



**CITY OF MANHATTAN BEACH  
DEPARTMENT OF COMMUNITY DEVELOPMENT  
STAFF REPORT**

**TO:** Planning Commission

**FROM:** Carrie Tai, AICP, Community Development Director

**THROUGH:** Talyn Mirzakhanian, Planning Manager

**BY:** Austin Chavira, Assistant Planner

**DATE:** March 10, 2021

**SUBJECT:** Consideration of a Use Permit and Vesting Tentative Parcel Map No. 83261 for Three New Condominium Units at 1421 15<sup>th</sup> Street, and Adoption of an Environmental Determination in Accordance with the California Environmental Quality Act (1421 15<sup>th</sup> Street MB, LLC)

**RECOMMENDATION**

Staff recommends that the Planning Commission **CONDUCT** the Public Hearing and **ADOPT** the attached resolution approving the project subject to certain conditions and adopting a determination of exemption under the California Environmental Quality Act (CEQA).

**APPLICANT/OWNER**

1421 15<sup>th</sup> Street MB, LLC /Dennis Cleland  
P.O. Box 969  
Manhattan Beach, CA 90266

**BACKGROUND**

On October 23, 2020, the Community Development Department received an application requesting a Use Permit and Vesting Tentative Parcel Map No. 83261 for a new three-unit residential condominium building located at 1421 15<sup>th</sup> Street. The site is a 7,293 square-foot lot and is zoned Residential Medium Density (RM), Area District II. The site is surrounded by multi-family residences to the north, south, and west and a school to the east.

Whereas multi-family condominium development of up to two units would be permitted by right in the RM zoning district, Manhattan Beach Municipal Code (MBMC) Section 10.12.020 requires approval of a Use Permit for condominium developments with three or more units. A Vesting Tentative Parcel Map is also required per MBMC Chapter 11.24 to subdivide the property into three condominium ownership units.

### SITE OVERVIEW

<b>Location:</b>	1421 15 <sup>th</sup> Street north east of Rowell Ave. & 15 <sup>th</sup> St. (See Vicinity Map- Attachment B)
<b>Legal Description:</b>	Lot 19, Block 56, Tract #141

<b>General Plan:</b>	Medium Density Residential	
<b>Zoning:</b>	RM, Medium Density Residential	
<b>Area District:</b>	II	
<b>Subject Site Land Use:</b>		
Existing:	Duplex	
Proposed:	Three Residential Condominium Units	
<b>Neighboring Zoning:</b>	North	RM/Medium Density Residential
	South	RM/Medium Density Residential
	East	PS/Public and Semipublic
	West	RM/Medium Density Residential

### PROJECT DETAILS

	<u>Proposed</u>	<u>Code Requirement</u>
Parcel Size:	7,492.99 sq. ft. (existing legal lot)	4,600 sq. ft. min.
Residential Density:	1 unit /2,300 sq. ft. lot area	1 unit/2,300 sq. ft. lot area (*)
Building Floor Area:	6,379 sq. ft.	7,492.99 sq. ft. max
Height:	26 ft.	26 ft. max
Stories:	Two	Two
<b>Setbacks</b>		
Front:	20 ft.	20 ft.
Rear:	25.1 ft.	24.95 ft. from P/L
East side:	5 ft.	5 ft.
West side:	5 ft.	5 ft.
Parking:	2 spaces/1 guest space per unit	2 spaces/1 guest space per unit

Open Space:	37-76% of unit area	15% of unit area min.
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## DISCUSSION

The applicant proposes to demolish an existing duplex and construct a three-unit residential condominium building on the subject lot. As mentioned above, whereas multi-family rental units or condominium development of up to two units would be permitted by right in the RM zoning district, Manhattan Beach Municipal Code (MBMC) Section 10.12.020 requires approval of a Use Permit for condominium developments with three or more units. A Vesting Tentative Parcel Map is also required pursuant to MBMC Chapter 11.24.

The proposed structure includes a 6,379 square-foot, two-story building containing three attached condominium units ranging in size from 2,121.8 to 2,135.5 square feet. A driveway along the eastern portion of the site provides vehicular access to each condominium unit. Each condominium has an enclosed two-car garage with a guest parking stall at grade. The interior of each garage has a designated area for trash receptacles; the trash area does not obstruct the required parking spaces. There are a total of nine on-site parking spaces, including three guest spaces. Access to the first floor of each condominium unit is proposed from within the enclosed garage. The main entrance of each condominium unit is proposed on the first floor along the western portion of the site. The first floor of each unit contains a bedroom, bathroom, and laundry room. Each unit has a primary staircase adjacent to the main entrance that allows access to the second floor and mezzanine. The second floor of each unit includes two bedrooms, two bathrooms, living room, kitchen, and dining room. Each unit has access to a mezzanine, attic, and outdoor deck located within the middle section of the buildable envelope. The two units on the edges of the proposed structure share one common wall, whereas the middle unit shares two common walls. The rear yard is divided by a garden wall to create common open space for Units A and B. Unit C has private open area within the rear yard. No variances are being requested. The project issues that warrant discussion include the required findings and project design.

As identified on the survey of the site submitted by the applicant, there are two existing trees located on the project site within the front setback. Both trees will be removed to accommodate construction of the project. One of the two private trees is a protected 12-inch diameter tree. Per the proposed landscape plan, and as required by Section 10.52.120(F)(5), the protected tree will be replaced by a new 36-inch box tree in the required front yard setback of the proposed project.

The project's proposed architectural design reflects a contemporary aesthetic with articulated elevations that separate each of the dwelling units from each other. The project design also incorporates a mezzanine into each condominium unit. MBMC Section 10.04.030 defines a mezzanine as "an intermediate floor placed within a room, and meeting

the requirements of a mezzanine contained in the Building Regulations.” A mezzanine that meets the Building Code’s definition of a mezzanine is not considered to be a story condition. Building and Safety staff have reviewed the applicant’s plans and have confirmed the applicant’s design meets the Building Code’s definition of a mezzanine. Each condominium thus qualifies as a two-story structure as required in this area with the 26-foot height limit.

As demonstrated in the “Project Details” table in the section above, the project conforms to all applicable Code requirements governing use, height, floor area, setbacks, parking, landscaping, and open space (MBMC Section 10.12.030). Furthermore, the project conforms to all applicable residential condominium standards (MBMC Section 10.52.110), including requirements that each unit have storage and guest parking. The project is subject to Residential Condominium Standards per Section 10.52.110 of the Planning and Zoning Code. The standards govern sound attenuation, venting, insulation, utility meters, etc.; all of which will be confirmed during the plan check phase if the project is approved.

The Manhattan Beach 2013-2021 Housing Element aims to preserve, improve and develop housing in the City while protecting the small-town feel of the community represented in each neighborhood located within the City and reflecting the City’s unique and varied environment. The proposed project aids in the implementation of the following specific Housing Element programs:

*Program-1a: Continue to enforce provisions of the Zoning Code which specify District Development Regulations for height, lot coverage, setbacks, open space, and parking.* The proposed project, as designed, complies with the applicable development regulations of Planning and Zoning Code for the subject Area District.

*Program-1c: Refrain from approval of lot mergers that would result in a reduction in the number of residences allowed.* The project is not proposing a lot merger nor does the project propose a reduction in the number of residential units that previously existed on the site.

*Program-3a: Continue to facilitate infill development in residential areas.* The project is considered infill development and proposes a net gain in housing units for the City.

*Program-3e: No Net Loss.* The project proposes to demolish an existing duplex and construct a new three-unit condominium development adding to the City’s housing stock.

***Required Findings:***

MBMC Section 10.12.020 requires a Use Permit for condominium projects of three or more



units. The following findings must be met in order to grant the Use Permit. Staff suggests the following findings in support of the Use Permit for the project:

1. *The proposed location of the use is in accord with the objectives of this title and the purposes of the district in which the site is located.*

The project proposes construction of multi-family residential housing in the Medium-Density Residential (RM) zoning district. The purpose of the RM zoning district is to provide opportunities for multiple residential uses, including duplexes, town houses, apartments, multi-dwelling structures, or cluster housing with landscaped open space for residents' use. The proposed multi-family residential project directly serves the purpose of the zoning district by contributing to the development of residential units.

2. *The proposed location of the use and the proposed conditions under which it would be operated or maintained will be consistent with the General Plan; will not be detrimental to the public health, safety or welfare of persons residing or working on the proposed project site or in or adjacent to the neighborhood of such use; and will not be detrimental to properties or improvements in the vicinity or to the general welfare of the city.*

Development of a multi-family residential project at the proposed location is consistent with the goals and objectives of the General Plan Medium Density Residential land use designation assigned to the project site and the neighboring properties. The proposed use is consistent with surrounding uses, as the neighboring lots have also been developed with residential, multi-family uses. Furthermore, the project has been reviewed by various City departments/divisions, including Public Works and Building and Safety, and it has been determined that it will not be detrimental to persons, properties or improvements in the vicinity or to the general welfare of the City, as construction and use of the project will have to comply with all applicable regulations.

