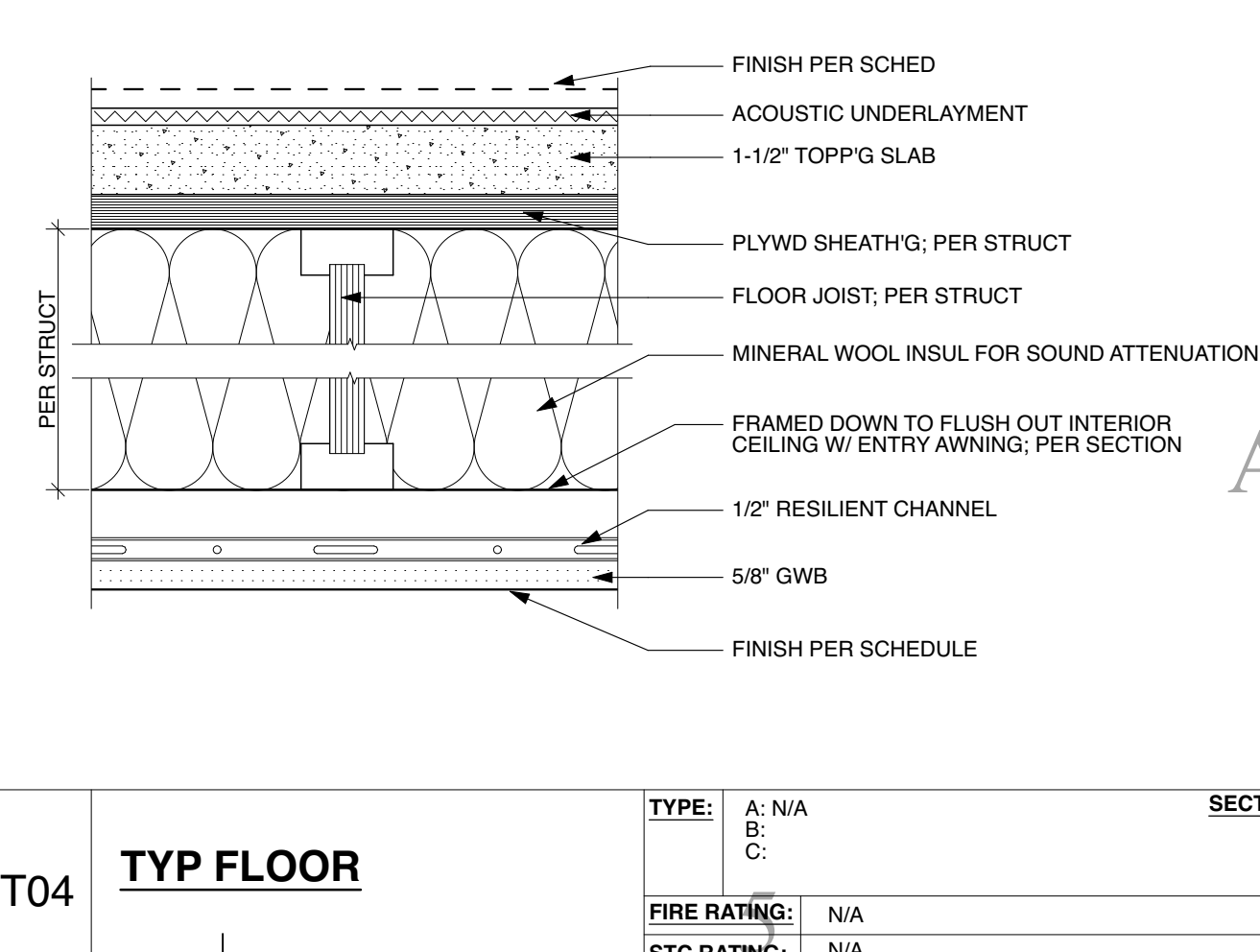
1 ENLARGED BASEMENT STAIR PLAN  
SCALE: 3/8" = 1'-0"



2 ENLARGED 1ST FLOOR STAIR PLAN  
SCALE: 3/8" = 1'-0"



3 ENLARGED 2ND FLOOR STAIR PLAN  
SCALE: 3/8" = 1'-0"

1 D	2	3 4 	5 D 
		<b>RT01 TYP ROOF W/ BALLAST</b> TYPE: A: N/A B: C: FIRE RATING: N/A STC RATING: N/A	<b>FT01 GLASS BLOCK @ ENTRY</b> TYPE: A: N/A B: C: FIRE RATING: N/A STC RATING: N/A
C			
		<b>RT02 ROOF @ MECH DECK</b> TYPE: A: N/A B: C: FIRE RATING: N/A STC RATING: N/A	<b>FT02 GARAGE FLOOR &amp; 1ST FLOOR</b> TYPE: A: N/A B: C: FIRE RATING: 1 HOUR - UL 414 (GA MANUAL) STC RATING: 45 ICC
B			
			<b>FT03 TYP SLAB-ON-GRADE</b> TYPE: A: N/A B: C: FIRE RATING: N/A STC RATING: N/A
A			
			<b>FT04 TYP FLOOR</b> TYPE: A: N/A B: C: FIRE RATING: N/A STC RATING: N/A



**PROJECT NAME**  
POWERSCOURT - 13TH STREET  
22008

**PROJECT NUMBER**  
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**CLIENT**  
CARDINAL INVESTMENTS

**PROJECT ADDRESS**  
229 13TH STREET  
MANHATTAN BEACH, CA

**ARCHITECT**  
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**PROJECT NO:** 00000  
**MODEL FILE:**  
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**SHEET TITLE**  
**DETAILS - FLOOR ASSEMBLIES**

**A701**  
 SHEET 49 OF 81

1	2	3	4
<b>WT09 INT WALL @ GARAGE</b> TYPE: A: N/A, B: N/A, C: N/A FIRE RATING: N/A STC RATING: N/A	<b>WT05 TYP EXT STUD WALL</b> TYPE: A: N/A, B: N/A, C: N/A FIRE RATING: N/A STC RATING: N/A	<b>WT01 TYP CONC FOUNDATION WALL</b> TYPE: A: N/A, B: N/A, C: N/A FIRE RATING: N/A STC RATING: N/A	<b>WT02 TYP CMU WALL</b> TYPE: A: 1/2" MTL FURRING, B: FURRING TO FLUSH OUT W/ WT01 WHERE OCCURS, C: N/A FIRE RATING: 2HR STC RATING: N/A
<b>WT10 TYP INT WALL</b> TYPE: A: 2x6, B: 2x4, C: N/A FIRE RATING: N/A STC RATING: N/A	<b>WT06 TRASH WALL @ ATRIUM</b> TYPE: A: N/A, B: N/A, C: N/A FIRE RATING: N/A STC RATING: N/A	<b>WT02 TYP CMU WALL</b> TYPE: A: 1/2" MTL FURRING, B: FURRING TO FLUSH OUT W/ WT01 WHERE OCCURS, C: N/A FIRE RATING: 2HR STC RATING: N/A	<b>WT11 ELEV SHAFT WALL</b> TYPE: A: N/A, B: N/A, C: N/A FIRE RATING: 1 HR STC RATING: N/A
<b>WT07 TRASH WALL @ GARAGE</b> TYPE: A: MTL FINISH, B: STUCCO FINISH, C: N/A FIRE RATING: N/A STC RATING: N/A	<b>WT03 CMU WALL @ DRIVEWAY</b> TYPE: A: N/A, B: N/A, C: N/A FIRE RATING: N/A STC RATING: N/A	<b>WT04 TYP EXT DOUBLE STUD WALL</b> TYPE: A: N/A, B: N/A, C: N/A FIRE RATING: N/A STC RATING: N/A	<b>WT12 TYP SHAFT WALL</b> TYPE: A: 2X6, B: (2) 2X6 W/ 4" AIRGAP, C: N/A FIRE RATING: 1 HR STC RATING: N/A
<b>WT08 WOOD WALL @ TRASH</b> TYPE: A: 2X6, B: (2) 2X6 W/ 4" AIRGAP, C: N/A FIRE RATING: N/A STC RATING: N/A	<b>WT04 TYP EXT DOUBLE STUD WALL</b> TYPE: A: N/A, B: N/A, C: N/A FIRE RATING: N/A STC RATING: N/A	<b>WT04 TYP EXT DOUBLE STUD WALL</b> TYPE: A: N/A, B: N/A, C: N/A FIRE RATING: N/A STC RATING: N/A	<b>WT12 TYP SHAFT WALL</b> TYPE: A: 2X6, B: (2) 2X6 W/ 4" AIRGAP, C: N/A FIRE RATING: 1 HR STC RATING: N/A



**PROJECT NAME**  
POWERSCOURT - 13TH STREET

**PROJECT NUMBER**  
22008

**CLIENT**  
CARDINAL INVESTMENTS

**PROJECT ADDRESS**  
229 13TH STREET  
MANHATTAN BEACH, CA

**ARCHITECT**  
ANTHONY LANEY AIA  
LANEY LA, INC.  
725 CYPRESS AVE  
HERMOSA BEACH CA 90254  
(310) 870-7175  
ANTHONY@LANEY.LA



MARK	DATE	DESCRIPTION
-	01-25-23	CDP+CUP SUBMISSION
1	05-25-23	PLANNING CHECK SET #1
2	07-18-23	PLANNING CHECK SET #2

**PROJECT NO:** 00000

**MODEL FILE:**  
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**SHEET TITLE**  
DETAILS - WALL ASSEMBLIES

A702

SHEET 50 OF 81





**Laney LA**

PROJECT NAME  
229 13TH STREET

PROJECT NUMBER  
22008

CLIENT  
OCEAN VIEW PARTNERS LLC

PROJECT ADDRESS  
229 13TH STREET  
MANHATTAN BEACH, CA

ARCHITECT  
ANTHONY LANEY AIA  
LANEY LA, INC.  
725 CYPRESS AVE  
HERMOSA BEACH CA 90254  
(310) 870-7175  
ANTHONY@LANEY.LA



MARK	DATE	DESCRIPTION
-	01-25-23	CDP+CUP SUBMISSION
1	05-25-23	PLANNING CHECK SET #1
2	07-18-23	PLANNING CHECK SET #2

PROJECT NO: 22008

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SHEET TITLE

DOOR & WINDOW  
SCHEDULES

**A802**

SHEET 52

OF 59

TYPE	A	B	C	D
VIEW				
OPERATION	EXT. PIVOT	EXT. SWING	INT. SWING	INT. SWING

E	F	G	H
INT. SLIDING	INT. MULTI-SLIDING	ROLL UP	EXT. SWING GATE

**4 DOOR TYPES LEGEND**

SCALE: 1" = 1'-0"

WINDOW LEGEND		
TYPE	A	B
VIEW		
OPERATION	FIXED	CASEMENT

**5 WINDOW TYPES LEGEND**

SCALE: 1" = 1'-0"

HARDWARE SCHEDULE					
HARDWARE GROUP	FUNCTION	MANUFACTURER	MODEL	FINISH	NOTES
1	ENTRY	TBD	TBD	TBD	
2	PASSAGE	TBD	TBD	TBD	
3	PRIVACY	TBD	TBD	TBD	
4	COVER PANEL	TBD	TBD	TBD	
5	GARAGE	TBD	TBD	TBD	
6	PANIC	TBD	TBD	TBD	

**6 HARDWARE SCHEDULE**

SCALE: 1" = 1'-0"

DOOR SCHEDULE														
ID	LOCATION	TYPE	OPERATION	NET FRAME SIZE		Leaf-Sash Material	FRAME FINISH	DETAIL		HDWR. SET	RATINGS		Manufacturer	REMARKS
				WIDTH	HEIGHT			HEAD	JAMB		FIRE	STC		
001.1	MEETING ROOM	F	INT. MULTI-SLIDING	10'-11 1/2"	8'-3/4"	ALUM / GLASS	SILVER			2	Unrated		TBD	
004.1	BATHROOM	D	INT. SWING	3'-0"	8'-0"	ALUM / GLASS	SILVER	5/905	6/905	3	Unrated		TBD	FROSTED GLASS
005.1	BATHROOM	D	INT. SWING	3'-0"	8'-0"	ALUM / GLASS	SILVER	5/905	6/905	3	Unrated		TBD	FROSTED GLASS
006.1	STORAGE ROOM	C	INT. SWING	3'-0"	8'-0"	ALUM / GLASS	SILVER	5/905	6/905	3	Unrated		TBD	FROSTED GLASS
007.1	STORAGE ROOM	C	INT. SWING	3'-0"	6'-8"	HM	SILVER	15/905	16/905	2	Unrated		TBD	
101.1	ENTRY	A	EXT. PIVOT	4'-4"	10'-0"	ALUM / GLASS	SILVER	1/905	2/905	1	Unrated		AWAKE	
101.2	ENTRY	A	EXT. PIVOT	4'-4"	10'-0"	ALUM / GLASS	SILVER	1/905	2/905	1	Unrated		AWAKE	
101.3	ENTRY	A	EXT. PIVOT	4'-4"	10'-0"	ALUM / GLASS	SILVER	1/905	2/905	1	Unrated		AWAKE	
101.4	ENTRY	A	EXT. PIVOT	4'-4"	10'-0"	ALUM / GLASS	SILVER	1/905	2/905	1	Unrated		AWAKE	EGRESS
102.1	GARAGE	B	EXT. SWING	3'-0"	8'-0"	ALUM / GLASS	SILVER	5/90505	6/905	3	Unrated		TBD	FROSTED GLASS
103.1	DRIVEWAY	G	ROLL UP	20'-0"	9'-0"	ALUM / GLASS	SILVER	13/905	14/905	5	Unrated		TBD	FROSTED GLASS
107.1	REFUSE	H	EXT. SWING GATE	4'-1"	9'-0"	HM	SILVER	N/A	14/905	4	Unrated		CUSTOM	
107.2	REFUSE	H	EXT. SWING GATE	4'-1"	9'-0"	HM	SILVER	N/A	14/905	4	Unrated		CUSTOM	
201.1		E	INT. SLIDING	7'-0"	10'-0"	ALUM / GLASS	SILVER			2	Unrated		TBD	
202.1	OFFICE	D	INT. SWING	3'-0"	10'-0"	ALUM / GLASS	SILVER			2	Unrated		TBD	
203.1	OFFICE	D	INT. SWING	3'-0"	10'-0"	ALUM / GLASS	SILVER			2	Unrated		TBD	
204.1	OFFICE	D	INT. SWING	3'-4"	10'-0"	ALUM / GLASS	SILVER			2	Unrated		TBD	
205.1	HALLWAY	D	INT. SWING	3'-11 1/4"	10'-0"	ALUM / GLASS	SILVER			2	Unrated		TBD	
206.1	BATHROOM	D	INT. SWING	3'-0"	8'-0"	SC WOOD	SILVER	5/905	6/905	3	Unrated		TB	FROSTED GLASS
207.1	OUTDOOR MECH.	B	EXT. SWING	3'-0"	8'-0"	ALUM / GLASS	SILVER	9/905	10/905	3	Unrated		AWAKE	FROSTED GLASS

**1 DOOR SCHEDULE**

SCALE: 1" = 1'-0"

WINDOW SCHEDULE												
ID	LOCATION	TYPE	UNIT SIZE	MANUFACTURER	MODEL	FRAME MAT.	FRAME FINISH	HW SET	Position	U-VALUE	SURFACE AREA	REMARKS
001.A	MEETING ROOM	A	5'-11"x5'-6"	TBD	<Undefined>	HM	SILVER		Interior		28.63	
001.B	MEETING ROOM	A	5'-11"x5'-6"	TBD	<Undefined>	HM	SILVER		Interior		28.63	
001.C	MEETING ROOM	A	6'-0"x5'-6"	TBD	<Undefined>	HM	SILVER		Interior		33.36	
201.A	MEETING ROOM	A	9'-9 1/2"x10'-0"	TBD	<Undefined>	HM	SILVER		Interior		99.18	
201.B	MEETING ROOM	B	4'-6"x10'-0"	AWAKE	<Undefined>	HM	SILVER		Exterior		46.54	
201.C	MEETING ROOM	A	15'-3 1/4"x10'-0"	AWAKE	<Undefined>	HM	SILVER		Exterior		154.95	
202.A	OFFICE	A	3'-4 7/8"x10'-0"	TBD	<Undefined>	HM	SILVER		Interior		38.32	
202.B	OFFICE	A	4'-11 7/8"x10'-0"	TBD	<Undefined>	HM	SILVER		Interior		54.14	
202.C	OFFICE	A	9'-9"x10'-0"	TBD	<Undefined>	HM	SILVER		Interior		98.70	
203.A	OFFICE	A	8'-10 1/8"x10'-0"	TBD	<Undefined>	HM	SILVER		Interior		94.07	
203.B	OFFICE	B	3'-6"x10'-0"	AWAKE	<Undefined>	HM	SILVER		Exterior		36.48	
204.A	OFFICE	A	8'-0"x10'-0"	AWAKE	<Undefined>	HM	SILVER		Exterior		81.76	
204.B	OFFICE	A	11'-9 1/2"x10'-0"	TBD	<Undefined>	HM	SILVER		Interior		122.96	
205.A	OFFICE	B	3'-6"x10'-0"	AWAKE	<Undefined>	HM	SILVER		Exterior		36.48	
205.B	OFFICE	A	3'-6"x10'-0"	AWAKE	<Undefined>	HM	SILVER		Exterior		36.48	
208.A	HALLWAY	A	4'-11"x10'-0"	TBD	<Undefined>	HM	SILVER		Interior		50.21	

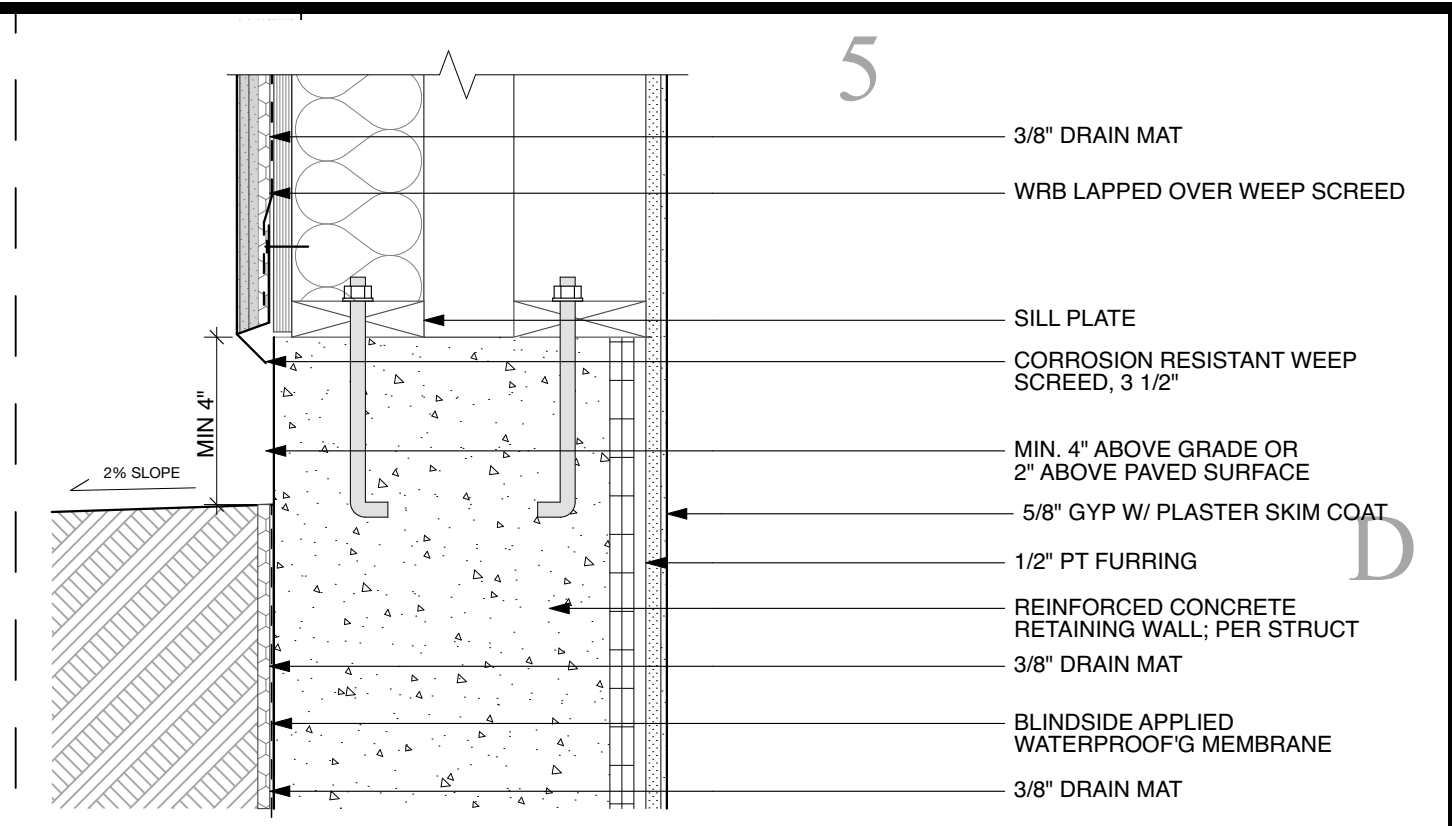
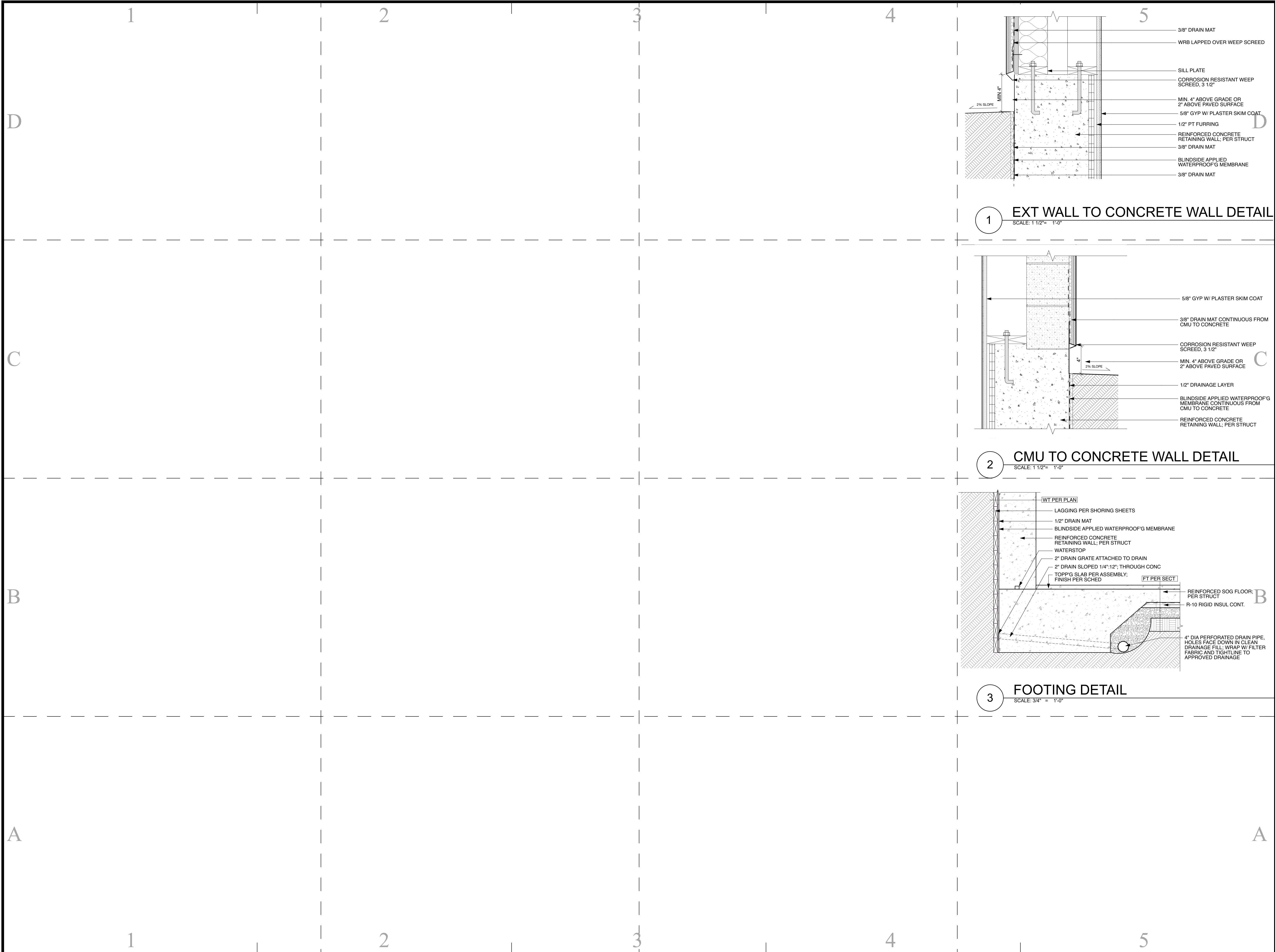
**2 WINDOW SCHEDULE**

