



**CITY OF MANHATTAN BEACH
DEPARTMENT OF COMMUNITY DEVELOPMENT
STAFF REPORT**

TO: Planning Commission

FROM: Talyn Mirzakhanian, Community Development Director

BY: Ted Fatuross, Associate Planner

DATE: May 24, 2023

SUBJECT: Consideration of a Coastal Development Permit, a Use Permit, and a Vesting Tentative Parcel Map (No. 84084) for: 1) demolition of a commercial building and construction of a new two-unit multi-family residential condominium structure located at 4103 Highland Avenue, 2) demolition of a parking lot and construction of a new two-unit multi-family residential condominium structure located at 229 41st Street, 3) adjustment of lot lines associated with the subject parcels (4137-008-058 and 4137-008-057) and subsequent subdivision of both parcels into air parcels for condominium purposes; and adoption of an environmental determination for the project in accordance with the California Environmental Quality Act (Tim Agee, Didi LLC).

RECOMMENDATION

Staff recommends that the Planning Commission **CONDUCT** the Public Hearing and **ADOPT** the attached resolution approving the project subject to conditions and adopting a determination of exemption for the project under the California Environmental Quality Act (CEQA).

APPLICANT/OWNER

Tim Agee/Didi LLC
P.O. Box 7524
Santa Monica, CA 90406

BACKGROUND

On October 26, 2022, the Community Development Department received an application

requesting a Coastal Development Permit, a Use Permit, and a Vesting Tentative Parcel Map (No. 84084) for the demolition of a commercial building and construction of a new two-unit multi-family residential condominium structure located at 4103 Highland Avenue, the demolition of a parking lot and construction of a new two-unit multi-family residential condominium structure located at 229 41st Street, and the adjustment of lot lines associated with the subject parcels (4137-008-058 and 4137-008-057) and subsequent subdivision of both parcels into air parcels for condominium purposes.

Site Overview

4103 Highland Avenue (APN: 4137-008-058) is a 3,150 square-foot, rectangular lot with a zoning designation of North End Commercial (CNE) in Area District IV, located in the non-appealable portion of the City’s Coastal Zone. The current use of the site is a multi-tenant commercial building that encompasses the entire lot. The site is surrounded by multi-family residences to the north (across Moonstone Street) and east (across Highland Avenue). There are commercial uses to the south (across 41st Street) and west.

The adjacent site to the west, 229 41st Street (APN: 4137-008-057), is a 2,700 square-foot, rectangular lot with a zoning designation of North End Commercial (CNE) in Area District IV, located in the non-appealable portion of the City’s Coastal Zone. The current use of the site is a parking lot, which serves the adjacent commercial building to the east (4103 Highland Avenue). Multi-family residences are located to the north (across Moonstone Street) and west. There are commercial uses to the south (across 41st Street) and east. The following tables provide an overview of the aforementioned sites.

Site Overview	
Location:	4103 Highland Avenue, between 41 st Street and Moonstone Street 229 41 st Street, between 41 st Street and Moonstone Street (See Vicinity Map- Attachment B)
Legal Description:	Lot 34, Block 4, Tract No. 4103 (4103 Highland Ave) Lot 33, Block 4, Tract No. 4103 (229 41 st St)
General Plan:	North End Commercial
Zoning:	CNE, North End Commercial
Area District:	IV
Subject Site Land Use:	
Existing:	Commercial
Proposed:	Four Residential Condominium Units, Two Units Per Lot
Neighboring Zoning:	North RH/High Density Residential

	South	CNE/North End Commercial
	East	CNE/North End Commercial
	West	RH/High Density Residential

Governing Regulations

The proposed project is reviewed for compliance with applicable regulations, including the City’s General Plan and the Manhattan Beach Local Coastal Program (MBLCP). Additionally, the lot line adjustment and subdivision component of the proposed project is governed by Title II (Subdivisions) of the Manhattan Beach Municipal Code (MBMC), as well as the State Subdivision Map Act.

PROJECT OVERVIEW

The applicant proposes to demolish the existing parking lot and commercial building and construct a two-unit residential condominium building on each subject lot.

The applicant proposes a Vesting Tentative Parcel Map (VTPM) to adjust the lot lines of the two subject parcels and subsequently subdivide both parcels into air parcels for condominium purposes, with each lot containing two condominium units. The proposed lot line adjustment will shift the existing lot line between both lots two feet to the west, resulting in a 2,974 square foot lot for 4103 Highland Avenue and a 2,883 square foot lot for 229 41st Street. The resulting parcels comply with the minimum lot size requirement (2,700 square feet), maximum lot size requirement (7,000 square feet), and minimum lot width (30 feet) per MBLCP Section A.12.030.

The proposed structure at 4103 Highland Avenue includes a 4,311 square-foot, three-story building containing two attached condominium units, with one unit having 2,156 square feet of buildable floor area (BFA) and the other having 2,155 square-feet of BFA. Two driveways from 41st Street and Moonstone Street provide vehicular access to each condominium unit. There are a total of six on-site parking spaces, including two guest spaces. Each condominium has an enclosed two-car garage with a guest parking stall at grade adjacent to the unit’s garage. The main entrance of each condominium unit is proposed on the first floor along the eastern portion of the site along Highland Avenue. Each unit has access to outdoor decks located throughout the building. Additionally, there is a designated area for trash receptacles and storage for each unit. The structure’s proposed architectural design reflects a modern design with a mix of stucco and hardwood siding, articulated with decks throughout the building. The southern unit’s address will be 4101 Highland Avenue, and the northern unit’s address will be 4103 Highland Avenue.

The proposed structure at 229 41st Street includes a 4,040 square-foot, three-story building containing two attached condominium units, with one unit having 2,006 square-feet of BFA and the other having 2,034 square-feet of BFA. Two driveways from 41st Street and Moonstone Street provide vehicular access to each condominium unit. There are a total of six on-site parking spaces, including two guest spaces. Each condominium has an enclosed two-car garage with a guest parking stall at grade adjacent to the unit's garage. The main entrance of each condominium unit is proposed on the first floor along the eastern portion of the site along the side yard setback. Each unit has access to outdoor decks located throughout the building. Additionally, there is a designated area for trash receptacles and storage for each unit. The structure's proposed architectural design reflects a modern design with a mix of stucco and hardwood siding, articulated with decks throughout the building. The southern unit's address will be 229 41st Street, and the northern unit's address will be 228 Moonstone Street.

A detailed overview of the project is included in the following table. As demonstrated herein, the project complies with all applicable development standards:

Project Overview

	<u>Proposed- 4103 Highland Avenue</u>	<u>Proposed- 229 41st Street</u>	<u>Code Requirement</u>
Parcel Size:	2,974 sq. ft.	2,883 sq. ft.	2,700 sq. ft. min., 7,000 sq. ft. max
Residential Density:	1 unit/1,487 sq. ft. lot area	1 unit/1,441.5 sq. ft. lot area	Max. 1 unit/850 sq. ft. lot area
Building Floor Area:	4,311 sq. ft.	4,040 sq. ft.	5,055 sq. ft. max (4103 High) 4,901 sq. ft. (229 41 st St)
Height:	30 ft.	30 ft.	30 ft. max
Stories:	Three	Three	Three
Setbacks			
Front:	5 ft.	5 ft.	5 ft. Min.
Rear:	5 ft. on ground floor 2.1 ft. on second/third floors	5 ft. on ground floor 2 ft. on second/third floors	5 ft. on ground floor, 2 ft. on second and third floors Min.
East side:	1 ft.	3.2 ft.	1 ft. Min. (4103 Highland Ave) 3.2 ft. Min (229 41 st St)
West side:	3.3 ft.	3.58 ft.	3.3 ft. Min. (4103 Highland) 3.2 ft. Min (229 41 st St)
Parking:	6 total spaces (2 spaces plus 1 guest space per unit)	6 total spaces (2 spaces plus 1 guest space per unit)	6 total spaces (2 spaces plus 1 guest space per unit)

Open Space:	4101 Highland – 328 sq.ft. 4103 Highland – 372 sq.ft.	229 41 st Street- 308 sq. ft. 228 Moonstone St- 366 sq ft.	<i>15% of unit area min.</i> <u>4103 Highland</u> 4101 Highland – 324 sq.ft. 4103 Highland – 324 sq.ft. <u>229 41st Street</u> 229 41 st Street- 301 sq. ft. 228 Moonstone St- 305 sq ft.
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DISCUSSION

Pursuant to MBLCP Section A.16.020, a Use Permit is required for the construction of a new multi-family structure within the CNE zoning district. Furthermore, a Coastal Development Permit is required for the demolition of existing structures and construction of a new multi-family structure within the City’s Coastal Zone. Furthermore, a subdivision map is required per MBMC Title II to subdivide each property into two condominium ownership units.

As demonstrated in the “Project Overview” table above, the project conforms to all applicable Code requirements governing development standards including but not limited to: height, floor area, setbacks, parking, landscaping, and open space (LCP Section A.12.030). Furthermore, the project conforms to all applicable residential condominium standards (LCP Section A.52.100), including requirements that each unit have storage and guest parking. The standards also govern sound attenuation, venting, insulation, utility meters, etc.; all of which would be confirmed during the plan check phase if the project is approved.

Required Findings

Based upon substantial evidence in the record, staff finds that the project, as proposed and conditioned, meets the required findings for a Coastal Development Permit, Use Permit, and Vesting Tentative Parcel Map as demonstrated below:

Use Permit

- The proposed location of the use is in accord with the objectives of this title and the purposes of the district in which the site is located.*

The project proposes construction of multi-family residential housing in the North End Commercial (CNE) zoning district. As stated in MBLCP Section A.16.010, residential uses are conditionally permitted in the CNE zoning district. The proposed multi-family residential project has densities consistent with the High Density Residential category for Area District IV and directly serve the purpose of the zoning district by contributing

to the development of residential units.

2. *The proposed location of the use and the proposed conditions under which it would be operated or maintained will be consistent with the General Plan; will not be detrimental to the public health, safety or welfare of persons residing or working on the proposed project site or in or adjacent to the neighborhood of such use; and will not be detrimental to properties or improvements in the vicinity or to the general welfare of the city.*

Development of multi-family residential project at the proposed locations is consistent with the goals and objectives of the General Plan North End Commercial land use designation assigned to the project sites and the neighboring properties. The proposed use is consistent with surrounding uses, as some of the neighboring lots have also been developed with residential, multi-family uses. Furthermore, the project has been reviewed by various City departments/divisions, including Public Works and Building and Safety and Engineering, and it has been determined that they will not be detrimental to persons, properties or improvements in the vicinity or to the general welfare of the City, as construction and use of the project will have to comply with all applicable regulations.

The General Plan states that “residential uses are allowed [in the CNE zoning district] with discretionary review and at densities consistent with the High Density Residential category.” The project is in conformance with the following specific General Plan policies:

LU-1.1: Limit the height of new development to three stories where the height limit is thirty feet, or to two stories where the height limit is twenty-six feet, to protect the privacy of adjacent properties, reduce shading, protect vistas of the ocean, and preserve the low-profile image of the community. The project is limited to three stories; therefore, impacts to shading and privacy are minimized, and the low-profile image of the community preserved.

LU-1.2: Require the design of all new construction to utilize notches, balconies, rooflines, open space, setbacks, landscaping, or other architectural details to reduce the bulk of buildings and to add visual interest to the streetscape. The project provides visual interest and architectural detailing via decks, open space areas and setbacks of the top floor.

LU-2.2: Preserve and encourage private open space on residential lots citywide. The project includes private decks on the second and third floors and

open spaces in compliance with the requirement in the Planning and Zoning Code.

LU-3.1: Continue to encourage quality design in all new construction. The building includes a modern design, compatible with the existing built environment, inclusive of setbacks for building articulation and decks throughout the building.

- 3. The proposed use will comply with the provisions of this title, including any specific condition required for the proposed use in the district in which it would be located.*

The proposed use complies with all applicable development standards in Title A of the LCP, including but not limited to setbacks, maximum height, density, required parking, and open space. No variances are required for this project; therefore, the project meets this finding.

- 4. The proposed use will not adversely impact nor be adversely impacted by nearby properties. Potential impacts are related but not necessarily limited to: traffic, parking, noise, vibration, odors, resident security and personal safety, and aesthetics, or create demands exceeding the capacity of public services and facilities which cannot be mitigated.*

The proposed multi-family residential use does not adversely impact neighboring properties, as the use is consistent with the surrounding uses in the CNE and RH zoning districts and are compatible in terms of density, height, massing, and scale with the surrounding built environment. Development of this type is anticipated by the General Plan and does not create demands exceeding the capacity of public services.

Coastal Development Permit

Pursuant to Section A.96.150 of the Local Coastal Program, written findings are required for all decisions on Coastal Development Permits. Such findings must demonstrate the following: (A) That the project, as described in the application and accompanying material, or as modified by any conditions of approval, conforms with the certified Manhattan Beach Local Coastal Program; and (B) If the project is located between the first public road and the sea, that the project conforms with the public access and recreation policies of Chapter 3 of the Coastal Act of 1976 (Commencing with Section 30200 of the Public Resources Code).

As proposed and conditioned, the project meets Part (A) of the required findings for the reasons described below:

The subject site is located within Area District IV (North End) and zoned North End Commercial (CNE). The General Plan and Local Coastal Program/Land Use Plan designation for the properties are North End Commercial, which accommodates “residential uses... at densities consistent with the High Density Residential category.” Many neighboring properties are also developed with residential uses. The proposed two-unit condominium structures (one on each lot) are conditionally permitted in the CNE zoning district and are in compliance with the City’s General Plan land use designation of North End Commercial; as such, the project will not be detrimental to the public health, safety or welfare of persons residing or working in or adjacent to the neighborhood of such use, and they will not be detrimental to properties or improvements in the vicinity or to the general welfare of the City.

The project is consistent with the residential development policies of the Manhattan Beach Local Coastal Program, specifically Policies II. B.1, 2, & 3, as follows:

II.B.1: The proposed structures are consistent with the building scale in the coastal zone neighborhood and comply with the applicable standards of the Local Coastal Program as demonstrated in the Project Overview table incorporated herein.

II.B.2: The proposed structures are consistent with the residential bulk control as established by the development standards of the Local Coastal Program-Implementation Plan, as the project meets all maximum requirements, and exceeds all minimum requirements as applicable, for height, number of stories, buildable floor area (BFA), setbacks, and open space.

II.B.3: The proposed structures are consistent with the 30’ Coastal Zone residential height limit as required by the Local Coastal Program-Implementation Plan, as the proposed structures do not exceed the 30-foot maximum height limit.

The proposed project is not subject to Part (B) of the required findings for the reasons described below:

As the project site is located east of Ocean Drive, it is not located between the first public road and the sea; therefore, it is not subject to this finding. Nonetheless, the proposed structures do not impact public access to the shoreline. Adequate public access is provided and shall be maintained along 41st Street, Highland Avenue, and Moonstone Street. Furthermore, the project does not create any barriers along 41st Street, Highland Avenue, and Moonstone Street that prevent public access to the coast.

Subdivision Map Act/Title II

Pursuant to California Government Code Section 66474 (Subdivision Map Act), a legislative body of a city or county shall deny approval of a tentative map only if it makes any of the following findings: (a) that the proposed map is not consistent with applicable general and specific plans as specified in Section 65451; (b) that the design or improvement of the proposed subdivision is not consistent with applicable general and specific plans; (c) that the site is not physically suitable for the type of development; (d) that the site is not physically suitable for the proposed density of development; (e) that the design of the subdivision or the proposed improvements are likely to cause substantial environmental damage or substantially and avoidably injure fish or wildlife or their habitat; (f) that the design of the subdivision or type of improvements is likely to cause serious public health problems; or (g) that the design of the subdivision or the type of improvements will conflict with easements, acquired by the public at large, for access through or use of, property within the proposed subdivision.

Staff is unable to make any of the findings for denial of the Vesting Tentative Parcel Map given that: (a) the proposed map is consistent with the General Plan and Local Coastal Program; (b) the design of the proposed subdivision is consistent with the General Plan and Local Coastal Program; (c) the site is physically suitable for the proposed development as the project complies with all applicable development regulations; (d) the site is physically suitable for the proposed density as the proposed density complies with the density requirement of the Local Coastal Program; (e) the project is proposed on a previously developed site, therefore it would not cause substantial environmental damage; (f) the project, as proposed, does not include a use that would threaten public health; and (g) the subdivision will not conflict with easements, acquired by the public at large, for access through or use of property within the proposed subdivision. Therefore, staff recommends approval of the Vesting Tentative Parcel Map.

PUBLIC OUTREACH

A public notice for the project was mailed to property owners within 500 feet of the site and published on May 11, 2023 in The Beach Reporter. The notice was also posted at City Hall. As of the writing of this report, staff has received one public comment (Attachment F).

ENVIRONMENTAL DETERMINATION

The project is Categorically Exempt from the requirements of the California Environmental Quality Act (CEQA), per State CEQA Guidelines Section 15303(b), for new construction of a multi-family residential structure totaling no more than four dwelling units and State CEQA Guidelines Section 15315 (Minor Land Divisions) for the subdivision of the subject properties into separate condominium ownership, and there are no features that distinguish this project from

others in the exempt classes; therefore, there are no unusual circumstances.

CONCLUSION

Staff concludes that the project complies with all applicable development regulations, conforms with applicable General Plan goals, policies and objectives, and that all required findings for approval can be made. Accordingly, staff recommends that the Planning Commission conduct the public hearing, and adopt the attached resolution approving the Coastal Development Permit, Use Permit, and Vesting Tentative Parcel Map. No. 84084, subject to conditions, and adopt the environmental determination.

ATTACHMENTS:

- A. Draft Resolution No.
- B. Vicinity Map
- C. Applicant's Written Documents
- D. Plans- 4103 Highland Avenue
- E. Plans- 229 41st Street
- F. Public Comment

ATTACHMENT A

RESOLUTION NO. PC 23-___

RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF MANHATTAN BEACH APPROVING A COASTAL DEVELOPMENT PERMIT, A USE PERMIT, AND A VESTING TENTATIVE PARCEL MAP (NO. 84084) FOR: 1) DEMOLITION OF A COMMERCIAL BUILDING AND CONSTRUCTION OF A NEW TWO-UNIT MULTI-FAMILY RESIDENTIAL CONDOMINIUM STRUCTURE LOCATED AT 4103 HIGHLAND AVENUE, 2) DEMOLITION OF A PARKING LOT AND CONSTRUCTION OF A NEW TWO-UNIT MULTI-FAMILY RESIDENTIAL CONDOMINIUM STRUCTURE LOCATED AT 229 41ST STREET, 3) ADJUSTMENT OF LOT LINES ASSOCIATED WITH THE SUBJECT PARCELS (4137-008-058 AND 4137-008-057) AND SUBSEQUENT SUBDIVISION OF BOTH PARCELS INTO AIR PARCELS FOR CONDOMINIUM PURPOSES; AND ADOPTING AN ENVIRONMENTAL DETERMINATION IN ACCORDANCE WITH THE CALIFORNIA ENVIRONMENTAL QUALITY ACT (TIM AGEE, DIDI LLC)

THE MANHATTAN BEACH PLANNING COMMISSION DOES HEREBY RESOLVE AS FOLLOWS:

SECTION 1. On October 26, 2022, Tim Agee of Didi LLC (“Applicant”) applied for a Coastal Development Permit, a Use Permit, and a Vesting Tentative Parcel Map (No. 84084) for the demolition of a commercial building and construction of a new two-unit multi-family residential condominium structure located at 4103 Highland Avenue, the demolition of a parking lot and construction of a new two-unit multi-family residential condominium structure located at 229 41st Street, and the adjustment of lot lines associated with the subject parcels (4137-008-058 and 4137-008-057) and subsequent subdivision of both parcels into air parcels for condominium purposes in the City of Manhattan Beach (the “Project”).

SECTION 2. On May 24, 2023, the Planning Commission conducted a duly noticed public hearing to consider the Project, during which the Planning Commission provided an opportunity for the public to provide evidence and testimony at the public hearing.

SECTION 3. Pursuant to Section A.96.040 Of the Local Coastal Program (LCP), the Project requires a Coastal Development Permit for demolition and construction of a new multi-family structure within the City’s Coastal Zone. Additionally, Section A.16.020 of the LCP requires approval of a Use Permit for condominium developments within the (CNE) North End Commercial zone. Furthermore, a subdivision map is required per MBMC Title 11 to adjust the lot lines and subdivide each property into two condominium ownership units.

SECTION 4. The Project is Categorically Exempt from the requirements of the California Environmental Quality Act (CEQA), per State CEQA Guidelines Section 15303(b), for new construction of multi-family residential structure totaling no more than four dwelling units, and State CEQA Guidelines Section 15315 (Minor Land Divisions) for the subdivision of the subject property into separate condominium ownership, and there are no features that distinguish this project from others in the exempt class; therefore, there are no unusual circumstances.

SECTION 5. The record of the public hearing indicates:

- A. The legal description of the site is: Lot 34, Block 4, Tract No. 4103 (4103 Highland Ave) and Lot 33, Block 4, Tract No. 4103 (229 41st St), in the City of Manhattan Beach, County of Los Angeles. The site is located in Area District IV and is zoned CNE, North End Commercial. The surrounding properties are zoned RH to the north and west, and CNE to the east and south.
- B. The use is permitted in the CNE zoning district subject to a Use Permit. The General Plan designation for the property is North End Commercial. The project is consistent with General Plan policies, which state that the North End Commercial land use designation conditionally permits multifamily residential uses.
- C. The applicant has requested a Coastal Development Permit, Use Permit and Vesting Tentative Parcel Map for construction of a proposed 4,311 square-foot building consisting of two residential condominium units on the property located at 4103 Highland Avenue and a 4,040 square-foot building consisting of two residential condominium units on the property located at 229 41st Street in the City of Manhattan Beach.

D. The Project is specifically consistent with General Plan Policies as follows:

LU-1.1: Limit the height of new development to three stories where the height limit is thirty feet, or to two stories where the height limit is twenty-six feet, to protect the privacy of adjacent properties, reduce shading, protect vistas of the ocean, and preserve the low-profile image of the community. The project is limited to two stories; therefore, impacts to shading and privacy are minimized, and the low-profile image of the community preserved.

LU-1.2: Require the design of all new construction to utilize notches, balconies, rooflines, open space, setbacks, landscaping, or other architectural details to reduce the bulk of buildings and to add visual interest to the streetscape. The project provides visual interest and architectural detailing via decks, open space areas and setbacks of the top floor.

LU-2.2: Preserve and encourage private open space on residential lots citywide. The project includes private decks and a common rear yard and open spaces in compliance with the requirement in the Planning and Zoning Code.

LU-3.1: Continue to encourage quality design in all new construction. The building includes a contemporary design, compatible with the existing built environment, inclusive of setbacks for building articulation, including on the top floor.

- E. The Project helps further the General Plan policies identified above, and is in compliance with applicable provisions of the LCP, Manhattan Beach Municipal Code, General Plan, Housing Element, and Subdivision Map Act.

SECTION 6. Based upon substantial evidence in the record, and pursuant to LCP Section 10.84.060(A), the Planning Commission hereby finds:

- 1. The proposed location of the use is in accord with the objectives of this title and the purposes of the district in which the site is located.**

The project proposes construction of multi-family residential housing in the North End Commercial (CNE) zoning district. As stated in MBLCP Section A.16.010, residential uses are conditionally permitted in the CNE zoning district. The proposed multi-family residential project has densities consistent with the High Density Residential category for Area District IV and directly serve the purpose of the zoning district by contributing to the development of residential units.

- 2. The proposed location of the use and the proposed conditions under which it would be operated or maintained will be consistent with the General Plan; will not be detrimental to the public health, safety or welfare of persons residing or working on the proposed project site or in or adjacent to the neighborhood of such use; and will not be detrimental to properties or improvements in the vicinity or to the general welfare of the city.**

Development of multi-family residential project at the proposed locations is consistent with the goals and objectives of the General Plan North End Commercial land use designation assigned to the project sites and the neighboring properties. The proposed use is consistent with surrounding uses, as some of the neighboring lots have also been developed with residential, multi-family uses. Furthermore, the project has been reviewed by various City departments/divisions, including Public Works and Building and Safety and Engineering, and it has been determined that they will not be detrimental to persons, properties or improvements in the vicinity or to the general welfare of the City, as construction and use of the project will have to comply with all applicable regulations.

The General Plan states that “residential uses are allowed [in the CNE zoning district] with discretionary review and at densities consistent with the High Density Residential category.” The project is in conformance with the following specific General Plan policies:

LU-1.1: Limit the height of new development to three stories where the height limit is thirty feet, or to two stories where the height limit is twenty-six feet, to protect the privacy of adjacent properties, reduce shading, protect vistas of the ocean, and preserve the low-profile image of the community. The project is limited to three stories; therefore, impacts to shading and privacy are minimized, and the low-profile image of the community preserved.

LU-1.2: Require the design of all new construction to utilize notches, balconies, rooflines, open space, setbacks, landscaping, or other architectural details to reduce the bulk of buildings and to add visual interest to the streetscape. The project provides visual interest and architectural detailing via decks, open space areas and setbacks of the top floor.

LU-2.2: Preserve and encourage private open space on residential lots citywide. The project includes private decks on the second and third floors and open spaces in compliance with the requirement in the Planning and Zoning Code.

LU-3.1: Continue to encourage quality design in all new construction. The building includes a modern design, compatible with the existing built environment, inclusive of setbacks for building articulation and decks throughout the building.

- 3. The proposed use will comply with the provisions of the City’s Planning and Zoning Title, including any specific condition required for the proposed use in the district in which it would be located.**

The proposed use complies with all applicable development standards in Title A of the LCP, including but not limited to setbacks, maximum height, density, required parking, and open space. No variances are required for this project; therefore, the project meets this finding.

- 4. The proposed use will not adversely impact nor be adversely impacted by nearby properties.**

Potential impacts are related but not necessarily limited to: traffic, parking, noise, vibration, odors, resident security and personal safety, and aesthetics, or create demands exceeding the capacity of public services and facilities which cannot be mitigated.

The proposed multi-family residential use does not adversely impact neighboring properties, as the use is consistent with the surrounding uses in the CNE and RH zoning districts and are compatible in terms of density, height, massing, and scale with the surrounding built environment. Development of this type is anticipated by the General Plan and does not create demands exceeding the capacity of public services.

SECTION 7. Based upon substantial evidence in the record, and pursuant to Section A.96.150 of the LCP, the Planning Commission hereby finds:

- (A) That the project, as described in the application and accompanying material, or as modified by any conditions of approval, conforms with the certified LCP;

The subject site is located within Area District IV (North End) and zoned North End Commercial (CNE). The General Plan and Local Coastal Program/Land Use Plan designation for the properties are North End Commercial, which accommodates “residential uses... at densities consistent with the High Density Residential category.” Many neighboring properties are also developed with residential uses. The proposed two-unit condominium structures (one on each lot) are conditionally permitted in the CNE zoning district and are in compliance with the City’s General Plan land use designation of North End Commercial; as such, the project will not be detrimental to the public health, safety or welfare of persons residing or working in or adjacent to the neighborhood of such use, and they will not be detrimental to properties or improvements in the vicinity or to the general welfare of the City.

The project is consistent with the residential development policies of the Manhattan Beach Local Coastal Program, specifically Policies II. B.1, 2, & 3, as follows:

II.B.1: The proposed structure is consistent with the building scale in the coastal zone neighborhood and complies with the applicable standards of the Local Coastal Program as demonstrated in the Project Overview table incorporated herein.

II.B.2: The proposed structure is consistent with the residential bulk control as established by the development standards of the Local Coastal Program-Implementation Plan, as the project meets all maximum requirements, and exceeds all minimum requirements as applicable, for height, number of stories, buildable floor area (BFA), setbacks, and open space.

II.B.3: The proposed structure is consistent with the 30' Coastal Zone residential height limit as required by the Local Coastal Program-Implementation Plan, as the proposed structure does not exceed the 30-foot maximum height limit.

- (B) The proposed project is not subject to Part (B) of the required findings (if the project is located between the first public road and the sea, that the project is in conformity with the public access and recreation policies of Chapter 3 of the Coastal Act of 1976) for the reasons described below:

As the project site is located east of Ocean Drive, it is not located between the first public road and the sea; therefore, it is not subject to this finding. Nonetheless, the proposed structures do not impact public access to the shoreline. Adequate public access is provided and shall be maintained along 41st Street, Highland Avenue, and Moonstone Street. Furthermore, the project does not create any barriers along 41st Street, Highland Avenue, and Moonstone Street that prevent public access to the coast.

SECTION 8. The Planning Commission hereby finds that the Vesting Tentative Parcel Map shall be in compliance with Section 11.24.020 of the Manhattan Beach Municipal Code, as demonstrated by the Use Permit findings above.

Pursuant to California Government Code Section 66474 (Subdivision Map Act), a legislative body of a city or county shall deny approval of a tentative map only if it makes any of the following findings: (a) that the proposed map is not consistent with applicable general and specific plans as specified in Section 65451; (b) that the design or improvement of the proposed subdivision is not consistent with applicable general and specific plans; (c) that the site is not physically suitable for the type of development; (d) that the site is not physically suitable for the proposed density of development; (e) that the design of the subdivision or the proposed improvements are likely to cause substantial environmental damage or substantially and avoidably injure fish or wildlife or their habitat; (f) that the design of the subdivision or type of improvements is likely to cause serious public health problems; or (g) that the design of the subdivision or the type of improvements will conflict with easements, acquired by the public at large, for access through or use of, property within the proposed subdivision.