The General Plan encourages residential development that provides for housing of a more intensive form, including apartments, condominiums, and senior housing. The project is in conformance with the following specific General Plan policies:

*LU-1.1: Limit the height of new development to three stories where the height limit is thirty feet, or to two stories where the height limit is twenty-six feet, to protect the privacy of adjacent properties, reduce shading, protect vistas of the ocean, and preserve the low-profile image of the community.* The project

is limited to two stories; therefore, impacts to shading and privacy are minimized, and the low-profile image of the community preserved.

*LU-1.2: Require the design of all new construction to utilize notches, balconies, rooflines, open space, setbacks, landscaping, or other architectural details to reduce the bulk of buildings and to add visual interest to the streetscape.* The project provides visual interest and architectural detailing via decks, open space areas and setbacks of the top floor.

*LU-2.2: Preserve and encourage private open space on residential lots citywide.* The project includes private decks and a common rear yard and open spaces in compliance with the requirement in the Planning and Zoning Code.

*LU-3.1: Continue to encourage quality design in all new construction.* The building includes a contemporary design, compatible with the existing built environment, inclusive of setbacks for building articulation, including on the top floor.

3. *The proposed use will comply with the provisions of this title, including any specific condition required for the proposed use in the district in which it would be located.*

The proposed use complies with all applicable development standards in Title 10 of the Municipal Code (Planning and Zoning), including but not limited to setbacks, maximum height, density, required parking, and open space. No variances are required for this project; therefore, the project meets this finding.

4. *The proposed use will not adversely impact nor be adversely impacted by nearby properties. Potential impacts are related but not necessarily limited to: traffic, parking, noise, vibration, odors, resident security and personal safety, and aesthetics, or create demands exceeding the capacity of public services and facilities which cannot be mitigated.*

The proposed multi-family residential use does not adversely impact neighboring properties, as it is consistent with the surrounding uses in the RM zoning district and compatible in terms of density, height, massing, and scale with the surrounding built environment. Development of this type is anticipated by the General Plan and does not create demands exceeding the capacity of public services.

Pursuant to California Government Code Section 66474 (Subdivision Map Act), a legislative

body of a city or county shall deny approval of a tentative map only if it makes any of the following findings: (a) that the proposed map is not consistent with applicable general and specific plans as specified in Section 65451; (b) that the design or improvement of the proposed subdivision is not consistent with applicable general and specific plans; (c) that the site is not physically suitable for the type of development; (d) that the site is not physically suitable for the proposed density of development; (e) that the design of the subdivision or the proposed improvements are likely to cause substantial environmental damage or substantially and avoidably injure fish or wildlife or their habitat; (f) that the design of the subdivision or type of improvements is likely to cause serious public health problems; or (g) that the design of the subdivision or the type of improvements will conflict with easements, acquired by the public at large, for access through or use of, property within the proposed subdivision.

As the proposed use is a conditionally permitted use in the Planning and Zoning Code, complies with all applicable development regulations and General Plan policies, is not a use that would threaten public health, and is proposed on a previously developed site, staff cannot make any of the findings for denial of the tentative map. Further, the Vesting Tentative Parcel Map shall be in compliance with Section 11.24.020 of the Manhattan Beach Municipal Code, as demonstrated by the Use Permit findings above. Therefore, staff recommends approval of the tentative map.

## **PUBLIC OUTREACH**

A public notice for the project was mailed to property owners within 500 feet of the site and published in the February 25, 2021 edition of The Beach Reporter. As of the writing of this report, staff has received one public comment (Attachment E).

## **ENVIRONMENTAL DETERMINATION**

The Project is Categorically Exempt from the requirements of the California Environmental Quality Act (CEQA), per Section 15303 (b), for new construction of multi-family residential structure totaling no more than four dwelling units and Section 15315 (Minor Land Divisions) for the subdivision of the subject property into separate condominium ownership, and there are no features that distinguish this project from others in the exempt class; therefore, there are no unusual circumstances.

## **CONCLUSION**

Staff concludes that the project complies with all applicable development regulations, conforms with applicable General Plan goals, policies and objectives, and that all required findings for approval can be made. Accordingly, staff recommends that the Planning Commission conduct the public hearing, and adopt the attached resolution approving the Use Permit and Vesting Tentative Parcel Map, subject to conditions, and adopting the

environmental determination.

**ATTACHMENTS:**

- A. Draft Resolution No. PC 21-01
- B. Vicinity Map
- C. Applicant's Written Documents
- D. Plans- 1421 15<sup>th</sup> Street
- E. Public Comment

**RESOLUTION NO. PC 21-01**

**RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF MANHATTAN BEACH APPROVING A USE PERMIT AND VESTING TENTATIVE PARCEL MAP NO. 83261 FOR CONSTRUCTION OF A THREE-UNIT RESIDENTIAL CONDOMINIUM PROJECT DEVELOPMENT LOCATED AT 1421 15<sup>th</sup> STREET (1421 15<sup>th</sup> STREET MB, LLC)**

**THE MANHATTAN BEACH PLANNING COMMISSION DOES HEREBY RESOLVE AS FOLLOWS:**

SECTION 1. 1421 15<sup>th</sup> Street MB, LLC (“Applicant”) has applied for a Use Permit and Vesting Tentative Parcel Map No. 83261 for construction of a proposed 6,379 square-foot building consisting of three residential condominium units on the property located at 1421 15<sup>th</sup> Street in the City of Manhattan Beach.

SECTION 2. On March 10, 2021, the Planning Commission conducted a duly noticed public hearing to consider the project, during which the Planning Commission provided an opportunity for the public to provide evidence and testimony at the public hearing.

SECTION 3. Section 10.12.020 of the Manhattan Beach Municipal Code (MBMC) requires approval of a Use Permit for condominium developments with three or more units. A Vesting Tentative Parcel Map is also required per MBMC Chapter 11.24 to subdivide the property into separate condominium ownership units.

SECTION 4. The Project is Categorically Exempt from the requirements of the California Environmental Quality Act (CEQA), per State CEQA Guidelines Section 15303(b), for new construction of multi-family residential structure totaling no more than four dwelling units, and State CEQA Guidelines Section 15315 (Minor Land Divisions) for the subdivision of the subject property into separate condominium ownership, and there are no features that distinguish this project from others in the exempt class; therefore, there are no unusual circumstances.

SECTION 5. The record of the public hearing indicates:

- A. The legal description of the site is: Lot 19, Block 56, Tract #141, Manhattan Beach Division No. 2, in the City of Manhattan Beach, County of Los Angeles. The site is located in Area District II and is zoned RM, Medium-Density Residential. The surrounding properties are zoned RM to the north, south, and west and PS Public & Semi-Public to the east.
- B. The use is permitted in the RM Medium-Density Residential District subject to a Use Permit. The General Plan designation for the property is Medium Density Residential. The project is consistent with General Plan policies, which state that the Medium Density Residential land use designation is intended to allow “single-family homes, duplexes, and triplexes, including condominiums.”
- C. The applicant has requested a Use Permit and Vesting Tentative Parcel Map No. 83261 for construction of a proposed 6,379 square foot building consisting of three residential condominium units on the property located at 1421 15<sup>th</sup> Street in the City of Manhattan Beach.
- D. The project is specifically consistent with General Plan Policies as follows:

*LU-1.1: Limit the height of new development to three stories where the height limit is thirty feet, or to two stories where the height limit is twenty-six feet, to protect the privacy of adjacent properties, reduce shading, protect vistas of the ocean, and preserve the low-profile image of the community.* The project is limited to two stories; therefore, impacts to shading and privacy are minimized, and the low-profile image of the community preserved.

*LU-1.2: Require the design of all new construction to utilize notches, balconies, rooflines, open space, setbacks, landscaping, or other architectural details to reduce the bulk of buildings and to add visual interest to the streetscape.* The project provides visual interest and architectural detailing via decks, open space areas and setbacks of the top floor.

*LU-2.2: Preserve and encourage private open space on residential lots citywide.* The project includes private decks and a common rear yard and open spaces in compliance with the requirement in the Planning and Zoning Code.

*LU-3.1: Continue to encourage quality design in all new construction.* The building includes a contemporary design, compatible with the existing built environment, inclusive of setbacks for building articulation, including on the top floor.

- E. The project helps further the General Plan policies identified above, and is in compliance with applicable provisions of the Manhattan Beach Municipal Code, General Plan, Housing Element, and Subdivision Map Act.