SCALE: 1" = 1'-0"

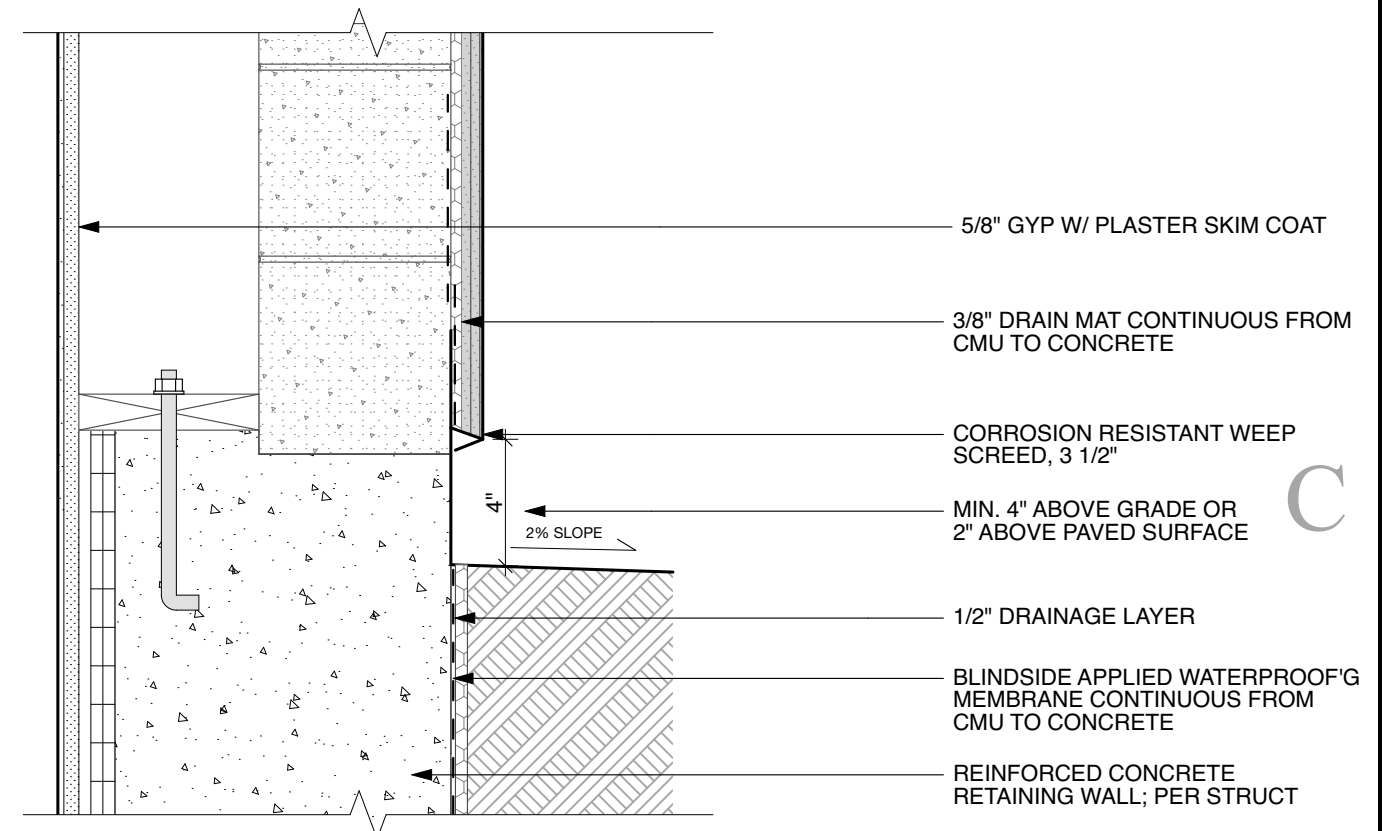
SKYLIGHT SCHEDULE													
ID	LOCATION	TYPE	Curb Height	SIZE	MANUFACTURER	MODEL	FRAME MAT.	FRAME FINISH	Position	Shell/Roof Opening Area	Fire Rating	U-VALUE	REMARKS
SK-01	2ND FLOOR	FIXED	0"	8'-10 3/4"x2'-7 3/4"	<Undefined>	<Undefined>	HM	SILVER	Exterior	23.56			
SK-02	2ND FLOOR	FIXED	0"	8'-11"x2'-7 3/4"	<Undefined>	<Undefined>	HM	SILVER	Exterior	23.59			
SK-03	2ND FLOOR	FIXED	0"	8'-11"x2'-7 3/4"	<Undefined>	<Undefined>	HM	SILVER	Exterior	23.59			
SK-04	2ND FLOOR	FIXED	0"	8'-11"x2'-7 3/4"	<Undefined>	<Undefined>	HM	SILVER	Exterior	23.59			
SK-05	2ND FLOOR	FIXED	0"	8'-11 3/8"x2'-7 3/4"	<Undefined>	<Undefined>	HM	SILVER	Exterior	23.68			
SK-06	ROOF	FIXED	0"	13'-6"x8'-0"	<Undefined>	<Undefined>	HM	SILVER	Exterior	108.00			
SK-07	ROOF	OPERABLE	0"	9'-8"x5'-0"	<Undefined>	<Undefined>	HM	SILVER	Exterior	48.75			
SK-08	ROOF	FIXED	0"	4'-0"x4'-0"	<Undefined>	<Undefined>	HM	SILVER	Exterior	16.00			
SK-09	ROOF	FIXED	0"	1'-0"x1'-0"	<Undefined>	<Undefined>	HM	SILVER	Exterior	1.00			

**3 SKYLIGHT SCHEDULE**

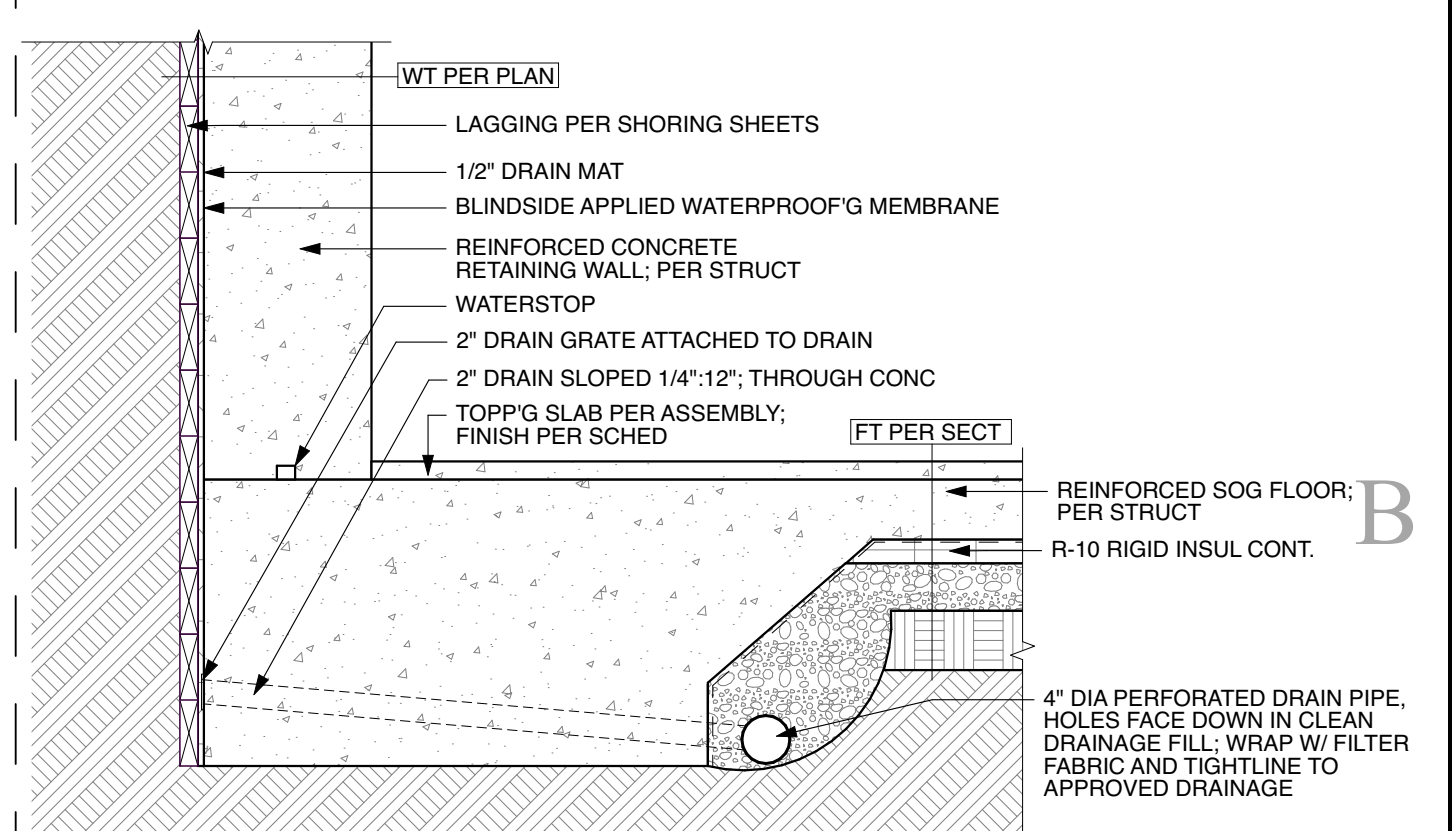
SCALE: 1" = 1'-0"



**1** EXT WALL TO CONCRETE WALL DETAIL  
SCALE: 1 1/2" = 1'-0"



**2** CMU TO CONCRETE WALL DETAIL  
SCALE: 1 1/2" = 1'-0"



**3** FOOTING DETAIL  
SCALE: 3/4" = 1'-0"



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POWERSCOURT - 13TH STREET  
22008

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**PROJECT ADDRESS**  
229 13TH STREET  
MANHATTAN BEACH, CA

**ARCHITECT**  
ANTHONY LANEY AIA  
LANEY LA, INC.  
725 CYPRESS AVE  
HERMOSA BEACH CA 90254  
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ANTHONY@LANEY.LA

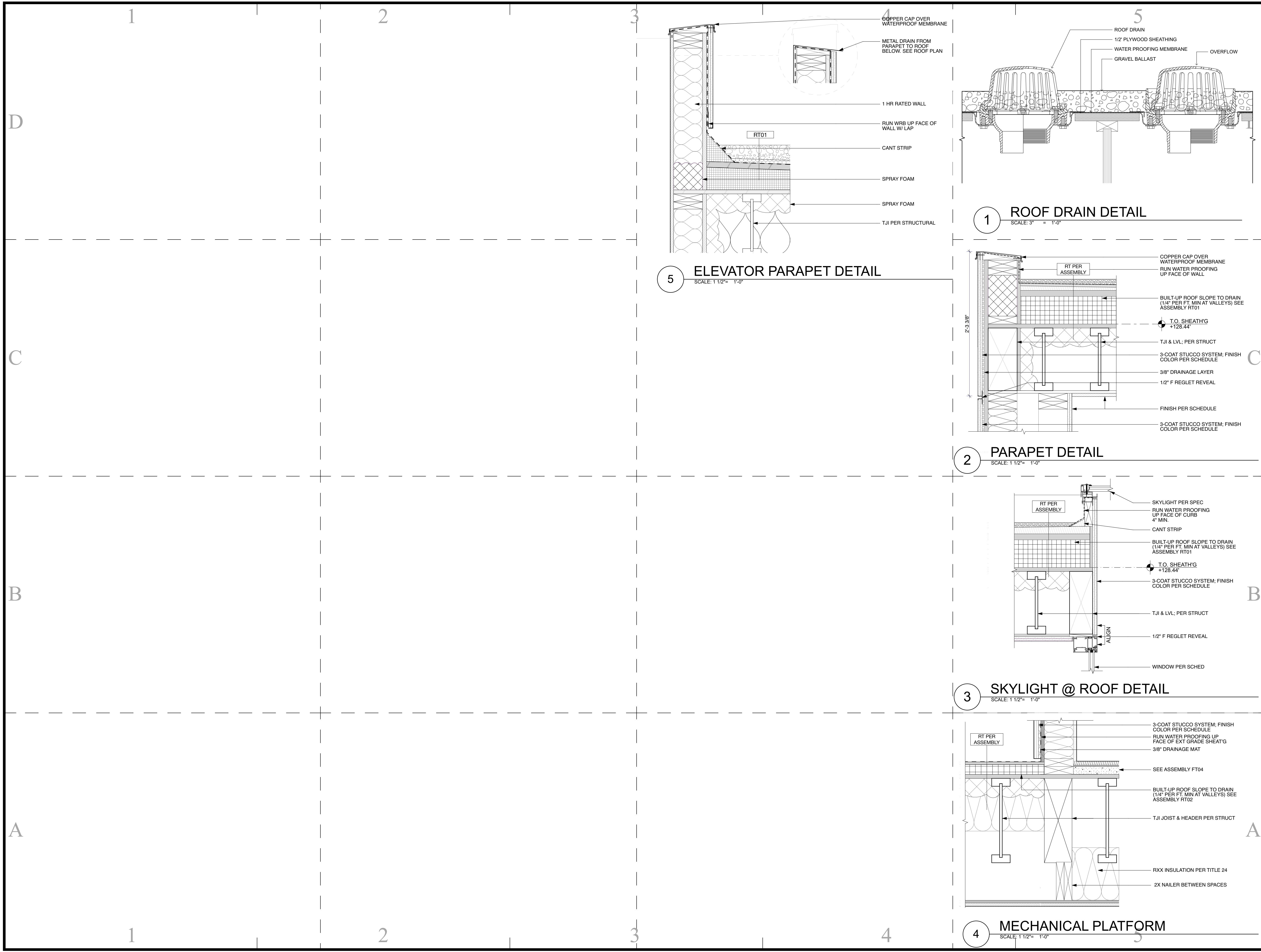


MARK	DATE	DESCRIPTION
-	01-25-23	CDP+CUP SUBMISSION
1	05-25-23	PLANNING CHECK SET #1
2	07-18-23	PLANNING CHECK SET #2

**PROJECT NO:** 00000  
**MODEL FILE:**  
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**SHEET TITLE**  
FOUNDATION DETAILS

**A901**  
SHEET 53 OF 81



**Laney LA**

**PROJECT NAME**  
POWERSCOURT - 13TH STREET  
22008

**PROJECT NUMBER**  
22008

**CLIENT**  
CARDINAL INVESTMENTS

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229 13TH STREET  
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**PROJECT NO:** 00000  
**MODEL FILE:**  
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**SHEET TITLE**  
DETAILS - ROOF

**A902**  
SHEET 54 OF 81



**Laney LA**

PROJECT NAME  
POWERSCOURT - 13TH STREET

PROJECT NUMBER  
22008

CLIENT  
CARDINAL INVESTMENTS

PROJECT ADDRESS  
229 13TH STREET  
MANHATTAN BEACH, CA

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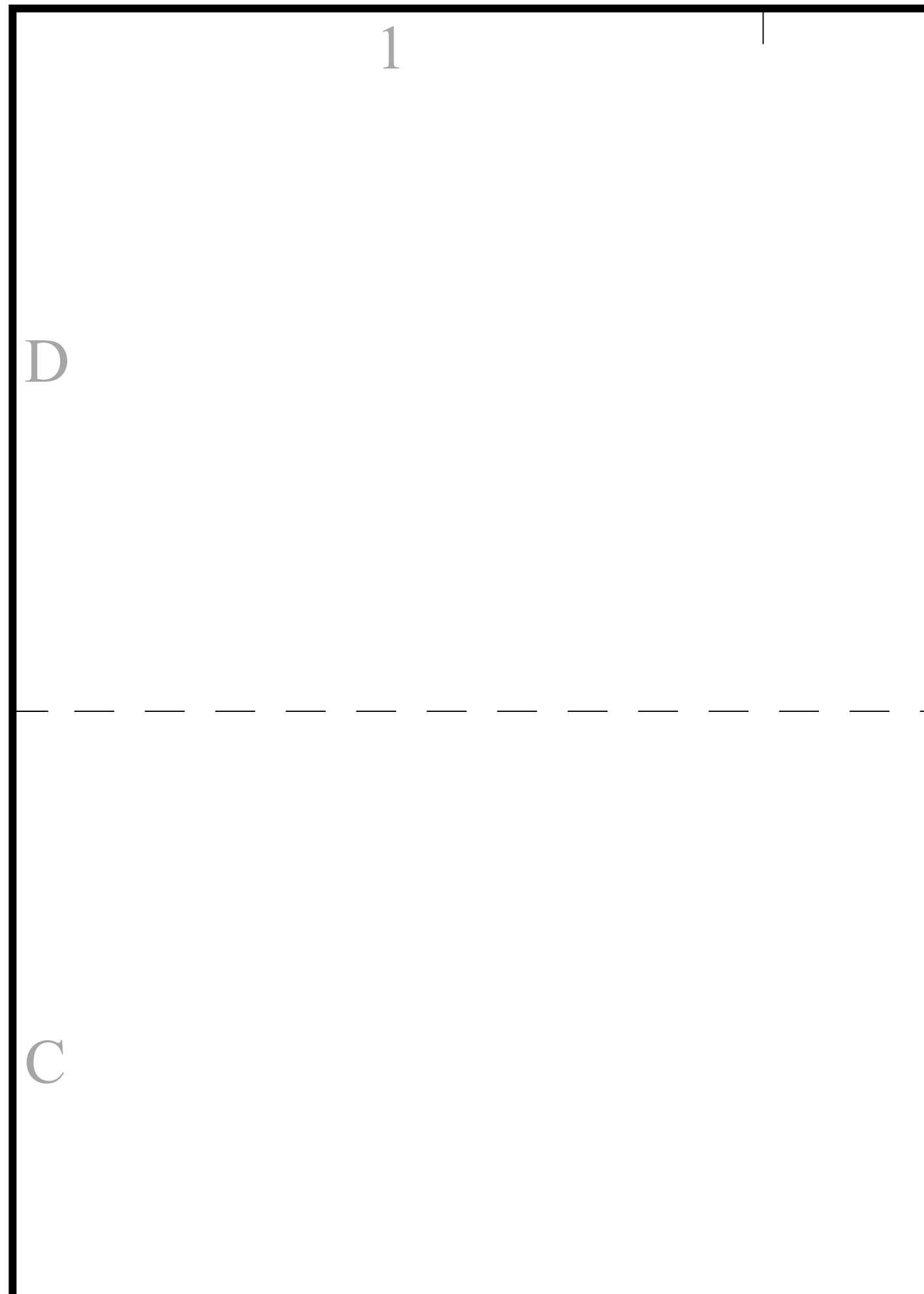