The Planning Commission is unable to make any of the findings for denial of the Vesting Tentative Parcel Map given

that: (a) the proposed map is consistent with the General Plan and Local Coastal Program; (b) the design of the proposed subdivision is consistent with the General Plan and Local Coastal Program; (c) the site is physically suitable for the proposed development as the project complies with all applicable development regulations; (d) the site is physically suitable for the proposed density as the proposed density complies with the density requirement of the Local Coastal Program; (e) the project is proposed on a previously developed site, therefore it would not cause substantial environmental damage; (f) the project, as proposed, does not include a use that would threaten public health; and (g) the subdivision will not conflict with easements, acquired by the public at large, for access through or use of property within the proposed subdivision.

SECTION 9. Based upon the foregoing, the Planning Commission hereby **APPROVES** the Project, subject to the following conditions:

General

1. The project shall be constructed and operated in substantial compliance with the submitted plans and project description as approved by the Planning Commission on **May 24, 2023**. Any other substantial deviation from the approved plans and project description must be reviewed and approved by the Planning Commission.
2. Project shall demonstrate compliance with all applicable Municipal Code requirements for multi-family condominium development upon submittal to Building & Safety plan check.
3. A Traffic Management and Parking Plan shall be submitted in conjunction with all construction and other building plans, to be approved by the City's Traffic Engineer prior to issuance of building permits. The plan shall provide for the management of all construction related traffic during all phases of construction, including delivery of materials and parking of construction related vehicles.
4. All electrical, telephone, cable television system, and similar service wires and cables shall be installed underground to the appropriate utility connections in compliance with all applicable Building and Electrical Codes, safety regulations, and orders, rules of the Public Utilities Commission, the serving utility company, and specifications of the Public Works Department.
5. During building construction of the site, the soil shall be watered in order to minimize the impacts of dust on the surrounding area.
6. The siting of construction related equipment (job site offices, trailers, materials, etc.) shall be subject to the approval from the Director of Community Development or designee prior to the issuance of any building permits.
7. A site landscaping plan utilizing drought tolerant plants shall be submitted for review and approval concurrent with the building permit application. Use of turf grass and other high water use plant materials shall be minimized. All plants shall be identified on the plan by the Latin and common names. Landscaping within the driveway visibility triangle shall be a maximum height of 3 feet. Landscaping shall include mature shrubs and box-sized shade trees throughout the project site. Landscaping shall be installed per the approved plans prior to building final. Landscaping and irrigation shall conform to water conservation regulations per Chapter 7.44 of the Manhattan Beach Municipal Code. The landscaping site plan shall be to the satisfaction and approval of the Community Development Director.
8. A low pressure or drip irrigation system shall be installed in the landscaped areas utilizing smart controllers and other WaterSense devices, which shall not cause any surface run-off. Details of the irrigation system shall be noted on the landscaping plans. The type and design shall be subject to the approval of the Public Works and Community Development Departments and shall be installed per the approved plans prior to building final.
9. Security lighting for the site shall be provided in conformance with Municipal Code requirements including glare prevention design.
10. Noise emanating from the site shall be in compliance with the Municipal Noise Ordinance.
11. Any outside sound or amplification system or equipment is prohibited.
12. Construction plans shall incorporate sustainable building components into the building and site design. The plans may include, but not be limited to LEED (Leadership in Energy and Environmental Design) and Built-It-Green components, permeable pavement, energy efficient plumbing, mechanical and electrical systems which shall include the use of WaterSense and Energy Star fixtures and appliances, and retention of storm water on the site. The proposed development will have a minimal effect on existing surface drainage patterns and may result in an incremental increase in the amount of surface runoff entering the public storm drain system. Gutters and downspouts shall direct roof run-off to permeable areas and landscaped yard areas throughout the site, which shall absorb a significant portion of surface runoff. In addition, the site will

be properly graded to obtain maximum onsite drainage and soil stability. Plans shall require review and approval by the Community Development and Public Works Departments.

Condominium Conditions

13. A survey suitable for purposes of recordation shall be performed by a Civil Engineer or Land Surveyor licensed in the State of California, including permanent monumentation of all property corners and the establishment or certification of centerline ties at:
 - a. 13th Place and 14th Street
 - b. Manhattan Avenue and Highland Avenue
14. Each new condominium shall have separate water and sewer laterals as required by the Director of Public Works.
15. The Vesting Tentative Parcel Map shall be approved for an initial period of three years with the option of future extensions. The final map shall be recorded prior to condominium occupancy.
16. Reciprocal access easements shall be recorded on each property as shown in the approved plans. The intent of the reciprocal access easements is to provide the required path of travel for egress for all the homes.

Public Works

17. The applicant shall be required to process the necessary paperwork and record an Irrevocable Offer of Dedication for a one-foot permanent dedication along the eastern-side of the 4103 Highland Avenue (Lot 34, Block 4, Tract No. 4103).
18. A corner cut-off street dedication shall be required to provide sufficient right-of-way for future pedestrian ramps at the southwest corner of Highland Avenue and Moonstone Street and northwest corner of Highland Avenue and 41st Street as directed by the City. The applicant shall reconstruct disabled access ramp(s) on the same corner, if the existing ramp is not code compliant.
19. Enclosed storage area(s) for refuse containers must be provided on-site. These areas must be constructed to meet the requirements of M.B.M.C. 5.24.030. The area(s) must be shown in detail on the plans before a permit is issued. The individual condominium units must provide their own trash, recycling and green waste areas and show the areas on the plans as per the approval of the Public Works Department. The landscape company contracted by the homeowner's association must dispose of all green waste off-site.
20. Each new condominium shall separate water and sewer laterals as required by the Director of Public Works. Separate water lines and sanitary sewer laterals must be installed on each unit. A 6" property line cleanout must be installed on a 6" sanitary sewer lateral for each new condominium. Cleanout must be shown on the site plan.
21. Condominiums shall include a reciprocal utility right of way corridor between units in order to ensure that each unit has authorized use to access main line utilities for individual services.
22. New curb and gutter, sidewalk and driveway approach fronting the property to latest City standards and all must comply with most current ADA standards prior to final occupancy. Including per M.B.M.C. Chapter 11.20 additional right of way dedication will be required including flared sidewalk behind utility poles to provide adequate sidewalk clearances.
23. All defective or damaged curb, gutter, street paving, and sidewalk improvements shall be removed and replaced with standard improvements, subject to the approval of the Public Works Department.
24. It is the responsibility of the contractor to protect all the street signs around the property. If signs are damaged, lost or removed, it is the responsibility of the contractor to replace and/or relocate the signs at the contractor's expense. The contractor is also responsible for any street markings that are damaged or removed by the contractor's operations. Contact the Public Works Inspector for sign specification and suppliers.
25. Direct surface and roof runoff to vegetated areas before discharging into the public right of way/street per M.B.M.C 5.84.100. Incorporate Low Impact Development (LID) features within the landscaped areas to infiltrate roof and surface runoff rather than allow flow into the street right of way.

Procedural

26. Terms and Conditions are Perpetual; Recordation of Covenant. The provisions, terms and conditions set forth herein are perpetual, and are binding on the property owner, its successors-in-interest, and, where

applicable, all tenants and lessees of the site. Further, the property owner shall submit the covenant, prepared and approved by the City, indicating its consent to the conditions of approval of this Resolution, and the City shall record the covenant with the Office of the County Clerk/Recorder of Los Angeles. Property owner shall deliver the executed covenant, and all required recording and related fees, to the Department of Community Development within 30 days of the adoption of this Resolution. Notwithstanding the foregoing, the Community Development Director may, upon a request by property owner, grant an extension to the 30-day time limit. The project approval shall not become effective until recordation of the covenant.

27. Indemnity, Duty to Defend and Obligation to Pay Judgments and Defense Costs, Including Attorneys' Fees, Incurred by the City. The Applicant shall defend, indemnify, and hold harmless the City, its elected officials, officers, employees, volunteers, agents, and those City agents serving as independent contractors in the role of City officials (collectively "Indemnitees") from and against any claims, damages, actions, causes of actions, lawsuits, suits, proceedings, losses, judgments, costs, and expenses (including, without limitation, attorneys' fees or court costs) in any manner arising out of or incident to this approval, related entitlements, or the City's environmental review thereof. The Applicant shall pay and satisfy any judgment, award or decree that may be rendered against City or the other Indemnitees in any such suit, action, or other legal proceeding. The City shall promptly notify the Applicant of any claim, action, or proceeding and the City shall reasonably cooperate in the defense. If the City fails to promptly notify the Applicant of any claim, action, or proceeding, or if the City fails to reasonably cooperate in the defense, the Applicant shall not thereafter be responsible to defend, indemnify, or hold harmless the City or the Indemnitees. The City shall have the right to select counsel of its choice. The Applicant shall reimburse the City, and the other Indemnitees, for any and all legal expenses and costs incurred by each of them in connection therewith or in enforcing the indemnity herein provided. Nothing in this condition shall be construed to require the Applicant to indemnify Indemnitees for any claim arising from the sole negligence or willful misconduct of the Indemnitees. In the event such a legal action is filed challenging the City's determinations herein or the issuance of the approval, the City shall estimate its expenses for the litigation. The Applicant shall deposit said amount with the City or, at the discretion of the City, enter into an agreement with the City to pay such expenses as they become due.

SECTION 10. The Planning Commission's decision is based upon each of the totally independent and separate grounds stated herein, each of which stands alone as a sufficient basis for its decision.

SECTION 11. This Resolution shall become effective when all time limits for appeal as set forth in MBMC Chapter 10.100 have expired.

SECTION 12. The Secretary of the Planning Commission shall certify to the adoption of this Resolution and shall forward a copy of this Resolution to the Applicant. The Secretary shall make this Resolution readily available for public inspection.

SECTION 13. This entitlement shall lapse three years after its date of approval, pursuant to regulations applicable to Vesting Tentative Parcel Maps, unless implemented or extended pursuant to Title 11 of the Municipal Code.

Signatures and votes on following page

May 24, 2023

Planning Commission Chair

I hereby certify that the following is a full, true, and correct copy of the Resolution as **ADOPTED** by the Planning Commission at its regular meeting on **May 24, 2023** and that said Resolution was adopted by the following vote:

AYES:

NOES:

ABSTAIN:

ABSENT:

Talyn Mirzakhania
Secretary to the Planning Commission

Rosemary Lackow
Recording Secretary

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VICINITY MAP

4103 HIGHLAND AVENUE

229 41ST STREET



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ATTACHMENT C

SROUR & ASSOCIATES

Real Estate Development Services Group, Inc
2447 Pacific Coast Highway, Suite 200
Hermosa Beach, CA 90254
brandon@esrou.com 310/372-8433

DATE: October 13, 2022

TO: Assistant Planner
Community Development Department

SUBJECT: 4103 Highland Ave - Coastal Development Permit Application – (administrative review)

This application is for Coastal Development Permit to demolish an existing commercial building and construct a two-unit condominium on a 3,152 square-foot lot in the CNE zone, Area District IV. The proposed residence will have three levels. Each unit will have a two-car garage and one open guest parking space. The development will be in compliance with the zoning requirements as well as the Local Coastal Program in that as drawn, new construction will meet standards regarding setbacks, height, buildable floor area, parking, open space, and all other zoning standards that govern development in this zone and Area District.

1. The provisions of the Local Coastal Program incorporate zoning and development standards and the proposed plans meet all applicable standards, including allowable building area.
2. The project is not on a walk street.
3. The proposed project will provide six on-site parking spaces. Garage access will be from 41 Street and from Moonstone Street.

Thank you for your review of this project and please do not hesitate to contact with questions or needs for additional information.

SROUR & ASSOCIATES
Real Estate Development Services Group, Inc
2447 Pacific Coast Highway, Suite 200
Hermosa Beach, CA 90254
brandon@esrou.com 310/372-8433

DATE: October 13, 2022

TO: Assistant Planner
Community Development Department

SUBJECT: 229 41st Street - Coastal Development Permit Application – (administrative review)

This application is for Coastal Development Permit to construct a two-unit condominium on a 2,704 square-foot parking lot in the CNE zone, Area District IV. The proposed residence will have three levels. Each unit will have a two-car garage and one open guest parking space. The development will be in compliance with the zoning requirements as well as the Local Coastal Program in that as drawn, new construction will meet standards regarding setbacks, height, buildable floor area, parking, open space, and all other zoning standards that govern development in this zone and Area District.

1. The provisions of the Local Coastal Program incorporate zoning and development standards and the proposed plans meet all applicable standards, including allowable building area.
2. The project is not on a walk street.
3. The proposed project will provide six on-site parking spaces. Garage access will be from 41 Street and from Moonstone Street.

Thank you for your review of this project and please do not hesitate to contact with questions or needs for additional information.

SUBDIVIDER
 MICHAEL LEE ARCHITECTS
 MICHAEL LEE
 2200 HIGHLAND AVENUE
 MANHATTAN BEACH, CA 90266
 PHONE 310-545-5771

LEGAL DESCRIPTION
 LOTS 33 AND 34, BLOCK 4,
 TRACT NO. 4103,
 M.B. 46-8,
 APN 4137-008-057/058

JOB ADDRESSES (PROPOSED)
 PARCEL 1: 4101 & 4103 HIGHLAND AVENUE
 PARCEL 2: 229 41st STREET & 228 MOONSTONE STREET
 MANHATTAN BEACH, CA 90266

NOTES

1. ALL EXISTING STRUCTURES TO BE REMOVED UNLESS OTHERWISE NOTED.
2. ALL UTILITIES ARE LOCATED IN ADJACENT STREETS.
3. THIS IS A TWO PARCEL RESIDENTIAL SUBDIVISION PROJECT; EACH NEW PARCEL IS FOR A 2-UNIT CONDOMINIUM PROJECT. TWO RESIDENTIAL UNITS ON PARCEL 1 AND TWO RESIDENTIAL UNITS ON PARCEL 2.

* BLOCK 4
 TRACT NO. 4103
 M.B. 46-8

PARCEL MAP NO.84084

IN THE CITY OF MANHATTAN BEACH
 COUNTY OF LOS ANGELES
 STATE OF CALIFORNIA

FOR CONDOMINIUM PURPOSES

ENGINEER

DENN ENGINEERS

3914 DEL AMO BOULEVARD, STE. 921
 TORRANCE, CA 90503
 310-542-9433

Gary J. Roehl
 GARY J. ROEHL R.C.E. 30826

DATE 1/9/2023



22-394B

PROPOSED EASEMENT DEDICATION NOTE:

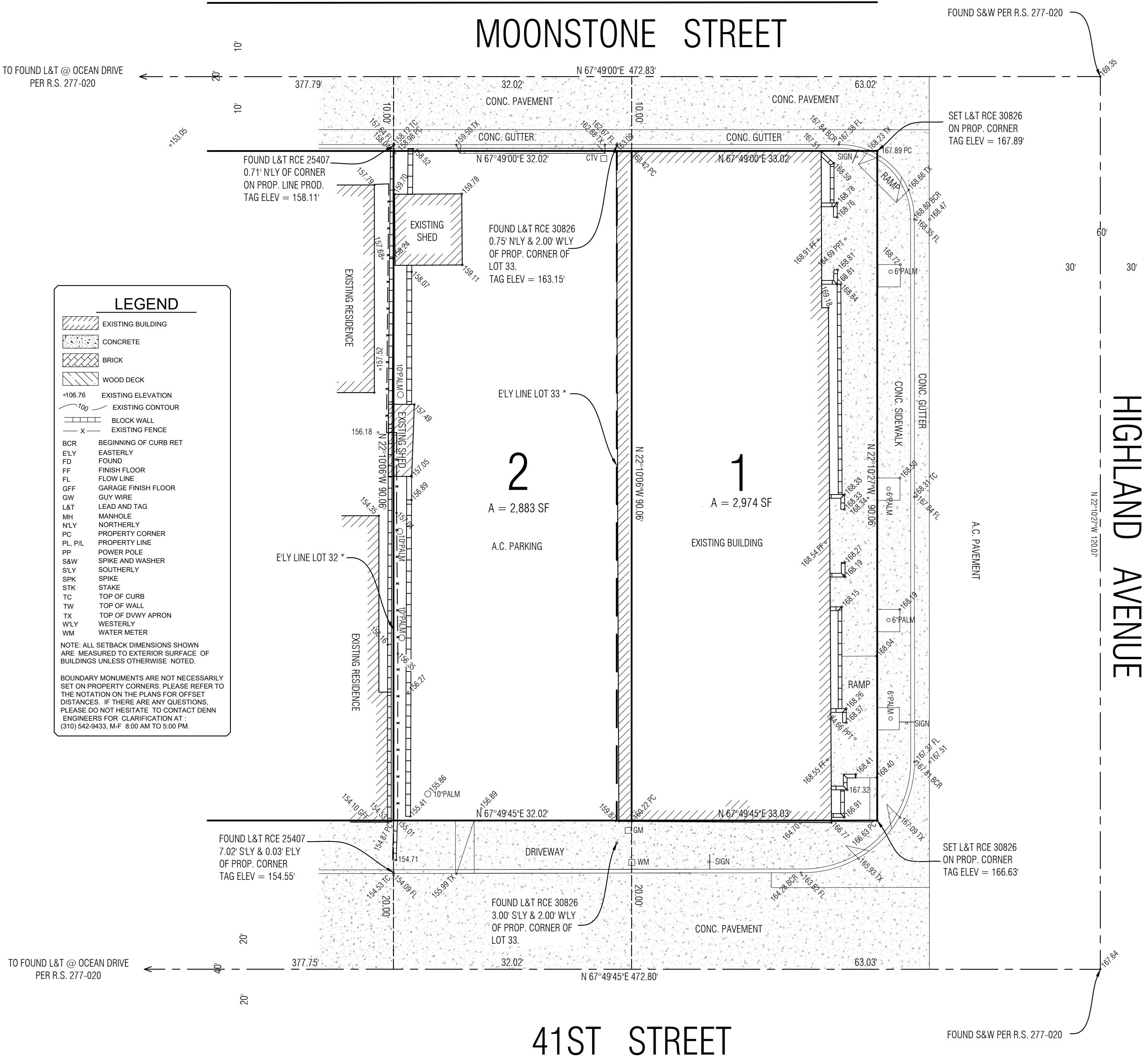
- 1) PROPOSED CORNER CUTOFF AT BOTH HIGHLAND AVENUE AND 41ST STREET, AND AT HIGHLAND AVENUE AND MOONSTONE STREET.

DIMENSIONS OF ACTUAL EASEMENT SHALL BE DETERMINED BY THE CITY OF MANHATTAN BEACH ENGINEERING/PUBLIC WORKS DEPARTMENT.

NOTE:

A TITLE POLICY HAS BEEN PROVIDED AND REVIEWED BY DENN ENGINEERS AT THE TIME OF THIS SURVEY. ANY READILY AVAILABLE ITEMS AFFECTING THIS PROPERTY HAVE BEEN PLOTTED BASED ON PROVIDED DOCUMENTS.

FIDELITY NATIONAL TITLE COMPANY
 ORDER NO. 995-30097863-2AA
 DATED JANUARY 26, 2023



LEGEND

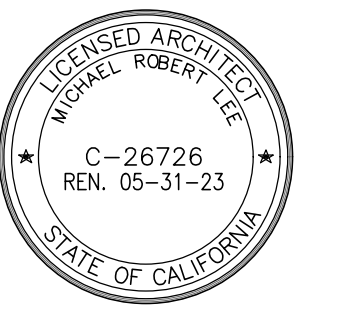
- EXISTING BUILDING
- CONCRETE
- BRICK
- WOOD DECK
- EXISTING ELEVATION
- EXISTING CONTOUR
- BLOCK WALL
- EXISTING FENCE
- BCR BEGINNING OF CURB RET
- E'LY EASTERLY
- FD FOUND
- FF FINISH FLOOR
- FL FLOW LINE
- GFF GARAGE FINISH FLOOR
- GW GUY WIRE
- L&T LEAD AND TAG
- MH MANHOLE
- N'LY NORTHERLY
- PC PROPERTY CORNER
- P.L. PROPERTY LINE
- PP POWER POLE
- S&W SPIKE AND WASHER
- S'LY SOUTHERLY
- SPK SPIKE
- STK STAKE
- TC TOP OF CURB
- TW TOP OF WALL
- TX TOP OF DWYVY APRON
- W'LY WESTERLY
- WM WATER METER

NOTE: ALL SETBACK DIMENSIONS SHOWN ARE MEASURED TO EXTERIOR SURFACE OF BUILDINGS UNLESS OTHERWISE NOTED.

BOUNDARY MONUMENTS ARE NOT NECESSARILY SET ON PROPERTY CORNERS. PLEASE REFER TO THE NOTATION ON THE PLANS FOR OFFSET DISTANCES. IF THERE ARE ANY QUESTIONS, PLEASE DO NOT HESITATE TO CONTACT DENN ENGINEERS FOR CLARIFICATION AT: (310) 542-9433, M-F, 8:00 AM TO 5:00 PM.

4101 and 4103 Highland Condominiums

4101 and 4103 Highland Ave
 Manhattan Beach, CA
 90266



Date: 08/01/2022

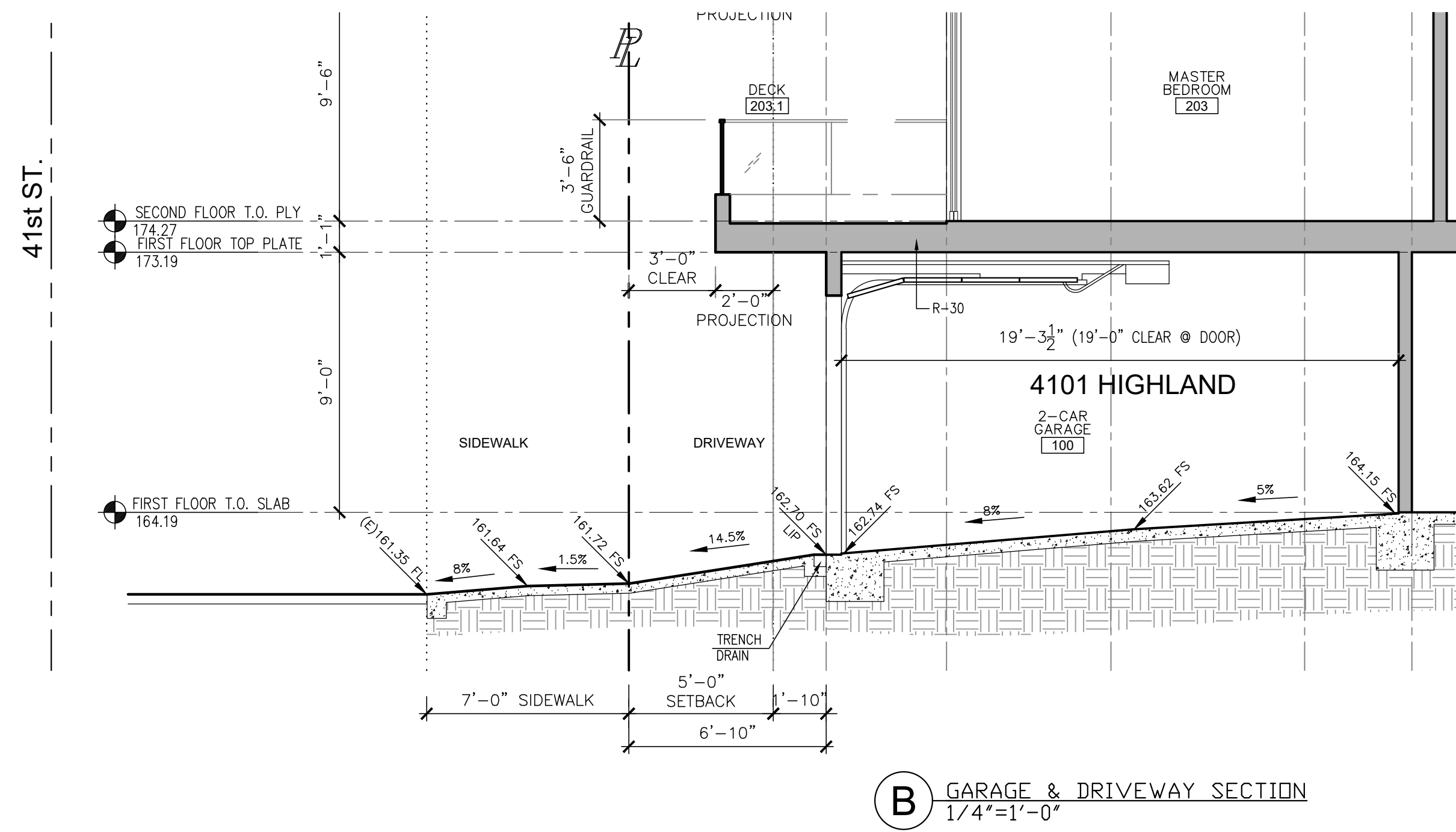
Revisions	By
Planning Submittal 08/25/2022	
Planning Submittal 03/28/2023	

Scale: 1/4" = 1'-0"