SECTION 6. Based upon substantial evidence in the record, and pursuant to Manhattan Beach Municipal Code Section 10.84.060(B), the Planning Commission hereby finds:

- 1. The proposed location of the use is in accord with the objectives of this title and the purposes of the district in which the site is located.**

The project proposes construction of multi-family residential housing in the Medium-Density Residential (RM) zoning district. The purpose of the RM zoning district is to provide opportunities for multiple residential uses, including duplexes, town houses, apartments, multi-dwelling structures, or cluster housing with landscaped open space for residents' use. The proposed multi-family residential project directly serves the purpose of the zoning district by contributing to the development of residential units.

- 2. The proposed location of the use and the proposed conditions under which it would be operated or maintained will be consistent with the General Plan; will not be detrimental to the public health, safety or welfare of persons residing or working on the proposed project site or in or adjacent to the neighborhood of such use; and will not be detrimental to properties or improvements in the vicinity or to the general welfare of the city.**

Development of a multi-family residential project at the proposed location is consistent with the goals and objectives of the General Plan Medium Density Residential land use designation assigned to the project site and the neighboring properties. The proposed use is consistent with surrounding uses, as the neighboring lots have also been developed with residential, multi-family uses. Furthermore, the project has been reviewed by various City departments/divisions, including Public Works and Building and Safety, and it has been determined that it will not be detrimental to persons, properties or improvements in the vicinity or to the general welfare of the City, as construction and use of the project will have to comply with all applicable regulations.

The General Plan encourages residential development that provides for housing of a more intensive form, including apartments, condominiums, and senior housing. The project is in conformance with the following specific General Plan policies:

*LU-1.1: Limit the height of new development to three stories where the height limit is thirty feet, or to two stories where the height limit is twenty-six feet, to protect the privacy of adjacent properties, reduce shading, protect vistas of the ocean, and preserve the low-profile image of the community.* The project is limited to two stories; therefore, impacts to shading and privacy are minimized, and the low-profile image of the community preserved.

*LU-1.2: Require the design of all new construction to utilize notches, balconies, rooflines, open space, setbacks, landscaping, or other architectural details to reduce the bulk of buildings and to add visual interest to the streetscape.* The project provides visual interest and architectural detailing via decks, open space areas and setbacks of the top floor.

*LU-2.2: Preserve and encourage private open space on residential lots citywide.* The project includes private decks and a common rear yard and open spaces in compliance with the requirement in the Planning and Zoning Code.

*LU-3.1: Continue to encourage quality design in all new construction.* The building includes a contemporary design, compatible with the existing built environment, inclusive of setbacks for building articulation, including on the top floor.

- 3. The proposed use will comply with the provisions of the City's Planning and Zoning Title, including any specific condition required for the proposed use in the district in which it would be located.**

The proposed use complies with all applicable development standards in Title 10 of the Municipal Code (Planning and Zoning), including but not limited to setbacks, maximum height, density, required parking, and open space. No variances are required for this project; therefore, the project meets this finding.

- 4. The proposed use will not adversely impact nor be adversely impacted by nearby properties. Potential impacts are related but not necessarily limited to: traffic, parking, noise, vibration, odors, resident security and personal safety, and aesthetics, or create demands exceeding the capacity of public services and facilities which cannot be mitigated.**

The proposed multi-family residential use does not adversely impact neighboring properties, as it

is consistent with the surrounding uses in the RM zoning district and compatible in terms of density, height, massing, and scale with the surrounding built environment. Development of this type is anticipated by the General Plan and does not create demands exceeding the capacity of public services.

**SECTION 7.** The Planning Commission hereby finds that the proposed project aids in the implementation of the following specific Housing Element programs:

Program-1a: Continue to enforce provisions of the Zoning Code which specify District Development Regulations for height, lot coverage, setbacks, open space, and parking. The proposed project, as designed, complies with the applicable development regulations of Planning and Zoning Code for the subject Area District.

Program-1c: Refrain from approval of lot mergers that would result in a reduction in the number of residences allowed. The project is not proposing a lot merger nor does the project propose a reduction in the number of residential units that previously existed on the site.

Program-3a: Continue to facilitate infill development in residential areas. The project is considered infill development and proposes a net gain in housing units for the City.

Program-3e: No Net Loss. The project proposes to demolish an existing duplex and construct a new three-unit condominium development adding to the City's housing stock.

**SECTION 8.** The Planning Commission hereby finds that the Vesting Tentative Parcel Map shall be in compliance with Section 11.24.020 of the Manhattan Beach Municipal Code, as demonstrated by the Use Permit findings above.

Pursuant to California Government Code Section 66474 (Subdivision Map Act), a legislative body of a city or county shall deny approval of a tentative map only if it makes any of the following findings: (a) that the proposed map is not consistent with applicable general and specific plans as specified in Section 65451; (b) that the design or improvement of the proposed subdivision is not consistent with applicable general and specific plans; (c) that the site is not physically suitable for the type of development; (d) that the site is not physically suitable for the proposed density of development; (e) that the design of the subdivision or the proposed improvements are likely to cause substantial environmental damage or substantially and avoidably injure fish or wildlife or their habitat; (f) that the design of the subdivision or type of improvements is likely to cause serious public health problems; or (g) that the design of the subdivision or the type of improvements will conflict with easements, acquired by the public at large, for access through or use of, property within the proposed subdivision.

As the proposed use is a conditionally permitted use in the Planning and Zoning Code, complies with all applicable development regulations and General Plan policies, is not a use that would threaten public health, and is proposed on a previously developed site, staff cannot make any of the findings for denial of the tentative map. Further, the Vesting Tentative Parcel Map shall be in compliance with Section 11.24.020 of the Manhattan Beach Municipal Code, as demonstrated by the Use Permit findings, and therefore above. Therefore, staff recommends approval of the tentative map.

**SECTION 9.** Based upon the foregoing, the Planning Commission hereby **APPROVES** the subject Use Permit application for a three-unit residential condominium building and Vesting Tentative Parcel Map (VTPM #83261), subject to the following conditions:

**General**

1. The project shall be constructed and operated in substantial compliance with the submitted plans and project description as approved by the Planning Commission on March 10, 2021. Any other substantial deviation from the approved plans and project description must be reviewed and approved by the Planning Commission.
2. Project shall comply with all applicable Municipal Code requirements for multi-family condominium development.
3. A Traffic Management and Parking Plan shall be submitted in conjunction with all construction and other building plans, to be approved by the City's Traffic Engineer prior to issuance of building permits. The plan shall provide for the management of all construction related traffic during all phases of construction, including delivery of materials and parking of construction related vehicles.
4. All electrical, telephone, cable television system, and similar service wires and cables shall be installed underground to the appropriate utility connections in compliance with all applicable Building and Electrical Codes, safety regulations, and orders, rules of the Public Utilities Commission, the

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serving utility company, and specifications of the Public Works Department.

5. During building construction of the site, the soil shall be watered in order to minimize the impacts of dust on the surrounding area.
6. The siting of construction related equipment (job site offices, trailers, materials, etc.) shall be subject to the approval from the Director of Community Development or designee prior to the issuance of any building permits.
7. A site landscaping plan utilizing drought tolerant plants shall be submitted for review and approval concurrent with the building permit application. Use of turf grass and other high water use plant materials shall be minimized. All plants shall be identified on the plan by the Latin and common names. Landscaping within the driveway visibility triangle shall be a maximum height of 3 feet. Landscaping shall include mature shrubs and box-sized shade trees throughout the project site. Landscaping shall be installed per the approved plans prior to building final. Landscaping and irrigation shall conform to water conservation regulations per Chapter 7.44 of the Manhattan Beach Municipal Code. The landscaping site plan shall be to the satisfaction and approval of the Community Development Director.
8. A low pressure or drip irrigation system shall be installed in the landscaped areas utilizing smart controllers and other WaterSense devices, which shall not cause any surface run-off. Details of the irrigation system shall be noted on the landscaping plans. The type and design shall be subject to the approval of the Public Works and Community Development Departments and shall be installed per the approved plans prior to building final.
9. Security lighting for the site shall be provided in conformance with Municipal Code requirements including glare prevention design.
10. Noise emanating from the site shall be in compliance with the Municipal Noise Ordinance.
11. Any outside sound or amplification system or equipment is prohibited.
12. Construction plans shall incorporate sustainable building components into the building and site design. The plans may include, but not be limited to LEED (Leadership in Energy and Environmental Design) and Built-It-Green components, permeable pavement, energy efficient plumbing, mechanical and electrical systems which shall include the use of WaterSense and Energy Star fixtures and appliances, and retention of storm water on the site. The proposed development will have a minimal effect on existing surface drainage patterns and may result in an incremental increase in the amount of surface runoff entering the public storm drain system. Gutters and downspouts shall direct roof run-off to permeable areas and landscaped yard areas throughout the site, which shall absorb a significant portion of surface runoff. In addition, the site will be properly graded to obtain maximum onsite drainage and soil stability. Plans shall require review and approval by the Community Development and Public Works Departments.