MARK	DATE	DESCRIPTION
-	01-25-23	CDP+CUP SUBMISSION
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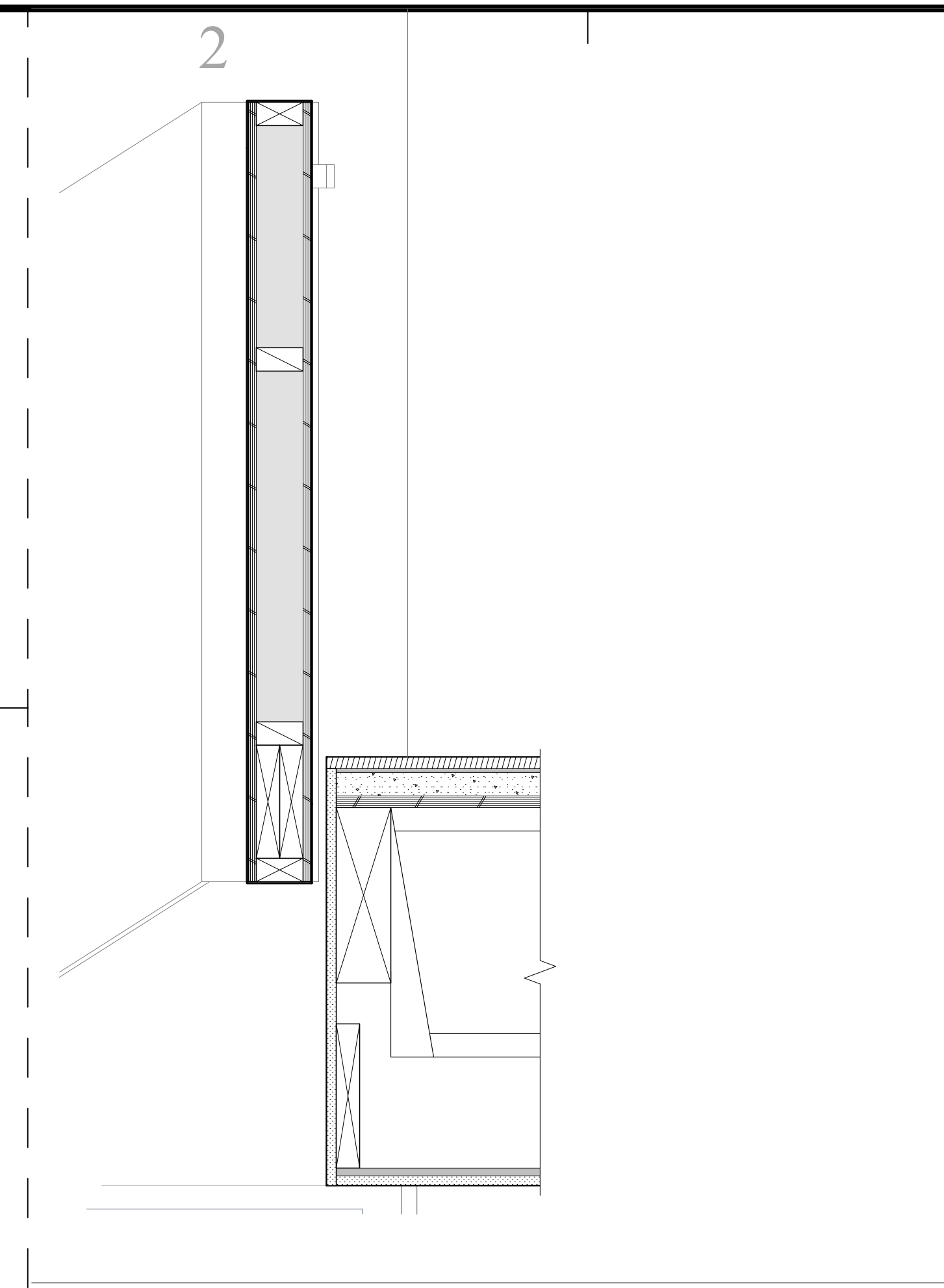
PROJECT NO: 00000  
MODEL FILE:  
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SHEET TITLE  
**DETAILS - STAIRS AND HANDRAILS**

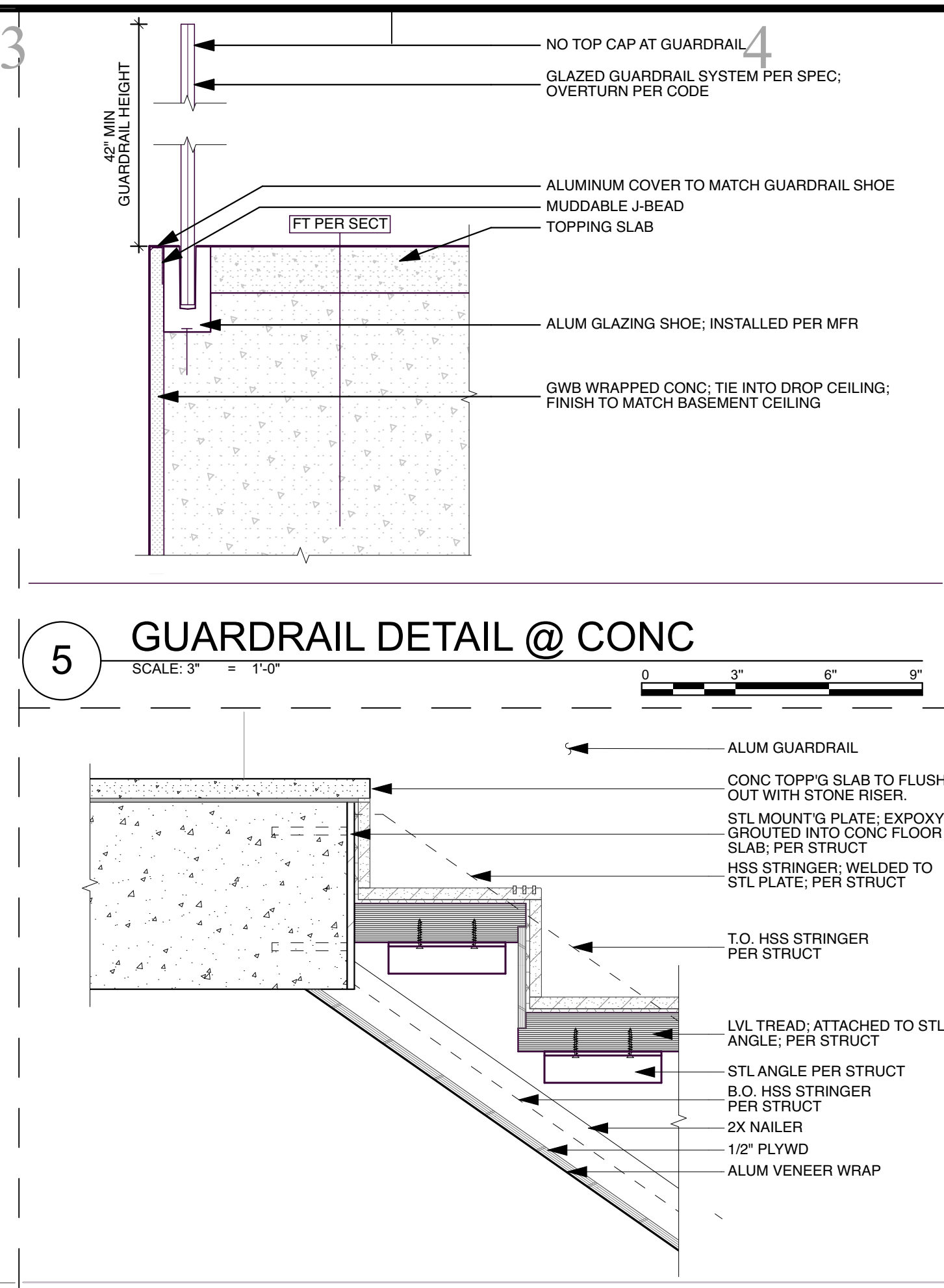
**A903**  
SHEET 55 OF 81



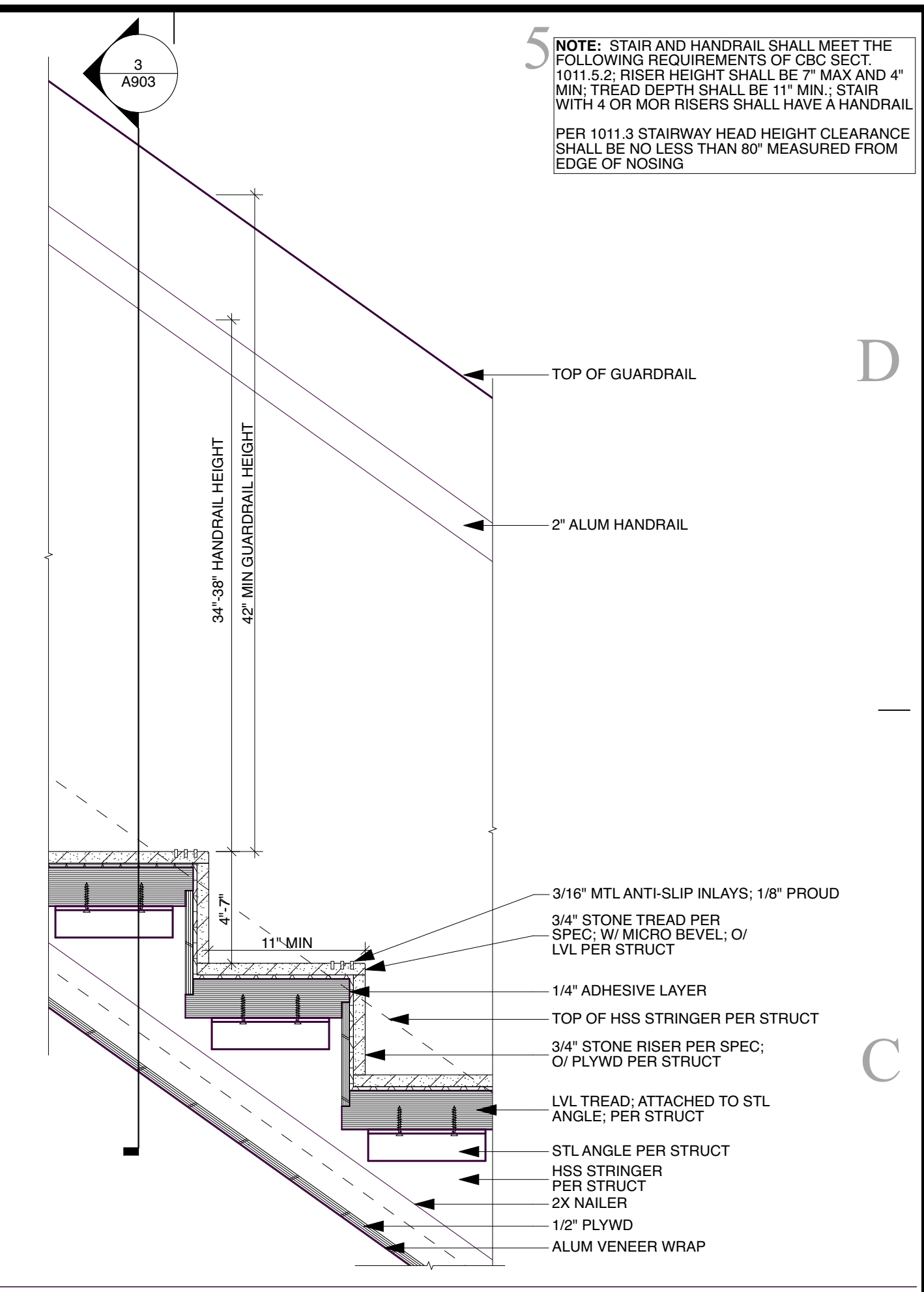
**10 RAIL GUARDRAIL @ 2ND FLR**  
SCALE: 1 1/2" = 1'-0"



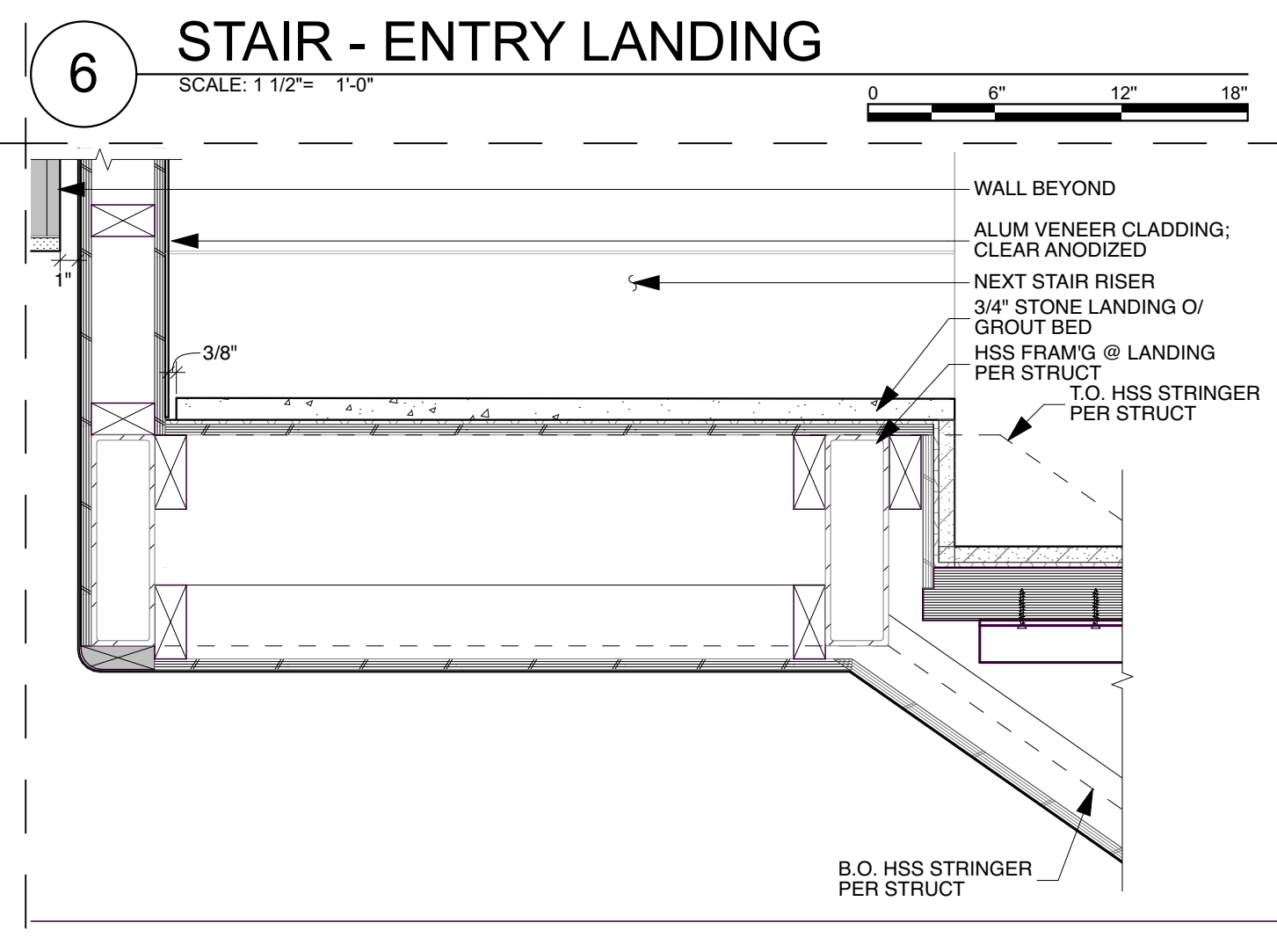
**6 STAIR - ENTRY LANDING**  
SCALE: 1 1/2" = 1'-0"



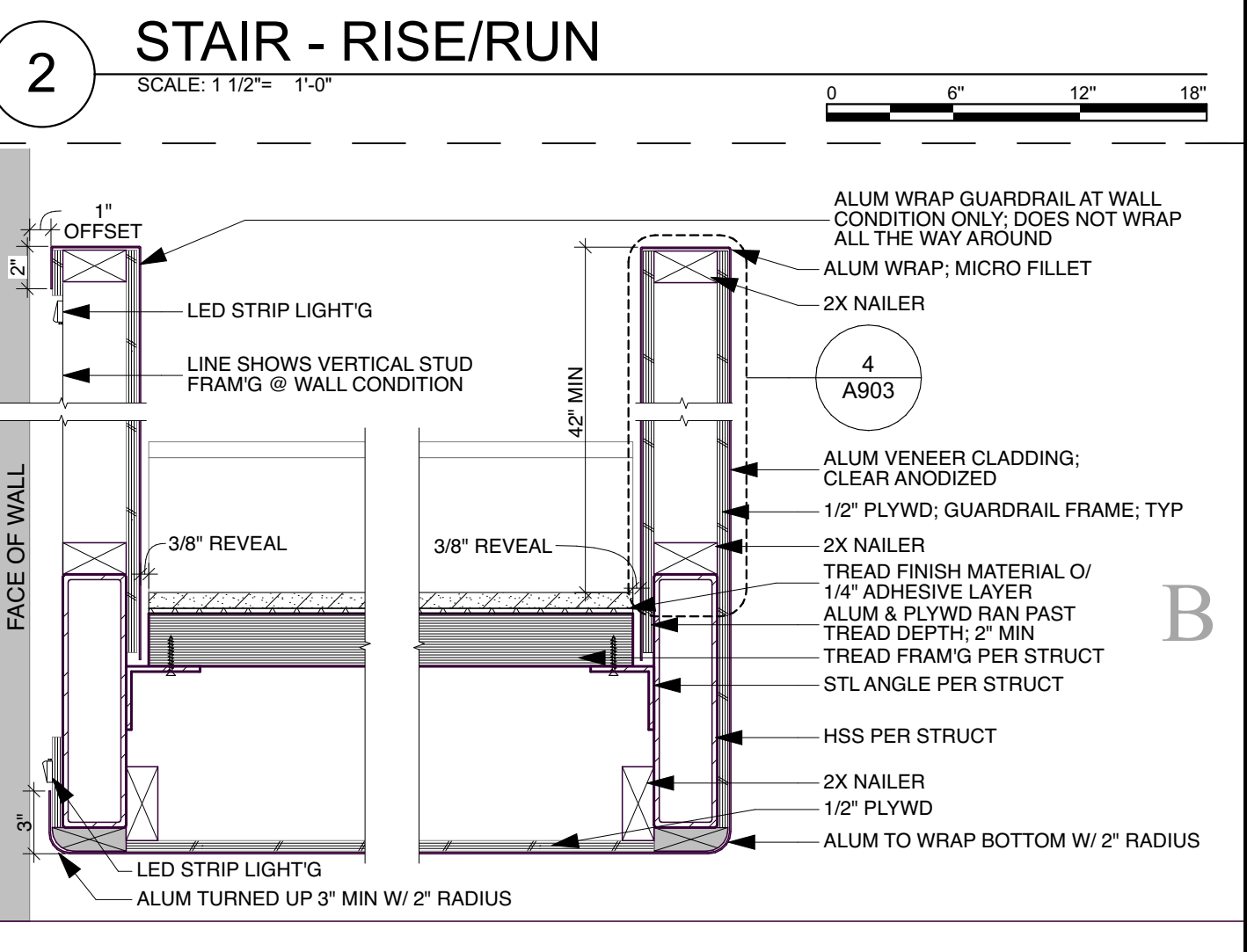
**5 GUARDRAIL DETAIL @ CONC**  
SCALE: 3" = 1'-0"