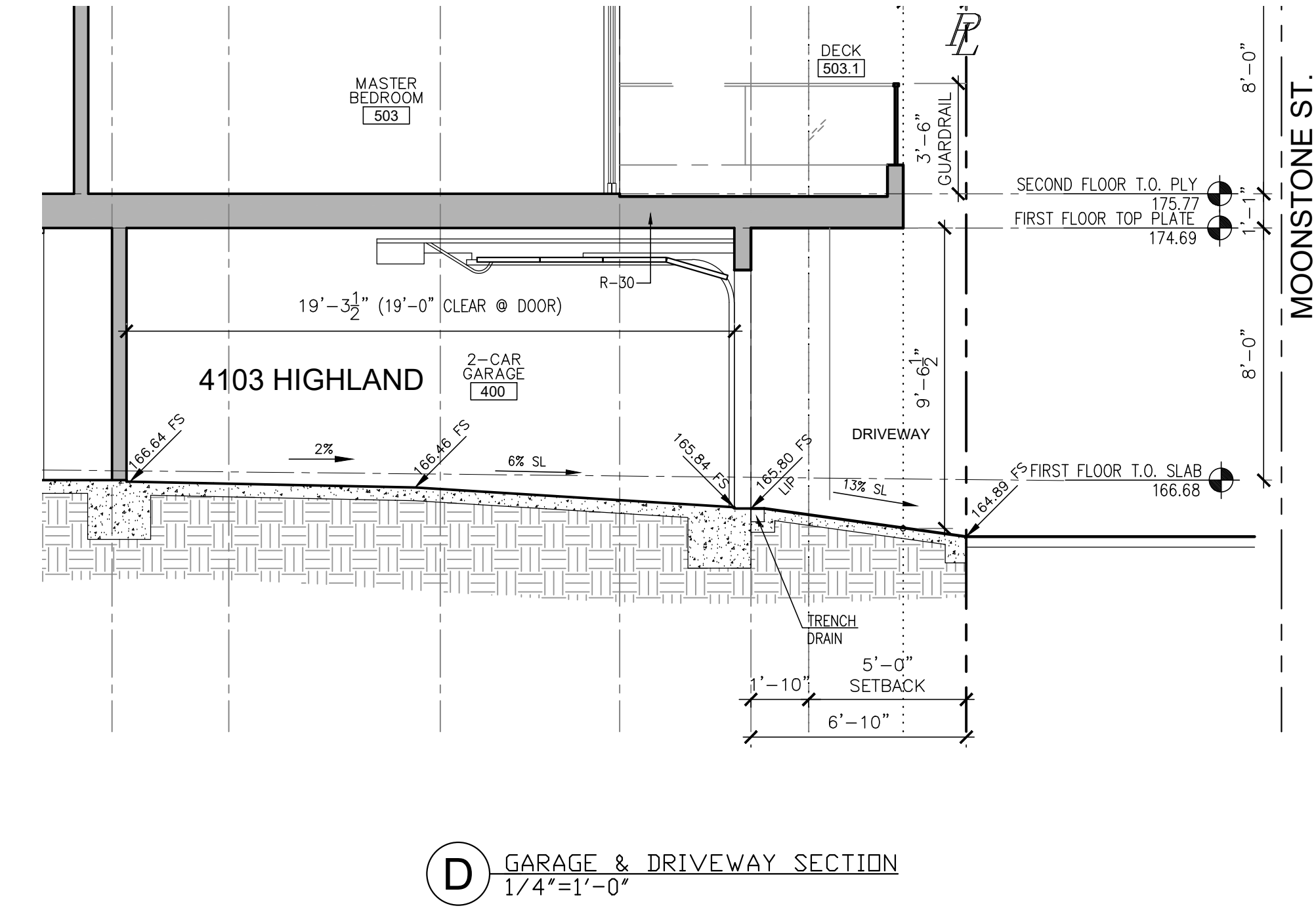
Drawn by: JPT

Garage Driveway Sections

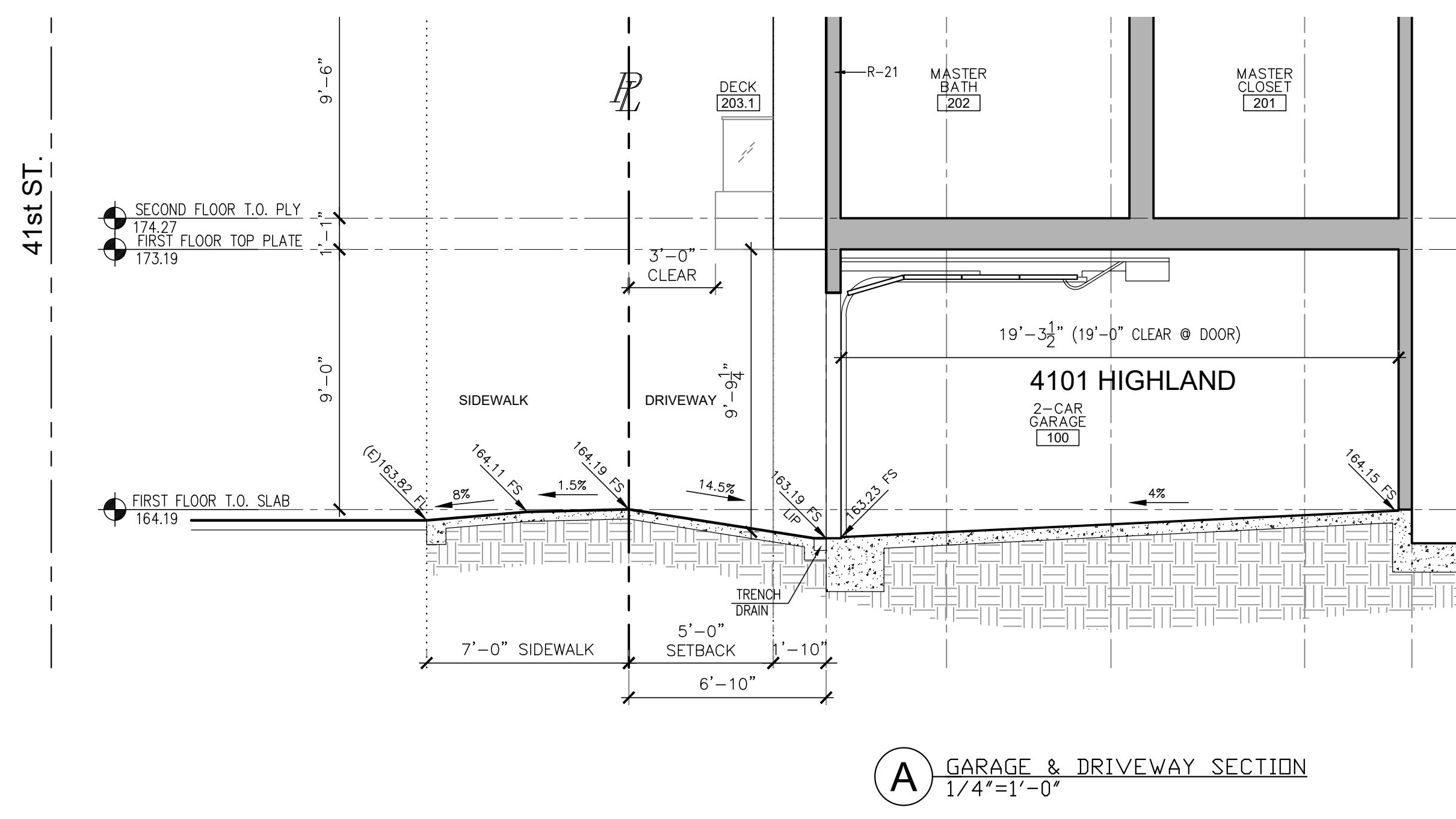
A 1.4



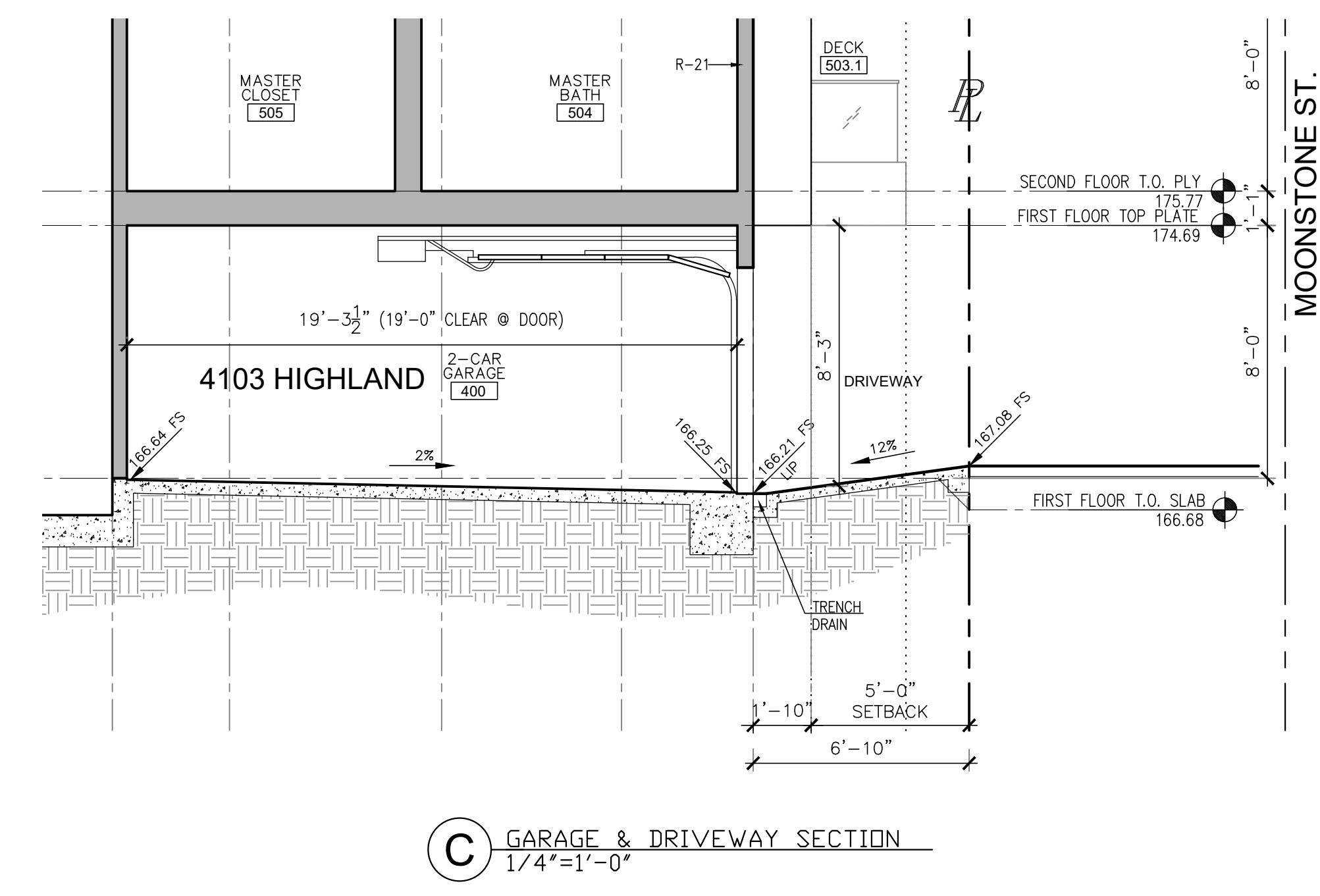
B GARAGE & DRIVEWAY SECTION
 1/4"=1'-0"



D GARAGE & DRIVEWAY SECTION
 1/4"=1'-0"



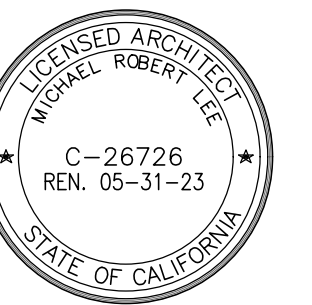
A GARAGE & DRIVEWAY SECTION
 1/4"=1'-0"



C GARAGE & DRIVEWAY SECTION
 1/4"=1'-0"

4101 and 4103 Highland Condominiums

4101 and 4103 Highland Ave
 Manhattan Beach, CA
 90266



Date: 08/01/2022

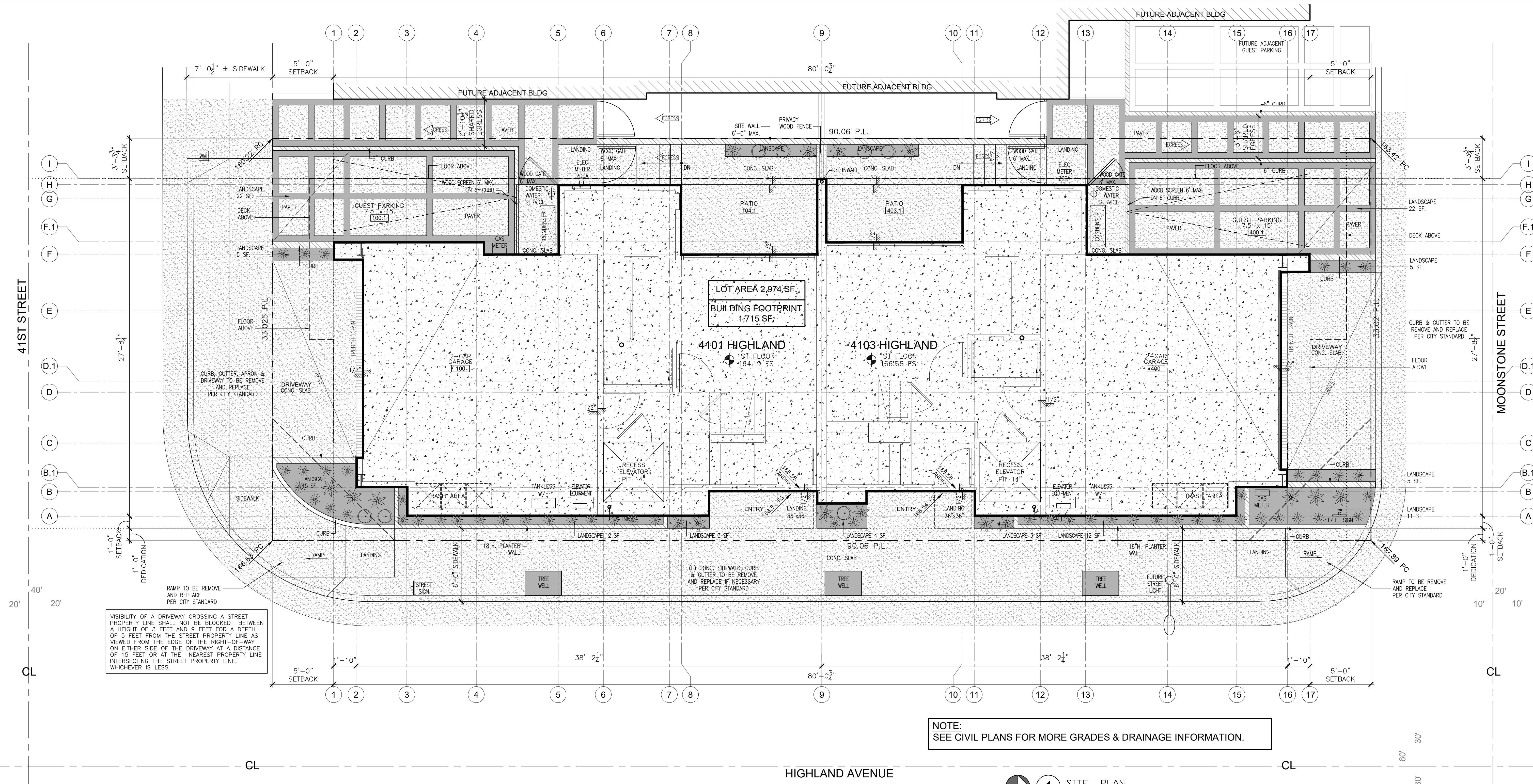
Revisions	By
Planning Submittal 08/25/2022	
Planning Submittal 03/28/2023	

Scale: 1/4" = 1'-0"

Drawn by: JPT

Site Drainage Hardscape & Landscape Plan

A 1.5



NOTE:
 SEE CIVIL PLANS FOR MORE GRADES & DRAINAGE INFORMATION.

1 SITE PLAN
 1/4" = 1'-0"

LOT AREA	2,974 SF
BUILDING FOOTPRINT	1,715 SF
DRIVEWAY	220 SF
LANDSCAPE/HARDSCAPE	1,248 SF
HIGH WATER USAGE ALLOWABLE	206 SF
HIGH WATER USAGE PROPOSED	0 SF

- GENERAL NOTES:**
- ALL EXTERIOR POURED-IN-PLACE CONCRETE PAVERS TO BE COLOR CONCRETE WITH A PRESSURE WASH FINISH & SAW CUT EXPANSION JOINTS
 - ALL INTERIOR SLABS TO BE COLOR CONCRETE WITH A PRESSURE WASH FINISH & SAW CUT EXPANSION JOINTS
 - GARAGE SLAB TO BE COLOR CONCRETE W/ SMOOTH TROWEL FINISH.
 - ALL PLANTER & YARD WALLS TO BE EXPOSED BOARD-FORMED CONCRETE, U.N.O.
 - OUTSIDE EDGE OF BUILDING SLAB AND STEM WALLS TO BE FLUSH WITH PLYWOOD FRAMING.
 - ALL LANDSCAPE IRRIGATION PROVIDED BY POTABLE (NOT RECLAIMED) WATER MUST USE DRIP OR MICROSPRAY IRRIGATION SYSTEMS.

SYMBOLS LEGEND

	INTERIOR CONCRETE SLAB WITH INTEGRAL COLOR
	EXTERIOR CONCRETE ON GRADE WITH INTEGRAL COLOR AND TOP CAST FINISH
	PLANTING AREA
	PROPERTY SITE WALL (CONCRETE) PLANTER WALL SIMILAR
	NEW BUILDING FOOTING / CURB / STEM WALL
	DRAIN LINE 1% MIN. SLOPE

DRAINAGE NOTES:

- IMPERVIOUS SURFACE SHALL BE SLOPED AWAY FROM THE BUILDING AT 2% MINIMUM SLOPE FOR A MINIMUM DISTANCE OF 10 FEET; LOT SHALL BE GRADED TO DRAIN SURFACE WATER AWAY FROM FOUNDATION WALLS; GRADE SHALL FALL 6" MINIMUM WITHIN THE FIRST 10 FEET.

LANDSCAPE CALCULATION

FRONT/CORNER YARD AREA =	410 SF
REQUIRED LANDSCAPING =	82 SF (410 x 20%)
PROVIDED LANDSCAPING =	119 S.F (29%)

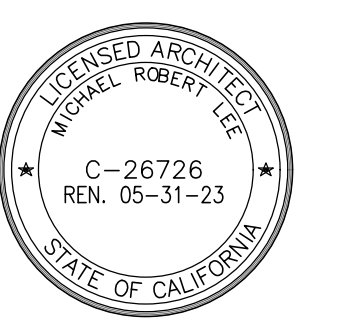
- NOTES:**
- SEPARATE PERMITS AND PLANS ARE REQUIRED FOR SPAS, POOLS, SOLAR SYSTEMS, DEMOLITION AND SEWER CAP OR EXISTING BUILDINGS. IF SUCH IMPROVEMENTS OR DEMOLITION IS REQUIRED AS A CONDITION OF APPROVAL FOR DISCRETIONARY ACTIONS OR TO COMMENCE BUILDING, THEN SUCH PERMITS MUST BE OBTAINED BEFORE OR AT THE TIME THIS PROPOSED BUILDING PERMIT IS ISSUED.
 - FENCE/WALL/HANDRAIL AND HEDGE HEIGHTS, AS MEASURED FROM THE LOWEST FINISHED GRADE ADJACENT TO EACH SECTION OF THESE STRUCTURES MAY BE A MAXIMUM OF: 42" IN THE FRONT YARD SETBACK, AND 6' AT ALL OTHER LOCATIONS ON SITE (3' IN DRIVEWAY VISIBILITY TRIANGLE AND IN THE TRAFFIC VISION CLEARANCE TRIANGLE).

PLANTING LIST

SYMBOL	BOTANICAL NAME	COMMON NAME	WATER VOLUME	QUANTITY	SIZE
	LAVENDULA 'GOODWIN CREEK'	LAVENDER	L	15	5g
	HELICTOTRICHON SEMPERVIRENS	BLUE OAT GRASS	L	9	5g
	NASSELLA TENUISSIMA	TEXAS NEEDLEGRASS	L	50	1g

4101 and 4103 Highland Condominiums

4101 and 4103 Highland Ave
 Manhattan Beach, CA
 90266



Date: 08/01/2022

Revisions By

Planning Submittal 08/25/2022

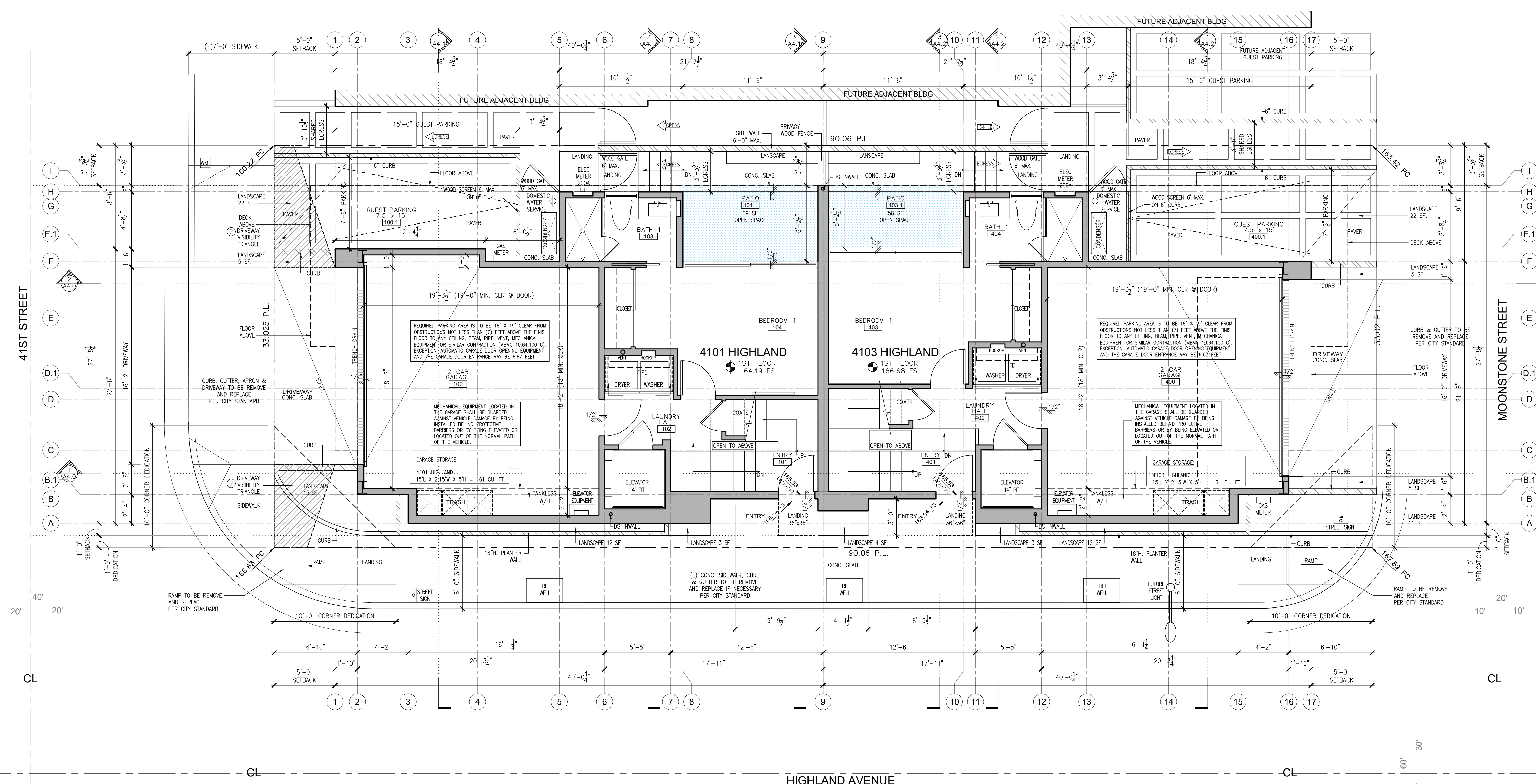
Planning Submittal 03/28/2023

Scale: 1/4" = 1'-0"

Drawn by: JPT

Floor Plans

A 2.0



1 FIRST FLOOR PLAN
 1/4" = 1'-0"

GENERAL NOTES:

- REQUIRED PARKING AREA IS TO BE 18' X 19' CLEAR FROM OBSTRUCTIONS NOT LESS THAN (7) FEET ABOVE THE FINISH FLOOR TO ANY CEILING, BEAM, PIPE, VENT, MECHANICAL EQUIPMENT OR SIMILAR CONTRACTION (MIMC 10.64.100 C). EXCEPTION: AUTOMATIC GARAGE DOOR OPENING EQUIPMENT AND THE GARAGE DOOR ENTRANCE MAY BE 6.67 FEET
- VISIBILITY OF A DRIVEWAY CROSSING A STREET PROPERTY LINE SHALL NOT BE BLOCKED BETWEEN A HEIGHT OF 3 FEET AND 9 FEET FOR A DEPTH OF 5 FEET FROM THE STREET PROPERTY LINE AS VIEWED FROM THE EDGE OF THE RIGHT-OF-WAY ON EITHER SIDE OF THE DRIVEWAY AT A DISTANCE OF 15 FEET OR AT THE NEAREST PROPERTY LINE INTERSECTING THE STREET PROPERTY LINE, WHICHEVER IS LESS.
- PROPERTY LINE INTERSECTING THE STREET PROPERTY LINE, WHICHEVER IS LESS.
- SEPARATE PERMITS AND PLANS ARE REQUIRED FOR SPAS, POOLS, SOLAR SYSTEMS, DEMOLITION AND SEWER CAP OF EXISTING BUILDINGS. IF SUCH IMPROVEMENTS OR DEMOLITION IS REQUIRED AS CONDITION OF APPROVAL FOR DISCRETIONARY ACTIONS OR TO COMMENCE BUILDING, THEN SUCH PERMITS MUST BE OBTAINED BEFORE OR AT THE TIME THIS PROPOSED BUILDING PERMIT IS ISSUED.
- FENCE / WALL / HANDRAIL AND HEDGE HEIGHTS, AS MEASURED FROM THE LOWEST FINISHED GRADE ADJACENT TO EACH SECTION OF THESE STRUCTURES, MAY BE A MAXIMUM OF 42" IN THE FRONT YARD SETBACK, AND 6" AT ALL OTHER LOCATIONS ON SITE (3' IN DRIVEWAY VISIBILITY TRIANGLE AND IN THE TRAFFIC VISION CLEARANCE TRIANGLE).
- ESCAPE OR RESCUE WINDOWS SHALL HAVE A MINIMUM NET CLEAR OPENABLE AREA OF 5.7 SQUARE FEET, MINIMUM NET CLEAR OPENABLE HEIGHT OF 24" AND MINIMUM NET CLEAR OPENABLE WIDTH 20" AND HAVE A SILL HEIGHT NOT MORE THAN 44" ABOVE FINISH FLOOR.
- INSTALL ON THE COLD WATER SUPPLY PIPE AT THE TOP OF THE WATER HEATER A CAPPED "I" FITTING TO PLUMB FOR FUTURE SOLAR WATER HEATING.
- CLOTHES DRYER DUCT SHALL BE METAL WITH MIN. 4 INCHES IN DIAMETER. THE EXHAUST DUCTS SHALL NOT EXCEED A TOTAL COMBINED HORIZONTAL AND VERTICAL LENGTH OF 14 FEET, INCLUDING TWO 90 DEGREE ELBOWS. A LENGTH OF 2 FEET SHALL BE DEDUCTED FOR EACH 90 DEGREE ELBOW IN EXCESS OF TWO. (CMC 04.4.2.1). LAUNDRY VENTILATION EXHAUST TERMINATE AT LEAST 3 FEET FROM PROPERTY LINE AND 3 FEET FROM OPENING INTO ANY BUILDINGS. (CMC 504.5).

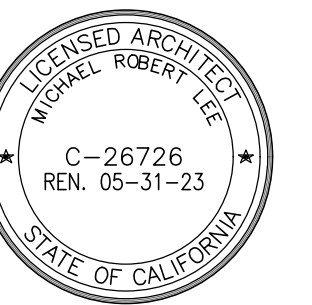
- RANGE EXHAUST VENTILATION:
 MIN. EXHAUST RATE OF 100 CFM.
 MAX. SOUND RATING OF 3 SONES @ 100 CFM. AND VENTING DIRECTLY TO THE BUILDING EXTERIOR. (CMC 504.2, ASHRAE 62.2 AND BEES 150.0(i))
- WATER CLOSET SHALL HAVE 15 INCHES TO ANY WALL OR OBSTRUCTION ON EACH SIDE OF ITS CENTERLINE AND 24 INCHES CLEAR SPACE IN FRONT (402.5 CPC).
- CONDENSATE LINES FROM MECHANICAL EQUIPMENTS SHALL DISCHARGE TO PLUMBING FIXTURE OR AN APPROVED LOCATION BY MEANS OF AN INDIRECT WASTE PIPE.
- SMOKE ALARM SHALL BE INSTALLED INSIDE ALL BEDROOMS, ON CEILING OR WALL OUTSIDE OF EACH BEDROOM AND ON EVERY STORY - PER SECTION R314.3.
- CARBON MONOXIDE ALARMS SHALL BE INSTALLED IMMEDIATELY OUTSIDE OF ALL BEDROOMS AND ON EVERY LEVEL - PER SECTION R315.3.
- SMOKE ALARM & CARBON MONOXIDE SHALL HAVE A 10-YEAR LIFE BATTERY BACK-UP IN SEALED COMPARTMENT.
- BATHROOMS SHALL HAVE AN EXHAUST FAN - PER SECTION 303.3. MIN. MECHANICAL VENTILATION RATES SHALL BE 50 CFM FOR INTERMITTENT VENTILATION AND 25 CFM FOR CONTINUOUS VENTILATION.
- ELEVATOR SHALL COMPLY WITH ASME A17.1 / CSA B44 - PER CCR SECTION R321.1.
- SOLAR PV MUST BE INSTALLED PRIOR APPROVAL OF FINAL INSPECTION AND PRIOR OCCUPANCY OF THE BUILDING.
- WATER HEATER INSTALLATIONS, REGARDLESS OF PROPOSED WATER HEATING SYSTEM, SHALL HAVE (BEES 150.0)
 -A120V ELECTRICAL RECEPTACLE THAT IS WITHIN 3 FEET FROM THE WATER HEATER.
 -A CATEGORY III OR IV VENT, OR A TYPE B VENT WITH STRAIGHT PIPE.
 -CONDENSATE DRAIN THAT IS NO MORE THAN 4 INCHES DIAMETER FROM THE FINISH SURFACE BELOW.
 -A GAS SUPPLY LINE WITH AVAILABLE CAPACITY FOR NOT LESS THAN 200,000 BTU/HR SYSTEM.

- DECK SHALL NOT DRAIN OVER THE SLOPE BY SHEET FLOW OR SCUPPERS. PIPED ROOF AND OVERFLOW DRAIN SHALL BE INSTALLED AT LOW POINTS OF EACH DECK LEVEL. SECONDARY EMERGENCY OVERFLOW ROOF DRAINS OR SCUPPERS SHALL BE PROVIDED AS FOLLOWS:
 a) OVERFLOW DRAIN HAVING THE SAME SIZE AS THE ROOF DRAINS SHALL BE INSTALLED WITH THE INLET FLOW LINE LOCATED 2 INCHES ABOVE THE LOW POINT OF THE ROOF, AND SEPARATELY PIPED.
 b) THE INSTALLATION OF OVERFLOW DRAINS, LEADERS AND CONDUCTORS SHALL COMPLY WITH CALIFORNIA PLUMBING CODE.
- OVERFLOW SCUPPERS SHALL HAVE AN AREA 3 TIMES THE REQUIRED DECK DRAIN, A MINIMUM OPENING HEIGHT OF 4 INCHES AND HAVE AN INLET FLOW LINE LOCATED 2 INCHES ABOVE THE LOW POINT OF THE DECK. (CCR R903.4.1)
- DECK & ROOF DECK WATERPROOFING TO BE DEX-0-TEX WEATHERWEAR PROMENADE ROOF DECK SURFACING OVER EXTERIOR GRADE PLYWOOD WITH TILE FINISH. ICC ESR 1757
- WINDOW FALL PROTECTION. WINDOW FALL PROTECTION SHALL BE PROVIDED IN ACCORDANCE WITH SECTIONS R913(2.1) AND R312(2.2).
- WINDOW SILL IN DWELLING UNITS, WHERE THE TOP OF THE SILL OF AN OPERABLE WINDOW OPENING IS LOCATED LESS THAN 24 INCHES ABOVE THE FINISHED FLOOR AND GREATER THAN 72 INCHES ABOVE THE FINISHED GRADE OR OTHER SURFACE BELOW.
 a) OPERABLE WINDOW WITH OPENINGS THAT WILL NOT ALLOW 4 INCHES DIAMETER SPHERE TO PASS THROUGH THE OPENING WHERE THE OPENING IS IN ITS LARGEST OPEN POSITION.
 b) OPENING THAT ARE PROVIDED WITH WINDOW FALL PREVENTION DEVICES THAT COMPLY WITH ASTM F 2090.
 c) WINDOWS THAT ARE PROVIDED WITH WINDOW OPENING CONTROL DEVICES THAT COMPLY WITH SECTION R312.2.2.
- WINDOW OPENING CONTROL DEVICES. WINDOW OPENING CONTROL SHALL COMPLY WITH ASTM F 2090. THE WINDOW OPENING CONTROL DEVICE, AFTER OPERATION TO RELEASE THE CONTROL DEVICE ALLOWING THE WINDOW TO FULLY OPEN, SHALL NOT REDUCE THE MINIMUM NET CLEAR OPENING AREA OF THE WINDOW UNIT TO LESS THAN THE AREA REQUIRED BY SECTION R310.1.1, (R312.2.2)
- GLAZING ADJACENT TO STAIRWAY OR LANDINGS, WHERE THE BOTTOM EXPOSED EDGE OF THE GLAZING IS LESS THAN 3 FEET ABOVE THE ADJACENT WALKING SURFACE SHALL BE SAFETY GLASS (CCR R308.4.6)

- PROVIDE A 4 INCHES MINIMUM SEWER LATERAL (DUE TO THE NUMBER OF TOILETS).
 - ALL KITCHEN CIRCUITS SHALL BE ON A COMBINATION AFCI/GFCI.
 - ALL RECEPTACLES IN THE GARAGE SHALL BE A MINIMUM OF 18" ABOVE THE FINISH FLOOR.
 - LAUNDRY SINK RECEPTACLE SHALL BE COMBINATION AFCI/GFCI.
 - ALL WALL SPACES, 2 FEET OR MORE IN WIDTH, SHALL HAVE RECEPTACLES INSTALLED SUCH THAT NO POINT MEASURED HORIZONTALLY ALONG THE FLOOR LINE IS MORE THAN 6 FEET FROM A RECEPTACLE (12 FEET MAXIMUM SPACING). (210.52(A) (1) & (2) CEC).
 - ISLAND AND PENINSULAR COUNTER 24 INCHES X 12 INCHES OR GREATER IN LENGTH SHALL HAVE AT LEAST ONE RECEPTACLE. (210.25(C)(2) & (3) CEC).
- NOTES:**
- SEPARATE PERMIT AND PLANS ARE REQUIRED FOR SPAS, POOLS, SOLAR SYSTEMS, DEMOLITION AND SEWER CAP OF EXISTING BUILDINGS. IF SUCH IMPROVEMENTS OR DEMOLITION IS REQUIRED AS A CONDITION OF APPROVAL FOR DISCRETIONARY ACTIONS OR TO COMMENCE BUILDING, THEN SUCH PERMIT MUST BE OBTAINED BEFORE OR AT THE TIME THIS PROPOSED BUILDING PERMIT IS ISSUED.
 - FENCE / WALL / HANDRAIL AND HEDGE HEIGHTS, AS MEASURED FROM THE LOWEST FINISHED GRADE ADJACENT TO EACH SECTION OF THESE STRUCTURES, MAY BE A MAXIMUM OF 42" IN THE FRONT YARD SETBACK, AND 6" AT ALL OTHER LOCATIONS ON SITE (3' IN DRIVEWAY VISIBILITY TRIANGLE AND IN THE TRAFFIC VISION CLEARANCE TRIANGLE).