### Condominium Conditions

13. A survey suitable for purposes of recordation shall be performed by a Civil Engineer or Land Surveyor licensed in the State of California, including permanent monumentation of all property corners and the establishment or certification of centerline ties at the intersections of:
  - a. Rowell Avenue and Peck Avenue
  - b. 15<sup>th</sup> Street and 17<sup>th</sup> Street
14. Each new condominium shall have separate water and sewer laterals as required by the Director of Public Works.
15. Vesting Tentative Parcel Map No. 83261 shall be approved for an initial period of three years with the option of future extensions. The final map shall be recorded prior to condominium occupancy.

### Public Works

16. Enclosed storage area(s) for refuse containers must be provided on-site. These areas must be constructed to meet the requirements of M.B.M.C. 5.24.030. The area(s) must be shown in detail on the plans before a permit is issued. The individual condominium units must provide their own trash, recycling and green waste areas and show the areas on the plans as per the approval of the Public Works Department. The landscape company contracted by the homeowner's association must dispose of all green waste off-site.



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17. Each new condominium shall separate water and sewer laterals as required by the Director of Public Works. Separate water lines and sanitary sewer laterals must be installed on each unit. A 6" property line cleanout must be installed on a 6" sanitary sewer lateral for each new condominium. Cleanout must be shown on the site plan.
18. Condominiums shall include a reciprocal utility right of way corridor between units in order to ensure that each unit has authorized use to access main line utilities for individual services.
19. New curb and gutter, sidewalk and driveway approach fronting the property to latest City standards and all must comply with most current ADA standards prior to final occupancy. Including per M.B.M.C. Chapter 11.20 additional right of way dedication will be required including flared sidewalk behind utility poles to provide adequate sidewalk clearances.
20. All defective or damaged curb, gutter, street paving, and sidewalk improvements shall be removed and replaced with standard improvements, subject to the approval of the Public Works Department.
21. It is the responsibility of the contractor to protect all the street signs around the property. If signs are damaged, lost or removed, it is the responsibility of the contractor to replace and/or relocate the signs at the contractor's expense. The contractor is also responsible for any street markings that are damaged or removed by the contractor's operations. Contact the Public Works Inspector for sign specification and suppliers.
22. Direct surface and roof runoff to vegetated areas before discharging into the public right of way/street per M.B.M.C 5.84.100. Incorporate Low Impact Development (LID) features within the landscaped areas to infiltrate roof and surface runoff rather than allow flow into the street right of way.

### Procedural

23. Terms and Conditions are Perpetual; Recordation of Covenant. The provisions, terms and conditions set forth herein are perpetual, and are binding on the property owner, its successors-in-interest, and, where applicable, all tenants and lessees of the site. Further, the property owner shall submit the covenant, prepared and approved by the City, indicating its consent to the conditions of approval of this Resolution, and the City shall record the covenant with the Office of the County Clerk/Recorder of Los Angeles. Property owner shall deliver the executed covenant, and all required recording and related fees, to the Department of Community Development within 30 days of the adoption of this Resolution. Notwithstanding the foregoing, the Community Development Director may, upon a request by property owner, grant an extension to the 30-day time limit. The project approval shall not become effective until recordation of the covenant.
24. Indemnity, Duty to Defend and Obligation to Pay Judgments and Defense Costs, Including Attorneys' Fees, Incurred by the City. The Applicant shall defend, indemnify, and hold harmless the City, its elected officials, officers, employees, volunteers, agents, and those City agents serving as independent contractors in the role of City officials (collectively "Indemnitees") from and against any claims, damages, actions, causes of actions, lawsuits, suits, proceedings, losses, judgments, costs, and expenses (including, without limitation, attorneys' fees or court costs) in any manner arising out of or incident to this approval, related entitlements, or the City's environmental review thereof. The Applicant shall pay and satisfy any judgment, award or decree that may be rendered against City or the other Indemnitees in any such suit, action, or other legal proceeding. The City shall promptly notify the Applicant of any claim, action, or proceeding and the City shall reasonably cooperate in the defense. If the City fails to promptly notify the Applicant of any claim, action, or proceeding, or if the City fails to reasonably cooperate in the defense, the Applicant shall not thereafter be responsible to defend, indemnify, or hold harmless the City or the Indemnitees. The City shall have the right to select counsel of its choice. The Applicant shall reimburse the City, and the other Indemnitees, for any and all legal expenses and costs incurred by each of them in connection therewith or in enforcing the indemnity herein provided. Nothing in this condition shall be construed to require the Applicant to indemnify Indemnitees for any claim arising from the sole negligence or willful misconduct of the Indemnitees. In the event such a legal action is filed challenging the City's determinations herein or the issuance of the approval, the City shall estimate its expenses for the litigation. The Applicant shall deposit said amount with the City or, at the discretion of the City, enter into an agreement with the City to pay such expenses as they become due.

**SECTION 10.** The Planning Commission's decision is based upon each of the totally independent and separate grounds stated herein, each of which stands alone as a sufficient basis for its decision.

**SECTION 11.** This Resolution shall become effective when all time limits for appeal as set forth in MBMC Chapter 10.100 have expired.

**RESOLUTION NO. PC 21-01**

SECTION 12. The Secretary of the Planning Commission shall certify to the adoption of this Resolution and shall forward a copy of this Resolution to the Applicant. The Secretary shall make this resolution readily available for public inspection.

SECTION 13. This Use Permit shall lapse two years after its date of approval, unless implemented or extended pursuant to 10.84.090 of the Municipal Code.

March 10, 2021

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Planning Commission Chair

I hereby certify that the following is a full, true, and correct copy of the Resolution as **ADOPTED** by the Planning Commission at its regular meeting on **March 10, 2021** and that said Resolution was adopted by the following vote:

**AYES:**

**NOES:**

**ABSTAIN:**

**ABSENT:**

---

**Carrie Tai, AICP,**  
Secretary to the Planning Commission

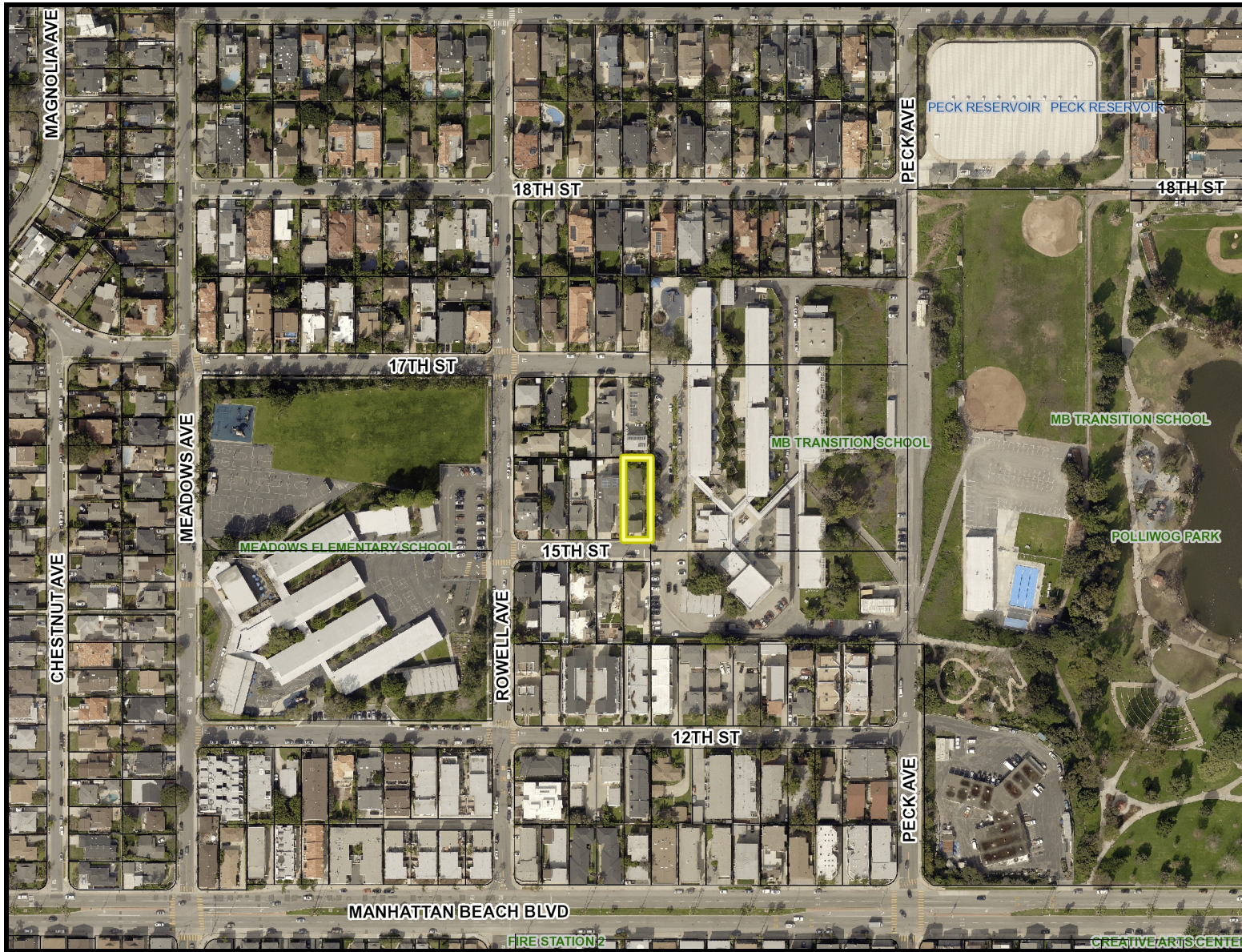
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**Rosemary Lackow,**  
Recording Secretary