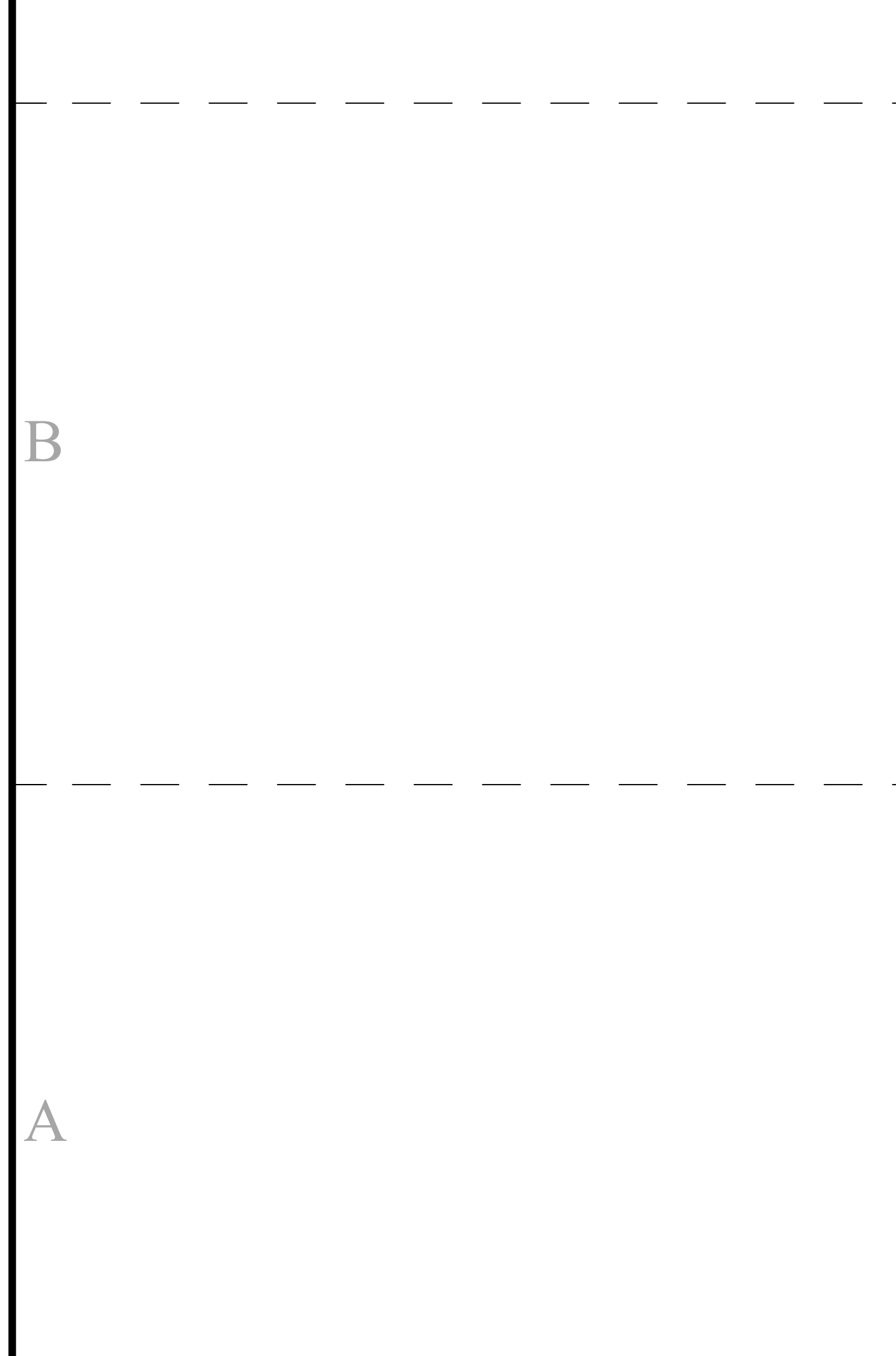
**2 STAIR - RISE/RUN**  
SCALE: 1 1/2" = 1'-0"



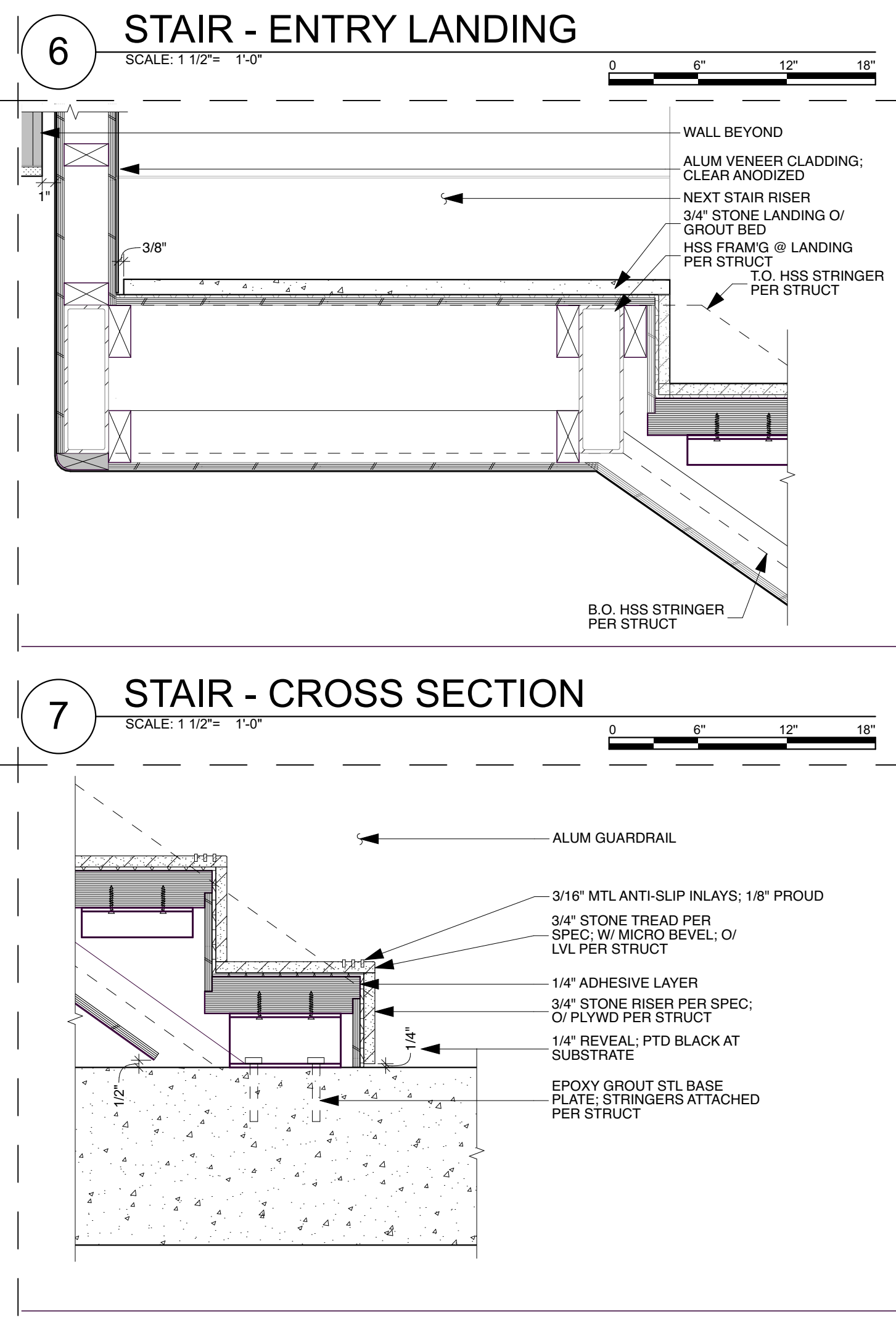
**7 STAIR - CROSS SECTION**  
SCALE: 1 1/2" = 1'-0"



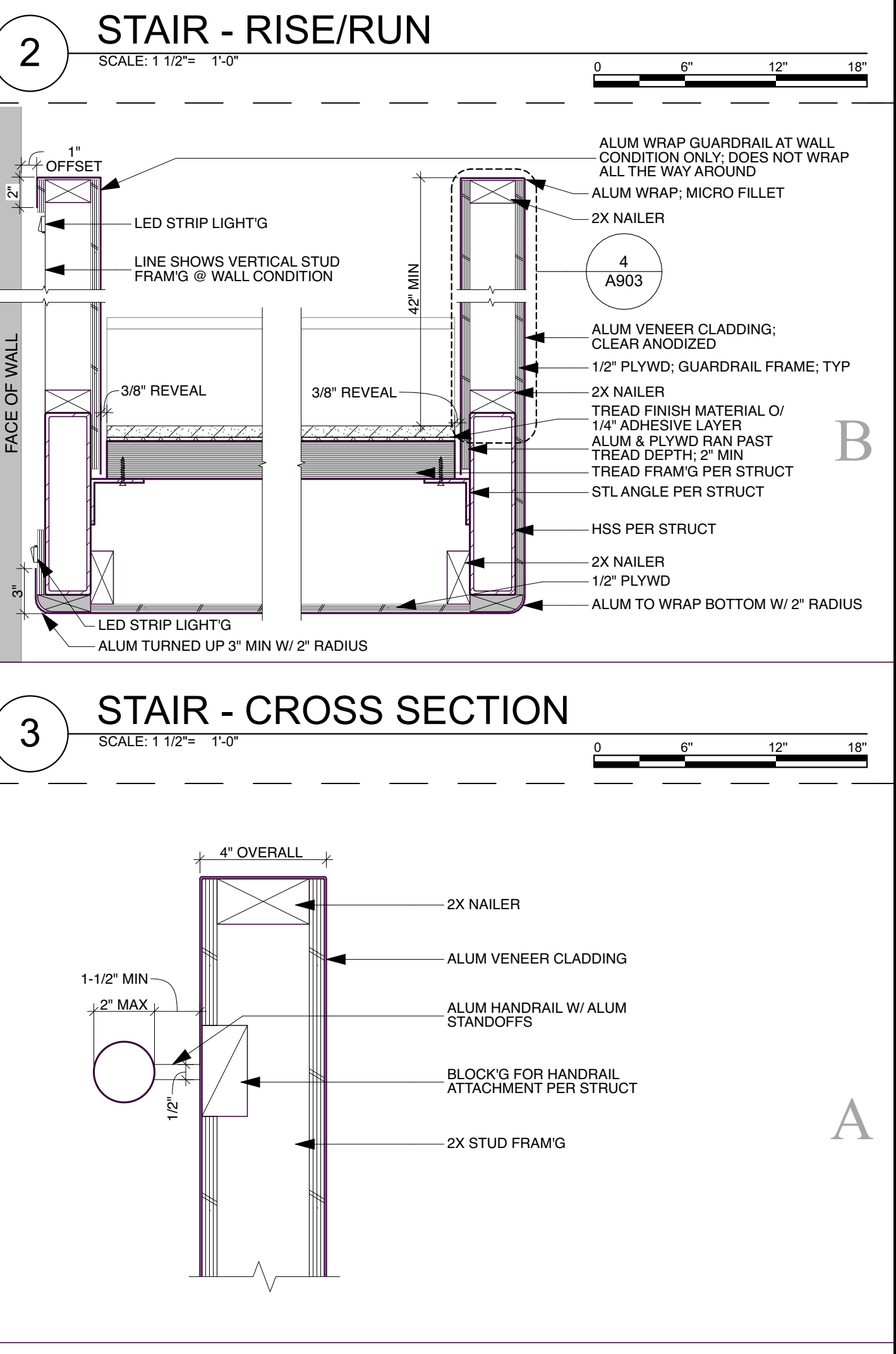
**3 STAIR - CROSS SECTION**  
SCALE: 1 1/2" = 1'-0"



**12 GUARDRAIL1 GUARDRAIL @ 2ND FLR**  
SCALE: 1 1/2" = 1'-0"

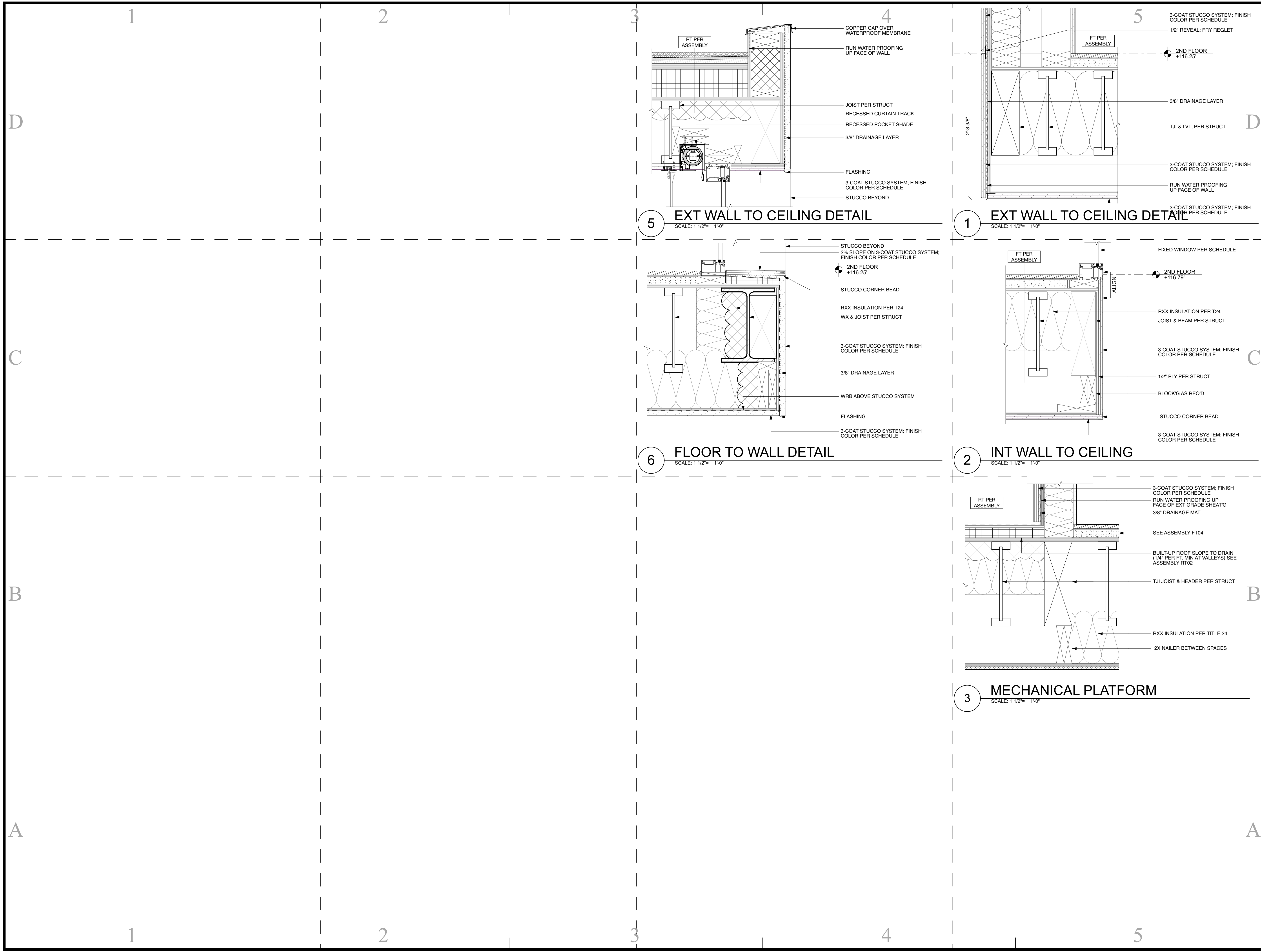


**8 STAIR - CROSS SECTION**  
SCALE: 1 1/2" = 1'-0"



**4 HANDRAIL/GUARDRAIL**  
SCALE: 3" = 1'-0"

**NOTE:** STAIR AND HANDRAIL SHALL MEET THE FOLLOWING REQUIREMENTS OF CBC SECT. 10111.5.2: RISER HEIGHT SHALL BE 7" MAX AND 4" MIN; TREAD DEPTH SHALL BE 11" MIN; STAIR WITH 4 OR MORE RISERS SHALL HAVE A HANDRAIL. PER 10111.3 STAIRWAY HEAD HEIGHT CLEARANCE SHALL BE NO LESS THAN 80" MEASURED FROM EDGE OF NOSING.



**Laney LA**

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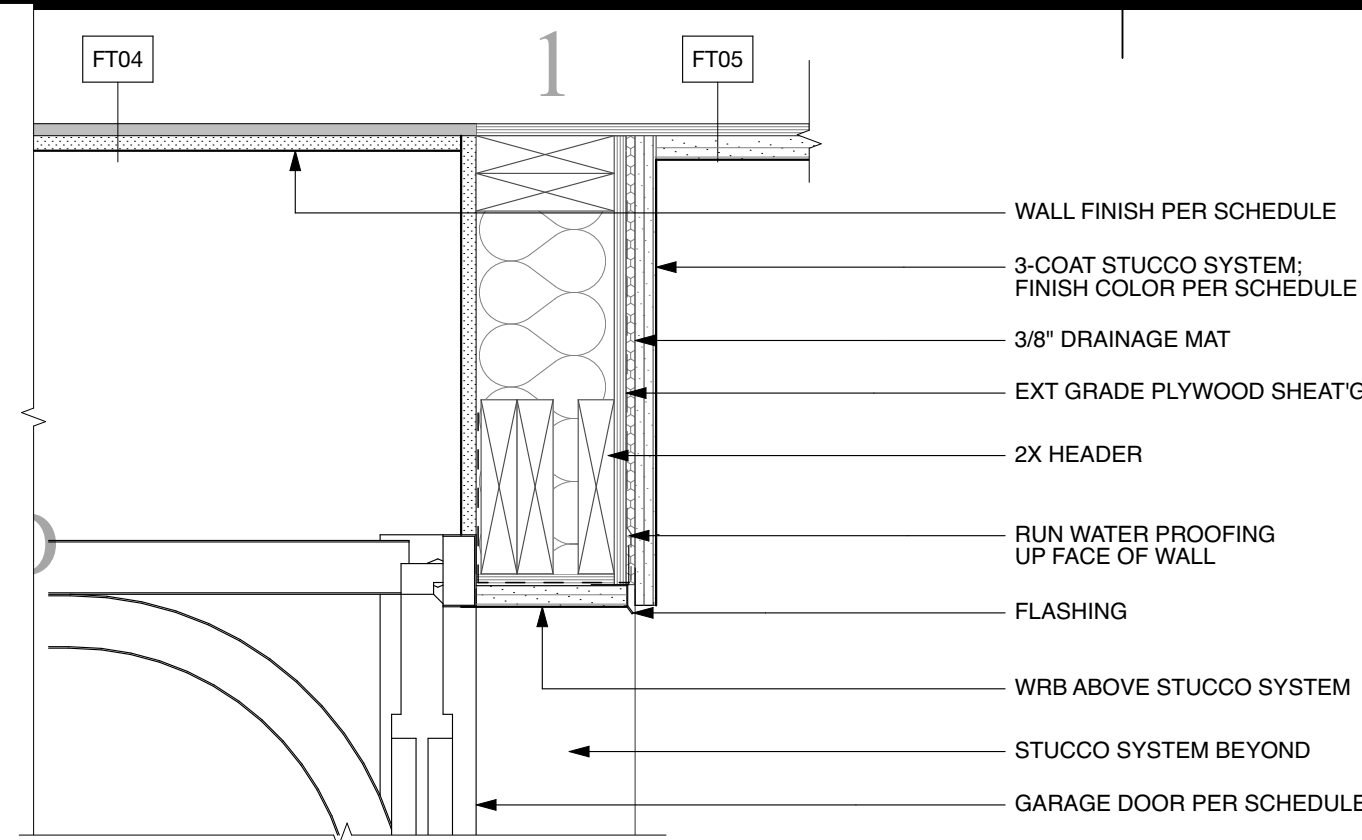


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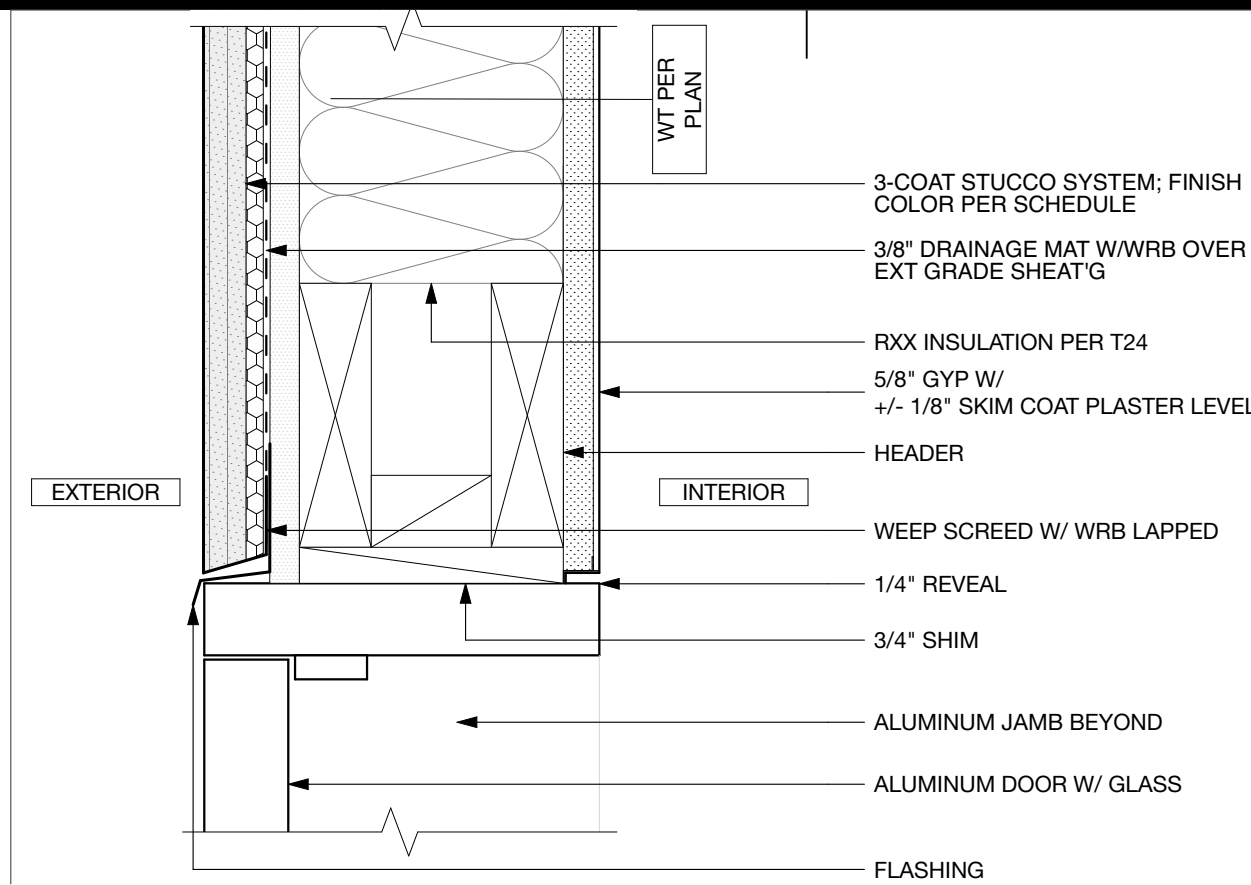
PROJECT NO: 00000  
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SHEET TITLE  
**DETAILS - TRANSITIONS**