4101 and 4103 Highland Condominiums

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 90266



Date: 08/01/2022

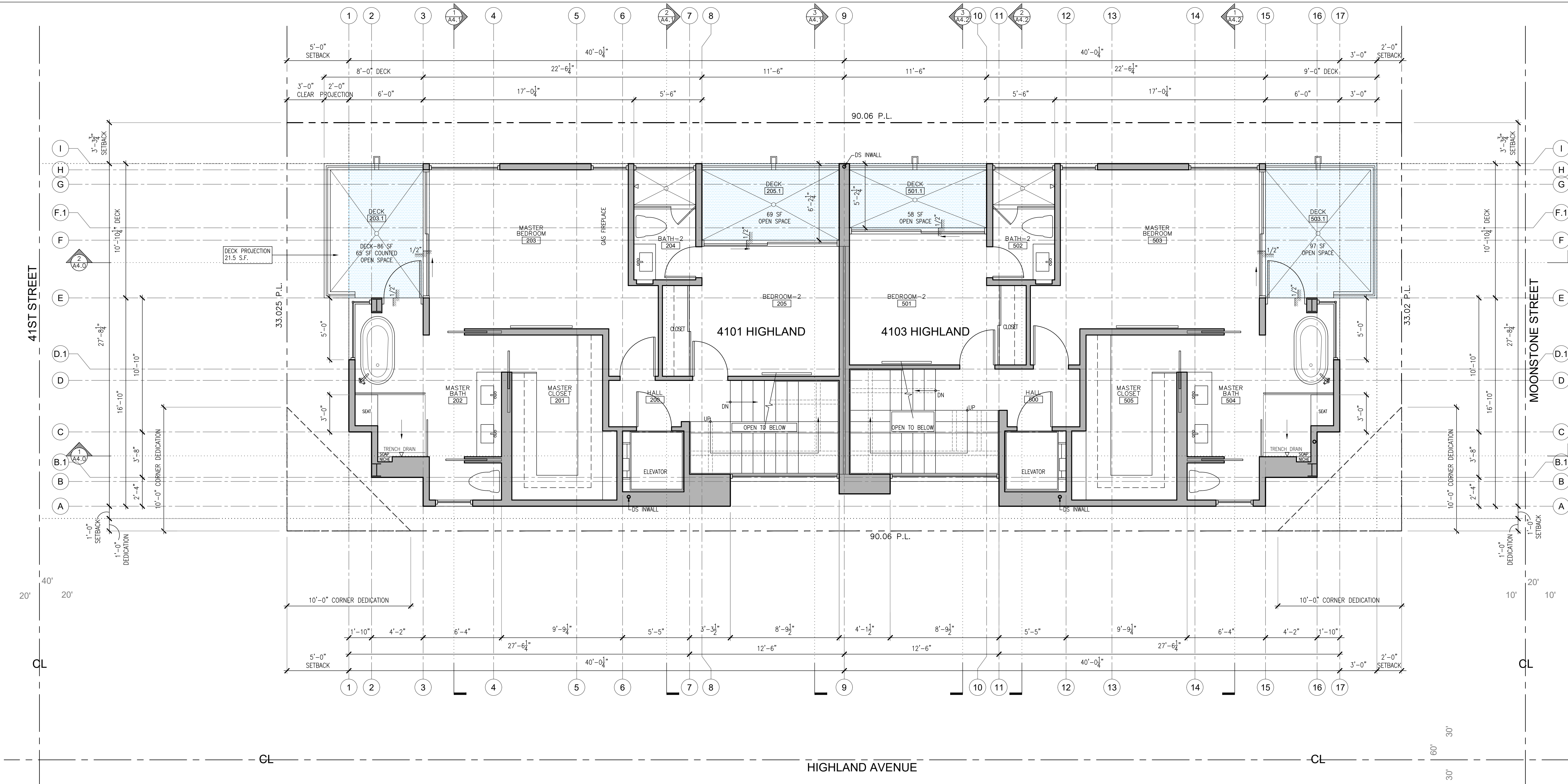
Revisions	By
Planning Submittal 08/25/2022	
Planning Submittal 03/28/2023	

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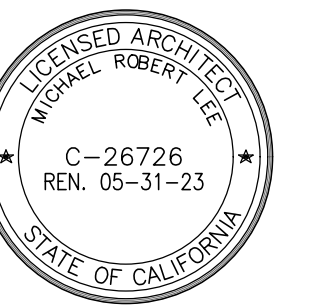
Drawn by: JPT

Floor Plans

A 2.1



1 SECOND FLOOR PLAN
 1/4" = 1'-0"



Date: 08/01/2022

Revisions	By
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Planning Submittal 08/25/2022	
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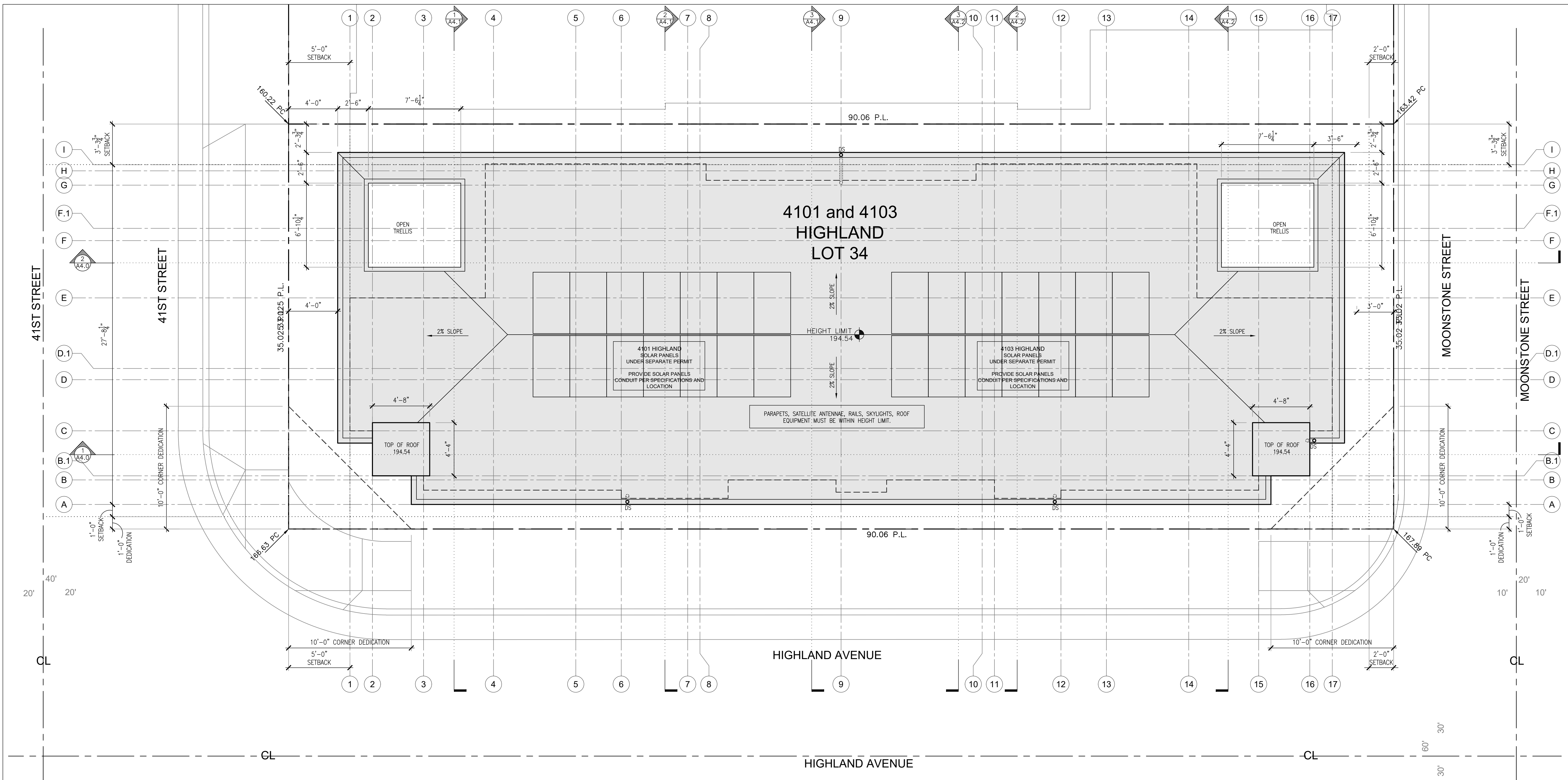
Planning Submittal 03/28/2023	
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Scale: 1/4" = 1'-0"

Drawn by: JPT

Roof Plans

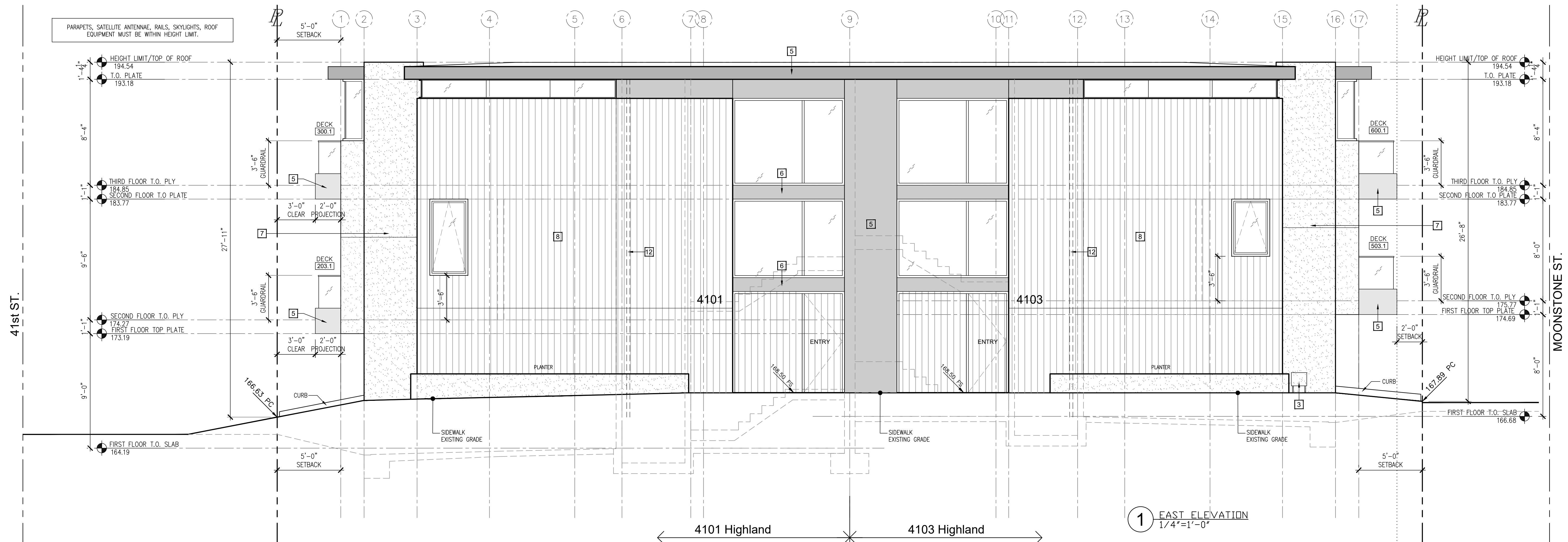
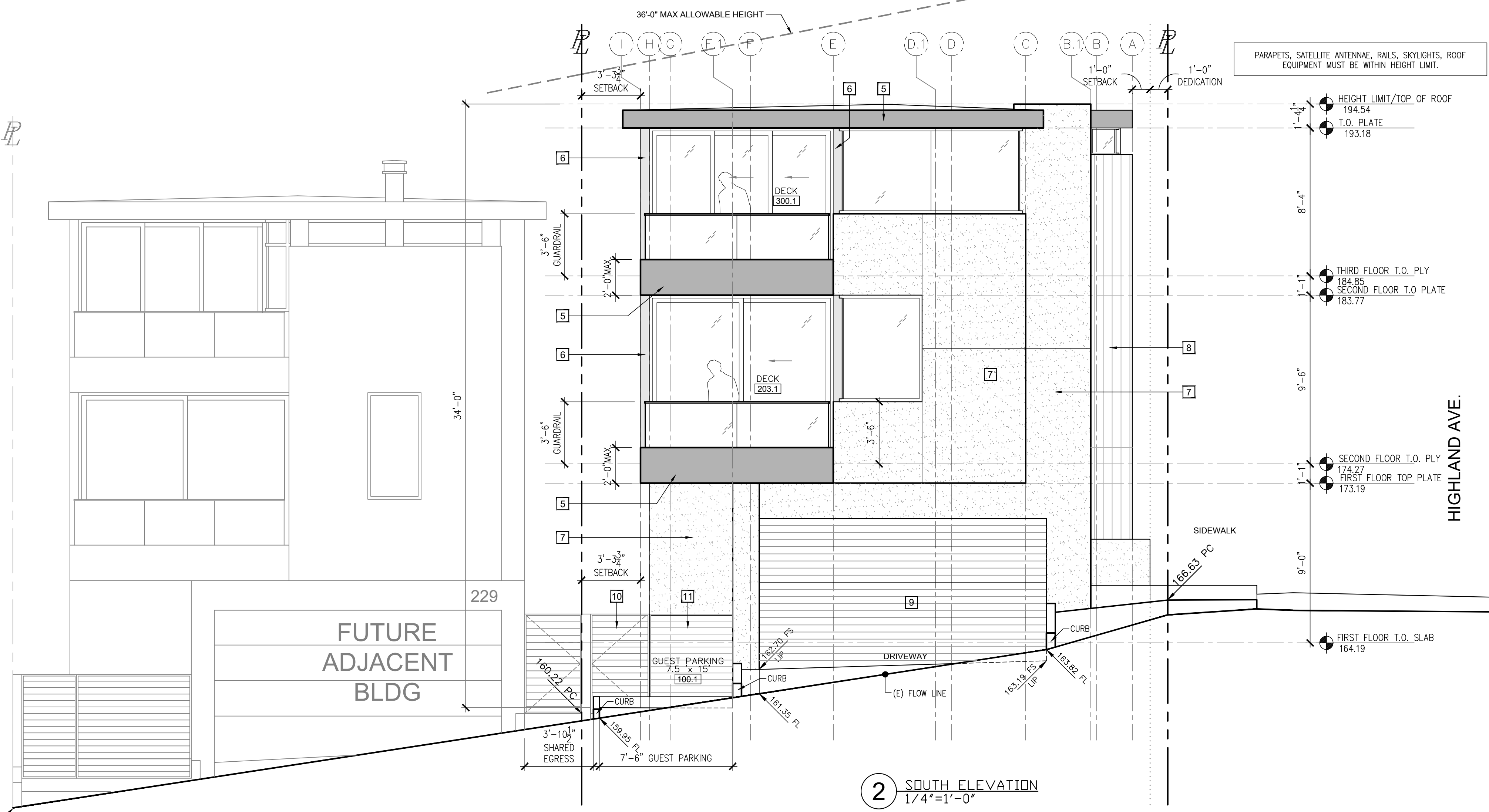
A	2.3
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1 ROOF PLAN
 1/4" = 1'-0"

KEY NOTES LEGEND:

1	200 AMP ELECTRIC PANEL (FULLY RECESSED INTO BUILDING WALL)
2	T.V. & PHONE (FULLY RECESSED INTO BUILDING WALL)
3	GAS METER (FULLY RECESSED INTO BUILDING WALL) 3'-0" MIN. CLEAR FROM ELECTRIC PANEL
4	DOMESTIC WATER SERVICE & FIRE SPRINKLER
5	ALUMINUM HEAVY GAUGE FASCIA (PAC CLAD)
6	POST & BEAM WITH ALUMINUM HEAVY GAUGE CLAD (PAC CLAD)
7	SMOOTH STUCCO
8	HARDWOOD SIDING STAINED
9	GARAGE DOOR (TO MATCH BLDG. SIDING)
10	WOOD GATE 6'-0" MAX.
11	WOOD SCREEN 6'-0" MAX.
12	DOWN SPOUT (IN-WALL) COORDINATE AND VERIFY WITH ARCHITECTS
13	
14	CONDENSER
15	PRIVACY WOOD FENCE 6'-0" MAX.
16	6'-0" MAX. WOOD FENCE ON TOP OF 6" CURB
17	
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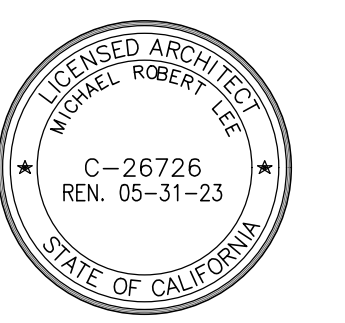
LEE
MICHAEL LEE ARCHITECTS, INC.

2200 Highland Avenue
Manhattan Beach, CA 90266
t. 310.545.5771
f. 310.545.4330
www.mleearchitects.com

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Condominiums

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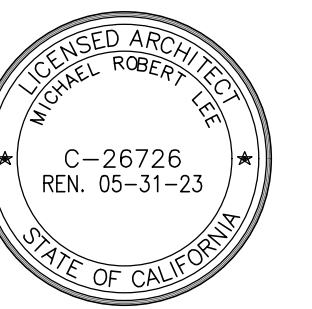
Planning Submittal 03/28/2023

Scale: 1/4" = 1'-0"

Drawn by: JPT

Exterior Elevations

A 3.0



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Revisions By

Planning Submittal 08/25/2022

Planning Submittal 03/28/2023

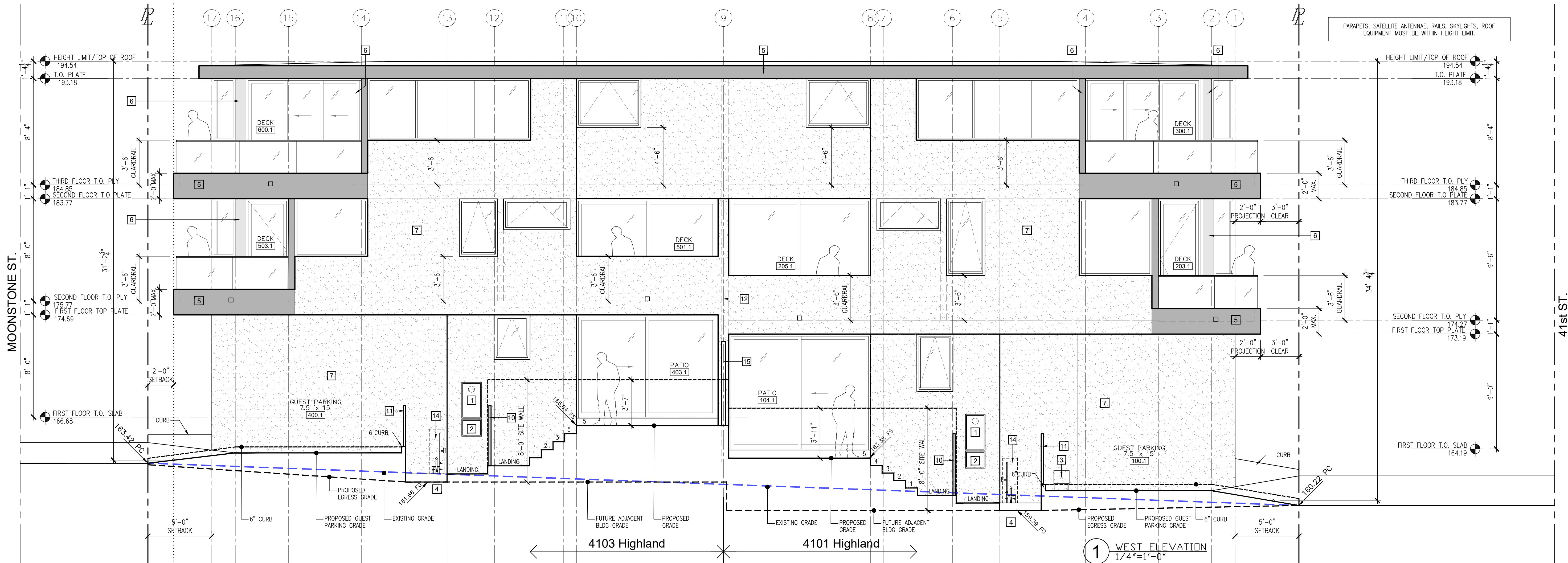
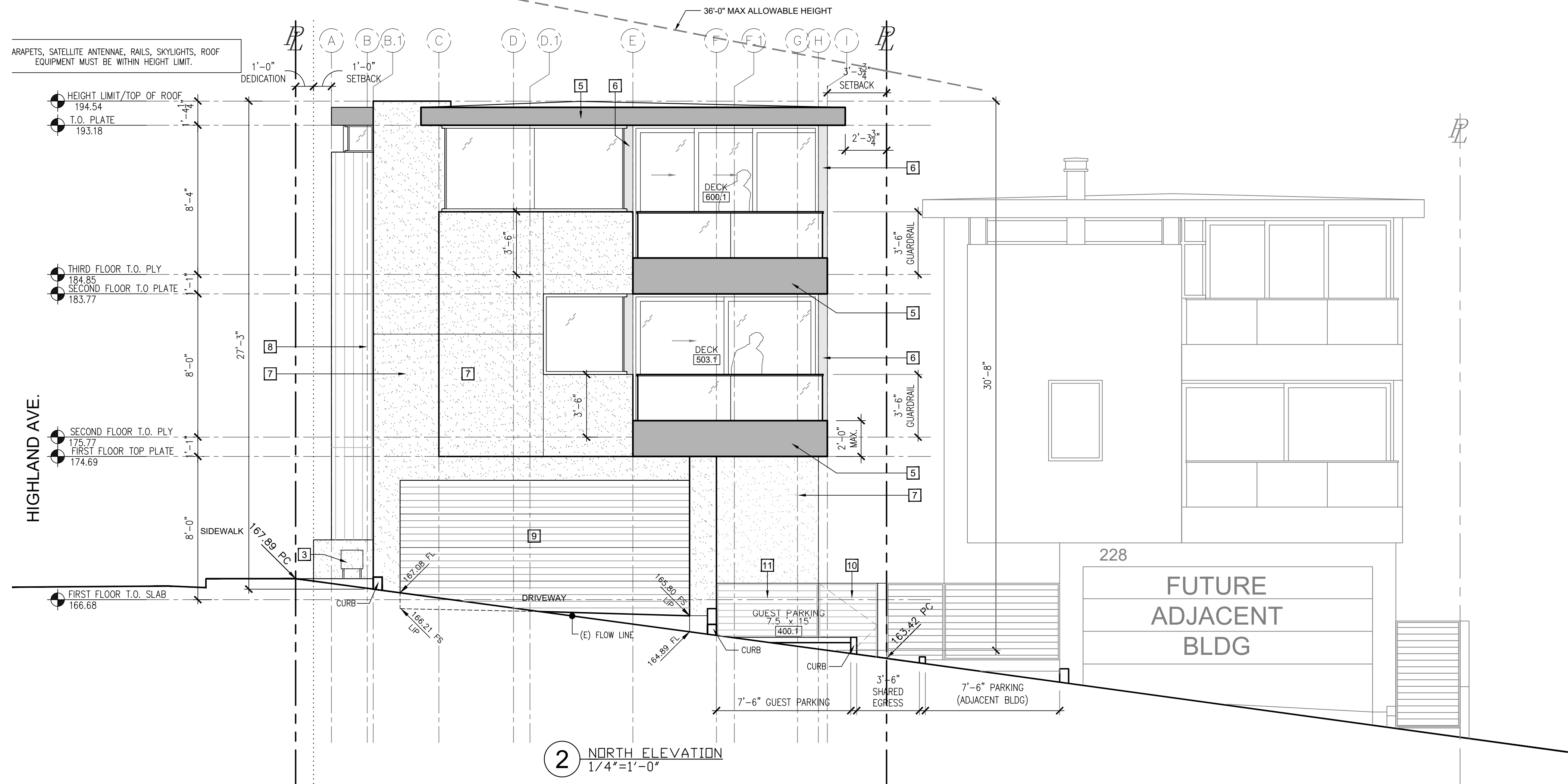
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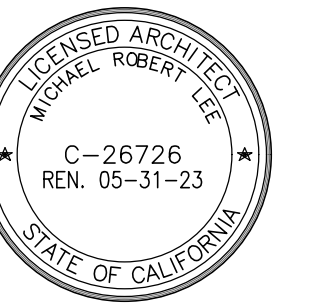
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Exterior Elevations