# City of Manhattan Beach



671.9 0 335.97 671.9 Feet



### Legend

- Parcels



Scale: 1:4,032

This map is a user generated static output from the "MB GIS Info" Intranet mapping site and is for general reference only. Data layers that appear on this map may or may not be accurate, current, or otherwise reliable.

© Latitude Geographics Group Ltd.

### Notes

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# MASTER APPLICATION FORM

CITY OF MANHATTAN BEACH  
COMMUNITY DEVELOPMENT DEPARTMENT

<i>Office Use Only</i>
Date Submitted:
Received By:
F&G Check Submitted:

1421 15th Street  
 Project Address  
 Lot 19 Block 56, Tract 141

Legal Description  
 RM RM Area I  
 General Plan Designation Zoning Designation Area District

For projects requiring a Coastal Development Permit, select one of the following determinations<sup>1</sup>:

Project located in Appeal Jurisdiction Project not located in Appeal Jurisdiction

Major Development (Public Hearing required)  Public Hearing Required (due to UP, Var, ME, etc.)

Minor Development (Public Hearing, if requested)  No Public Hearing Required

**Submitted Application (check all that apply)**

<input type="checkbox"/> Appeal to PC/PPIC/BBA/CC	4225 _____	<input checked="" type="checkbox"/> Use Permit (Residential)	4330 8,393 _____
<input type="checkbox"/> Coastal Development Permit	4341 _____	<input type="checkbox"/> Use Permit (Commercial)	4330 _____
<input type="checkbox"/> Continuance	4343 _____	<input type="checkbox"/> Use Permit Amendment	4332 _____
<input type="checkbox"/> Cultural Landmark	4336 _____	<input type="checkbox"/> Variance	4331 _____
<input type="checkbox"/> Environmental Assessment	4225 _____	<input type="checkbox"/> Park/Rec Quimby Fee	4425 _____
<input type="checkbox"/> Minor Exception	4333 _____	<input type="checkbox"/> Pre-application meeting	4425 _____
<input type="checkbox"/> Subdivision (Map Deposit)	4300 _____	<input checked="" type="checkbox"/> Public Hearing Notice	4339 263 _____
<input checked="" type="checkbox"/> Subdivision (Tentative Map)	4334 3,546 _____	<input type="checkbox"/> Lot Merger/Adjust /\$15 rec. fee-4225	_____
<input type="checkbox"/> Subdivision (Final)	4334 _____	<input type="checkbox"/> Zoning Business Review	4337 _____
<input type="checkbox"/> Subdivision (Lot Line Adjust)	4335 _____	<input type="checkbox"/> Zoning Report	4340 _____
<input type="checkbox"/> Telecom (New or Renewed)	4338 _____	<input type="checkbox"/> Other	_____

**Fee Summary:** (See fees on reverse side)

Total Amount: \$ 12,202 (less Pre-Application Fee if applied within past 3 months)

Receipt Number: \_\_\_\_\_ Date Paid: \_\_\_\_\_ Cashier: \_\_\_\_\_

**Applicant(s)/Appellant(s) Information**


Dennis Cleland 1421 15th Street MB, LLC, by Dennis Cleland

Name  
 P.O. Box 969, Manhattan Beach, CA 90266

Mailing Address  
 buyer in escrow

Applicant(s)/Appellant(s) Relationship to Property  
 Steur & Associates, Stacy Straus 310-372-8433 / stacy@esrouer.com

Contact Person (include relation to applicant/appellant) Phone number / email  
 and Howard Crabtree, 912 Architecture 310-376-9171 / hgc@912architecture.com

Address  
 310-374-7050 / denniscleland@verizon.net

Applicant(s)/Appellant(s) Signature Phone number / email

**Complete Project Description- including any demolition (attach additional pages as necessary)**

Conditional Use Permit for demolition of a duplex and construction of three new condominium units and approval of Vesting Tentative Parcel Map No. 83261

<sup>1</sup> An Application for a Coastal Development Permit shall be made prior to, or concurrent with, an application for any other permit or approvals required for the project by the City of Manhattan Beach Municipal Code. (Continued on reverse)

# OWNER'S AFFIDAVIT

A notary public or other officer completing this certificate verifies only the identity of the individual who signed the document to which this certificate is attached, and not the truthfulness, accuracy, or validity of that document.

STATE OF CALIFORNIA  
 COUNTY OF ~~LOS ANGELES~~ Riverside <sup>CA</sup>

I/We 1421 JAT-LLC being duly sworn, depose and say that I am/we are the owner(s) of the property involved in this application and that the foregoing statements and answers herein contained and the information herewith submitted are in all respects true and correct to the best of my/our knowledge and belief(s).

Janine H. Angelethi, Trustee  
 Signature of Property Owner(s) - (Not Owner in Escrow or Lessee)

Janine Angelethi - Trustee  
 Print Name

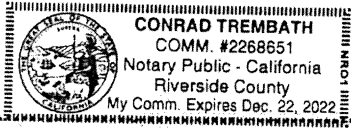
2722 Jacaranda, Palm Springs 92264  
 Mailing Address

(951) 320-2304  
 Telephone/email

Subscribed and sworn to (or affirmed) before me this 20<sup>th</sup> day of October, 2020

by Janine H. Angelethi proved to me on the basis of satisfactory evidence to be the person(s) who appeared before me.

Signature [Handwritten Signature]  
 Notary Public



## Fee Schedule Summary

Below are the fees typically associated with the corresponding applications. Additional fees not shown on this sheet may apply - refer to current City Fee Resolution (contact the Planning Division for assistance.) Fees are subject to annual adjustment.

**Submitted Application (circle applicable fees, apply total to Fee Summary on application)**

<i>Coastal Development Permit</i>		
Public hearing - no other discretionary approval required:	\$ 4,787	✉
Public hearing - other discretionary approvals required:	2,108	✉
No public hearing required - administrative:	1,303	✉
<i>Use Permit</i>		
Use Permit:	\$ 6,287	✉
Master Use Permit:	9,703	✉
Master Use Permit Amendment:	5,037	✉
Master Use Permit Conversion:	4,623	✉
<i>Variance</i>		
Filing Fee:	\$ 6,078	✉
<i>Minor Exception</i>		
Without notice:	\$ 1,452	
With notice:	1,952	✉
<i>Subdivision</i>		
Certificate of Compliance:	\$ 1,625	
Final Parcel Map + mapping deposit:	528	
Final Tract Map + mapping deposit:	732	
Mapping Deposit (paid with Final Map application):	500	
Merger of Parcels or Lot Line Adjustment:	1,133	
Quimby (Parks & Recreation) fee (per unit/lot):	1,817	
Tentative Parcel Map (4 or less lots / units) No Public Hearing:	1,309	
Tentative Parcel Map (4 or less lots / units) Public Hearing:	3,557	✉
Tentative Tract Map (5 or more lots / units):	4,060	✉
<i>Environmental Review (contact Planning Division for applicable fee)</i>		
Environmental Assessment (no Initial Study prepared):	\$ 215	
Environmental Assessment (if Initial Study is prepared):	3,079	
Fish and Game/CEQA Exemption County Clerk Posting Fee <sup>2</sup> :	75	
✉ Public Hearing Notice applies to all projects with public hearings and covers the City's costs of envelopes, postage and handling the mailing of public notices. Add this to filing fees above, as applicable:	\$ 70	