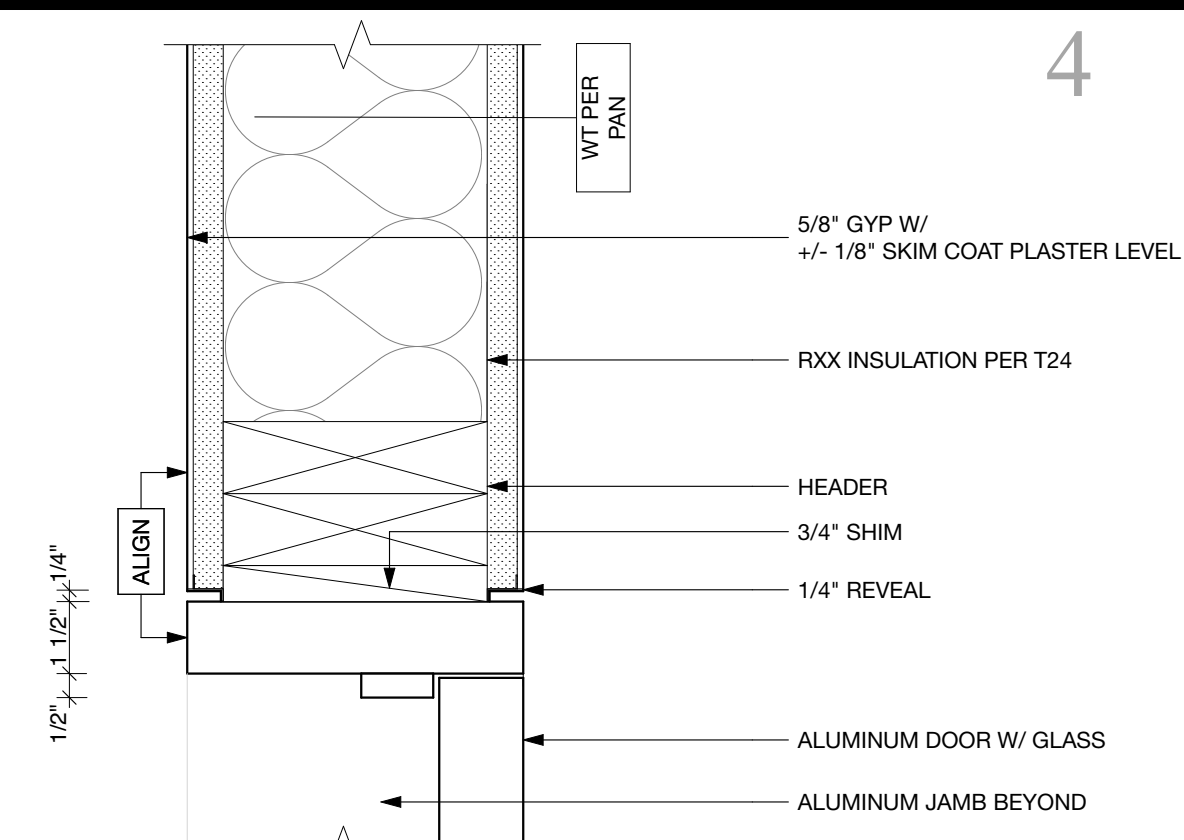
**A904**  
SHEET 56 OF 81



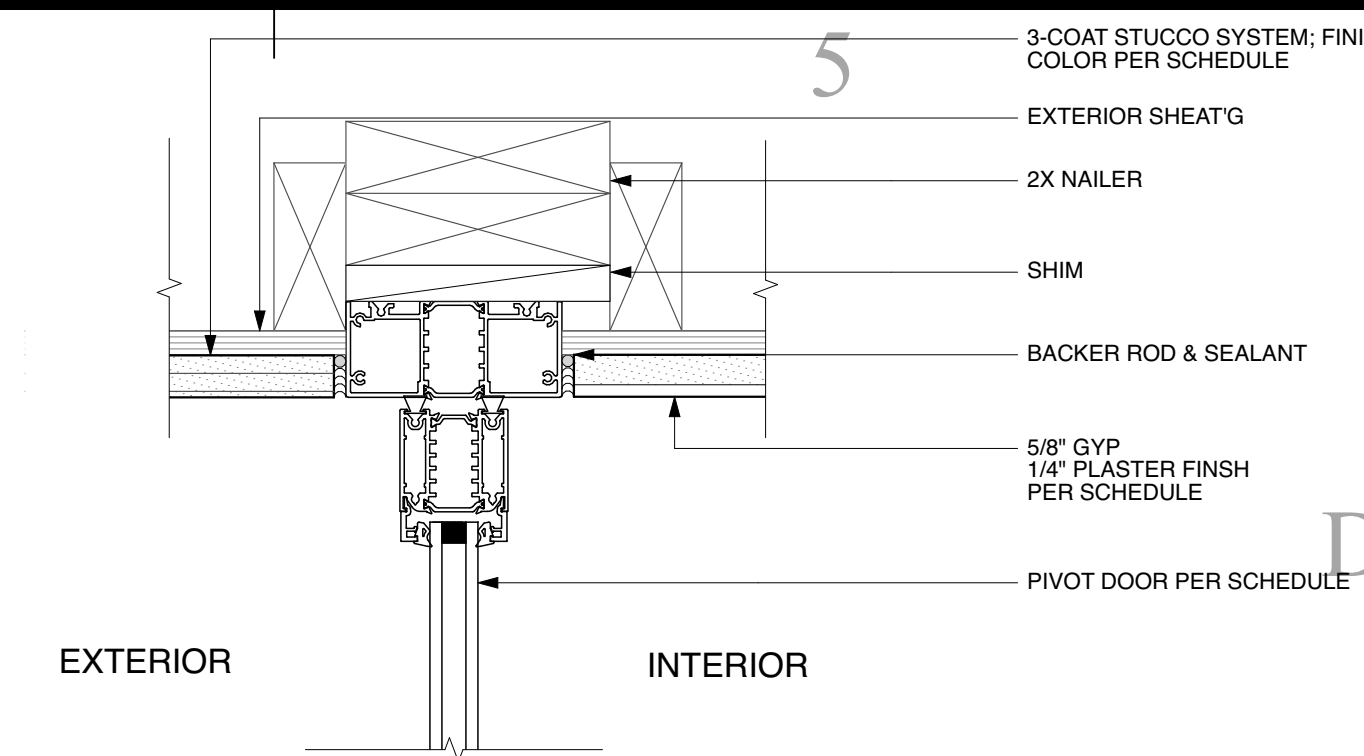
13 GARAGE DOOR - HEAD  
SCALE: 1 1/2" = 1'-0"



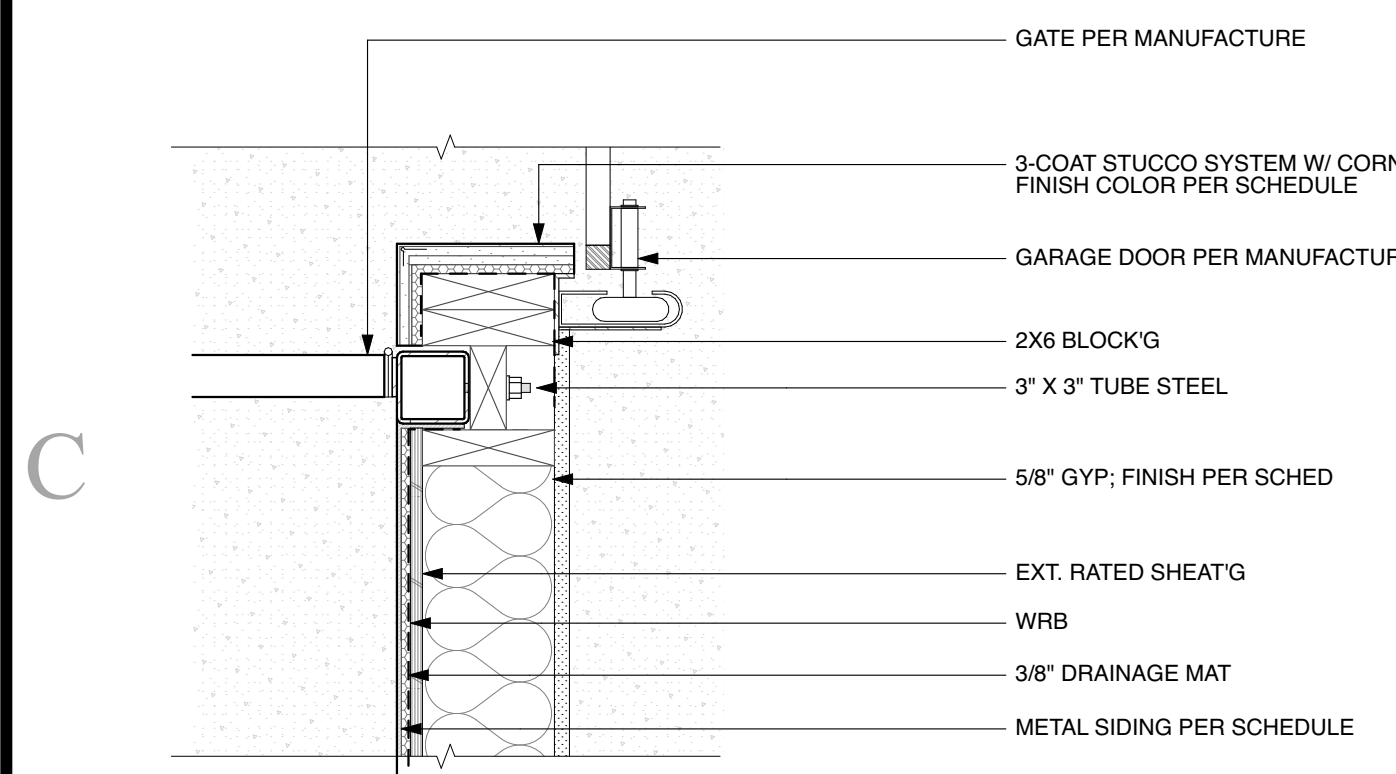
9 EXT HEAD DETAIL  
SCALE: 3" = 1'-0"



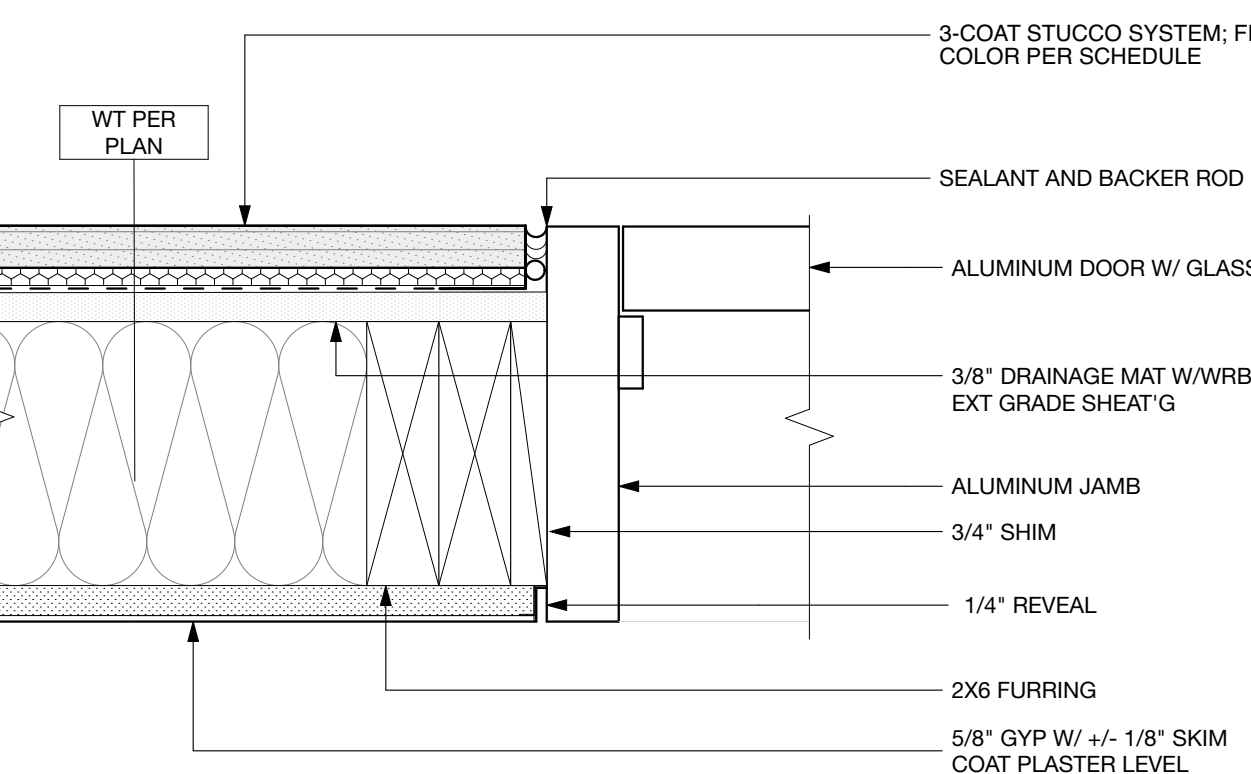
5 DOOR TYPE C HEAD DETAIL  
SCALE: 3" = 1'-0"



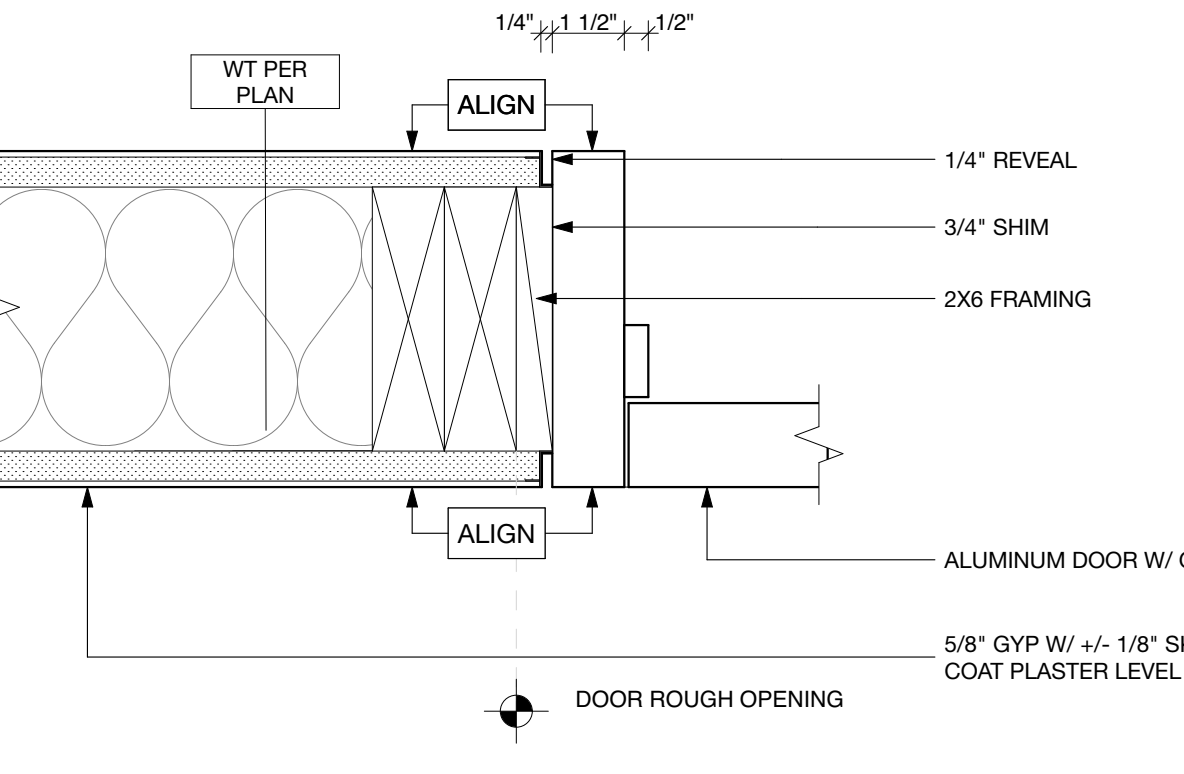
1 PIVOT DOOR HEAD DETAIL  
SCALE: 3" = 1'-0"



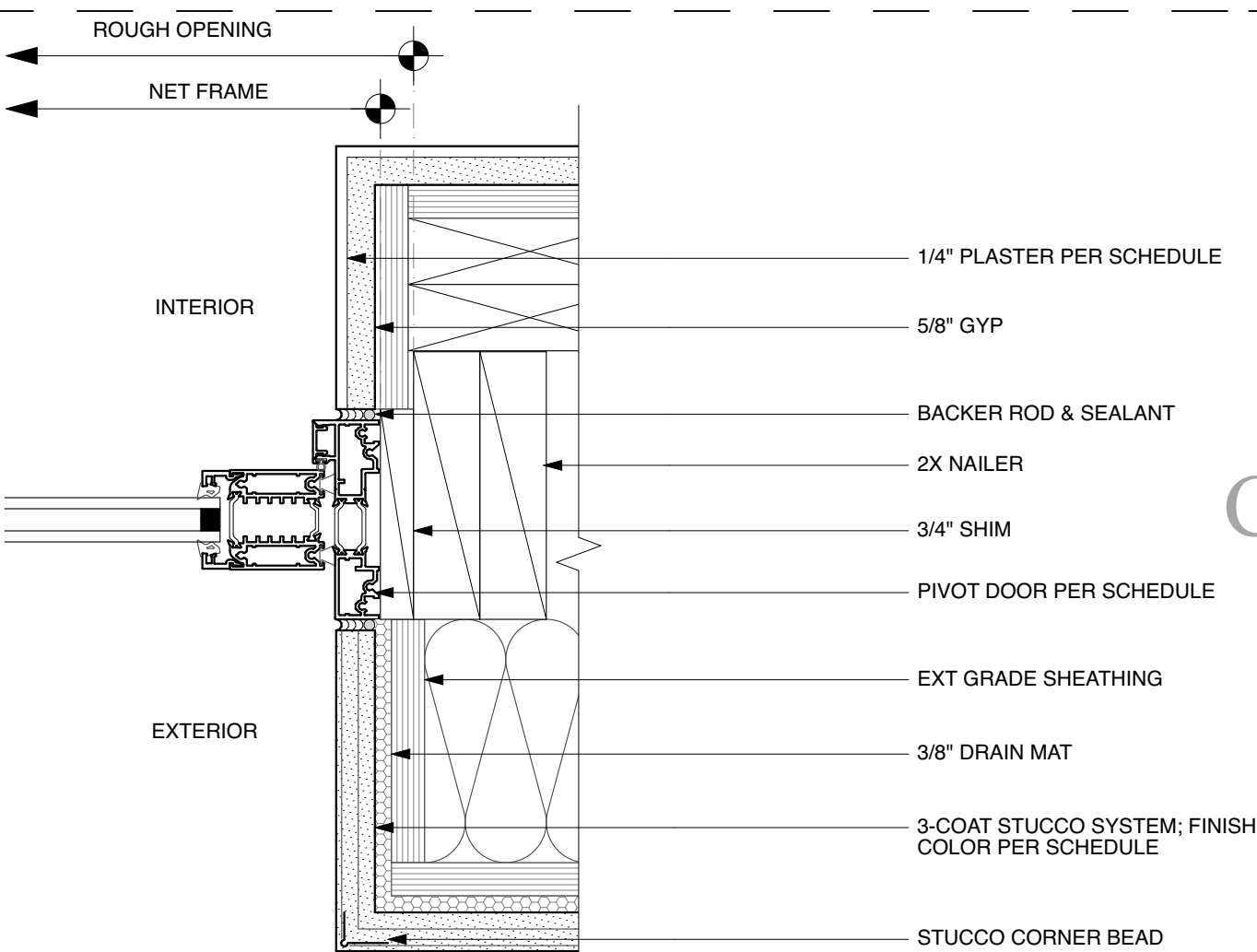
14 GARAGE DOOR & GATE- JAMB  
SCALE: 1 1/2" = 1'-0"



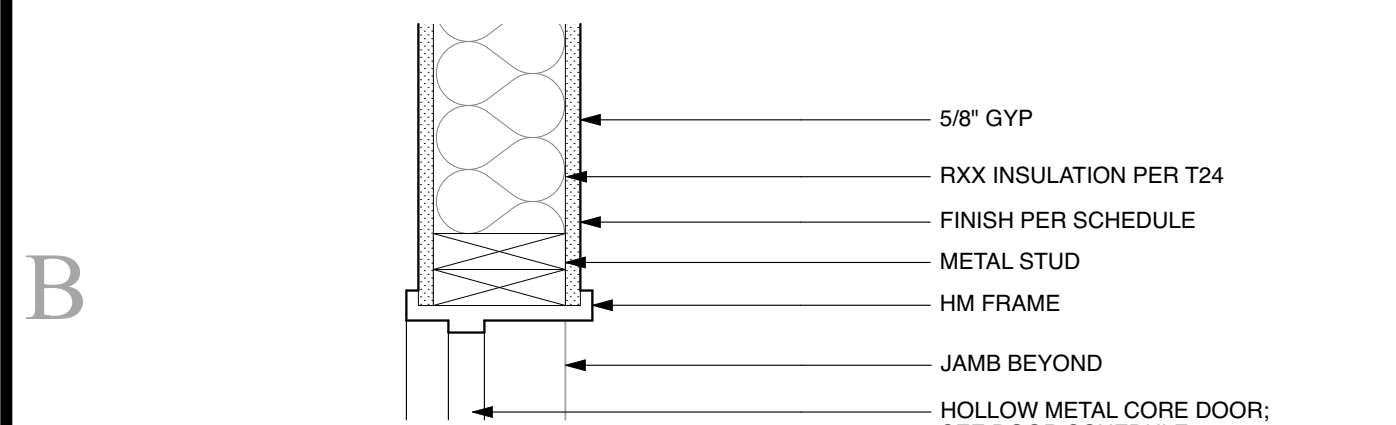
10 EXT JAMB DETAIL  
SCALE: 3" = 1'-0"