A 3.1

KEY NOTES LEGEND:	
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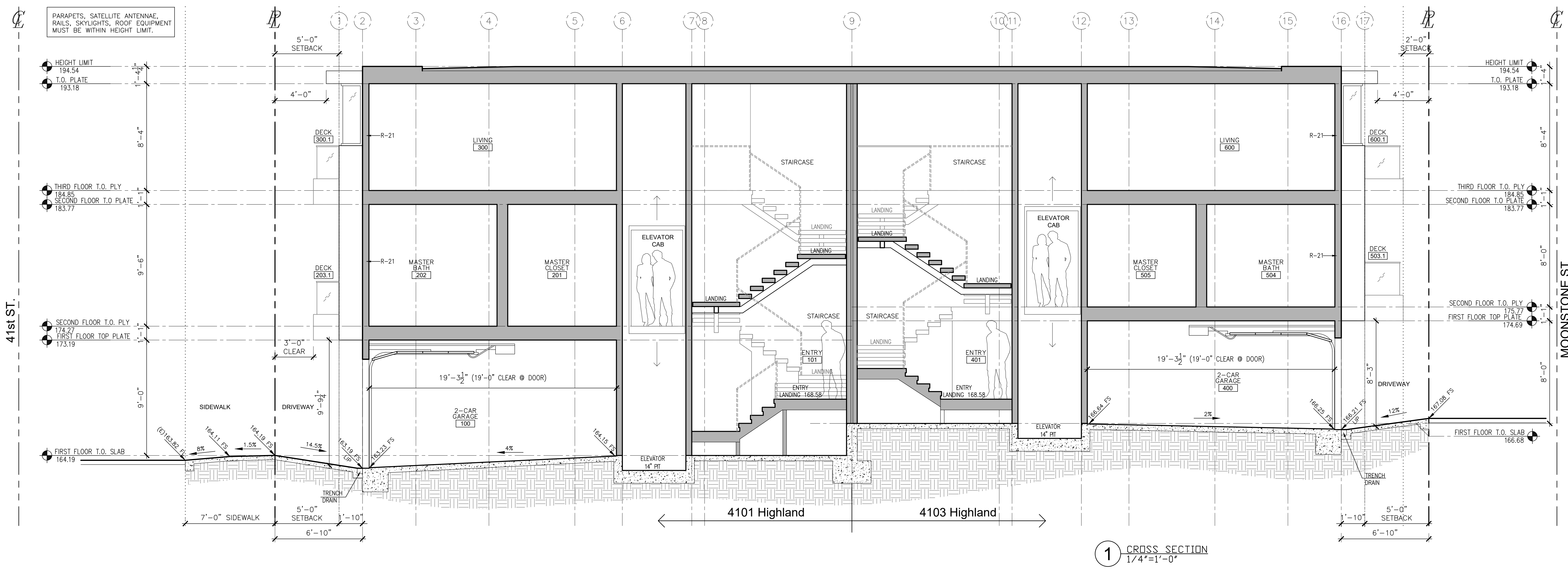
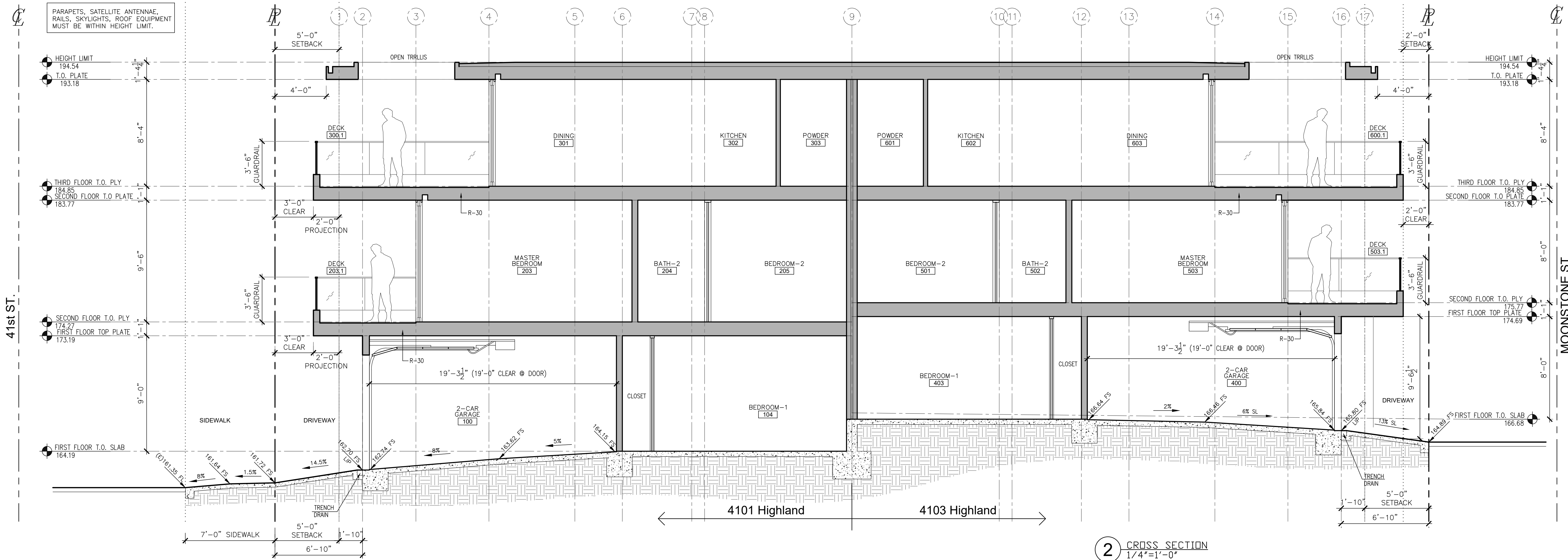
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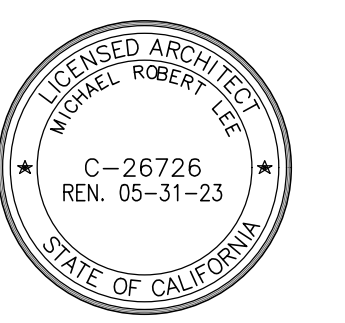
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Sections

A 4.0





Date: 08/01/2022

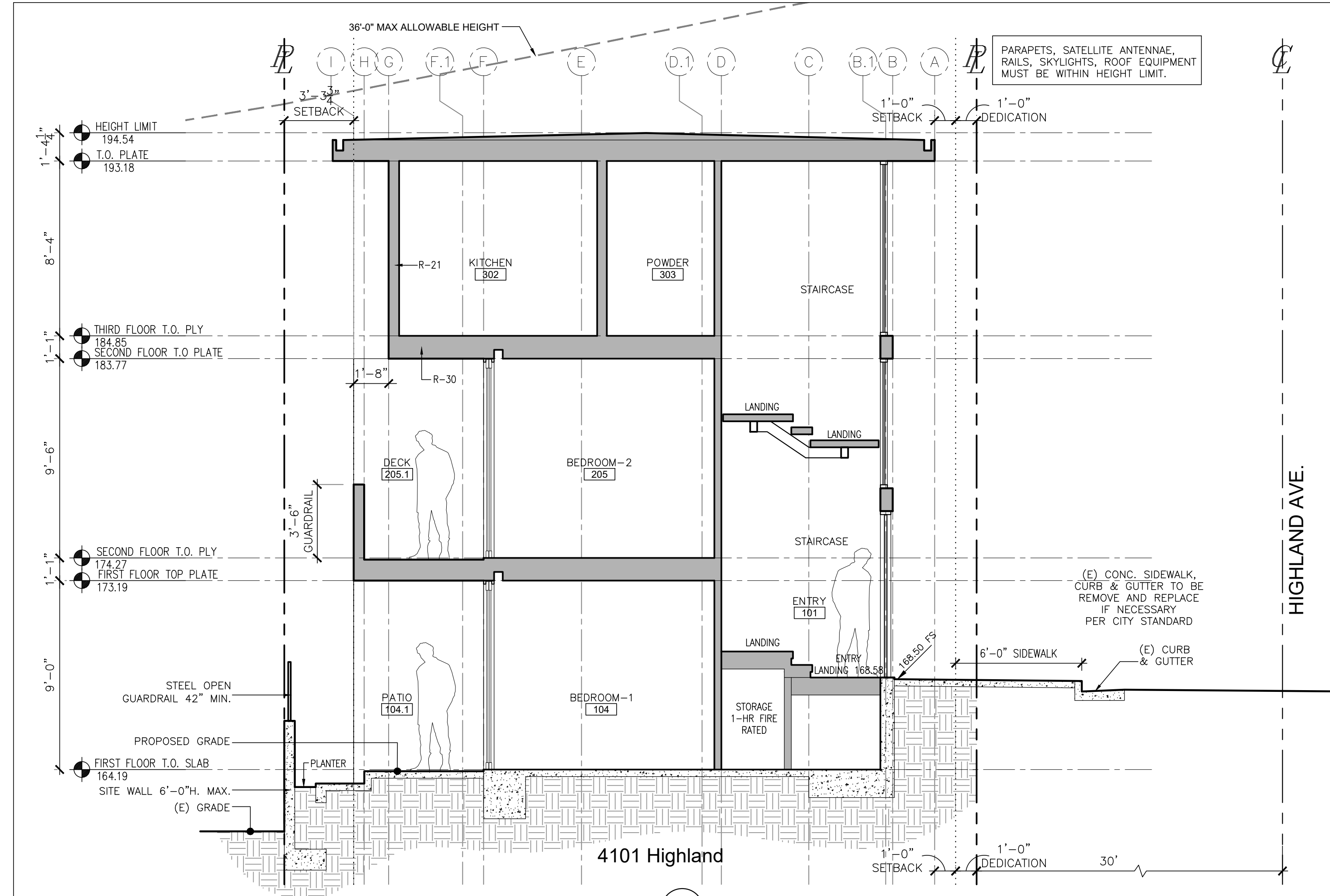
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Planning Submittal 03/28/2023	

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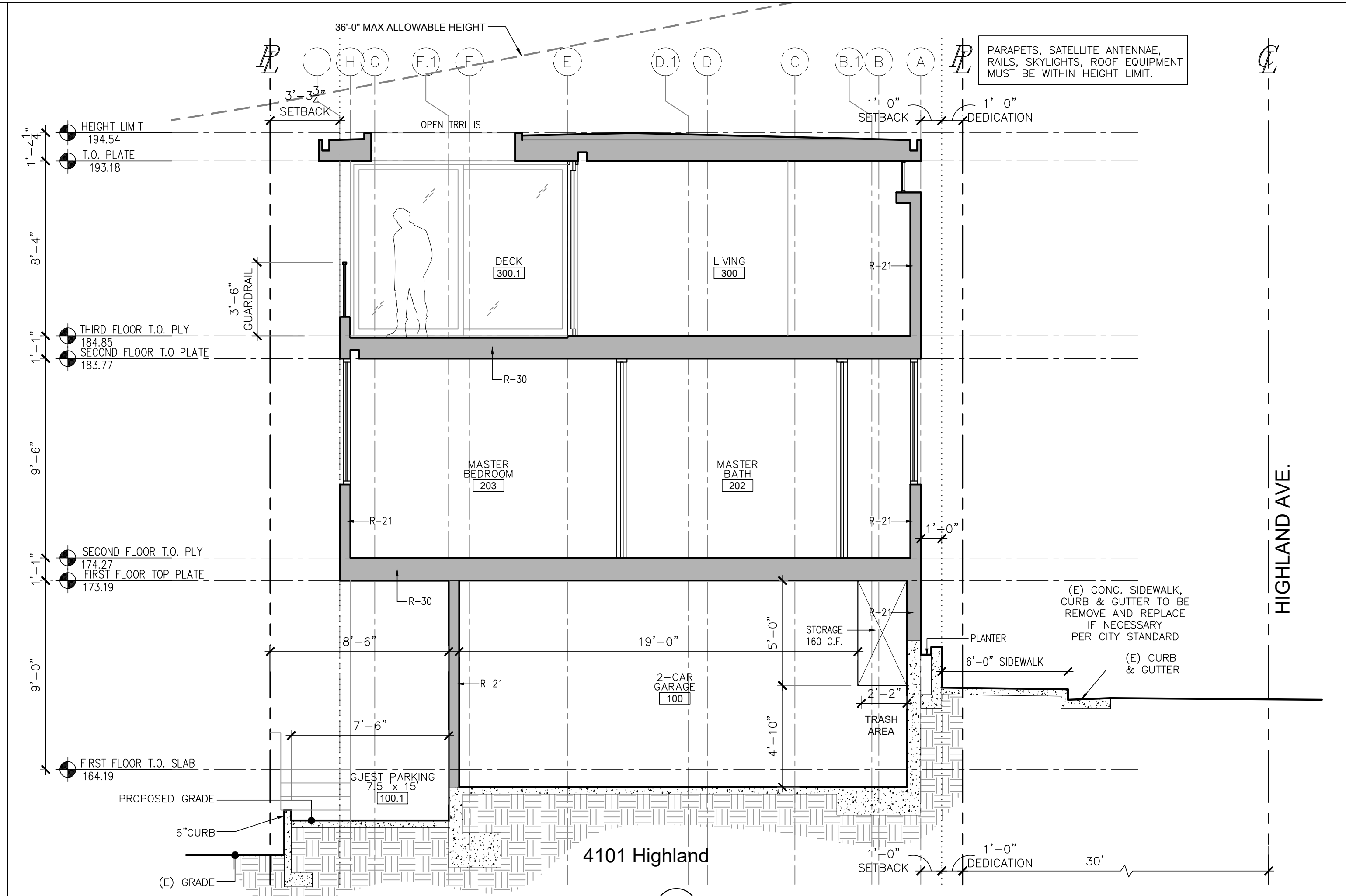
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Sections

A 4.1



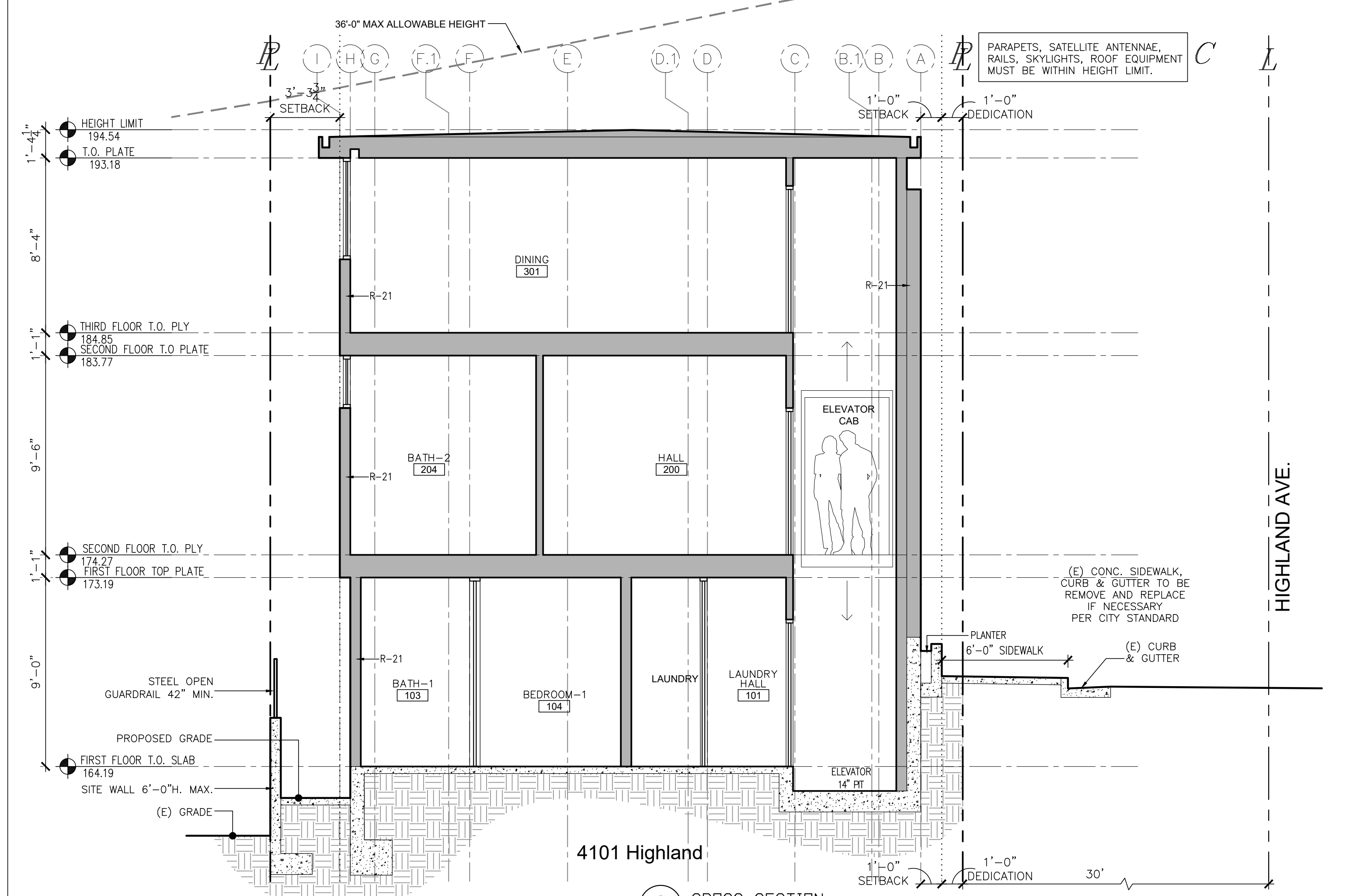
3 CROSS SECTION
 1/4"=1'-0"



1 CROSS SECTION
 1/4"=1'-0"

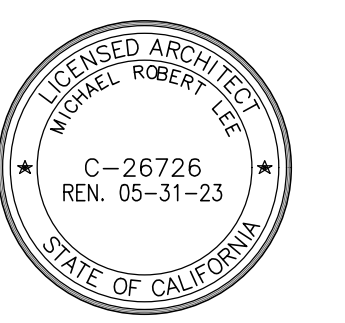


2 CROSS SECTION
 1/4"=1'-0"



4101 and 4103 Highland Condominiums

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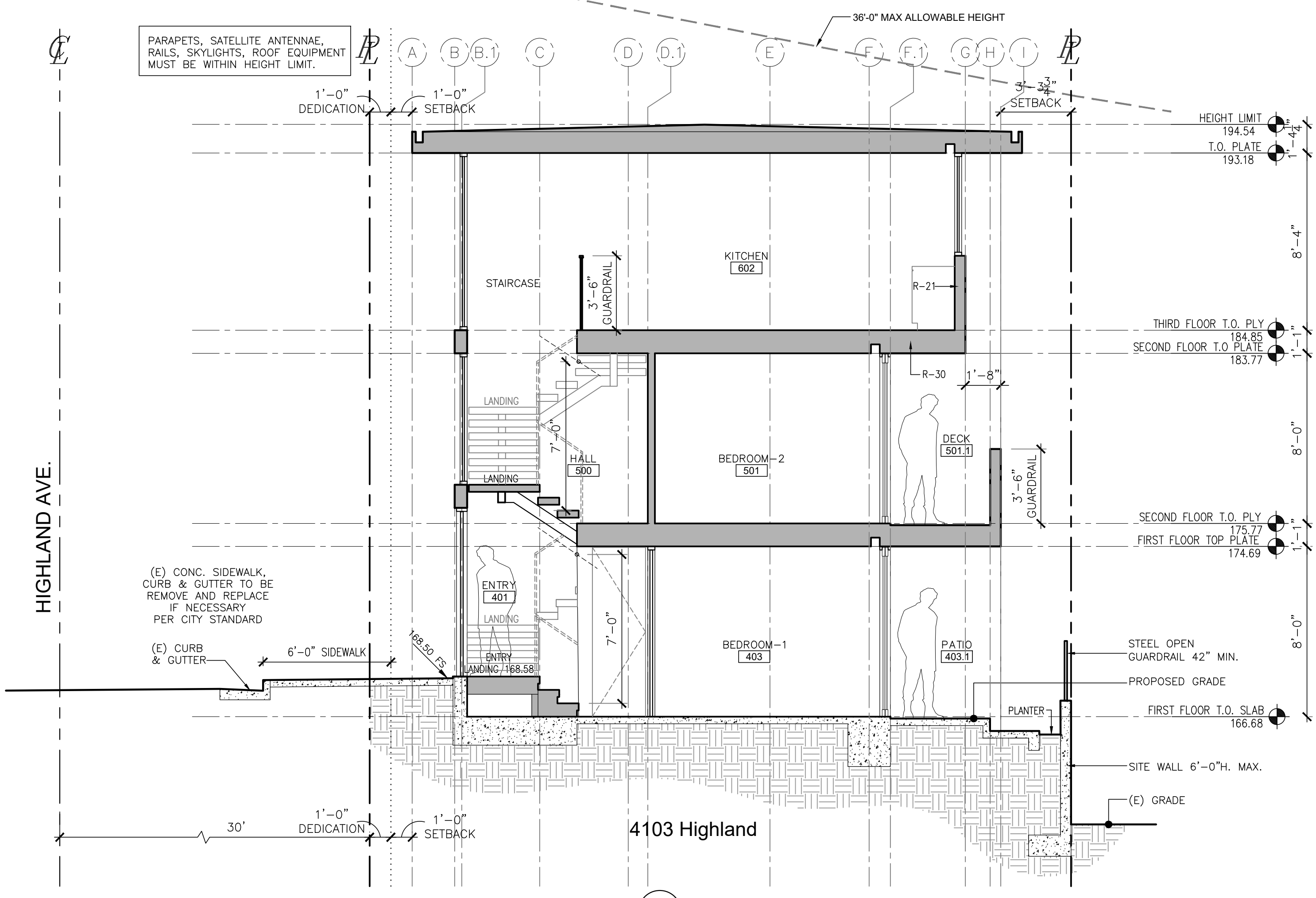
Planning Submittal 03/28/2023

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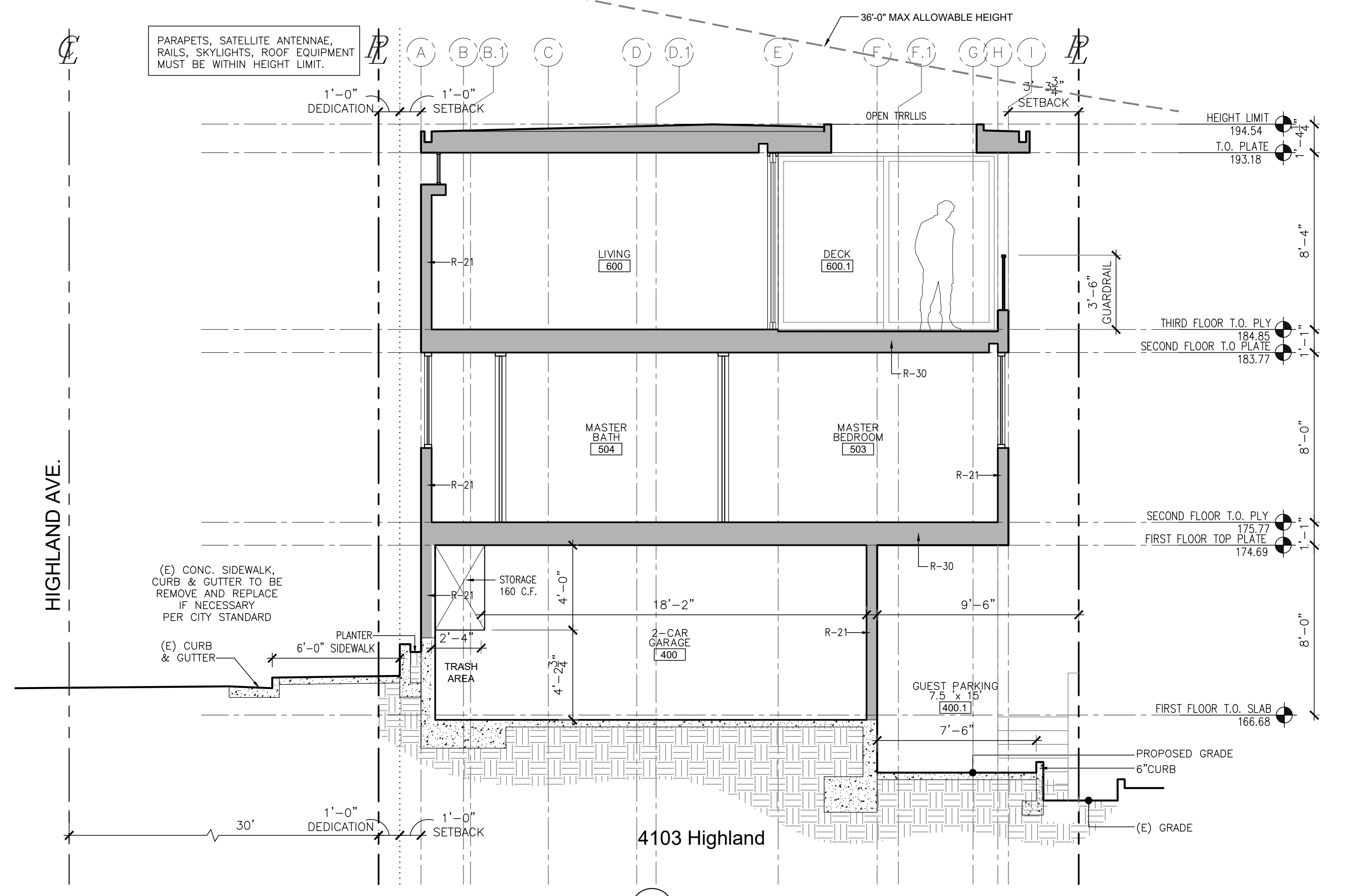
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Sections

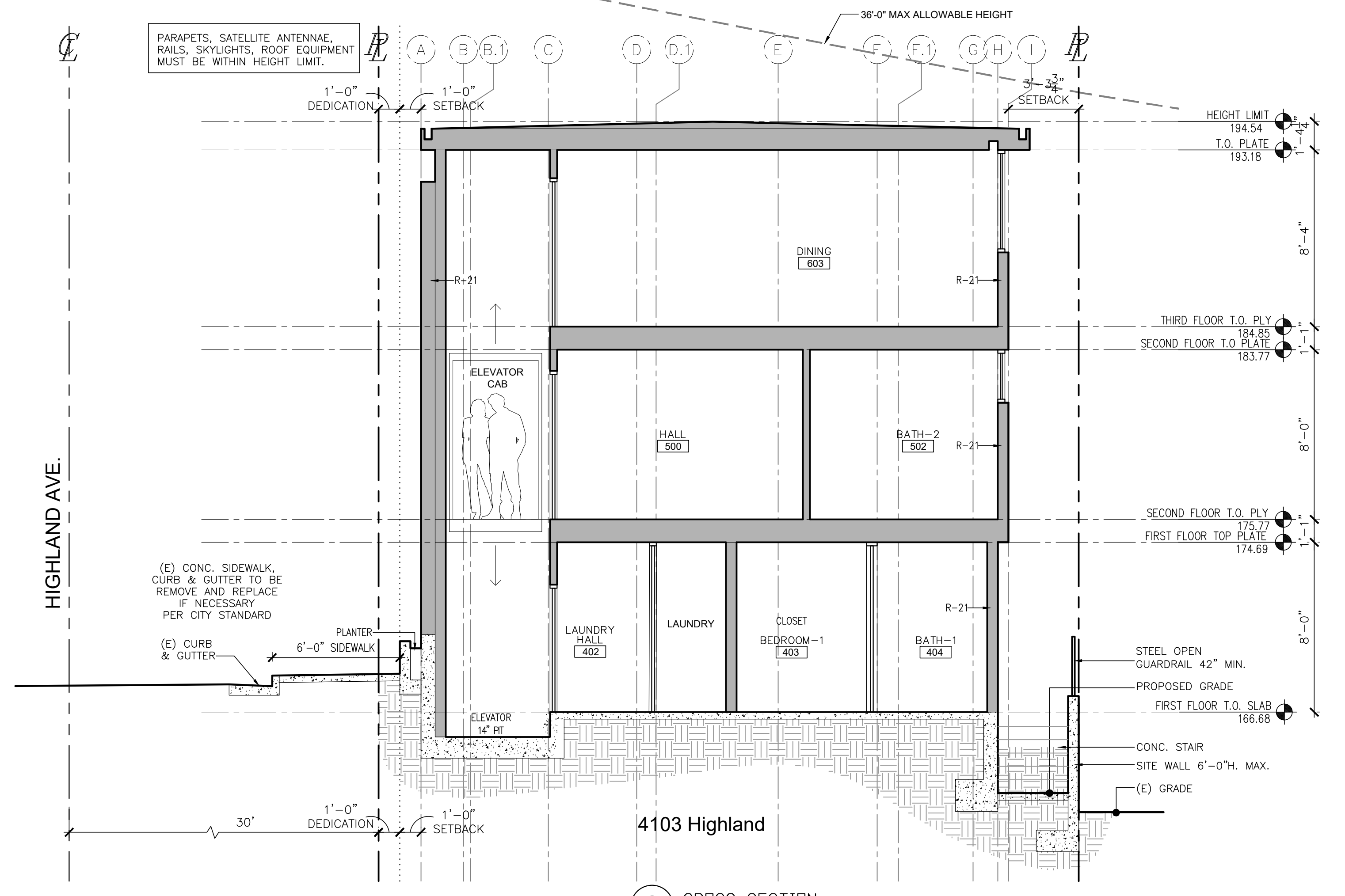
A 4.2



3 CROSS SECTION
 1/4"=1'-0"



1 CROSS SECTION
 1/4"=1'-0"



2 CROSS SECTION
 1/4"=1'-0"

SUBDIVIDER
 MICHAEL LEE ARCHITECTS
 MICHAEL LEE
 2200 HIGHLAND AVENUE
 MANHATTAN BEACH, CA 90266
 PHONE 310-545-5771

LEGAL DESCRIPTION
 LOTS 33 AND 34, BLOCK 4,
 TRACT NO. 4103,
 M.B. 46-8,
 APN 4137-008-057/058

JOB ADDRESSES (PROPOSED)
 PARCEL 1: 4101 & 4103 HIGHLAND AVENUE
 PARCEL 2: 229 41st STREET & 228 MOONSTONE STREET
 MANHATTAN BEACH, CA 90266

NOTES

1. ALL EXISTING STRUCTURES TO BE REMOVED UNLESS OTHERWISE NOTED.
2. ALL UTILITIES ARE LOCATED IN ADJACENT STREETS.
3. THIS IS A TWO PARCEL RESIDENTIAL SUBDIVISION PROJECT; EACH NEW PARCEL IS FOR A 2-UNIT CONDOMINIUM PROJECT. TWO RESIDENTIAL UNITS ON PARCEL 1 AND TWO RESIDENTIAL UNITS ON PARCEL 2.