<sup>2</sup>Make a separate \$75 check payable to LA County Clerk, (DO NOT PUT DATE ON CHECK)

★



# ENVIRONMENTAL ASSESSMENT FORM

(to be completed by applicant)

CITY OF MANHATTAN BEACH  
COMMUNITY DEVELOPMENT DEPARTMENT  
1400 HIGHLAND AVENUE, MANHATTAN BEACH, CA 90266  
Telephone: (310) 802-5500 Fax: (310) 802-5501 TDD: (310) 546-3501

Date Filed: \_\_\_\_\_

### APPLICANT INFORMATION

Name: 1421 15th Street MB, LLC

Address: P.O. Box 969, Manhattan Beach, CA 90266

Phone number: 310-374-7050

Relationship to property: Buyer in escrow

Contact Person: Srouf & Associates

Address: 2447 PCH, Suite 200, Hermosa Beach, A 90254

Phone number: 310-372-8433

Association to applicant: Representative

### PROJECT LOCATION AND LAND USE

Project Address: 1421 15th Street

Assessor's Parcel Number: 4166-007-011

Legal Description: Lot 19, Block 56, Tract 141, in the Rancho Sausal Redondo

Area District, Zoning, General Plan Designation: AD II, RM

Surrounding Land Uses:

North Residential Medium Density -2 units

West Residential Medium Density -2 units

South Residential Medium Density -2 units

East Government - Public Space

Existing Land Use: Residential Medium Density -2 units

### PROJECT DESCRIPTION

Type of Project: Commercial Residential  Other \_\_\_\_\_

If Residential, indicate type of development (i.e.; single family, apartment, condominium, etc.) and number of units: Three-unit condominium development

If Commercial, indicate orientation (neighborhood, citywide, or regional), type of use anticipated, hours of operation, number of employees, number of fixed seats, square footage of kitchen, seating, sales, and storage areas: n/a

\_\_\_\_\_  
\_\_\_\_\_

If use is other than above, provide detailed operational characteristics and anticipated intensity of the development: n/a

\_\_\_\_\_  
\_\_\_\_\_

	<u>Existing</u>	<u>Proposed</u>	<u>Required</u>	<u>Removed/ Demolished</u>
Project Site Area:	<u>7,501</u>	<u>No change to existing lot area</u>		
Building Floor Area:	<u>----</u>	<u>6,201 s.f.</u>	<u>max. 7,500 s.f.</u>	<u>----</u>
Height of Structure(s)	<u>All</u>	<u>26'</u>	<u>26'</u>	<u>All</u>
Number of Floors/Stories:	<u>structures</u>	<u>2</u>	<u>2</u>	<u>structures</u>
Percent Lot Coverage:	<u>to be</u>	<u>82%</u>		<u>to be</u>
Off-Street Parking:	<u>demolished</u>	<u>9 -- 2 encl/1 guest per unit</u>		<u>demolished</u>
Vehicle Loading Space:	<u>----</u>	<u>----</u>	<u>----</u>	<u>----</u>
Open Space/Landscaping:	<u>----</u>	<u>1,601 s.f.</u>	<u>934.2</u>	<u>----</u>

Proposed Grading:  
 Cut \_\_\_\_\_ Fill \_\_\_\_\_ Balance \_\_\_\_\_ Imported \_\_\_\_\_ Exported \_\_\_\_\_

Will the proposed project result in the following (*check all that apply*):

- | <u>Yes</u>    | <u>No</u>  |  |
|---------------|------------|--|
| <u>      </u> | <u>X</u>   | Changes in existing features or any bays, tidelands, beaches, lakes, or hills, or substantial alteration of ground contours? |
| <u>      </u> | <u>X</u>   | Changes to a scenic vista or scenic highway?   |
| <u>      </u> | <u>X</u>   | A change in pattern, scale or character of a general area?   |
| <u>      </u> | <u>X*</u>  | A generation of significant amount of solid waste or litter?   |
| <u>      </u> | <u>X</u>   | A violation of air quality regulations/requirements, or the creation of objectionable odors?                                 |
| <u>      </u> | <u>X**</u> | Water quality impacts (surface or ground), or affect drainage patters?   |
| <u>      </u> | <u>X*</u>  | An increase in existing noise levels?  |
| <u>      </u> | <u>X</u>   | A site on filled land, or on a slope of 10% or more?   |
| <u>      </u> | <u>X</u>   | The use of potentially hazardous chemicals?  |
| <u>      </u> | <u>X</u>   | An increased demand for municipal services?  |
| <u>      </u> | <u>X</u>   | An increase in fuel consumption?   |
| <u>      </u> | <u>X</u>   | A relationship to a larger project, or series of projects?   |

Explain all "Yes" responses (*attach additional sheets or attachments as necessary*):

\_\_\_\_\_  
 \* Temporarily during the course of construction

\_\_\_\_\_  
 \*\* A new drainage plan will be incorporated with proposed development to contain drainage on site

**CERTIFICATION:** I hereby certify that the statements furnished above and in attached exhibits present the data and information required for this initial evaluation to the best of my ability, and that the facts, statements, and information presented are true and correct to the best of my knowledge and belief.

Signature: Brandon Straus Prepared For: Dennis Cleland

Date Prepared: October 23, 2020

Revised 07/01/18



**SROUR & ASSOCIATES**  
Real Estate Development Services Group, Inc.  
2447 Pacific Coast Highway, Suite 200, Hermosa Beach, CA 90254  
310/372-8433 ▪ stacy@esroure.com ▪ www.sroureandassociates.com

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DATE: OCTOBER 23, 2020

TO: CITY OF MANHATTAN BEACH  
COMMUNITY DEVELOPMENT DEPARTMENT

FROM: STACY STRAUS

SUBJECT: 1421 15<sup>th</sup> STREET – VTPM 83261  
Application for Three-Unit Condominium Development  
Architect – 912 Architecture/ Howard Crabtree, Architect

Applicant – 1421 15<sup>th</sup> Street MB, LLC, by Dennis Cleland

The following documents are submitted in conjunction with the application for Conditional Use Permit and Tentative Map approval:

1. Master Application with attached
2. Project description and findings
3. Environmental Assessment Form
4. Grant deed of existing owner
5. Radius Map Package (500' ownership)
6. Architectural drawings
7. Tentative Map

This proposal is for the demolition of an existing duplex and construction of three attached condominium units, and approval of VTPM 83261. The subject lot is 7,501 square feet, measuring 50.01 by 149.83 feet. It is located in Area District II, within a Residential Medium Density (RM) zone. In Area District II, the RM standard allows three condominium units on this site, with a conditional use permit. A vesting tentative parcel map is proposed to subdivide the property into separate ownership for each of the three units.

Each new unit will contain two stories and mezzanine, a private two-car garage, and guest parking space adjacent to each garage. Driveway access will be through a curb cut to be relocated from the west to the east side of the property.

The proposed development is located north of Manhattan Beach Blvd, fronting on 15<sup>th</sup> Street, adjacent to public space occupied by Manhattan Beach City School District to the east and two-unit duplexes (multifamily) to the west. The blocks north and south of the site are also zoned RM in this area district.

The proposed development responds to the General Plan, which encourages multi-family residential development in appropriate areas, including apartments and condominium development. Plans have been designed to comply with all applicable development standards, including the 26' height limit and density, as stipulated by the RM standards, as well as floor area, setbacks, parking, landscaping and open space.

The proposal meets guidelines established for approval of the conditional use permit as follows:

1. *The location is in accord with objectives of the zoning code and purposes of Area District II in the subject site will accommodate the proposed three-unit development in compliance with all applicable zoning standards including the 26' height limit and 2300 s.f. minimum lot area/unit, as well as all other criteria such as floor area, setbacks, parking, landscaping and open space requirements. The new homes will offer attractive opportunities for owner-occupied homes.*
2. *The proposed location and conditions will be consistent with the General Plan: The proposed development is in full compliance with all applicable standards and permitted uses and thus will not be detrimental to public health, safety or welfare of any individuals working or residing in the neighborhood and will not conflict or impact adjacent improvements.*
3. *The proposed use meets the intention of the RM standard, which is to provide opportunities for a type of housing not found in other residential districts. Proposed plans meet all development standards and thus will be compatible with the surrounding neighborhood.*
4. *The proposed use is well within scope of uses intended for the area and is designed in compliance with all applicable standards for the RM zone, which are set forth to protect the public health, safety and welfare of other uses throughout the surrounding area. The new homes will have a negligible effect on the City infrastructure and will not result in any negative impacts on the surrounding community.*

Please advise if anything further is required with regard to the preliminary review.

THANK YOU.



ABBREVIATION

Table of abbreviations for construction materials and components, including items like ANCHOR BOLT, ASPHALTIC CONCRETE, and JANITOR JOIST.