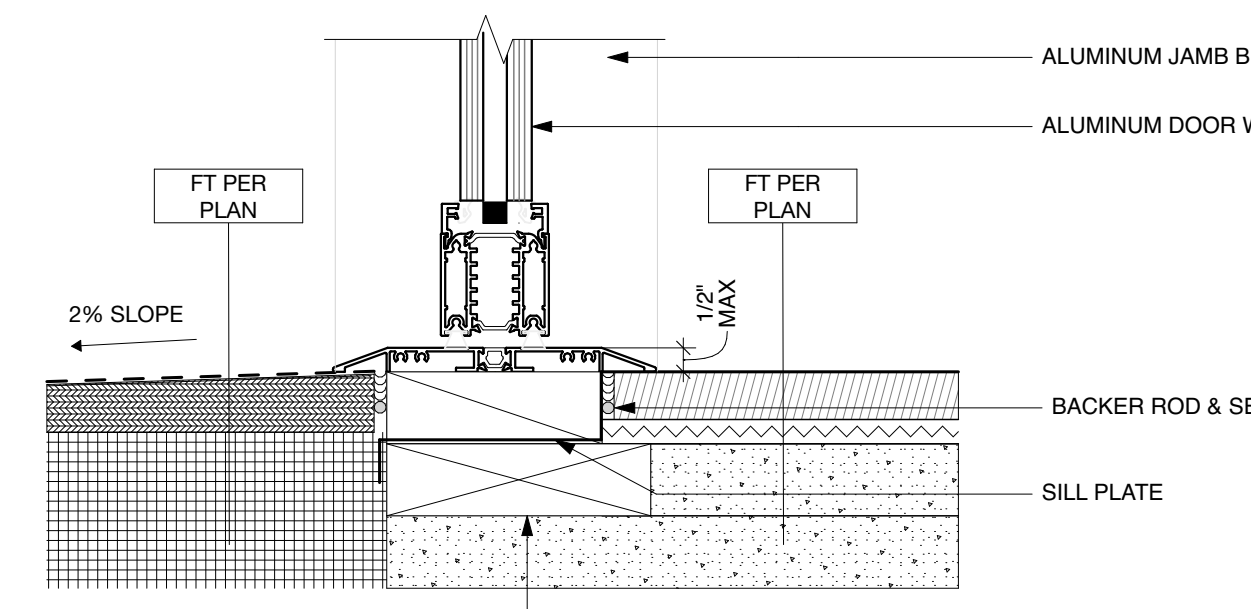
6 DOOR TYPE C JAMB DETAIL  
SCALE: 3" = 1'-0"



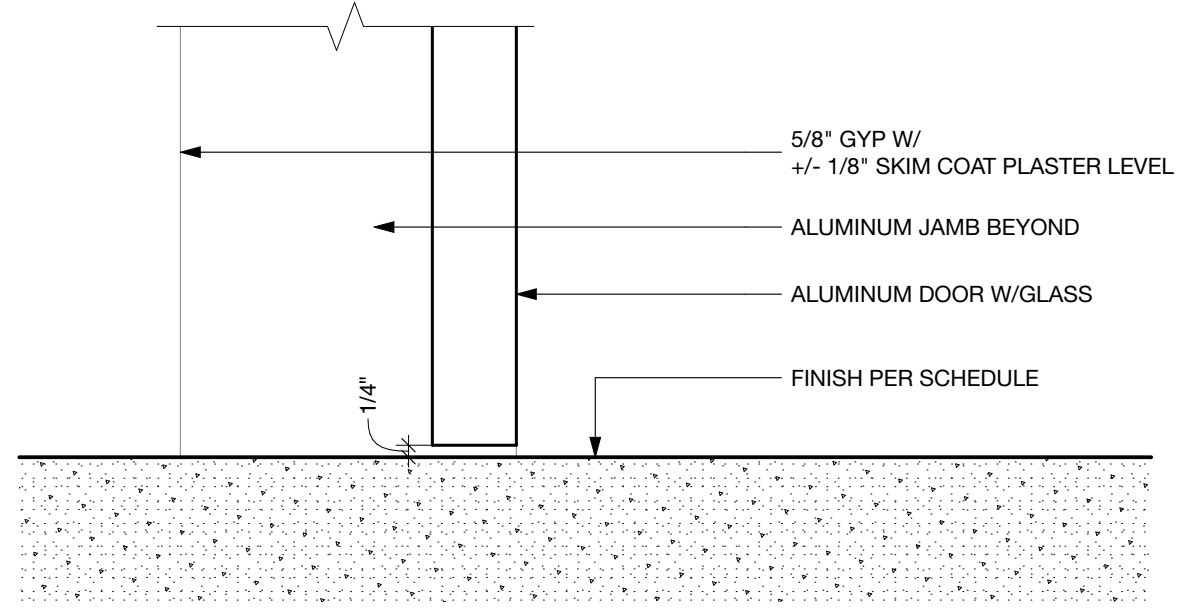
2 PIVOT DOOR JAMB DETAIL  
SCALE: 3" = 1'-0"



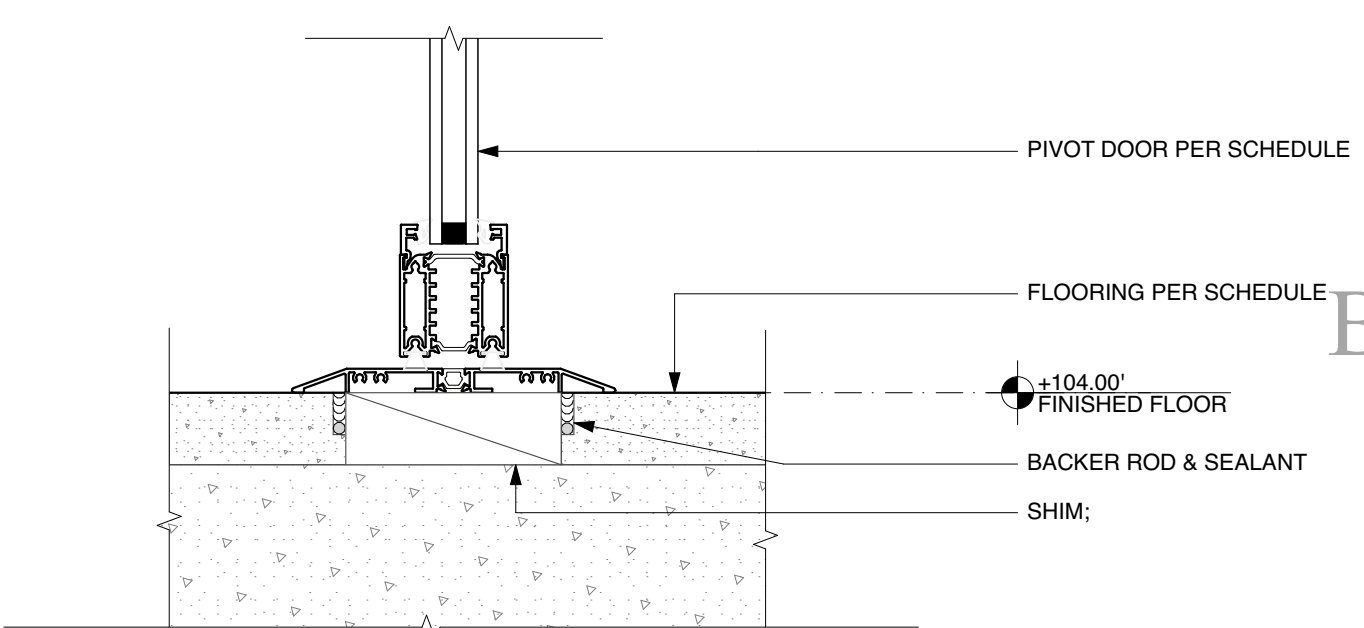
15 HMC HEAD DETAIL  
SCALE: 1 1/2" = 1'-0"



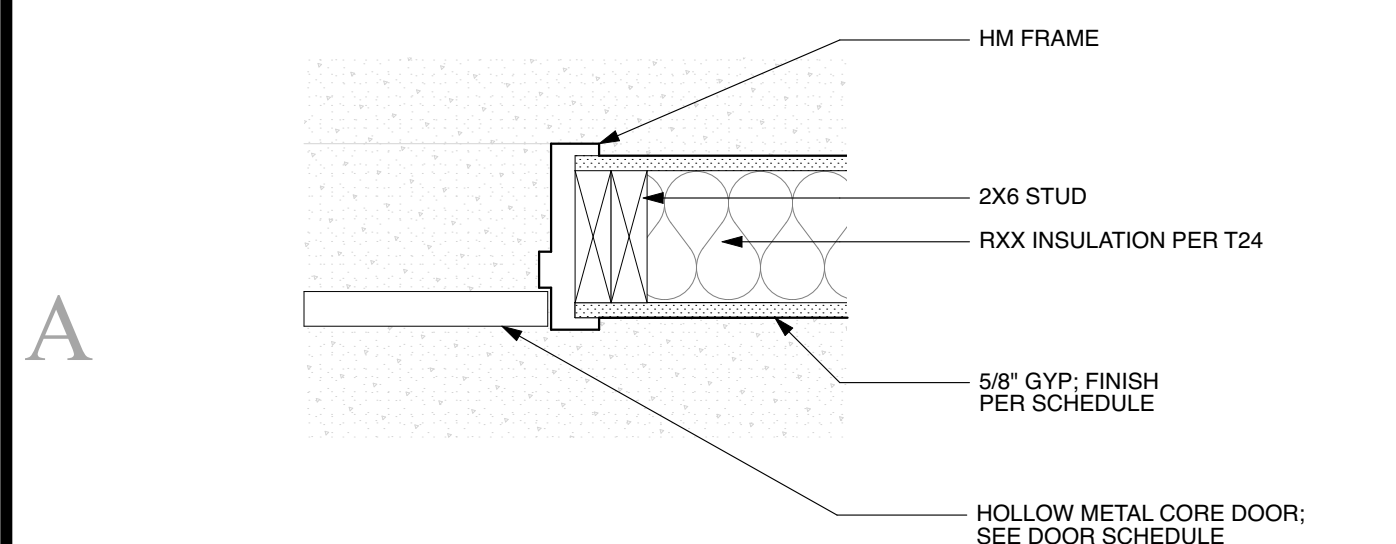
11 EXT DOOR THRESHOLD DETAIL  
SCALE: 3" = 1'-0"



7 DOOR TYPE C THRESHOLD DETAIL  
SCALE: 3" = 1'-0"



3 PIVOT DOOR SILL DETAIL  
SCALE: 3" = 1'-0"



16 HMC JAMB DETAIL  
SCALE: 1 1/2" = 1'-0"



**Laney LA**

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MARK	DATE	DESCRIPTION
-	01-25-23	CDP+CUP SUBMISSION
1	05-25-23	PLANNING CHECK SET #1
2	07-18-23	PLANNING CHECK SET #2

PROJECT NO: 00000

MODEL FILE:  
22008 - 229 13th St - Powers

DRAWN BY:  
COPYRIGHT:

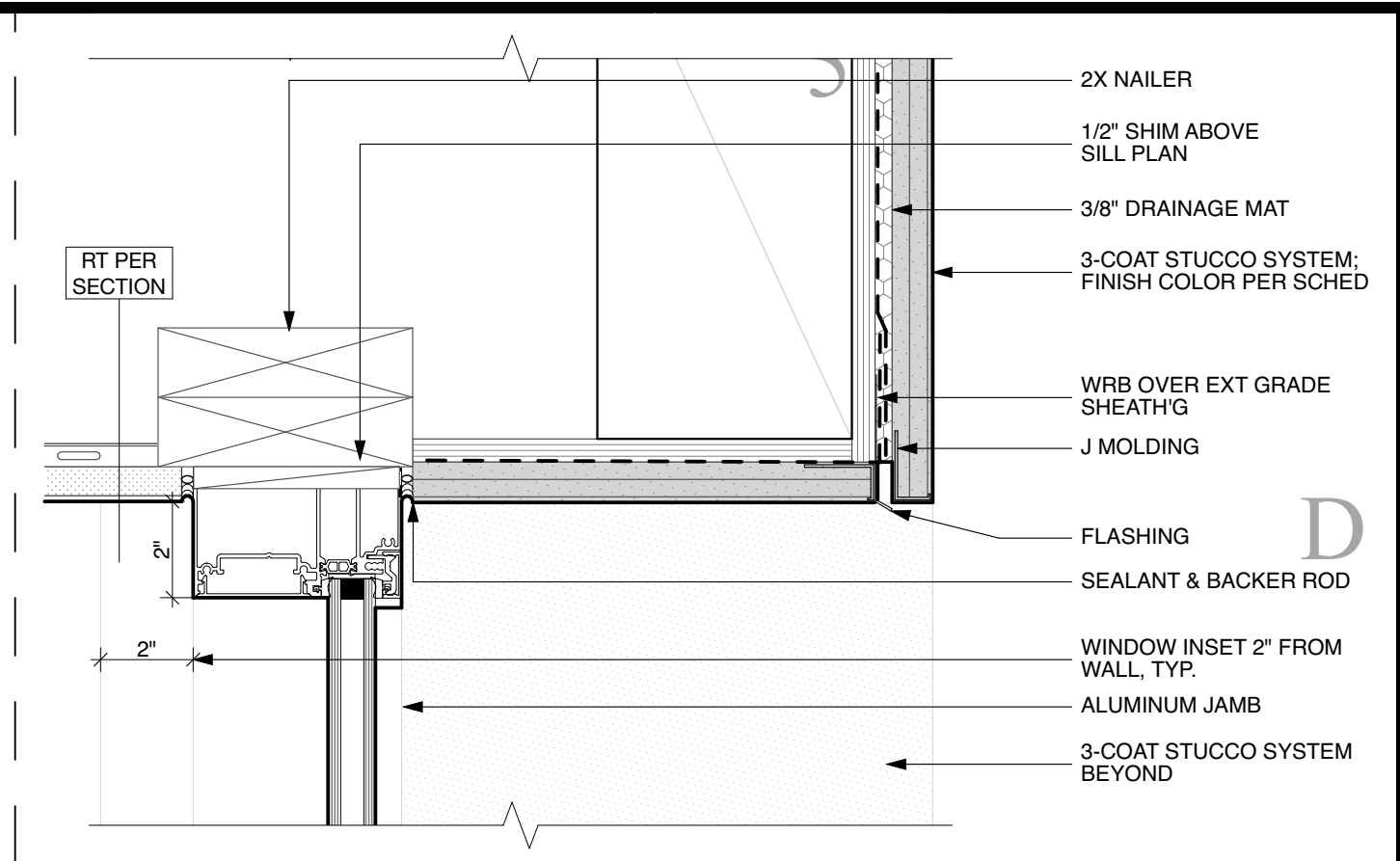
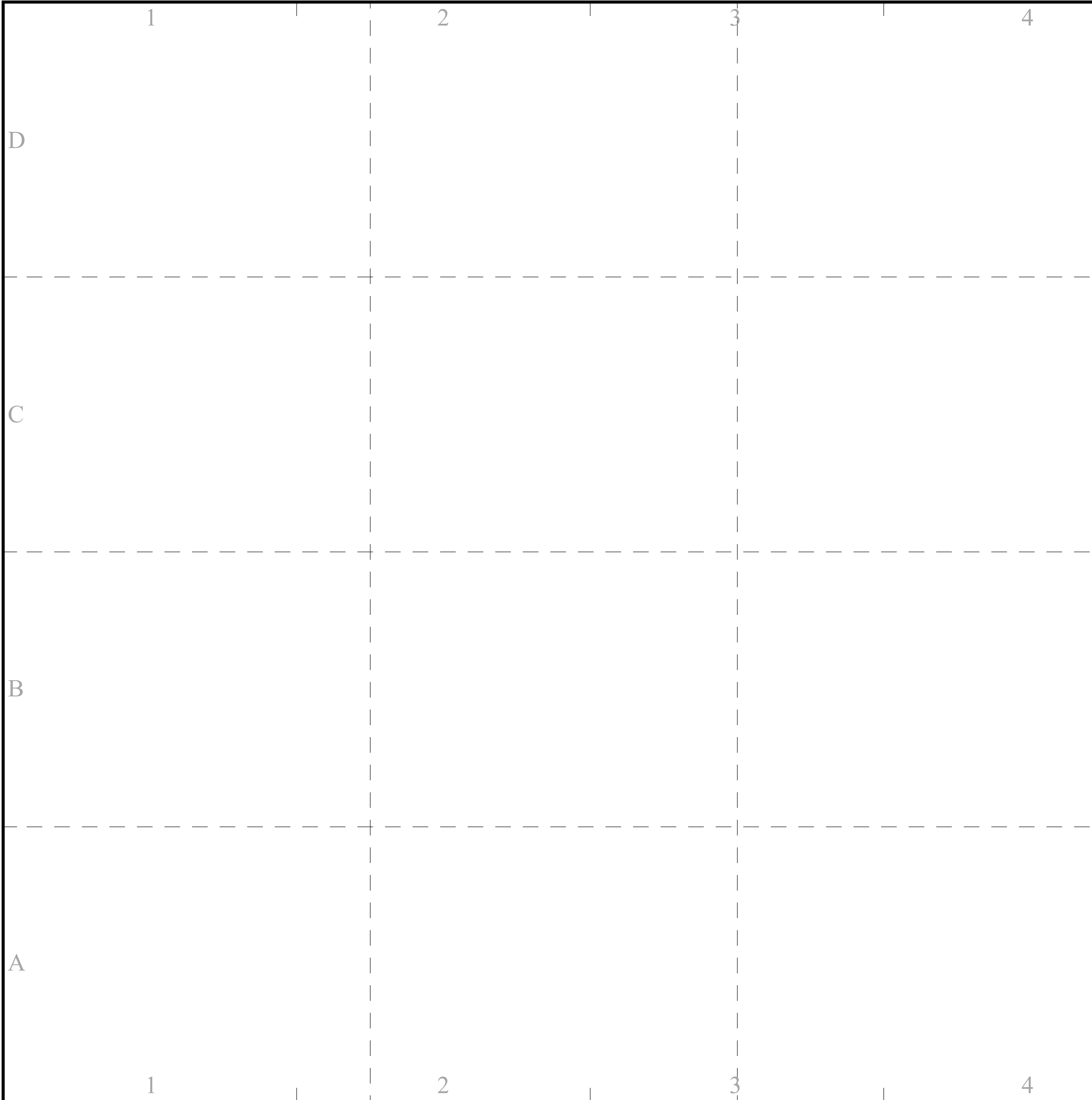
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DOOR DETAILS