* BLOCK 4
 TRACT NO. 4103
 M.B. 46-8

PARCEL MAP NO.84084

IN THE CITY OF MANHATTAN BEACH
 COUNTY OF LOS ANGELES
 STATE OF CALIFORNIA

FOR CONDOMINIUM PURPOSES

ENGINEER
DENN ENGINEERS
 3914 DEL AMO BOULEVARD, STE. 921
 TORRANCE, CA 90503
 310-542-9433

Gary J. Roehl
 GARY J. ROEHL R.C.E. 30826

DATE 1/9/2023



22-394B

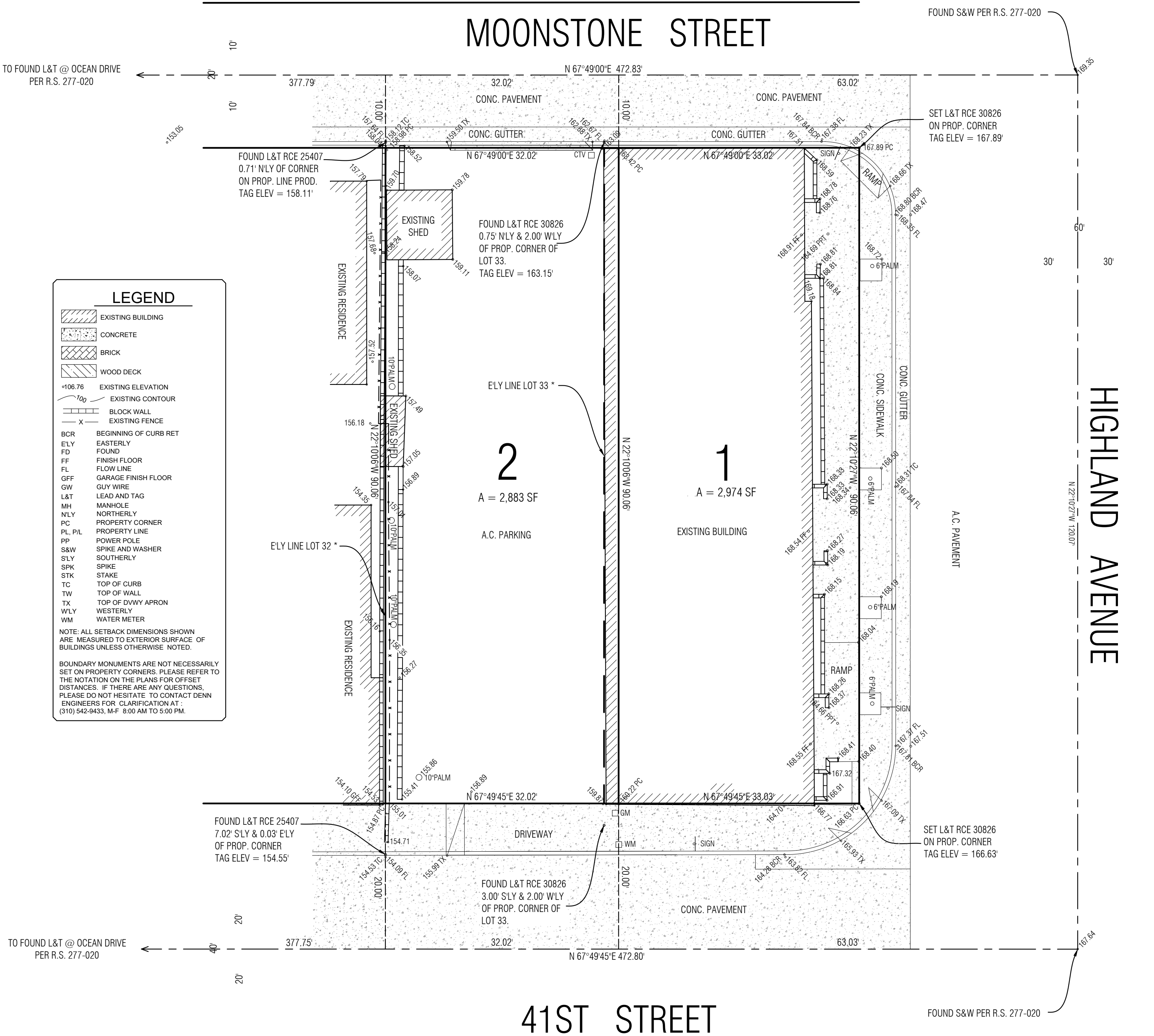
PROPOSED EASEMENT DEDICATION NOTE:

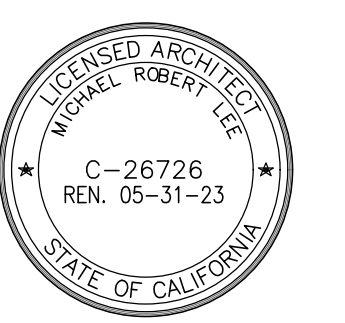
- 1) PROPOSED CORNER CUTOFF AT BOTH HIGHLAND AVENUE AND 41ST STREET, AND AT HIGHLAND AVENUE AND MOONSTONE STREET.

DIMENSIONS OF ACTUAL EASEMENT SHALL BE DETERMINED BY THE CITY OF MANHATTAN BEACH ENGINEERING/PUBLIC WORKS DEPARTMENT.

NOTE:
 A TITLE POLICY HAS BEEN PROVIDED AND REVIEWED BY DENN ENGINEERS AT THE TIME OF THIS SURVEY. ANY READILY AVAILABLE ITEMS AFFECTING THIS PROPERTY HAVE BEEN PLOTTED BASED ON PROVIDED DOCUMENTS.

FIDELITY NATIONAL TITLE COMPANY
 ORDER NO. 995-30097863-2AA
 DATED JANUARY 26, 2023





Date: 08/01/2022

Revisions By

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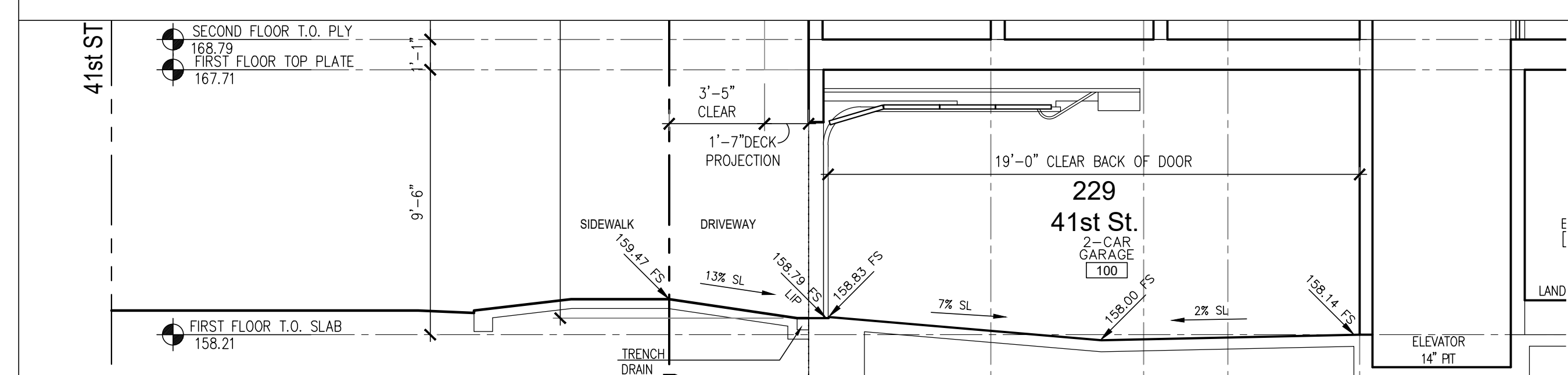
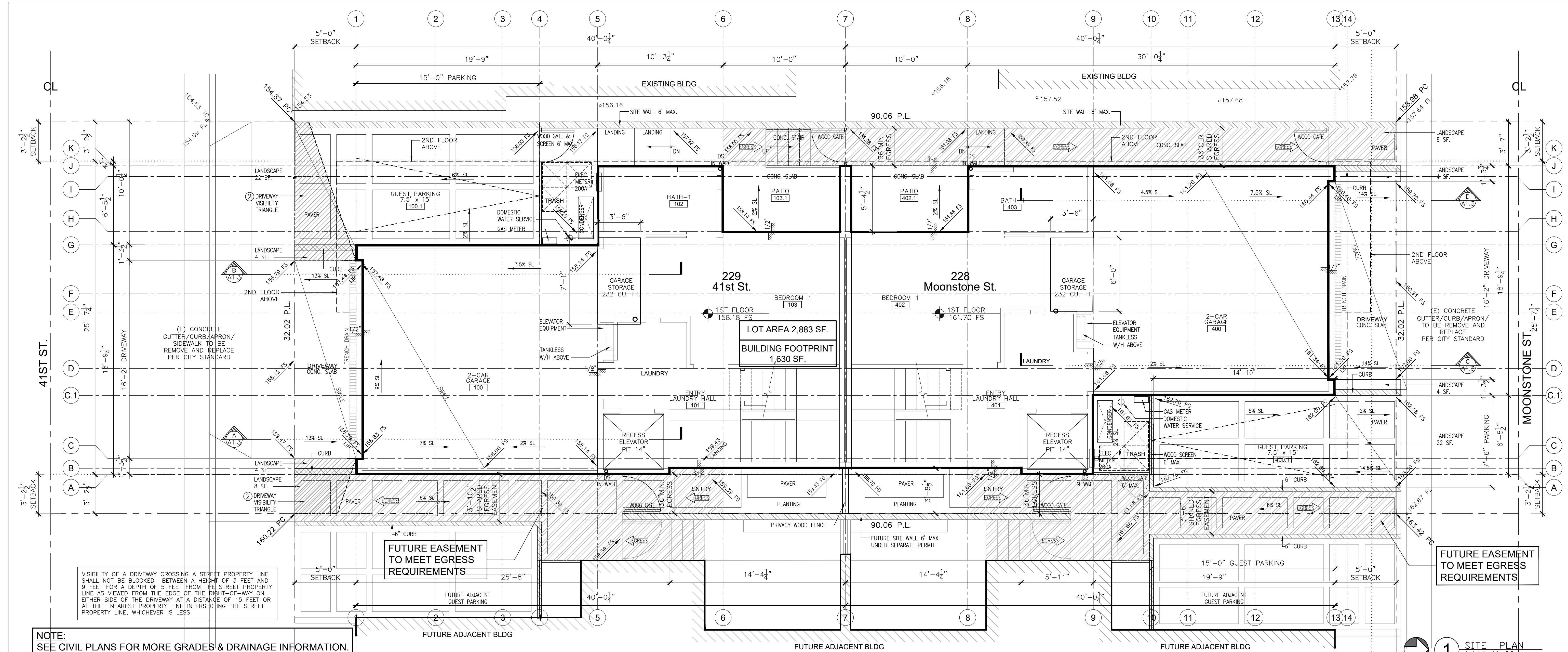
Planning Submittal 03/28/2023

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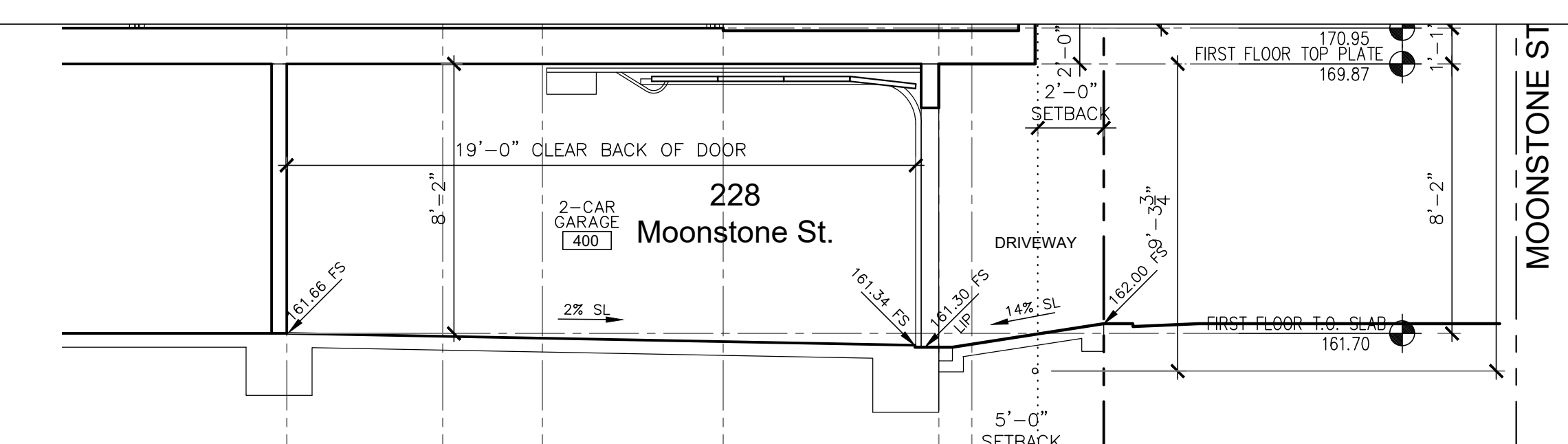
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Site Plan

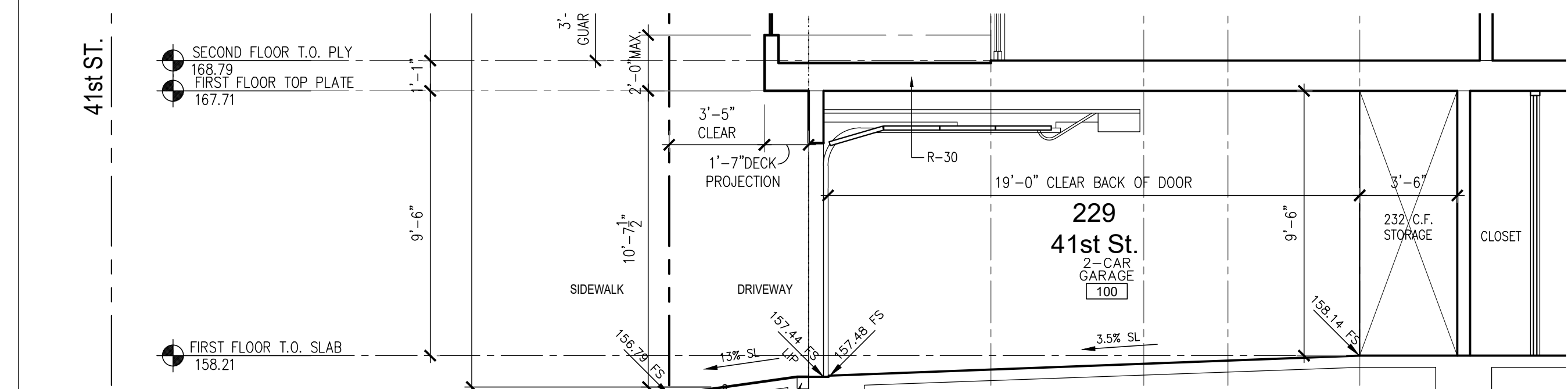
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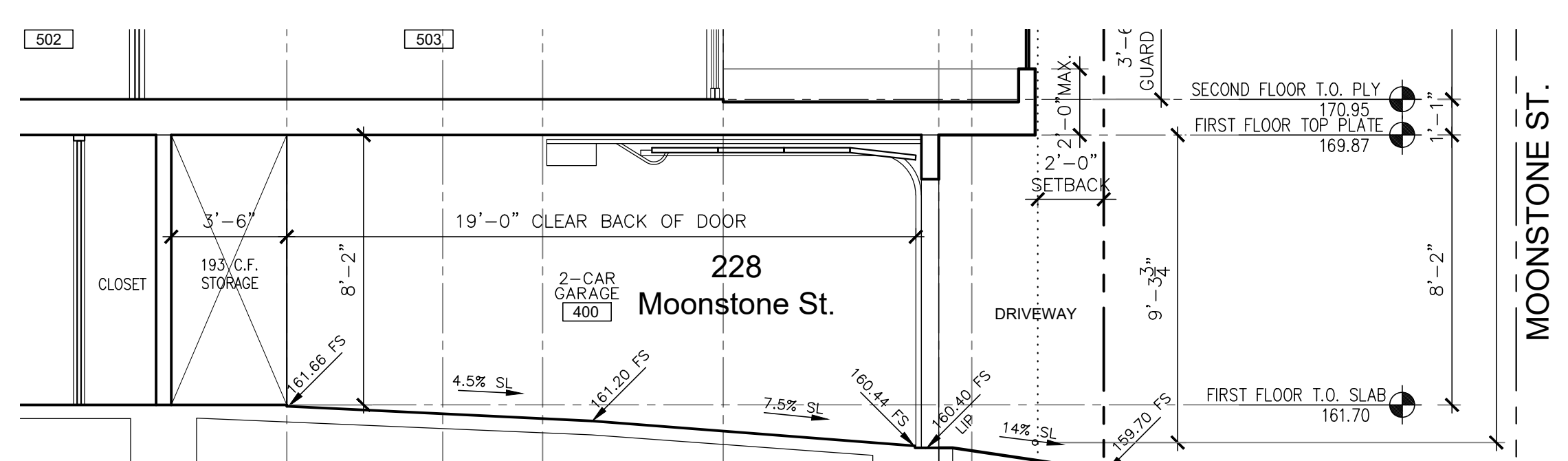
A GARAGE & DRIVEWAY SECTION
 1/4" = 1'-0"



C GARAGE & DRIVEWAY SECTION
 1/4" = 1'-0"



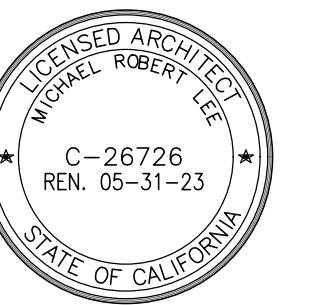
B GARAGE & DRIVEWAY SECTION
 1/4" = 1'-0"



D GARAGE & DRIVEWAY SECTION
 1/4" = 1'-0"

SYMBOLS LEGEND

- [Hatched Box] SITE WALL (CONCRETE) (PLANTER WALL & CURB SIMILAR)
- [Hatched Box] SHARED EGRESS WITH ADJACENT BLDG (36" CLEAR MIN.)
- [Arrow] EGRESS



Date: 08/01/2022

Revisions By

Planning Submittal
08/25/2022

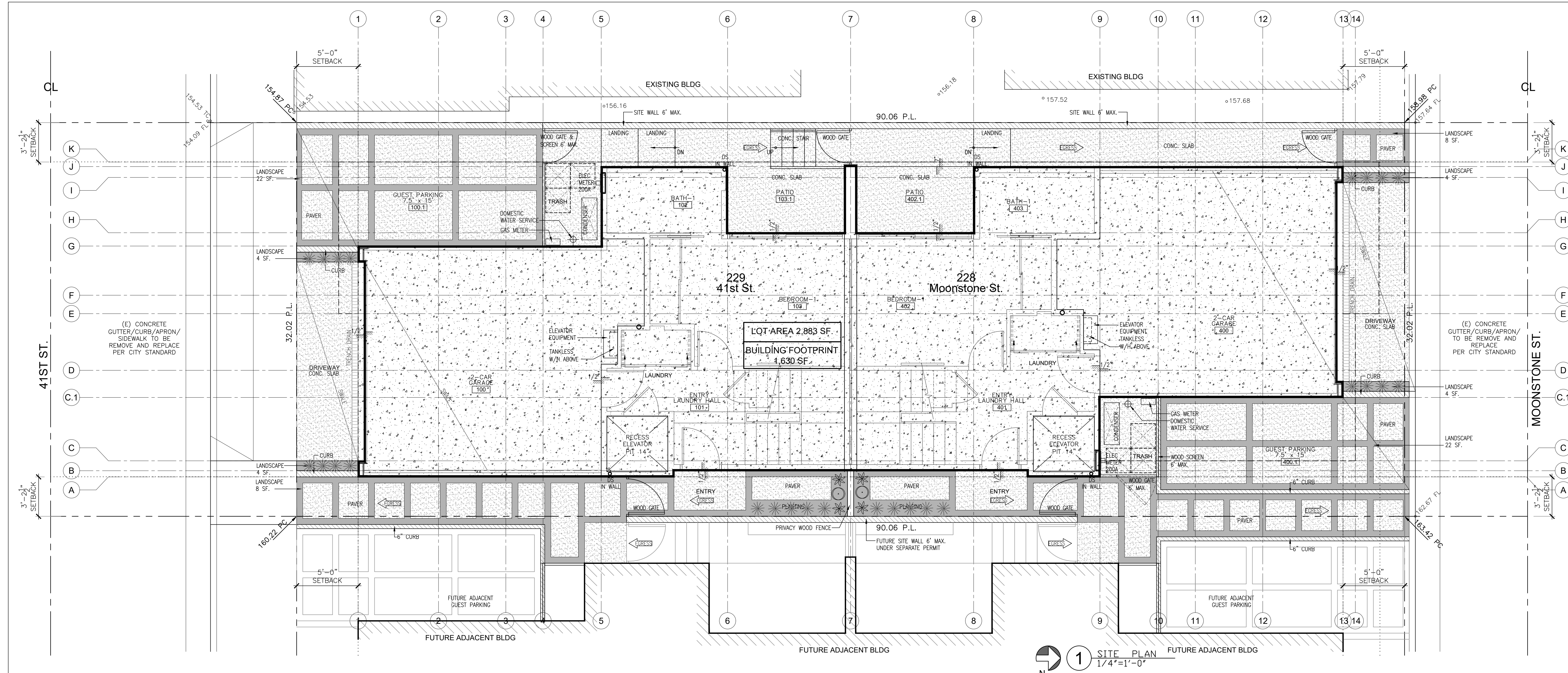
Planning Submittal
03/28/2023

Scale: 1/4" = 1'-0"

Drawn by: JPT

Site Drainage Hardscape & Landscape Plan

A 1.4



PLANTING LIST					
SYMBOL	BOTANICAL NAME	COMMON NAME	WATER VOLUME	QUANTITY	SIZE
	LAVENDULA 'GODWIN CREEK'	LAVENDER	L	4	5g
	HELICTDRICHON sempervirens	BLUE DAT GRASS	L	2	5g
	NASSELA TENUISSIMA	TEXAS NEEDLEGRASS	L	26	1g

LOT AREA	2,883 SF
BUILDING FOOTPRINT	1,630 SF
DRIVEWAY	160 SF
LANDSCAPE/HARDSCAPE	1,253 SF
HIGH WATER USAGE ALLOWABLE	219 SF
HIGH WATER USAGE PROPOSED	0 SF

GENERAL NOTES:

- ALL EXTERIOR POURED-IN-PLACE CONCRETE PAVERS TO BE COLOR CONCRETE WITH A PRESSURE WASH FINISH & SAW CUT EXPANSION JOINTS.
- ALL INTERIOR SLABS TO BE COLOR CONCRETE WITH A PRESSURE WASH FINISH & SAW CUT EXPANSION JOINTS.
- GARAGE SLAB TO BE COLOR CONCRETE W/ SMOOTH TROWEL FINISH.
- ALL PLANTER & YARD WALLS TO BE EXPOSED BOARD-FORMED CONCRETE, U.N.O.
- OUTSIDE EDGE OF BUILDING SLAB AND STEM WALLS TO BE FLUSH WITH PLYWOOD FRAMING.
- ALL LANDSCAPE IRRIGATION PROVIDED BY POTABLE (NOT RECLAIMED) WATER. MUST USE DRIP OR MICROSPRAY IRRIGATION SYSTEMS.

SYMBOLS LEGEND	
	INTERIOR CONCRETE SLAB WITH INTEGRAL COLOR
	EXTERIOR CONCRETE IN GRADE WITH INTEGRAL COLOR AND TOP CAST FINISH
	PLANTING AREA
	PROPERTY SITE WALL (CONCRETE) PLANTER WALL SIMILAR
	NEW BUILDING FOOTING / CURB / STEM WALL
	DRAIN LINE 1% MIN. SLOPE

DRAINAGE NOTES:

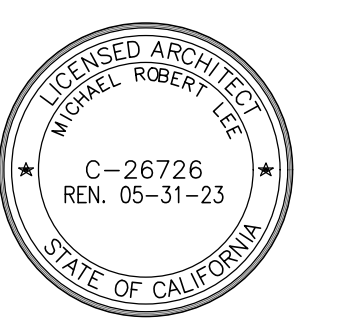
- IMPERVIOUS SURFACE SHALL BE SLOPED AWAY FROM THE BUILDING AT 2% MINIMUM SLOPE FOR A MINIMUM DISTANCE OF 10 FEET; LOT SHALL BE GRADED TO DRAIN SURFACE WATER AWAY FROM FOUNDATION WALLS; GRADE SHALL FALL 6" MINIMUM WITHIN THE FIRST 10 FEET.

229 41st Street	
FRONT YARD AREA =	160 SF
REQUIRED LANDSCAPING IN FRONT YARD AREA =	32 SF (20%)
PROVIDED LANDSCAPING IN FRONT YARD AREA =	35 S.F. (22%)

228 Moonstone Street	
FRONT YARD AREA =	160 SF
REQUIRED LANDSCAPING IN FRONT YARD AREA =	32 SF (20%)
PROVIDED LANDSCAPING IN FRONT YARD AREA =	35 S.F. (22%)

NOTES:

- SEPARATE PERMITS AND PLANS ARE REQUIRED FOR SPAS, POOLS, SOLAR SYSTEMS, DEMOLITION AND SEWER CAP OR EXISTING BUILDINGS. IF SUCH IMPROVEMENTS OR DEMOLITION IS REQUIRED AS A CONDITION OF APPROVAL FOR DISCRETIONARY ACTIONS OR TO COMMENCE BUILDING, THEN SUCH PERMITS MUST BE OBTAINED BEFORE OR AT THE TIME THIS PROPOSED BUILDING PERMIT IS ISSUED.
- FENCE/WALL/HANDRAIL AND HEDGE HEIGHTS, AS MEASURED FROM THE LOWEST FINISHED GRADE ADJACENT TO EACH SECTION OF THESE STRUCTURES MAY BE A MAXIMUM OF: 42" IN THE FRONT YARD SETBACK, AND 6" AT ALL OTHER LOCATIONS ON SITE (3' IN DRIVEWAY VISIBILITY TRIANGLE AND IN THE TRAFFIC VISION CLEARANCE TRIANGLE).