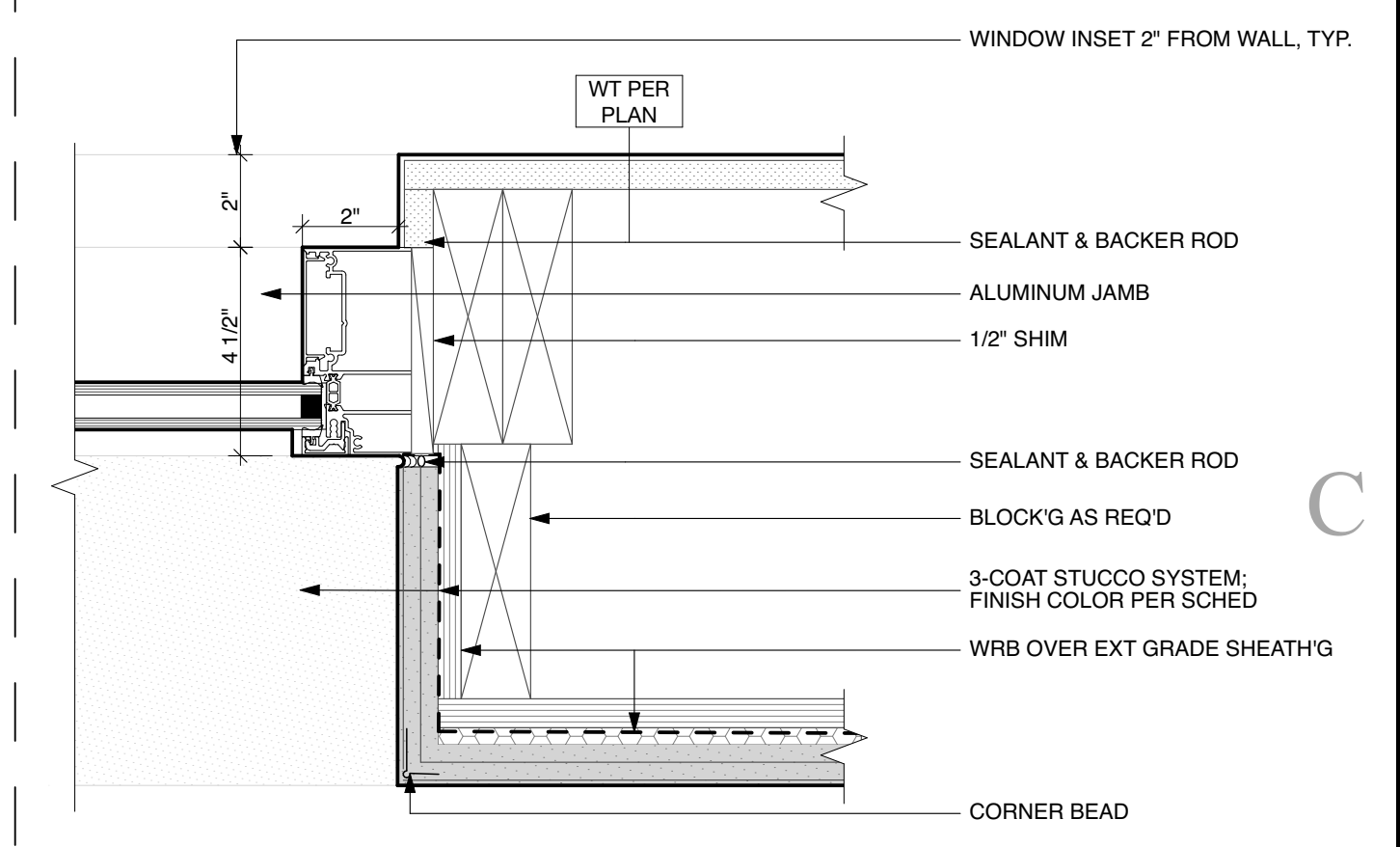
**A905**

SHEET 57

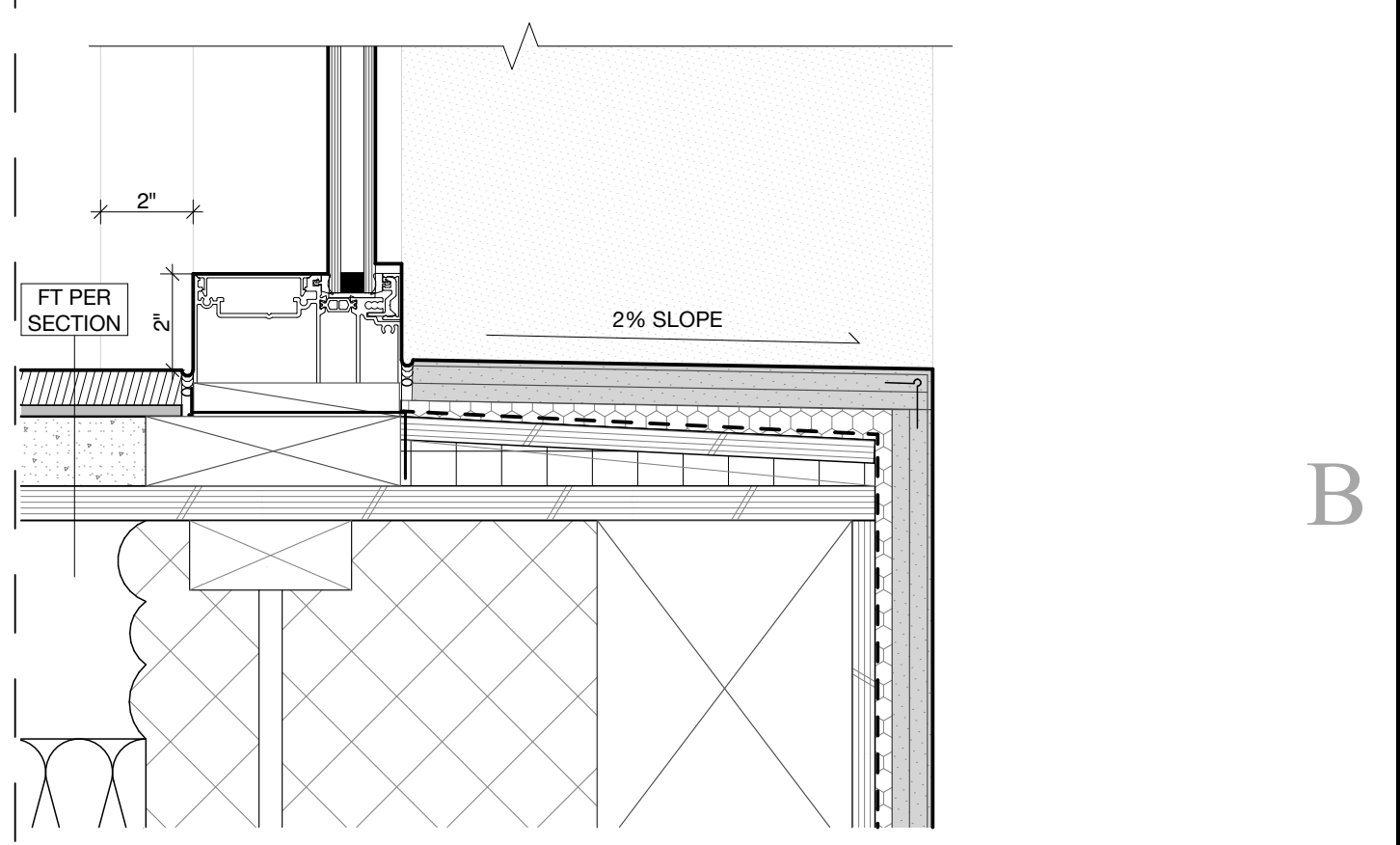
OF 81



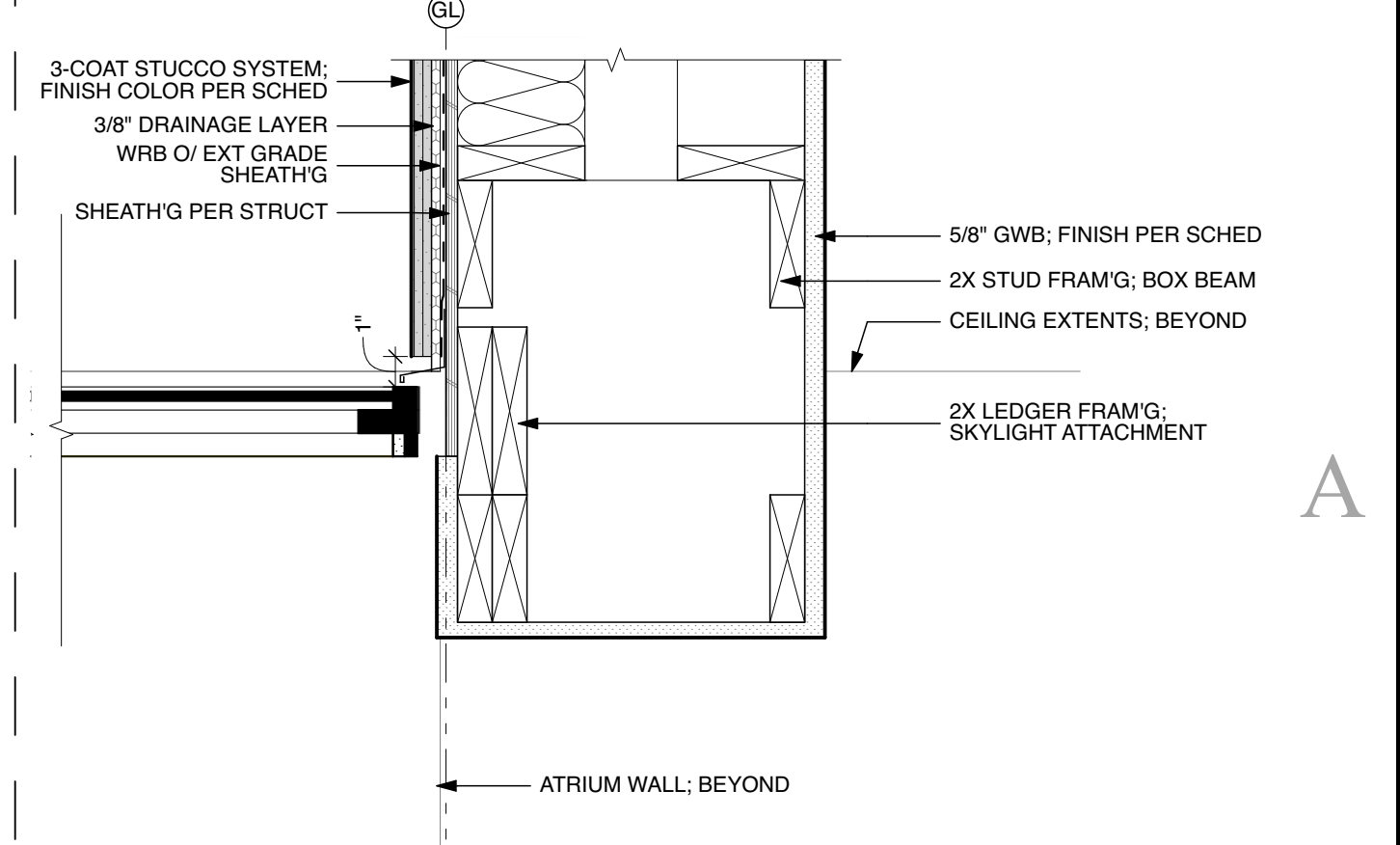
**1 EXT HEAD DETAIL TYP**  
SCALE: 3" = 1'-0"  
0 3" 6" 9"



**2 EXT WINDOW JAMB DETAIL TYP**  
SCALE: 3" = 1'-0"  
0 3" 6" 9"



**3 WINDOW - EXT SILL DETAIL TYP**  
SCALE: 3" = 1'-0"  
0 3" 6" 9"



**4 WINDOW SKYLIGHT @ ATRIUM**  
SCALE: 1 1/2" = 1'-0"  
0 6" 12" 18"



**Laney LA**

PROJECT NAME  
POWERSCOURT - 13TH STREET  
22008

PROJECT NUMBER  
22008

CLIENT  
CARDINAL INVESTMENTS

PROJECT ADDRESS  
229 13TH STREET  
MANHATTAN BEACH, CA

ARCHITECT  
ANTHONY LANEY AIA  
LANEY LA, INC.  
725 CYPRESS AVE  
HERMOSA BEACH CA 90254  
(310) 870-7175  
ANTHONY@LANEY.LA



MARK	DATE	DESCRIPTION
-	01-25-23	CDP+CUP SUBMISSION
①	05-25-23	PLANNING CHECK SET #1
②	07-18-23	PLANNING CHECK SET #2

PROJECT NO: 00000  
MODEL FILE:  
22008 - 229 13th St - Powers  
DRAWN BY:  
COPYRIGHT:

SHEET TITLE  
**WINDOW DETAILS**

**A906**  
SHEET 58 OF 81



**Laney LA**

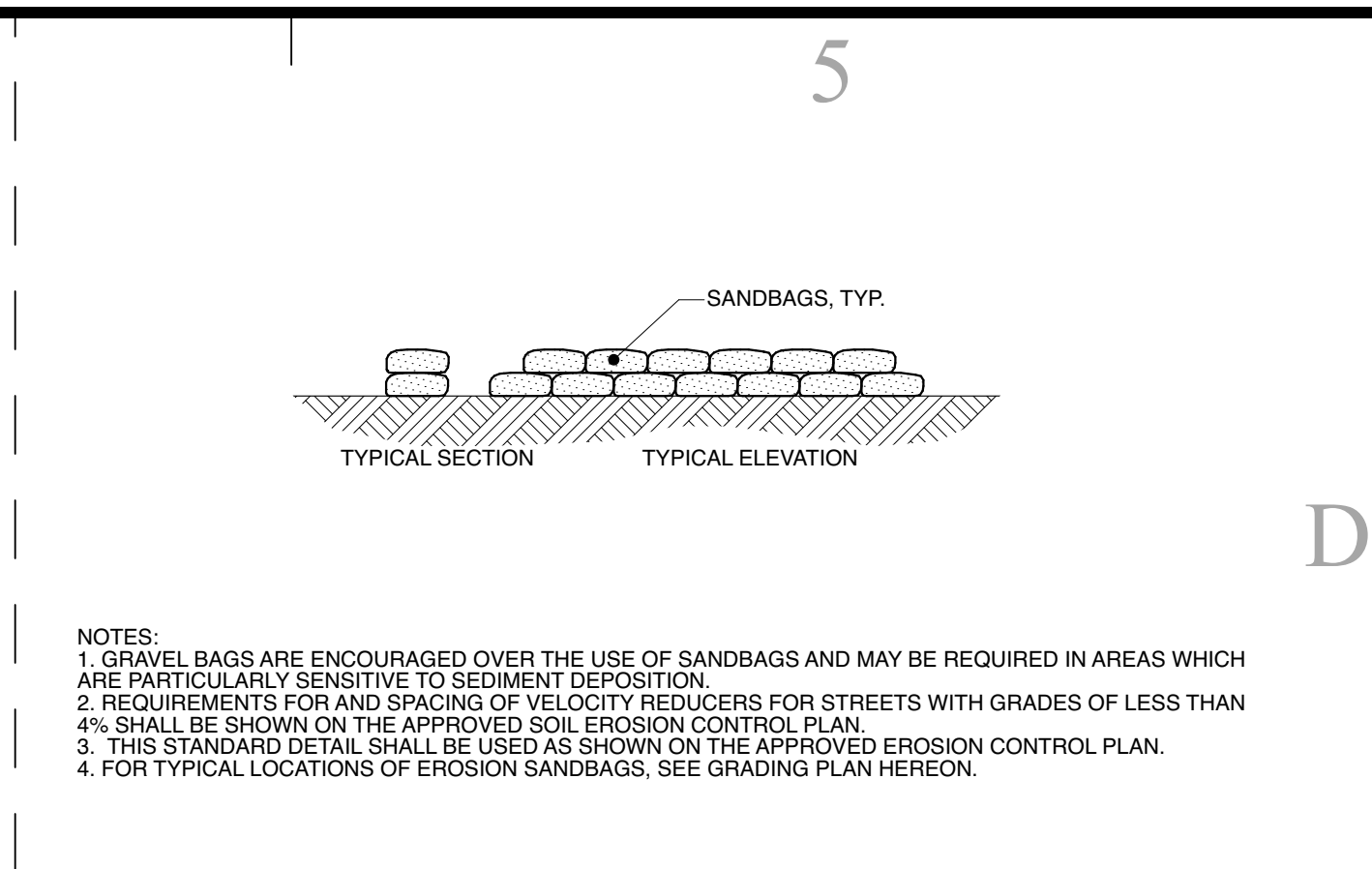
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POWERSCOURT - 13TH STREET

PROJECT NUMBER  
22008

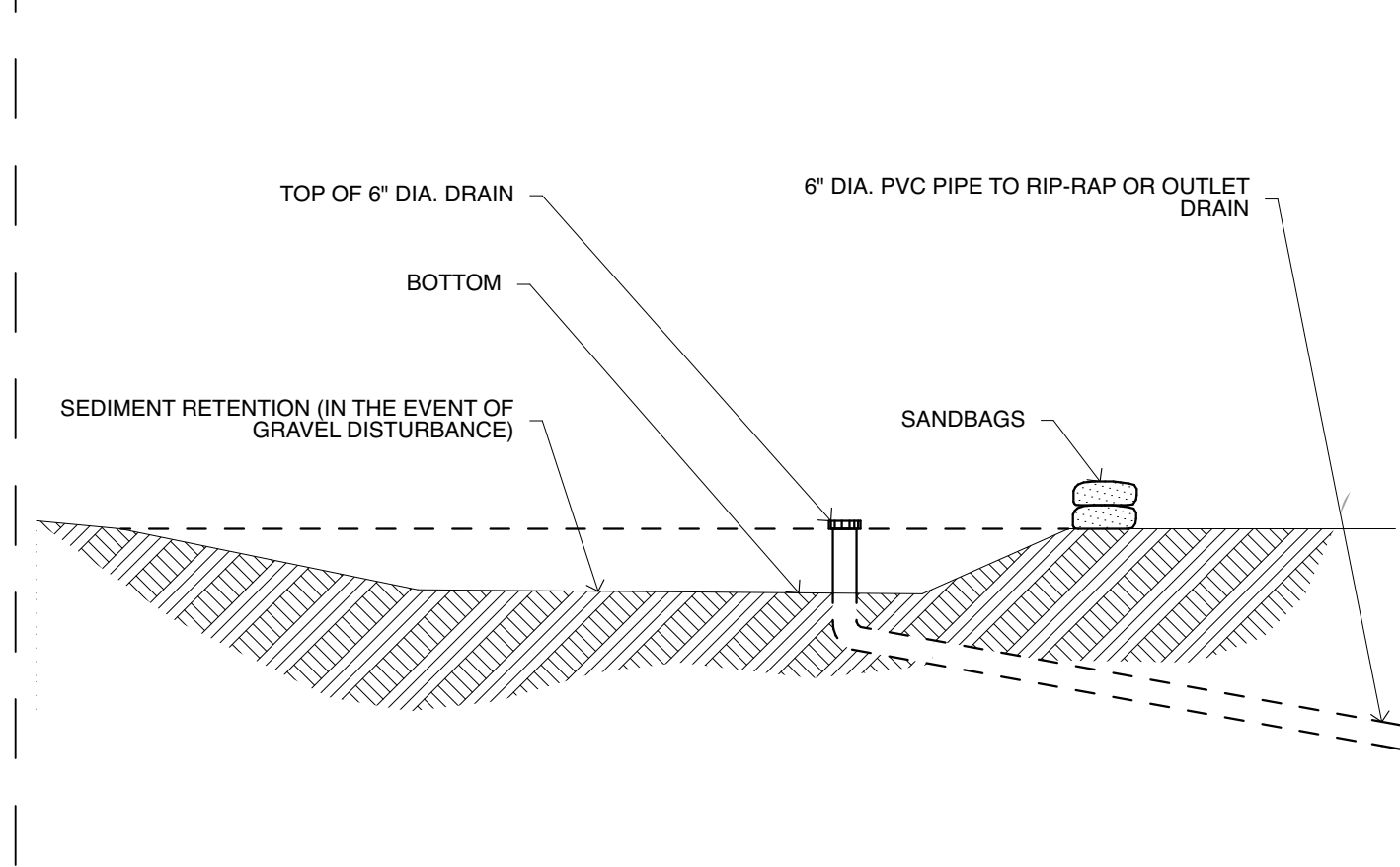
CLIENT  
CARDINAL INVESTMENTS

PROJECT ADDRESS  
229 13TH STREET  
MANHATTAN BEACH, CA

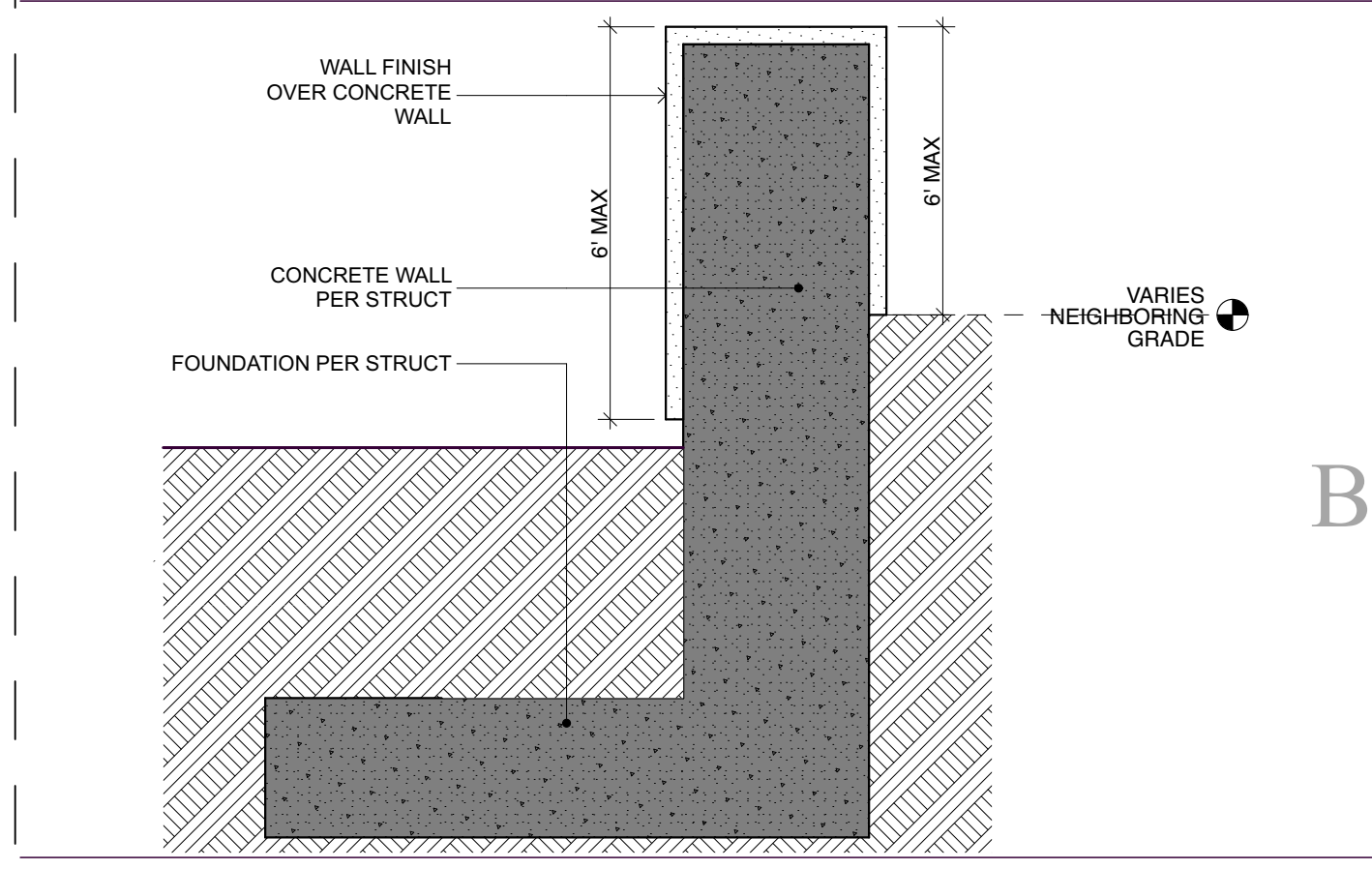
ARCHITECT  
ANTHONY LANEY AIA  
LANEY LA, INC.  
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ANTHONY@LANEY.LA



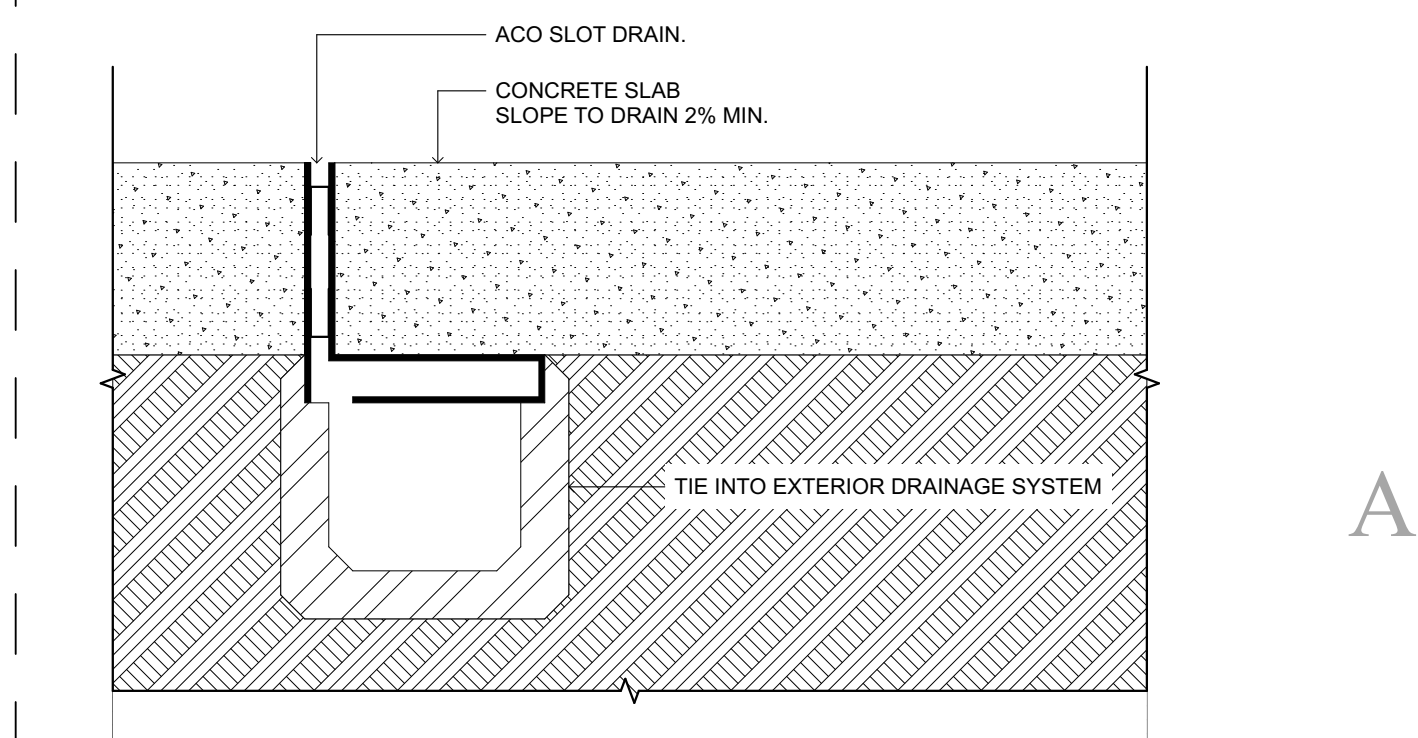
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SCALE: 1/4" = 1'-0"



**2 SEDIMENT RETENTION**  
SCALE: 1/4" = 1'-0"



**3 SEDIMENT RETENTION**  
SCALE: 1 1/2" = 1'-0"



**4 SLOT DRAIN @ PATIO**  
SCALE: 3/8" = 1'-0"

MARK	DATE	DESCRIPTION
-	01-25-23	CDP+CUP SUBMISSION
①	05-25-23	PLANNING CHECK SET #1
②	07-18-23	PLANNING CHECK SET #2

PROJECT NO: 00000  
MODEL FILE:  
22008 - 229 13th St - Powers  
DRAWN BY:  
COPYRIGHT:

SHEET TITLE  
**MISC. DETAILS**

**A907**  
SHEET 59 OF 81



ATTACHMENT D



MASTER APPLICATION FORM

CITY OF MANHATTAN BEACH
COMMUNITY DEVELOPMENT DEPARTMENT

Office Use Only
Date Submitted:
Received By:
F&G Check Submitted:

229 13th Street
Project Address

MANHATTAN BEACH DIV # 2 LOT 10 BLK 64

Legal Description

Downtown Commercial
General Plan Designation

Downtown Commercial III
Zoning Designation Area District

For projects requiring a Coastal Development Permit, select one of the following determinations:

Project located in Appeal Jurisdiction

Project not located in Appeal Jurisdiction

- Major Development (Public Hearing required)
Minor Development (Public Hearing, if requested)
Public Hearing Required (due to UP, Var, ME, etc.)
No Public Hearing Required

Submitted Application (check all that apply)

Table with 4 columns: Application Type, Fee Code, Application Type, Fee Code. Includes items like Appeal to PC/PPIC/BBA/CC, Coastal Development Permit, etc.

Fee Summary: (See fees on reverse side)

Total Amount: \$ (less Pre-Application Fee if applied within past 3 months)
Receipt Number: Date Paid: Cashier:

Applicant(s)/Appellant(s) Information

Kyle Ransford for MB Ocean View Partners LLC
Name

2301 Rosecrans Ave. #4130, El Segundo, CA 90245
Mailing Address

Owner
Applicant(s)/Appellant(s) Relationship to Property

Brandon Straus, Srour & Associates 310-372-8433 / brandon@esrou.com
Contact Person (include relation to applicant/appellant) Phone number / email

2447 Pacific Coast Hwy, Suite 200, Hermosa Beach, CA90254
Address

Applicant(s)/Appellant(s) Signature 310-780-9955 kyle@cardinalinvestments.com
Phone number / email

Complete Project Description- including any demolition (attach additional pages as necessary)

Demolition of a mixed-use building and construction of a new office building.
Please see accompanying project description.

1 An Application for a Coastal Development Permit shall be made prior to, or concurrent with, an application for any other permit or approvals required for the project by the City of Manhattan Beach Municipal Code. (Continued on reverse)

# OWNER'S AFFIDAVIT

A notary public or other officer completing this certificate verifies only the identity of the individual who signed the document to which this certificate is attached, and not the truthfulness, accuracy, or validity of that document.

STATE OF CALIFORNIA  
COUNTY OF LOS ANGELES

I/We Kyle Ransford being duly sworn, depose and say that I am/we are the owner(s) of the property involved in this application and that the foregoing statements and answers herein contained and the information herewith submitted are in all respects true and correct to the best of my/our knowledge and belief(s).

*Kyle Ransford*  
*Signature of Property Owner(s) – (Not Owner in Escrow or Lessee)*

Kyle Ransford  
*Print Name*

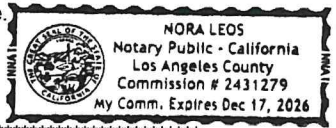
2301 Rosecrans Ave. #4130, El Segundo, CA 90245  
*Mailing Address*

310-780-9955 kyle@cardinalinvestments.com

*Telephone/email*  
Subscribed and sworn to (or affirmed) before me this 6<sup>th</sup> day of February 2023 by Kyle Ransford, proved to me on

the basis of satisfactory evidence to be the person(s) who appeared before me.

Signature *Nora Leos*  
*Notary Public*



SEAL

\*\*\*\*\*

## Fee Schedule Summary

Below are the fees typically associated with the corresponding applications. Additional fees not shown on this sheet may apply – refer to current City Fee Resolution (contact the Planning Division for assistance.) Fees are subject to annual adjustment.

**Submitted Application (circle applicable fees, apply total to Fee Summary on application)**

<i>Coastal Development Permit</i>	
Public hearing – no other discretionary approval required:	\$ 3,948 <input type="checkbox"/>
Public hearing – other discretionary approvals required:	1,940 <input type="checkbox"/>
No public hearing required – administrative:	1,509 <input type="checkbox"/>
Transfer:	155
<i>Use Permit</i>	
Use Permit:	\$ 8,393 <input type="checkbox"/>
Master Use Permit:	10,908 <input type="checkbox"/>
Master Use Permit Amendment:	7,414 <input type="checkbox"/>
Master Use Permit Conversion:	5,035 <input type="checkbox"/>
<i>Variance</i>	
Filing Fee:	\$ 8,421 <input type="checkbox"/>
<i>Minor Exception</i>	
Without notice:	\$ 353
With notice:	1,575 <input type="checkbox"/>
<i>Subdivision</i>	
Certificate of Compliance:	\$ 1,652
Final Parcel Map + mapping deposit:	601
Final Tract Map + mapping deposit:	601
Mapping Deposit (paid with Final Map application):	500
Merger of Parcels or Lot Line Adjustment:	1,184
Quimby (Parks & Recreation) fee (per unit/lot):	1,817
Tentative Parcel Map (4 or less lots / units) No Public Hearing:	1,397
Tentative Parcel Map (4 or less lots / units) Public Hearing:	3,546 <input type="checkbox"/>
Tentative Tract Map (5 or more lots / units) No Public Hearing:	4,074 <input type="checkbox"/>
<i>Environmental Review (contact Planning Division for applicable fee)</i>	
Environmental Assessment (no Initial Study prepared):	\$ 215
Environmental Assessment (if Initial Study is prepared):	3,133
<input type="checkbox"/> <i>Public Hearing Notice applies to all projects with public hearings and covers the City's costs of envelopes, postage and handling the mailing of public notices. Add this to filing fees above, as applicable:</i>	
Coastal Permit – 100 ft. Radius	\$ 182
Large Family Daycare – 100 ft. Radius	56
Minor Exception – 300 ft. Radius	129
Other Permits – 300 to 500 ft. Radius	263



# ENVIRONMENTAL ASSESSMENT FORM

(to be completed by applicant)

**CITY OF MANHATTAN BEACH  
COMMUNITY DEVELOPMENT DEPARTMENT**  
1400 HIGHLAND AVENUE, MANHATTAN BEACH, CA 90266  
Telephone: (310) 802-5500 Fax: (310) 802-5501 TDD: (310) 546-3501

Date Filed: \_\_\_\_\_

### APPLICANT INFORMATION

Name: Ocean View Partners LLC

Contact Person: Brandon Straus, Srour & Associates

Address: 2301 Rosecrans Ave. #4130, El Segundo, CA 90245

Address: 2447 PCH, Suite 200, Hermosa Beach, CA 90254

Phone number: 310-780-9955

Phone number: 310-372-8433

Relationship to property: Owner

Association to applicant: Agent

### PROJECT LOCATION AND LAND USE

Project Address: 229 13th St.

Assessor's Parcel Number: 4179-025-015

Legal Description: MANHATTAN BEACH DIV # 2 LOT 10 BLK 64

Area District, Zoning, General Plan Designation: III, CD, Downtown Commercial

Surrounding Land Uses:

North CD (Downtown Commercial) – City Parking Lot

West RH (High Density Residential)

South CD (Downtown Commercial) – Retail RH  
(High Density Residential)

East CD (Downtown Commercial) – Restaurant

Existing Land Use: Mixed-Use Restaurant/Residential

### PROJECT DESCRIPTION

Type of Project: Commercial  Residential \_\_\_\_\_ Other \_\_\_\_\_

If Residential, indicate type of development (i.e.; single family, apartment, condominium, etc.) and number of units: \_\_\_\_\_

If Commercial, indicate orientation (neighborhood, citywide, or regional), type of use anticipated, hours of operation, number of employees, number of fixed seats, square footage of kitchen, seating, sales, and storage areas: \_\_\_\_\_

Retail/office building drawing customers and employees from Manhattan Beach and surrounding cities. Expected number of employees to be 10 or fewer. Hours of operation expected to be weekdays and Saturdays from 7 a.m. to 7 p.m.

If use is other than above, provide detailed operational characteristics and anticipated intensity of the development: \_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

	<u>Existing</u>	<u>Proposed</u>	<u>Required</u>	<u>Removed/ Demolished</u>
Project Site Area:	<u>1,997</u>	<u>1,997</u>	<u>N/A</u>	<u>None</u>
Building Floor Area:	<u>1,381</u>	<u>2,038</u>	<u>Max. 2,995.5</u>	<u>1,381</u>
Height of Structure(s)	<u>Unknown</u>	<u>26'</u>	<u>Max. 26'</u>	<u>N/A</u>
Number of Floors/Stories:	<u>2</u>	<u>2</u>	<u>Max. 2</u>	<u>2</u>
Percent Lot Coverage:	<u>Unknown</u>	<u>97.7%</u>	<u>Max. 100%</u>	<u>N/A</u>
Off-Street Parking:	<u>2</u>	<u>1</u>	<u>1</u>	<u>2</u>
Vehicle Loading Space:	<u>2</u>	<u>0</u>	<u>0</u>	<u>2</u>
Open Space/Landscaping:	<u>Unknown</u>	<u>0</u>	<u>0</u>	<u>Unknown</u>

Proposed Grading: To be determined.

Cut \_\_\_\_\_ Fill \_\_\_\_\_ Balance \_\_\_\_\_ Imported \_\_\_\_\_ Exported \_\_\_\_\_

Will the proposed project result in the following (*check all that apply*):

- | <u>Yes</u>   | <u>No</u>                                  |  |
|--------------|--|--|
| <u>_____</u> | <u><input checked="" type="checkbox"/></u> | Changes in existing features or any bays, tidelands, beaches, lakes, or hills, or substantial alteration of ground contours? |
| <u>_____</u> | <u><input checked="" type="checkbox"/></u> | Changes to a scenic vista or scenic highway?   |
| <u>_____</u> | <u><input checked="" type="checkbox"/></u> | A change in pattern, scale or character of a general area?   |
| <u>_____</u> | <u><input checked="" type="checkbox"/></u> | A generation of significant amount of solid waste or litter?   |
| <u>_____</u> | <u><input checked="" type="checkbox"/></u> | A violation of air quality regulations/requirements, or the creation of objectionable odors?                                 |
| <u>_____</u> | <u><input checked="" type="checkbox"/></u> | Water quality impacts (surface or ground), or affect drainage patters?   |
| <u>_____</u> | <u><input checked="" type="checkbox"/></u> | An increase in existing noise levels?  |
| <u>_____</u> | <u><input checked="" type="checkbox"/></u> | A site on filled land, or on a slope of 10% or more?   |
| <u>_____</u> | <u><input checked="" type="checkbox"/></u> | The use of potentially hazardous chemicals?  |
| <u>_____</u> | <u><input checked="" type="checkbox"/></u> | An increased demand for municipal services?  |
| <u>_____</u> | <u><input checked="" type="checkbox"/></u> | An increase in fuel consumption?   |
| <u>_____</u> | <u><input checked="" type="checkbox"/></u> | A relationship to a larger project, or series of projects?   |

Explain all "Yes" responses (*attach additional sheets or attachments as necessary*):

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**CERTIFICATION:** I hereby certify that the statements furnished above and in attached exhibits present the data and information required for this initial evaluation to the best of my ability, and that the facts, statements, and information presented are true and correct to the best of my knowledge and belief.

Signature: Brandon Straus

Prepared For: MB Ocean View Partners, LLC

Date Prepared: 8/1/23

Revised 07/01/18

**APPLICATION FOR  
USE PERMIT  
COASTAL DEVELOPMENT PERMIT**

**229 13<sup>th</sup> Street  
Proposed Commercial Building**

**APPLICANT:**

MB Ocean View Partners LLC  
c/o Kyle Ransford  
2301 Rosecrans Ave. #4130  
El Segundo, CA 90245

**PROJECT DESCRIPTION**

The site is a 30' by 66' lot behind the commercial building on Highland Avenue that houses Uncle Bill's Pancake House. It is currently occupied by a two-story, 1,318 square-foot commercial building built in 1939, with a restaurant on the first level and apartments on the second level.

The proposed 2-story commercial building will include a pedestrian-friendly street-front with large windows adjacent to the walk street on which it fronts. Pedestrian access is directly off the ground floor at 13<sup>th</sup> Street. Vehicular access to the one required parking space is located on 13<sup>th</sup> Place. The CD zoning for the site includes by-right retail and personal services use of the property. The proposed single parking space could accommodate uses which include office (business and medical), retail, and personal services. We are requesting a Use Permit for ground floor office use to provide flexibility in tenant search.

**PROJECT OVERVIEW**

Location	229 13 <sup>th</sup> Street
Lot Size	1,997 square feet
Area District	III
Legal Description	MANHATTAN BEACH DIV # 2 LOT 10 BLK 64
Coastal Zone	Non-Appealable Area
General Plan Zoning	CD – Downtown Commercial
Existing Land Use	Restaurant and Residential
Proposed Land Uses	Retail, Office, and Professional Services

Neighboring Zoning  
and Land Uses

North – CD (Downtown Commercial) – City Parking Lot  
South – CD (Downtown Commercial) – Retail  
RH (High Density Residential)  
East – CD (Downtown Commercial) – Restaurant  
West – RH (High Density Residential)

BFA: 2,038

Floor Area Ratio (max 1.5): 1.1

Parking (1/200 s.f. for  
BFA >= 1.1 FAR): 1 space

Business Operation: Retail, Professional Services, and Office

Hours of Operation: 7am - 7pm

**REQUIRED FINDINGS**

Following are the bases for the findings required for approval of a Use Permit.

*1. The proposed location of the use is in accord with the objectives of this title and the purposes of the district in which the site is located.*

The proposed building is located within the downtown commercial district. The proposed use is consistent with Local Coastal Program (LCP) Section A.16.010, which states that the district is intended to provide opportunities for commercial uses, to provide a broad range of community businesses, and to serve beach visitors. Retail, professional services, and office uses are permitted in the CD zone.

*2. The proposed location of the uses and the proposed conditions under which the uses would be operated or maintained will be consistent with the General Plan; will not be detrimental to the public health, safety or welfare of persons residing or working on the proposed project site or in or adjacent to the neighborhood of such uses; and will not be detrimental to properties or improvements in the vicinity or to the general welfare of the city.*

The proposed uses and design are consistent with the General Plan's Downtown Commercial land use designation and development standards and pose no detrimental effects to the public health, safety, or welfare of persons working on the proposed project site or on the adjacent properties. The proposed uses are less intense than the existing use of the building as a restaurant.

*3. The proposed uses will comply with the provisions of the City's Planning and Zoning Title, including any specific condition required for the proposed uses in the district in which they would be located.*

The proposed uses comply with all applicable planning and zoning provisions of the LCP.

*4. The uses will not adversely impact or be adversely impacted by nearby properties.*

The proposed project will not adversely impact nearby resident or commercial properties with regard to traffic, parking, noise, vibration, odors, personal safety, or aesthetics, or create demands exceeding the capacity of public services and facilities. The proposed uses are less intense than the existing use of the building as a restaurant. The proposed uses will provide the required off-street parking and will not create an additional demand for public services and facilities which cannot be mitigated.

Following are the bases for the findings required for approval of a Coastal Development Permit.

*1. The proposed project is in accordance with the objectives and policies of the City of Manhattan Beach Local Coastal Program.*

The project is consistent with the following policies of the LCP:

Policy I.C.4: The City shall ensure that future residential and commercial development provides the parking necessary to meet the standards set forth in Section A.64 of Chapter 2 of the Implementation Plan, except that residential parking requirements shall not be reduced for units less than 550 square feet.

Policy I.C.7: The City shall require, when feasible, that commercial development using on-site ground level parking provide vehicular access from the rear of the lot only, so as not to conflict with pedestrian traffic.

Policy II.A.2: Preserve the predominant existing commercial building scale of one and two stories, by limiting any future development to a 2-story maximum, with a 26' height limitation as required by Sections A.04.030, A.16.030, and A.60.050 of Chapter 2 of the Implementation Plan.

Policy II.A.3: Encourage the maintenance of commercial area orientation to the pedestrian. Policy II.A.4: Discourage commercial lot consolidations of greater than two standard city lots.

Additionally, the project is also consistent with Section A.16.010 of the Local Coastal Program, which identifies specific purposes for the commercial district regulations as follows:

A. Provide appropriately located areas consistent with the General Plan and Local Coastal Plan for a full range of office, retail commercial, and service commercial uses needed by residents of, and visitors to, the Coastal Zone.

B. Strengthen the city's economic base, but also protect small businesses that serve city residents.

C. Create suitable environments for various types of commercial and compatible residential uses, and protect them from the adverse effects of inharmonious uses.

D. Minimize the impact of commercial development on adjacent residential districts.

E. Ensure that the appearance and effects of commercial buildings and uses are harmonious with the character of the area in which they are located. Commercial projects involving the combination of three or more lots or on sites exceeding 5,400 square feet shall be approved only if the scale and articulation of the facade of the proposed structure is consistent with this purpose statement.

F. Ensure the provision of adequate off-street parking and loading facilities.

*2. The proposed project is located and designed in a manner which maximizes pedestrian orientation consistent with the Commercial Development policies of the Local Coastal Program.*

The project design maximizes pedestrian orientation by locating its main entrance on 13<sup>th</sup> Street.

*3. The proposed project provides adequate parking facilities consistent with the parking requirements of the Local Coastal Program.*

The new proposed parking is fully compliant with LCP Chapter A.64.

### ***Findings for projects located within Area District III***

*1. The proposed project protects and enhances the City's walk street resources.*

The proposed design incorporates low-level lush landscaping that will not obstruct public Coastal views.

*2. The proposed project provides adequate on-site parking and will not prohibitively impact the existing public parking supply.*

The project meets required parking standards.

*3. The proposed project is consistent with the density standards of the Local Coastal Program.*

Not Applicable.