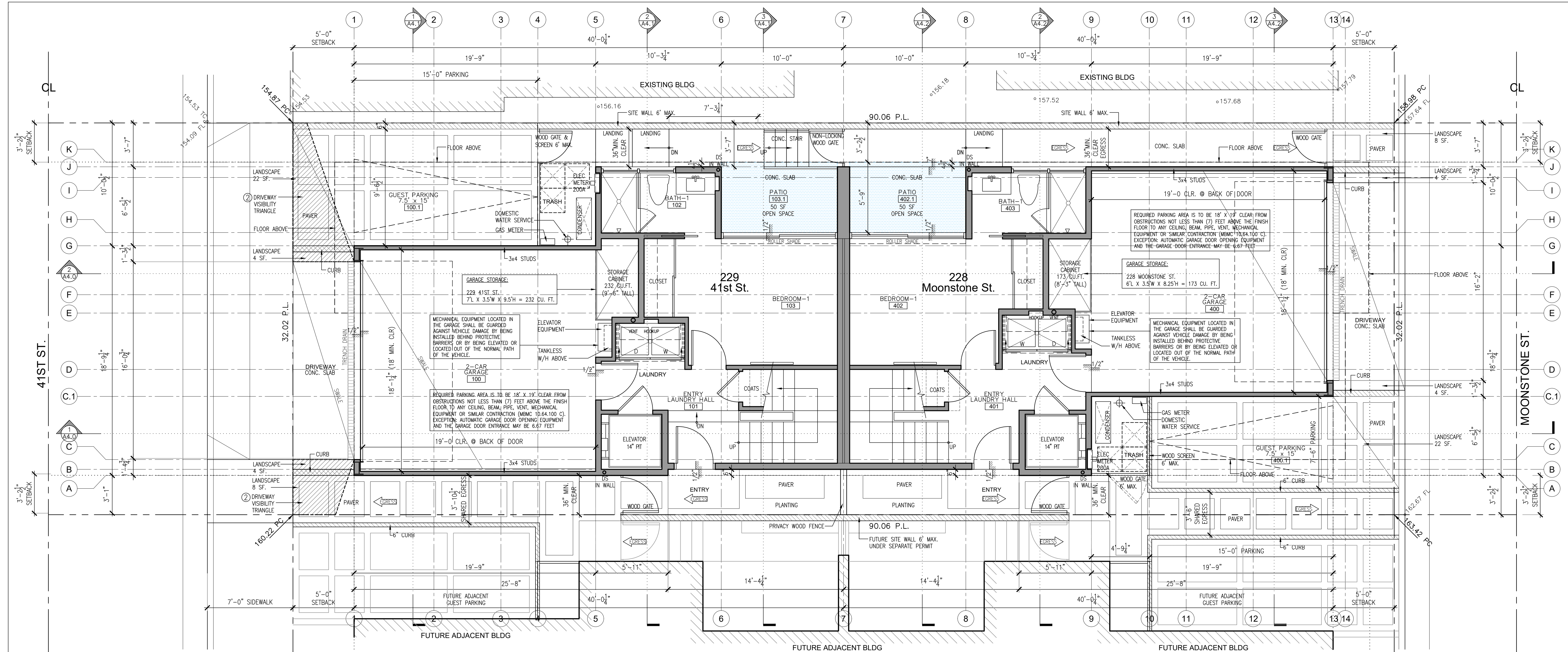
Date: 08/01/2022

Revisions	By
Planning Submittal 08/25/2022	
Planning Submittal 03/28/2023	

Scale: 1/4" = 1'-0"

Drawn by: JPT
Floor Plans

A 2.0



1 FIRST FLOOR PLAN
 1/4" = 1'-0"

GENERAL NOTES:

- REQUIRED PARKING AREA IS TO BE 18' X 19' CLEAR FROM OBSTRUCTIONS NOT LESS THAN (7) FEET ABOVE THE FINISH FLOOR TO ANY CEILING, BEAM, PIPE, VENT, MECHANICAL EQUIPMENT OR SIMILAR CONTRACTION (MBC 10.64.100 C). EXCEPTION: AUTOMATIC GARAGE DOOR OPENING EQUIPMENT AND THE GARAGE DOOR ENTRANCE MAY BE 6.67 FEET.
- VISIBILITY OF A DRIVEWAY CROSSING A STREET PROPERTY LINE SHALL NOT BE BLOCKED BETWEEN A HEIGHT OF 3 FEET AND 9 FEET FOR A DEPTH OF 5 FEET FROM THE STREET PROPERTY LINE AS VIEWED FROM THE EDGE OF THE RIGHT-OF-WAY ON EITHER SIDE OF THE DRIVEWAY AT A DISTANCE OF 15 FEET OR AT THE NEAREST PROPERTY LINE INTERSECTING THE STREET PROPERTY LINE, WHICHEVER IS LESS.
- DUCTS PENETRATING WALL OR CEILING PENETRATIONS BETWEEN GARAGE AND DWELLING UNIT SHALL BE CONSTRUCTED OF 26 GAUGE MINIMUM SHEET METAL AND SHALL HAVE NO OPENING IN TO THE GARAGE - PER SECT R302.5.2
- SEPARATE PERMITS AND PLANS ARE REQUIRED FOR SPAS, POOLS, SOLAR SYSTEMS, DEMOLITION AND SEWER CAP OF EXISTING BUILDINGS. IF SUCH IMPROVEMENTS OR DEMOLITION IS REQUIRED AS CONDITION OF APPROVAL FOR DISCRETIONARY ACTIONS OR TO COMMENCE BUILDING, THEN SUCH PERMITS MUST BE OBTAINED BEFORE OR AT THE TIME THIS PROPOSED BUILDING PERMIT IS ISSUED.
- FENCE / WALL / HANDRAIL AND HEDGE HEIGHTS, AS MEASURED FROM THE LOWEST FINISHED GRADE ADJACENT TO EACH SECTION OF THESE STRUCTURES, MAY BE A MAXIMUM OF 42" IN THE FRONT YARD SETBACK, AND 6' AT ALL OTHER LOCATIONS ON SITE (3' IN DRIVEWAY VISIBILITY TRIANGLE AND IN THE TRAFFIC VISION CLEARANCE TRIANGLE).
- ESCAPE OR RESCUE WINDOWS SHALL HAVE A MINIMUM NET CLEAR OPENABLE AREA OF 5.7 SQUARE FEET, MINIMUM NET CLEAR OPENABLE HEIGHT OF 24" AND MINIMUM NET CLEAR OPENABLE WIDTH 20" AND HAVE A SILL HEIGHT NOT MORE THAN 44" ABOVE FINISH FLOOR.
- INSTALL ON THE COLD WATER SUPPLY PIPE AT THE TOP OF THE WATER HEATER A CAPPED "T" FITTING TO PLUMB FOR FUTURE SOLAR WATER HEATING.
- CLOTHES DRYER DUCT SHALL BE METAL WITH MIN. 4 INCHES IN DIAMETER. THE EXHAUST DUCTS SHALL NOT EXCEED A TOTAL COMBINED HORIZONTAL AND VERTICAL LENGTH OF 14 FEET, INCLUDING TWO 90 DEGREE ELBOWS. A LENGTH OF 2 FEET SHALL BE DEDUCTED FOR EACH 90 DEGREE ELBOW IN EXCESS OF TWO. (CMC 04.42.1.1). LAUNDRY VENTILATION EXHAUST TERMINATE AT LEAST 3 FEET FROM PROPERTY LINE AND 3 FEET FROM OPENING INTO ANY BUILDINGS. (CMC. 504.5).
- RANGE EXHAUST VENTILATION; MIN. EXHAUST RATE OF 100 CFM, MAX. SOUND RATING OF 3 SONES @ 100 CFM AND VENTING DIRECTLY TO THE BUILDING EXTERIOR. (CMC 504.2, ASHRAE 62.2 AND BEES 150.0)
- WATER CLOSET SHALL HAVE 15 INCHES TO ANY WALL OR OBSTRUCTION ON EACH SIDE OF IT'S CENTERLINE AND 24 INCHES CLEAR SPACE IN FRONT (402.5 CPC).
- CONDENSATE LINES FROM MECHANICAL EQUIPMENTS SHALL DISCHARGE TO PLUMBING FIXTURE OR AN APPROVED LOCATION BY MEANS OF AN INDIRECT WASTE PIPE.
- SMOKE ALARM SHALL BE INSTALLED INSIDE ALL BEDROOMS, ON CEILING OR WALL OUTSIDE OF EACH BEDROOM AND ON EVERY STORY - PER SECTION R314.3
- CARBON MONOXIDE ALARMS SHALL BE INSTALLED IMMEDIATELY OUTSIDE OF ALL BEDROOMS AND ON EVERY LEVEL - PER SECTION R315.3.
- SMOKE ALARM & CARBON MONOXIDE SHALL HAVE A 10-YEAR LIFE BATTERY BACK-UP IN SEALED COMPARTMENT.
- BATHROOMS SHALL HAVE AN EXHAUST FAN - PER SECTION 303.3. MIN. MECHANICAL VENTILATION RATES SHALL BE 50 CFM FOR INTERMITTENT VENTILATION AND 25 CFM FOR CONTINUOUS VENTILATION.
- ELEVATOR SHALL COMPLY WITH ASME A17.1 / CSA 44 - PER CRC SECTION R321.1.
- SOLAR PV MUST BE INSTALLED PRIOR APPROVAL OF FINAL INSPECTION AND PRIOR OCCUPANCY OF THE BUILDING
- WATER HEATER INSTALLATIONS, REGARDLESS OF PROPOSED WATER HEATING SYSTEM, SHALL HAVE (BEES 150.0)
 - A120V ELECTRICAL RECEPTACLE THAT IS WITHIN 3 FEET FROM THE WATER HEATER.
 - A CATEGORY B OR V VENT, OR A TYPE B VENT WITH STRAIGHT PIPE.
 - CONDENSATE DRAIN THAT IS NO MORE THAN 2 INCHES HIGHER THAN THE FINISH SURFACE BELOW.
 - A GAS SUPPLY LINE WITH AVAILABLE CAPACITY FOR NOT LESS THAN 200.000 BTU/HR SYSTEM.
- DECK SHALL NOT DRAIN OVER THE SLOPE BY SHEET FLOW OR SCUPPERS, PIPED ROOF AND OVERFLOW DRAIN SHALL BE INSTALLED AT LOW POINTS OF EACH DECK LEVEL. SECONDARY EMERGENCY OVERFLOW ROOF DRAINS OR SCUPPERS SHALL BE PROVIDED AS FOLLO:
 - OVERFLOW DRAIN HAVING THE SAME SIZE AS THE ROOF DRAINS SHALL BE INSTALLED WITH THE INLET FLOW LINE LOCATED 2 INCHES ABOVE THE LOW POINT OF THE ROOF, AND SEPARATELY PIPED.
 - THE INSTALLATION OF OVERFLOW DRAINS, LEADERS AND CONDUCTORS SHALL COMPLY WITH CALIFORNIA PLUMBING CODE.
- OVERFLOW SCUPPERS SHALL HAVE AN AREA 3 TIMES THE REQUIRED DECK DRAIN, A MINIMUM OPENING HEIGHT OF 4 INCHES AND HAVE AN INLET FLOW LINE LOCATED 2 INCHES ABOVE THE LOW POINT OF THE DECK. (CRC R903.1.1)
- DECK & ROOF DECK WATERPROOFING TO BE DEK-O-TEX WEATHERWEAR PROMENADE ROOF DECK SURFACING OVER EXTERIOR GRADE PLYWOOD WITH TILE FINISH. ICC ESR 1757
- WINDOW FALL PROTECTION. WINDOW FALL PROTECTION SHALL BE PROVIDED IN ACCORDANCE WITH SECTIONS 9R312.2.1 AND R312.2.2.
 - WINDOW SILL, IN DWELLING UNITS, WHERE THE TOP OF THE SILL OF AN OPERABLE WINDOW OPENING IS LOCATED LESS THAN 24 INCHES ABOVE THE FINISHED FLOOR AND GREATER THAN 72 INCHES ABOVE THE FINISHED GRADE OR OTHER SURFACE BELOW.
 - OPERABLE WINDOW WITH OPENINGS THAT WILL NOT ALLOW 4 INCHES DIAMETER SPHERE TO PASS THROUGH THE OPENING WHERE THE OPENING IS IN ITS LARGEST OPEN POSITION.
 - OPENING THAT ARE PROVIDED WITH WINDOW FALL PREVENTION DEVICES THAT COMPLY WITH ASTM F 2090.
 - WINDOWS THAT ARE PROVIDED WITH WINDOW OPENING CONTROL DEVICES THAT COMPLY WITH SECTION R312.2.2.
- WINDOW OPENING CONTROL DEVICES. WINDOW OPENING CONTROL SHALL COMPLY WITH ASTM F 2090. THE WINDOW OPENING CONTROL DEVICE, AFTER OPERATION TO RELEASE THE CONTROL DEVICE ALLOWING THE WINDOW TO FULLY OPEN, SHALL NOT REDUCE THE MINIMUM NET CLEAR OPENING AREA OF THE WINDOW UNIT TO LESS THAN THE AREA REQUIRED BY SECTION R310.1.1. (R312.2.2).
- GLAZING ADJACENT TO STAIRWAY OR LANDINGS, WHERE THE BOTTOM EXPOSED EDGE OF THE GLAZING IS LESS THAN 3 FEET ABOVE THE ADJACENT WALKING SURFACE SHALL BE SAFETY GLASS (CRC R308.4.6)
- PROVIDE A 4 INCHES MINIMUM SEWER LATERAL (DUE TO THE NUMBER OF TOILETS).
- ALL KITCHEN CIRCUITS SHALL BE ON A COMBINATION AFCI/GFCI.
- ALL RECEPTACLE IN THE GARAGE SHALL BE A MINIMUM OF 18" ABOVE THE FINISH FLOOR.
- LAUNDRY SINK RECEPTACLE SHALL BE COMBINATION AFCI/GFCI.
- ALL WALL SPACES, 2 FEET OR MORE IN WIDTH, SHALL HAVE RECEPTACLES INSTALLED SUCH THAT NO POINT MEASURED HORIZONTALLY ALONG THE FLOOR LINE IS MORE THAN 6 FEET FROM A RECEPTACLE (12 FEET MAXIMUM SPACING). (210.25(A) (1) & (2) CEC).
- ISLAND AND PENINSULAR COUNTER 24 INCHES X 12 INCHES OR GREATER IN LENGTH SHALL HAVE AT LEAST ONE RECEPTACLE. (210.25(C)(2) & (3) CEC).

NOTES:

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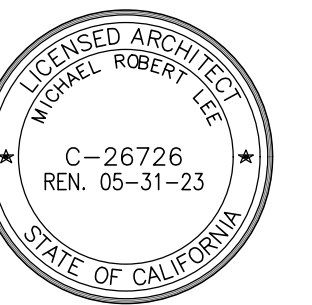
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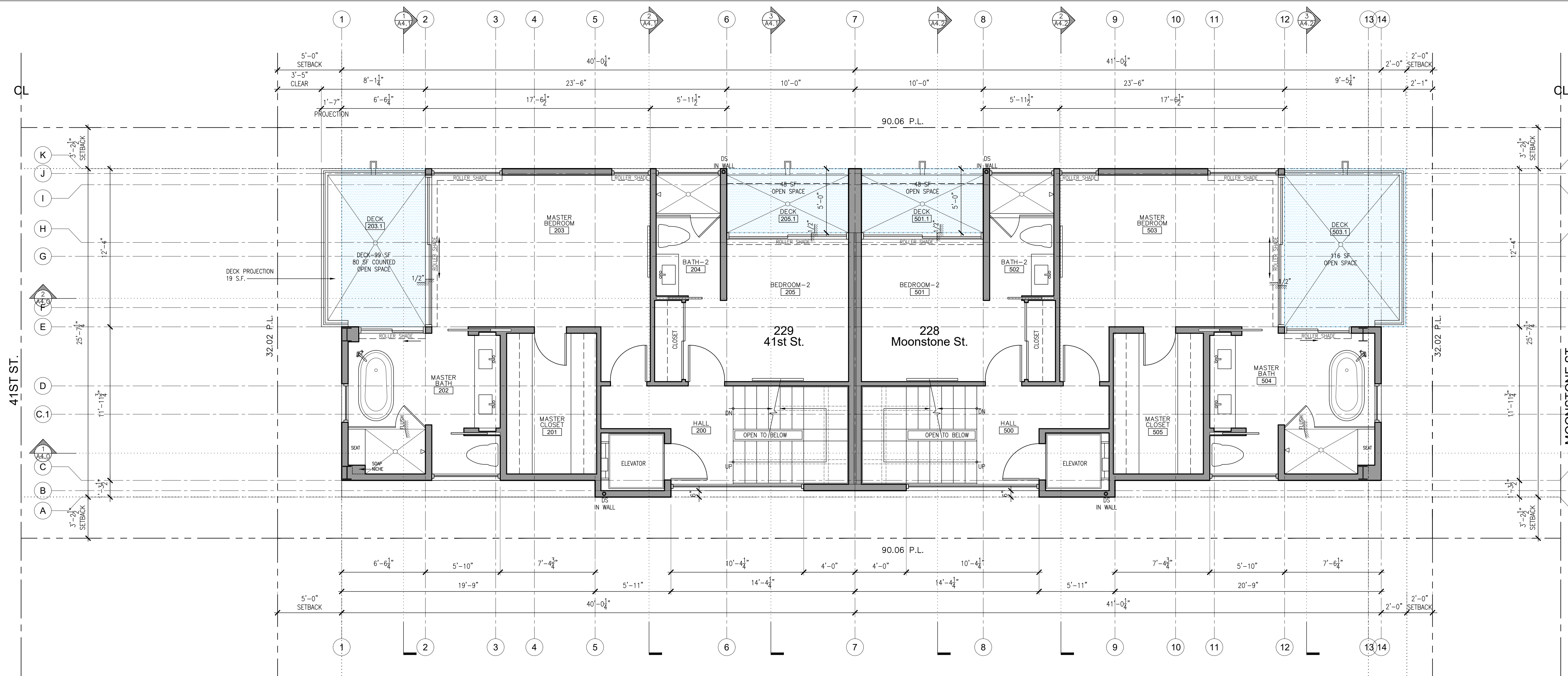
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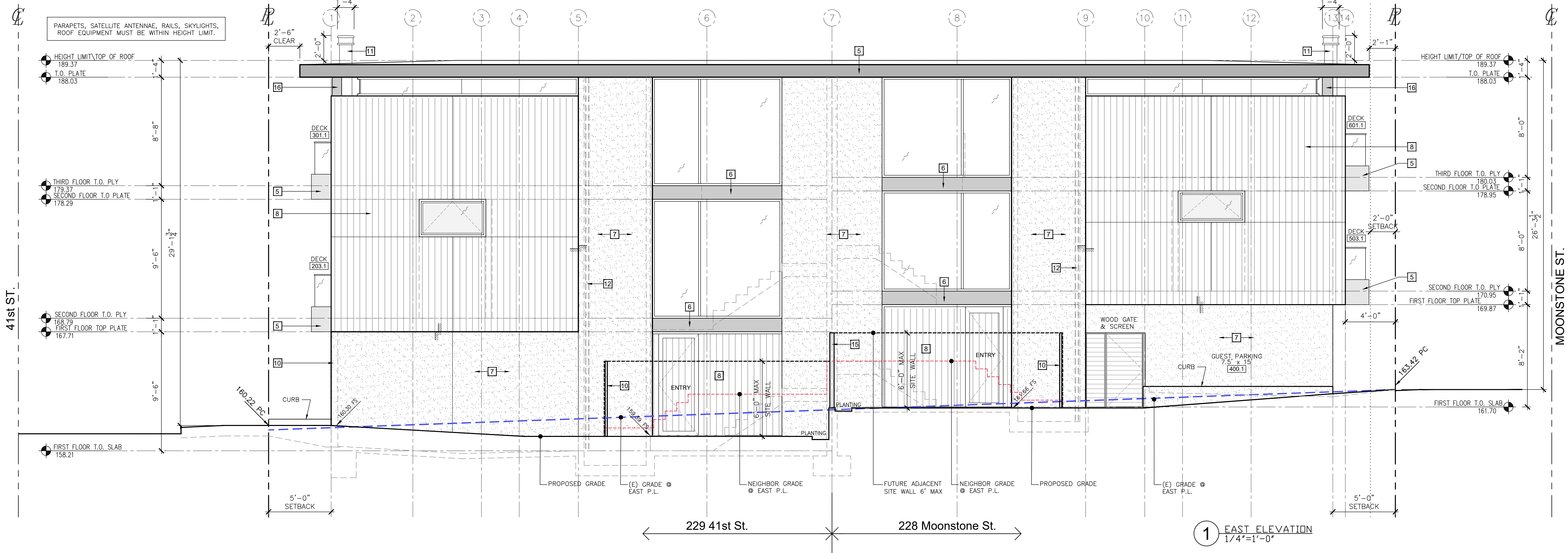
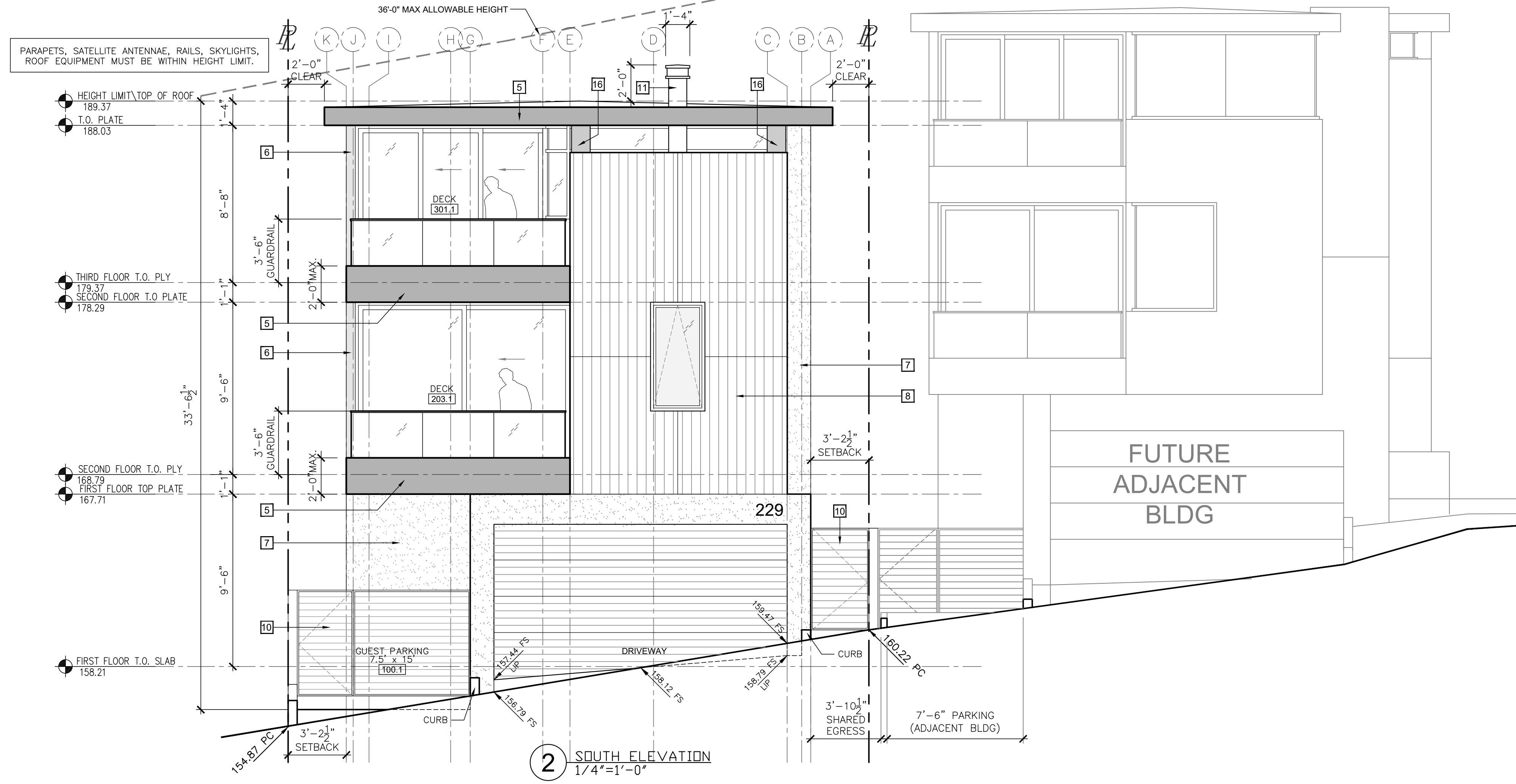
Floor Plans

A 2.1



1 SECOND FLOOR PLAN
1/4" = 1'-0"

KEY NOTES LEGEND:	
1	200 AMP ELECTRIC PANEL (FULLY RECESSED INTO BUILDING WALL)
2	T.V. & PHONE (FULLY RECESSED INTO BUILDING WALL)
3	GAS METER (FULLY RECESSED INTO BUILDING WALL) 3'-0" MIN. CLEAR FROM ELECTRIC PANEL
4	DOMESTIC WATER SERVICE & FIRE SPRINKLER
5	ALUMINUM HEAVY GAUGE FASCIA (PAC CLAD)
6	POST & BEAM WITH ALUMINUM HEAVY GAUGE CLAD (PAC CLAD)
7	SMOOTH STUCCO
8	HARDWOOD SIDING STAINED
9	GARAGE DOOR (TO MATCH BLDG. SIDING)
10	WOOD GATE 6'-0" MAX.
11	CHIMNEY CAP W/ APPROVED SPARK ARRESTOR W/ DECORATIVE METAL COVERS
12	DOWN SPOUT (N-WALL) COORDINATE AND VERIFY WITH ARCHITECTS
13	CONDENSER
14	CONDENSER
15	PRIVACY WOOD FENCE 6'-0" MAX.
16	EXPOSED STEEL COLUMN (PAINT FINISH)
17	
18	
19	
20	
21	
22	



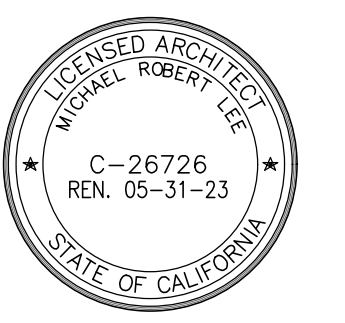
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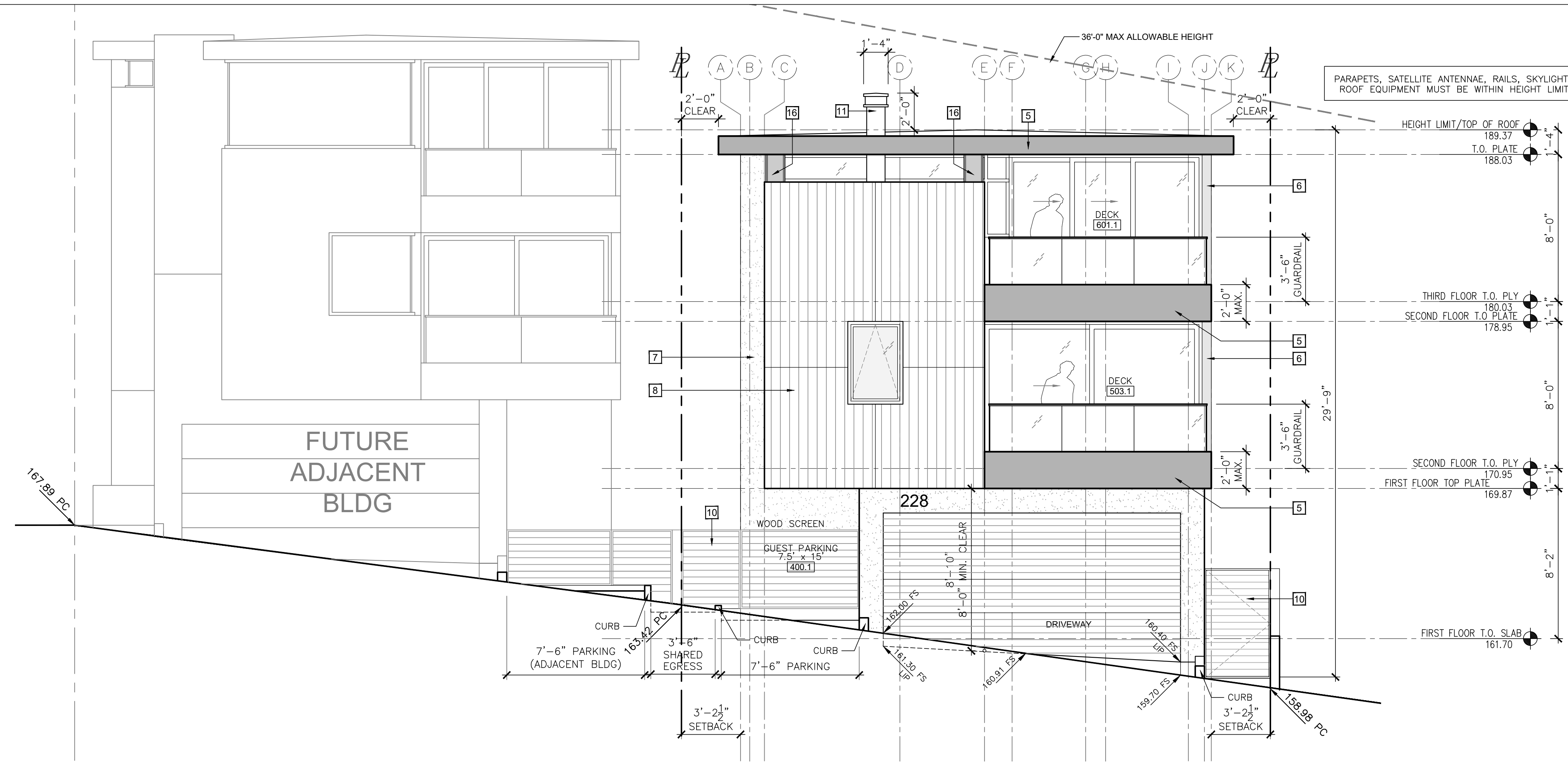
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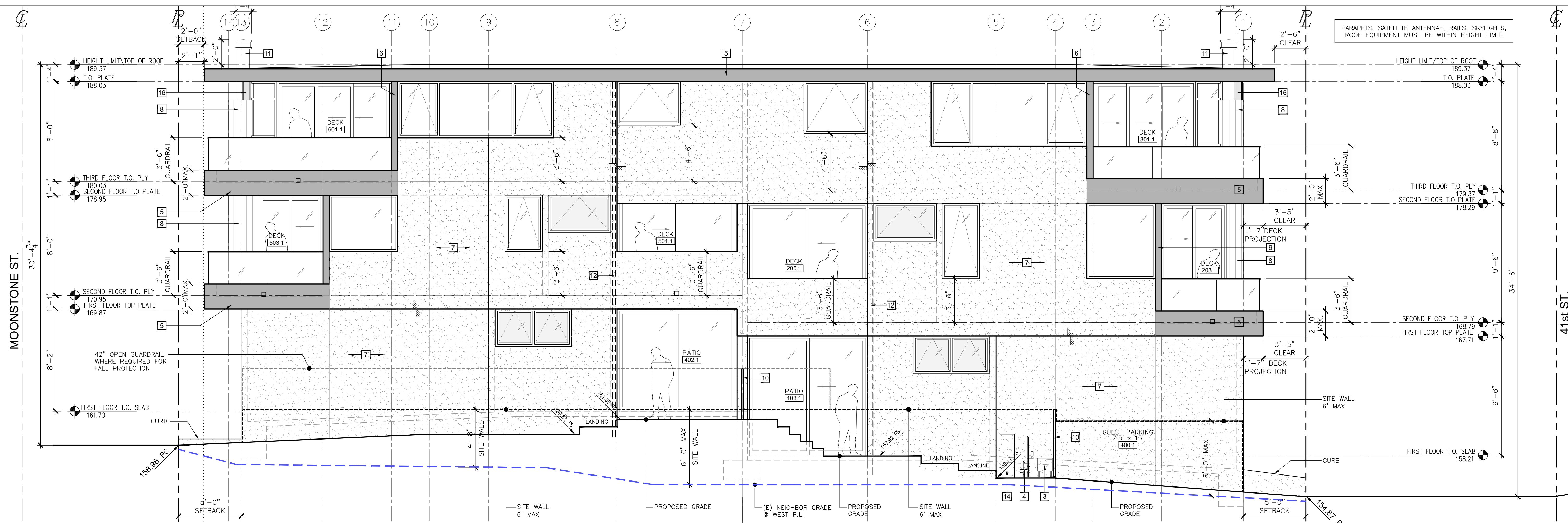
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Exterior Elevations

A 3.0

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2 NORTH ELEVATION
1/4"=1'-0"



1 WEST ELEVATION
1/4"=1'-0"

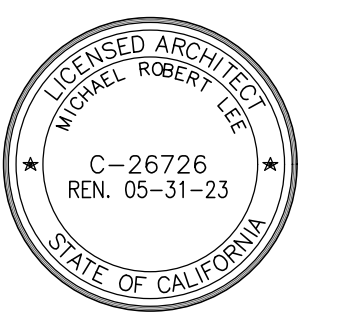
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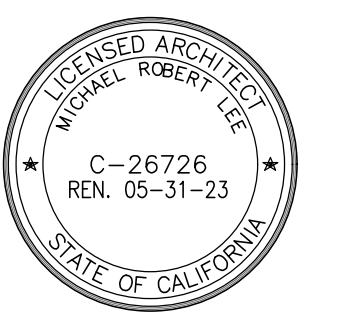
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Exterior Elevations

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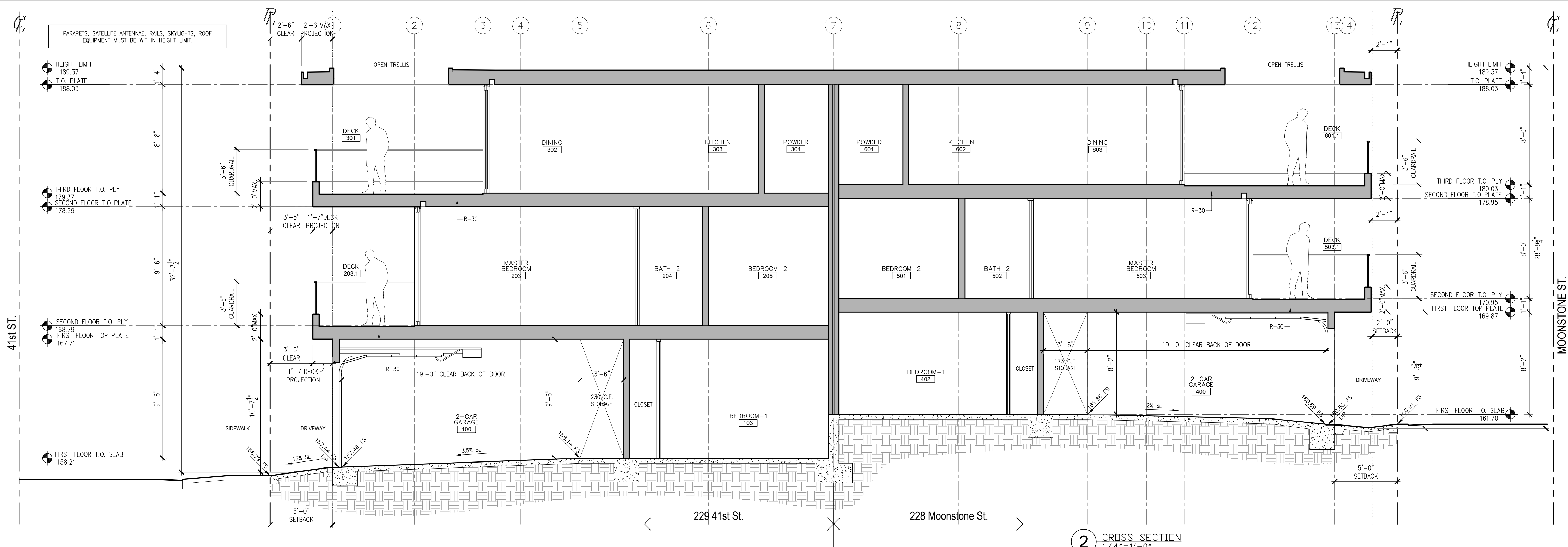
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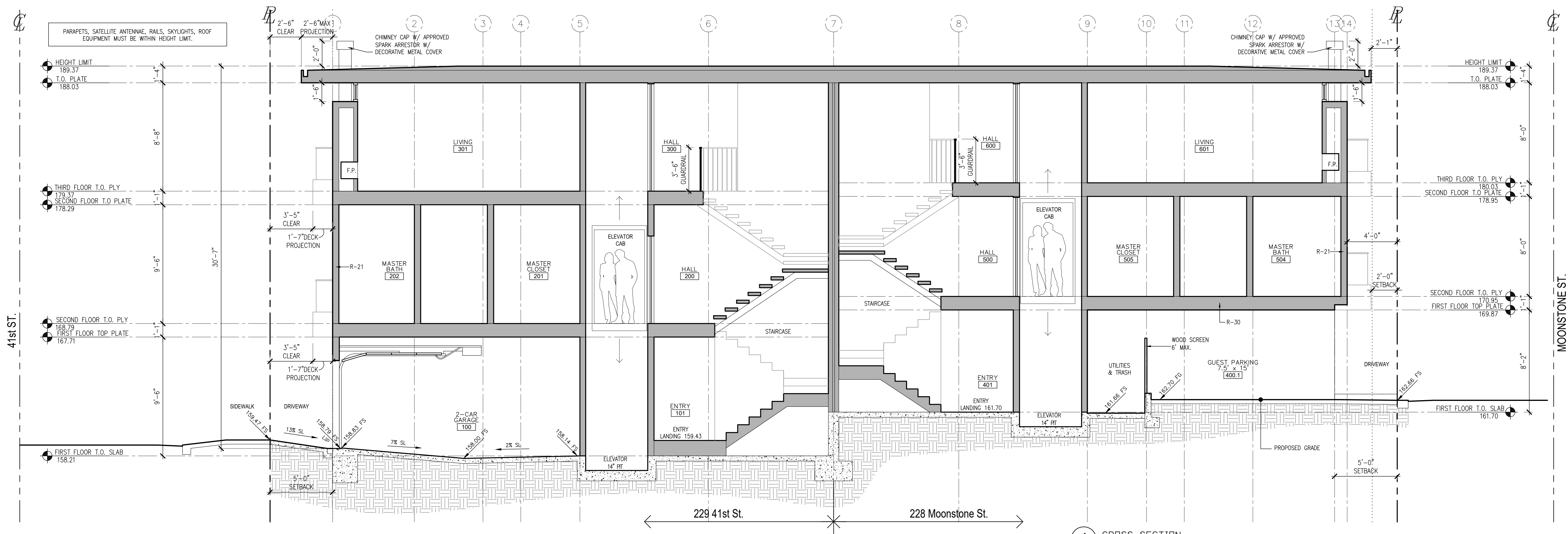
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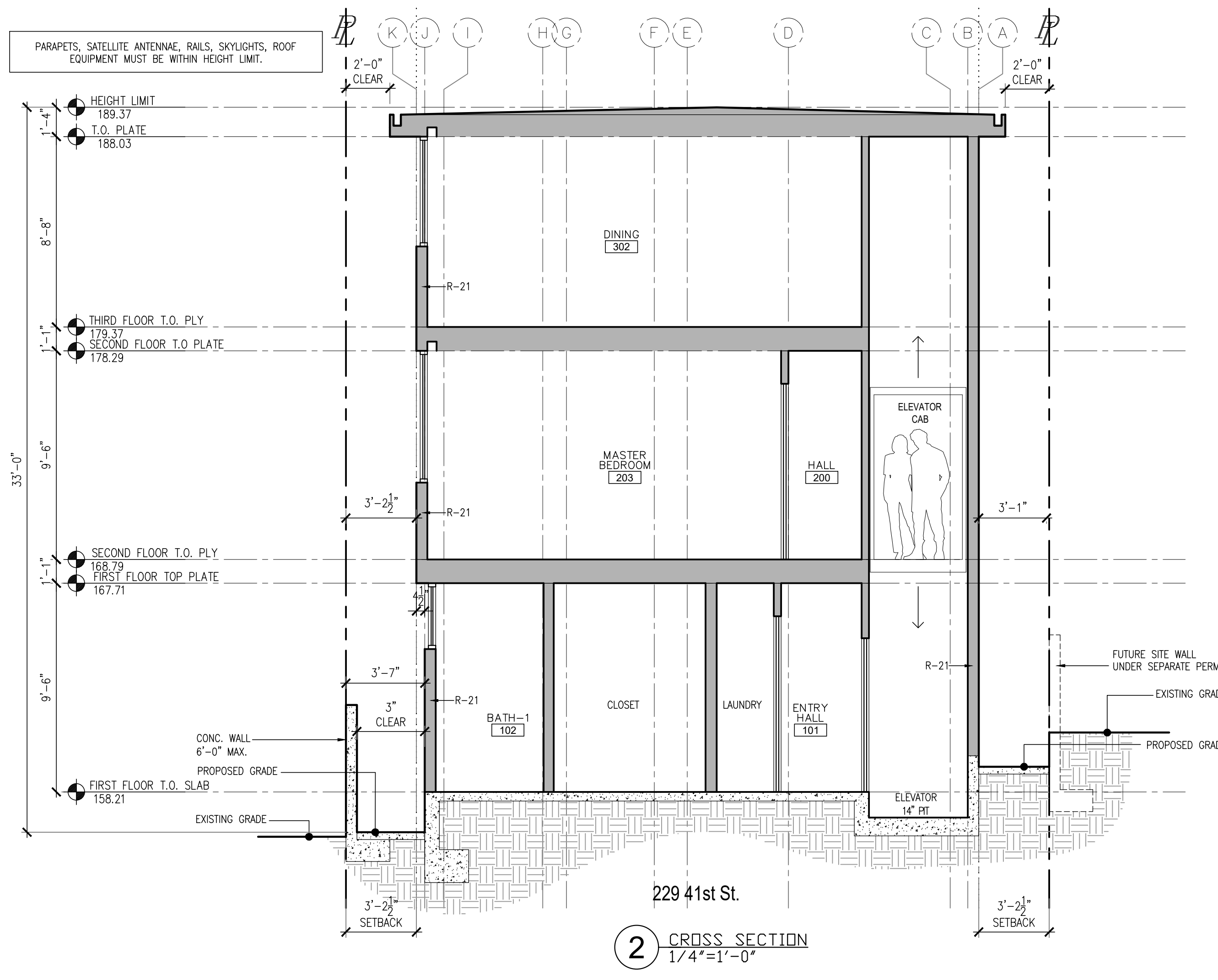
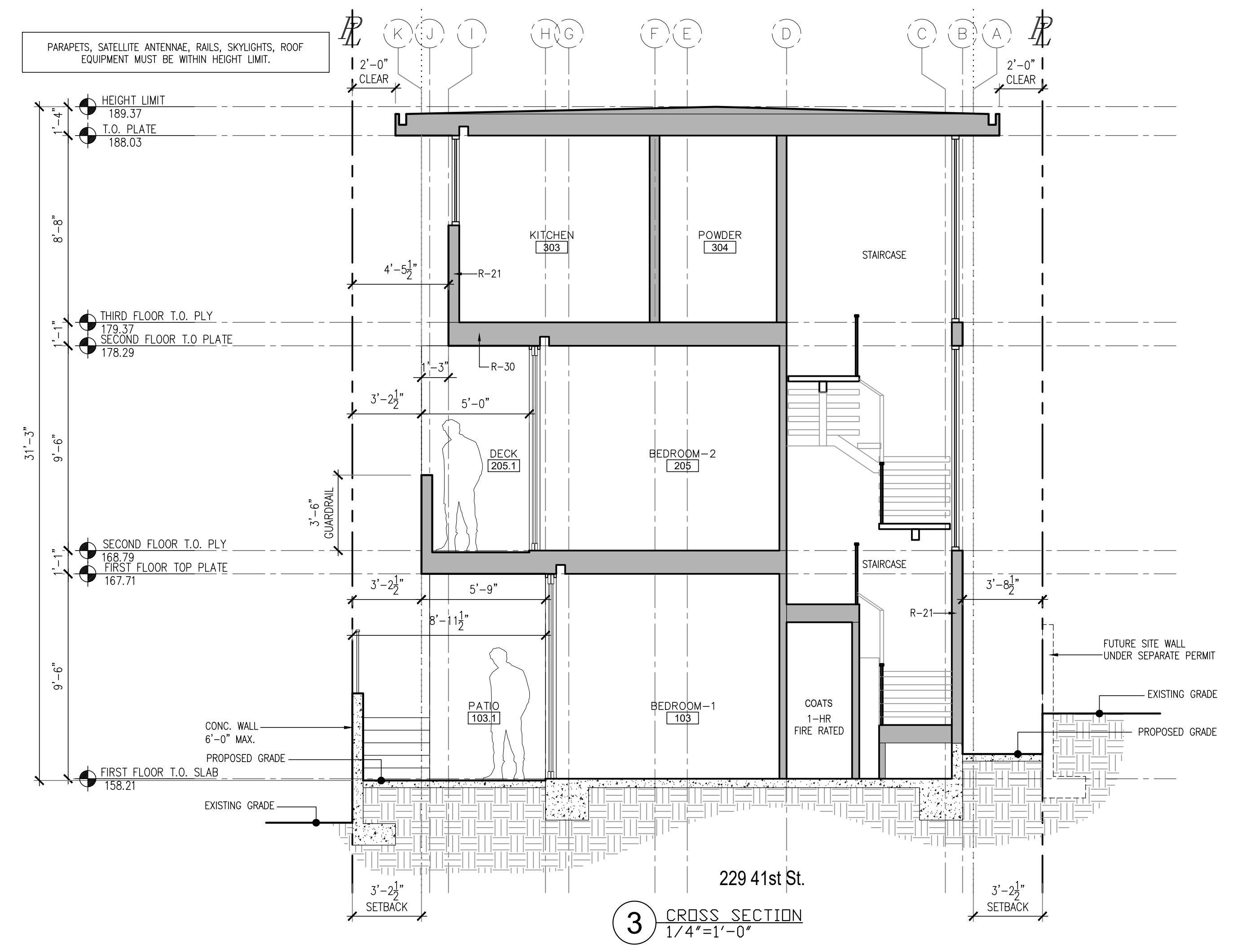
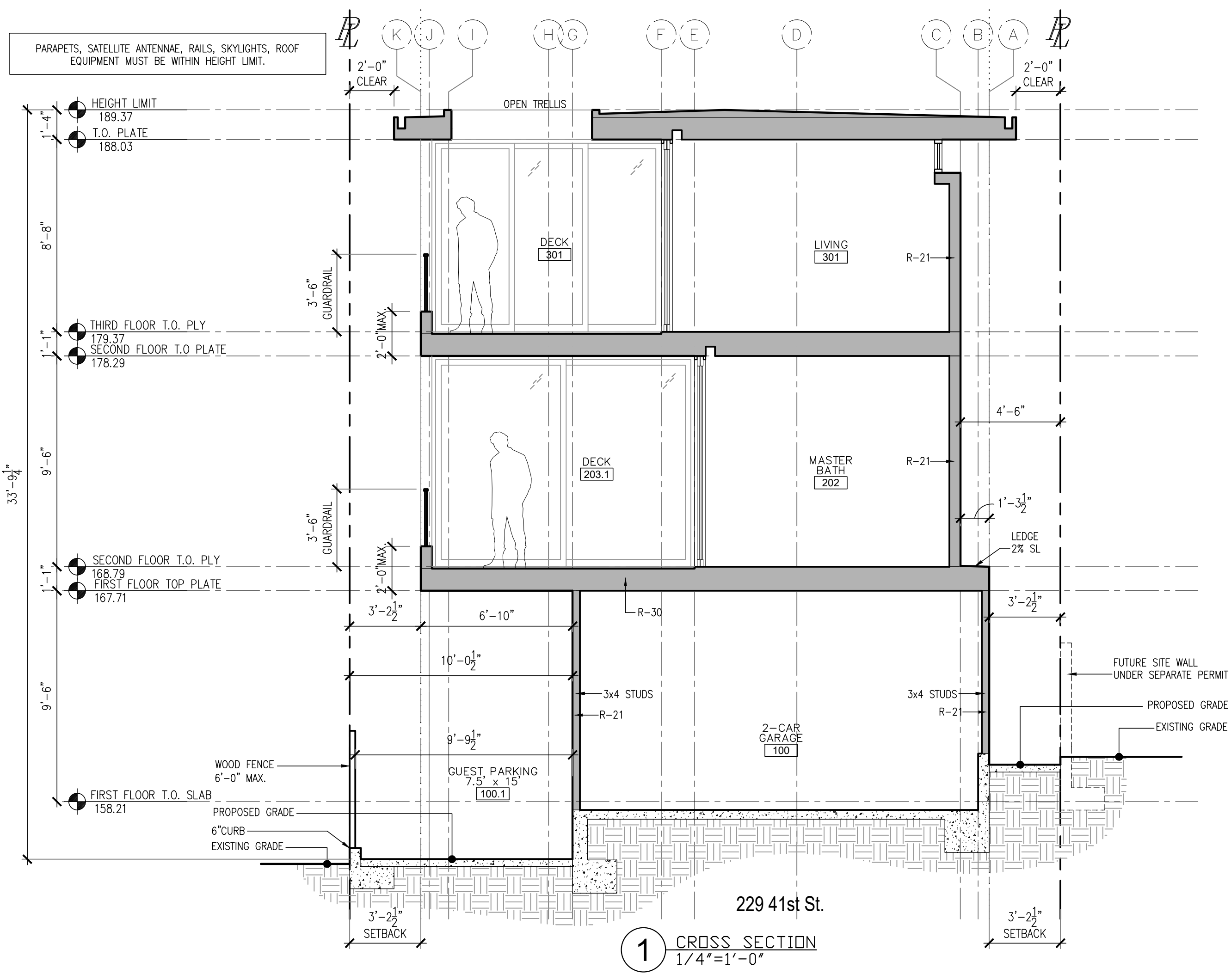
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2 CROSS SECTION
 1/4"=1'-0"



1 CROSS SECTION
 1/4"=1'-0"



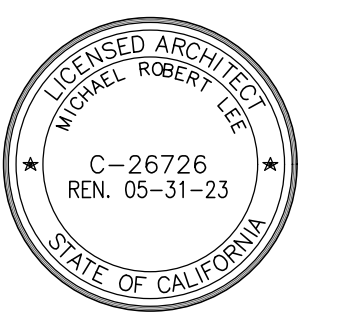
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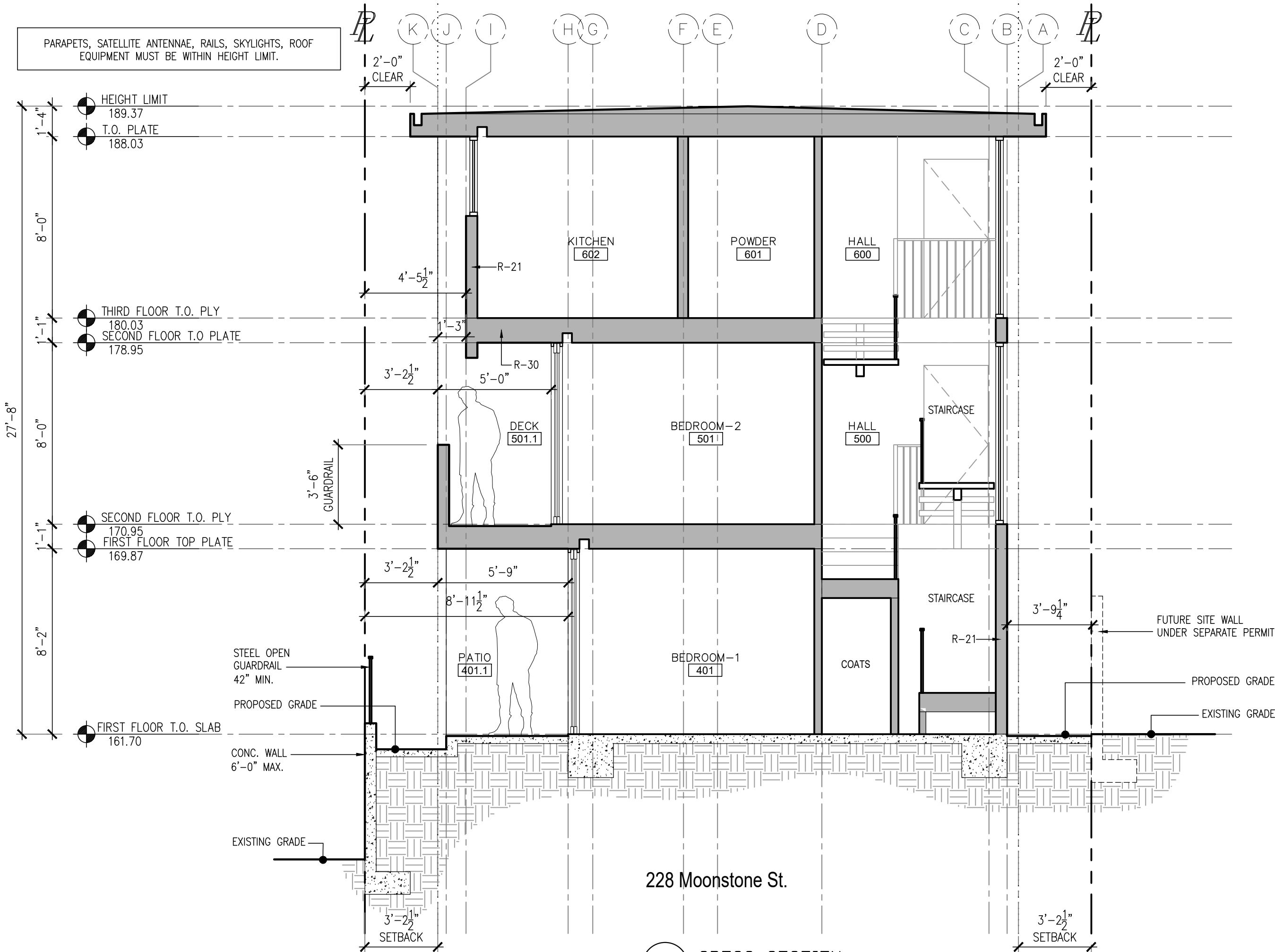
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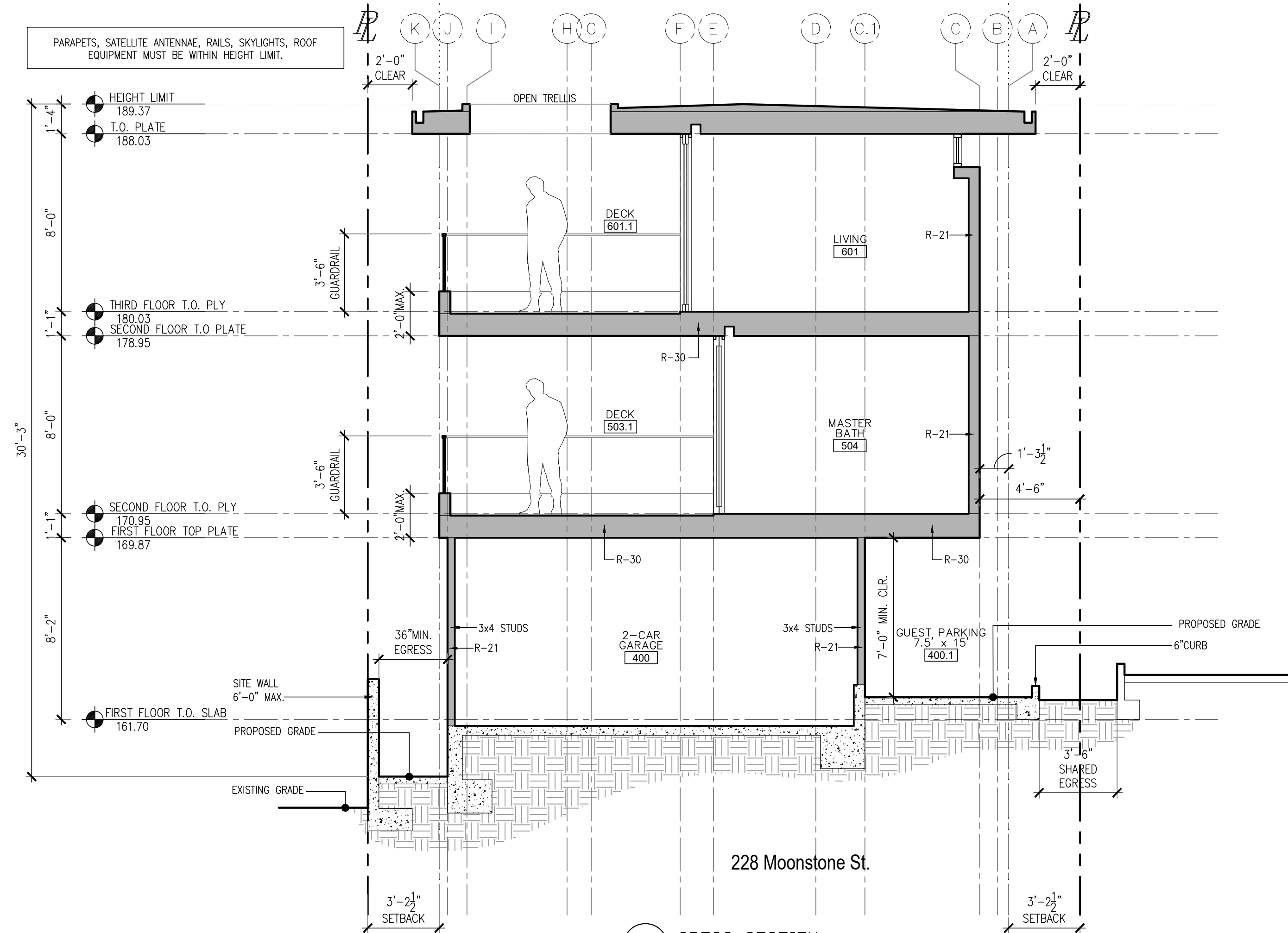
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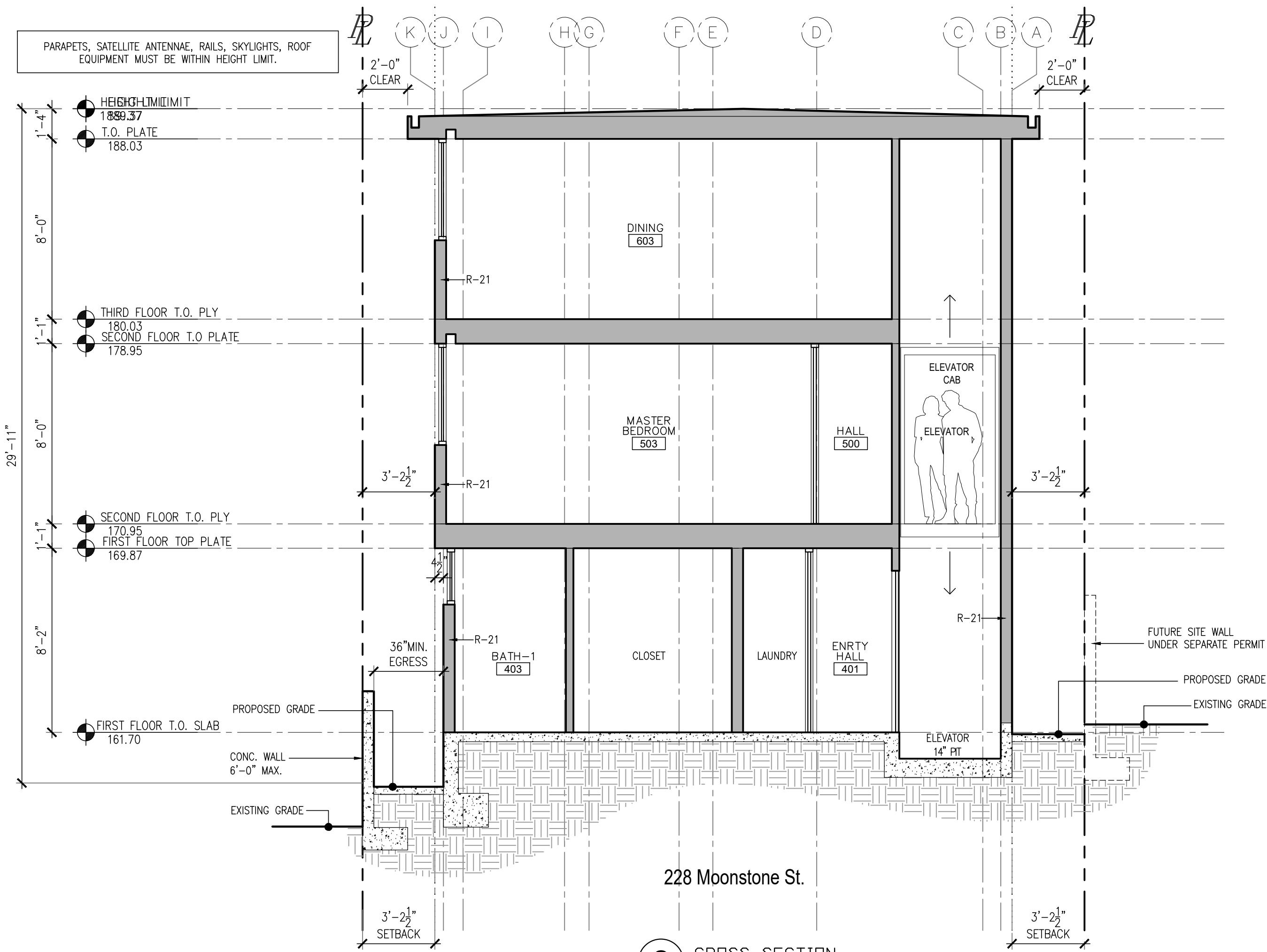
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1 CROSS SECTION
1/4" = 1'-0"



3 CROSS SECTION
1/4" = 1'-0"



2 CROSS SECTION
1/4" = 1'-0"

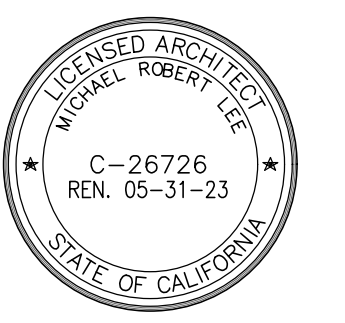
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Sections

A 4.2

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ATTACHMENT F

Ted Fatuos

From: ELIZABETH KING <eking7@verizon.net>
Sent: Wednesday, May 17, 2023 9:07 AM
To: Ted Fatuos
Subject: [EXTERNAL] Proposed condos on 229 41st & 4103 highland mb

EXTERNAL EMAIL: Do not click links or open attachments unless you trust the sender and know the content is safe.

Pls add me to your list for information.

My question is why can't we have a store like the Old El Porto market? We have nothing in our neighborhood to purchase groceries.

Also, past construction trucks have gone over my corner and crashed into my flower beds , broken even the curb leaving chunks of concrete. The construction companies are careless.

Sent from my iPhone