CONSULTANTS

Table listing project consultants: ARCHITECT (912 Architecture, Inc), CONTRACTOR (DC Construction), SURVEY (DENN Engineers), STRUCTURAL (Sal Kaddorah, P.E.), GEOTECHNICAL (NORCAL Engineering), and TITLE-24 (Newton Energy).

Attachment D



PUBLIC WORKS NOTES

- List of 24 public works notes detailing construction requirements, including landscape irrigation, driveway grades, sidewalk construction, and utility rights.

NOTE\* PLEASE INSERT PUBLIC WORKS COMMENTS BELOW IN ITS ENTIRETY AND ORDER SENT

PUBLIC WORKS CORRECTIONS: Must show driveway elevation points at both edges and at the center of driveway. It must show from the center line of the street to the curb flow line and from the curb flow line to the garage floor finish grade.

It shall be the duty of every person cutting or making an excavation in or upon any public place, to place and maintain barriers and warning devices for the safety of the general public.

PROJECT DATA

Project data table containing OWNER, PROJECT ADDRESS, APN, LEGAL DESCRIPTION, CONSTRUCTION, OCCUPANCY, ZONING, NO. OF STORIES, SCOPE OF WORK, AREA TABULATION, BUILDING SETBACK INFORMATION, PROPOSED MAXIMUM BUILDING HEIGHT, OPEN SPACE, PARKING TABULATION, and THIS PROJECT SHALL COMPLY WITH.

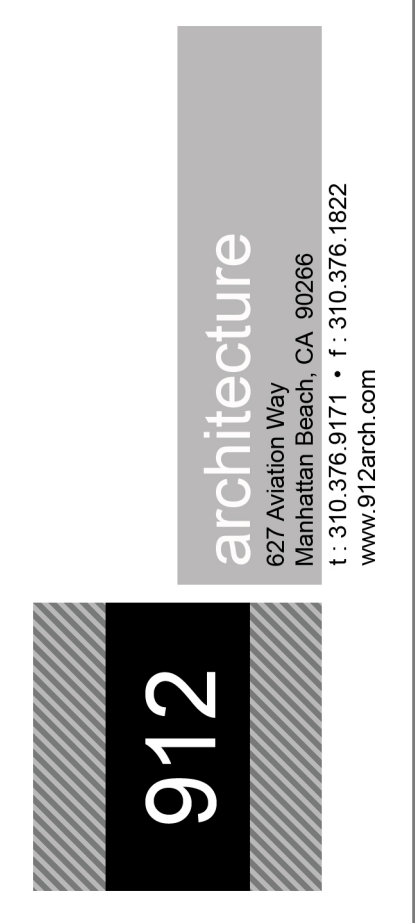
SHEET SCHEDULE

Sheet schedule table listing sheets T-1 through T-8, CS-1, A-1.0 through A-2.2, A-3.0, A-4.0 through A-4.2, A-6.0 through A-6.1, A-7.0 through A-7.2, S-0.0 through S-2.3, WSW1 through WSW2, E-1.0 through E-1.2, and L-1.

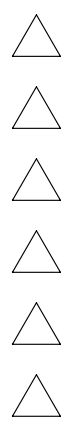
SYMBOLS

Table defining symbols for ROOM NAME, SECTION DESIGNATION SHEET NUMBER, DETAIL NUMBER SHEET NUMBER, WINDOW NUMBER, DOOR LETTER, and KEY NOTE.

VICINITY MAP



Revisions:



15th Street CONDOMINIUMS
1421 15th Street, Manhattan Beach, CA, 90266

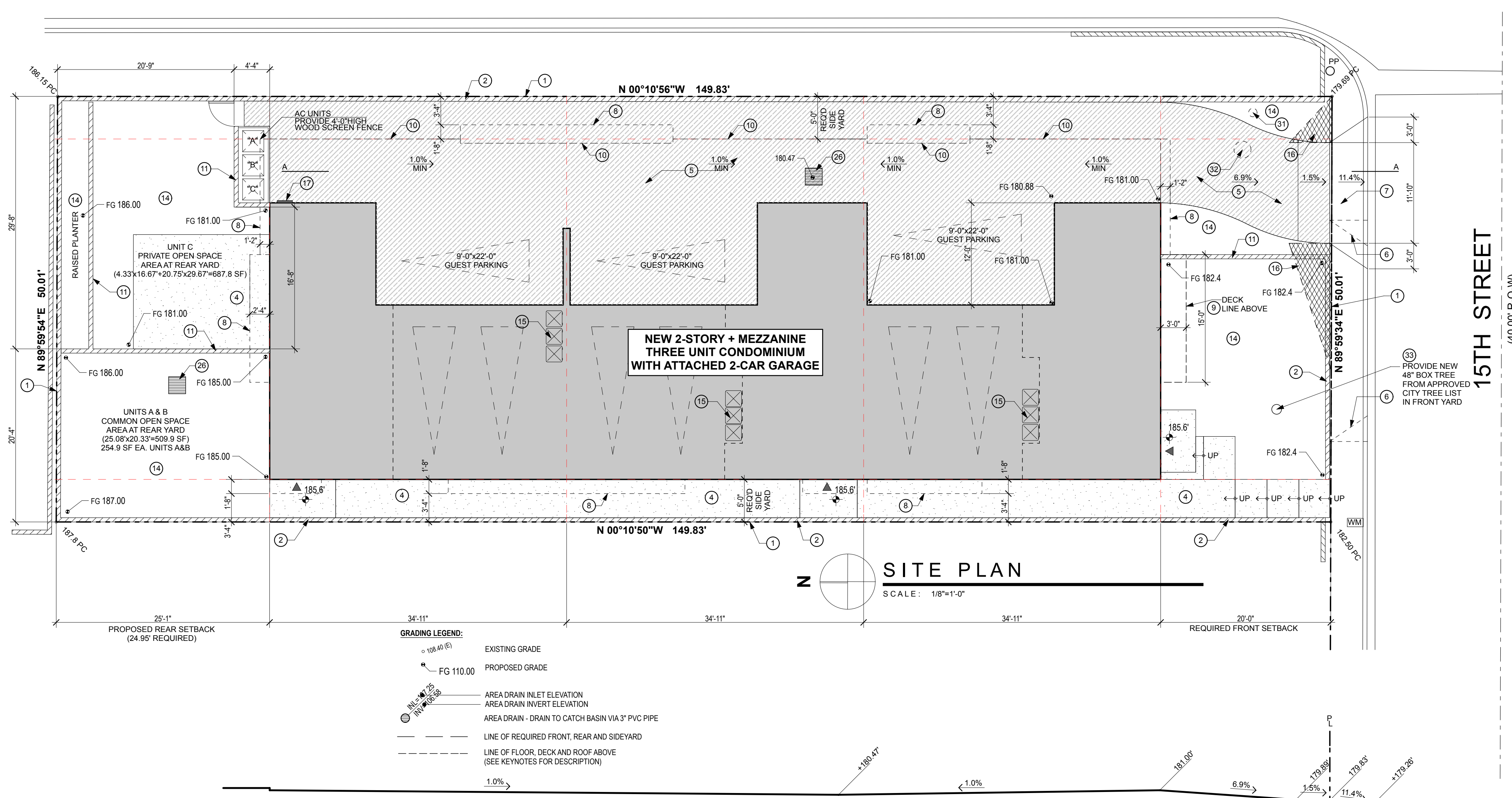
Title Sheet

Date: 1/11/21
Name of File: 1421\_15th

T-1



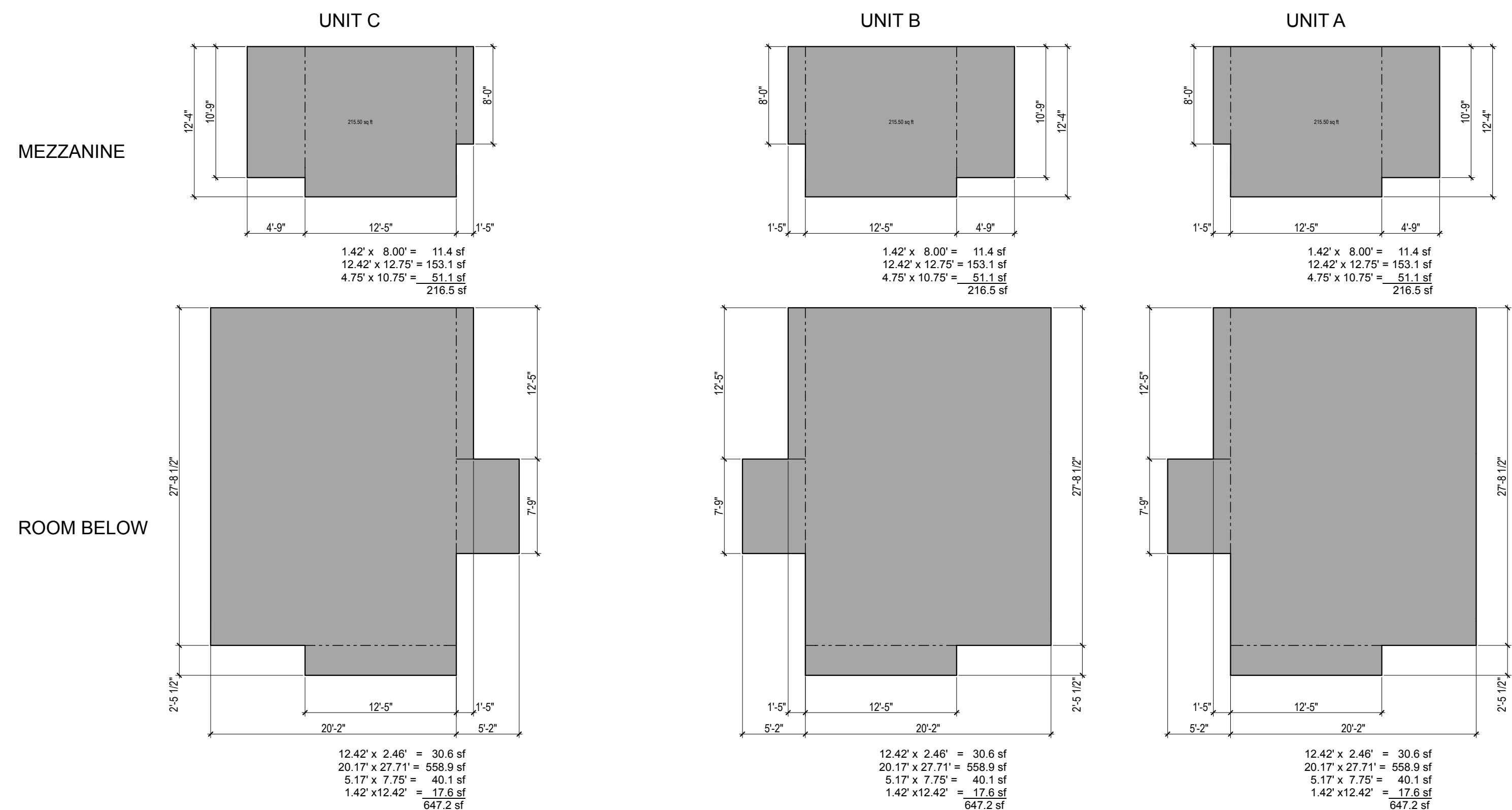




**MEZZANINE CALC**  
SCALE: 1/8" = 1'-0"

NOTE: ALLOWABLE MEZZANINE AREA IS TAKEN FROM INSIDE OF WALL AND IS THEREFORE DIFFERENT FROM BFA FLOOR AREA @ T-1

DRIVEWAY PROFILE AA



**ALLOWABLE MEZZ AREA**

$\frac{\text{ROOM BELOW}}{3} = \frac{647.2 \text{ SQ. FT.}}{3} = 215.7 \text{ SQ. FT.}$

$\frac{\text{ROOM BELOW}}{3} = \frac{647.2 \text{ SQ. FT.}}{3} = 215.7 \text{ SQ. FT.}$

$\frac{\text{ROOM BELOW}}{3} = \frac{647.2 \text{ SQ. FT.}}{3} = 215.7 \text{ SQ. FT.}$

1. PROPERTY LINE
2. NEW CMU PROPERTY LINE WALL AT RETAINING. SEE DETAIL 7 / S-2.0 WHERE NO RETAINING, SEE DETAIL 1 / A-1.0
3. EXISTING CMU WALL TO REMAIN (NO CHANGE IN HEIGHT)
4. NEW CONCRETE WALKWAY / PATIO PROVIDE NEW SAW CUTS AS SHOWN
5. NEW CONCRETE DRIVEWAY PROVIDE NEW SAW CUTS AS SHOWN
6. EXISTING CURB CUT TO BE REMOVED
7. NEW CURB CUT PROVIDE NEW CURB CUT AS SHOWN PER CITY OF MANHATTAN BEACH PUBLIC WORKS NOTES
8. LINE OF ROOF EAVE ABOVE
9. LINE OF BALCONY ABOVE
10. LINE OF SECOND FLOOR ABOVE
11. NEW CMU GARDEN WALL AT RETAINING. SEE DETAIL 7 / S-2.0 WHERE NO RETAINING, SEE DETAIL 1 / A-1.0
12. EXISTING WATER METER LOCATION PROVIDE TRAFFIC RATED LID. SEE PUBLIC WORKS NOTES @ T-6
13. DECOMPOSED GRANITE PERMEABLE SURFACE
14. LANDSCAPED AREA SEE LANDSCAPE PLAN FOR REQUIRED PLANT MATERIALS AND SIZES. ALL LANDSCAPED AREAS SHALL BE PROVIDED WITH AN AUTOMATIC SPRINKLER SYSTEM
15. TRASH AREA TRASH AREA FOR A MINIMUM OF THREE 4' TALL 2'X2' TRASH CANS AT GARAGE. REFUSE AREA SHALL NOT INTRUDE TO INTO REQUIRED PARKING DIMENSIONS. (MIMC S-24.030) SEE A-1.0 (GROUND FLOOR / GARAGE PLAN) FOR EXACT LOCATION INSIDE THE GARAGE.
16. DRIVEWAY VISIBILITY TRIANGLE PROVIDE UNSTRUCTURED TRIANGLE OF SIGHT VISIBILITY (6' x 15') ADJACENT TO DRIVEWAY AND BEHIND THE ULTIMATE PROPERTY LINE WHEN EXITING AREAS WITHOUT WALL, COLUMNS OR LANDSCAPING OF 36" HIGH. ALL PLANTERS NEXT TO DRIVEWAY MUST CONFORM TO THIS REQUIREMENT. (PER MBMC 10.64.150)
17. NEW ELECTRIC METER SERVICE PANEL WITH A 3" DIAMETER STUB OUT CONDUIT MIN. 200 AMP SERVICE WATERPROOF METAL CONTAINER (FLUSH MOUNT) PAINT TO MATCH ADJACENT WALL ELECTRICIAN SHALL PROVIDE PANEL SCHEDULE AND LOAD CALCULATIONS REFER TO M. E. P. SHEETS, PER ARTICLE 220, NEC
18. NEW GAS METER LOCATION SUBJECT TO GAS COMPANY APPROVAL SEE DETAILS 8 & 9 / A-7.1
19. SEWER LATERAL - SEE PUBLIC WORKS NOTES @ T-6
20. NEW PROPERTY LINE CLEAN OUT PROVIDE NEW PROPERTY LINE CLEAN OUT PER CITY OF MANHATTAN BEACH PUBLIC WORKS NOTES @ T-6
21. CERTIFICATES CERTIFICATES OF INSTALLATION (CF2R-ENV, CF2R-LTG AND CF2R-MECH) SHALL BE COMPLETED BY THE APPLICABLE CONTRACTORS INSTALLING ENERGY FEATURES. WHEN COMPLIANCE REQUIRES HERS FIELD VERIFICATION AND/OR TESTING, ALL CF2R FORMS SHALL BE SUBMITTED ELECTRONICALLY TO AN APPROVED HERS PROVIDER DATA REGISTRY. THE CF2R FORMS SHALL BE POSTED AT THE JOB SITE IN A CONSPICUOUS LOCATION.
22. CERTIFICATE OF VERIFICATION (CF3R) SHALL BE COMPLETED REGISTERED AND SIGNED/CERTIFIED BY THE HERS RATER. THE REGISTERED CF3R FORM SHALL BE MADE AVAILABLE TO THE BUILDING DEPARTMENT AND BUILDER.
23. SEPARATE PERMITS SEPARATE PERMITS AND PLANS ARE REQUIRED FOR SPAS, POOLS, SOLAR SYSTEMS, DEMOLITION AND SERVER CAP OF EXISTING BUILDINGS. IF SUCH IMPROVEMENTS OR DEMOLITION IS REQUIRED AS A CONDITION OF APPROVAL FOR DISCRETIONARY ACTIONS OR TO COMMENCE BUILDING, THEN SUCH PERMITS MUST BE OBTAINED BEFORE OR AT THE TIME THIS PROPOSED BUILDING PERMIT IS ISSUED. FENCE / WALL / HANDRAIL AND HEDGE HEIGHTS, AS MEASURED FROM THE LOWEST FINISHED GRADE ADJACENT TO EACH SECTION OF THESE STRUCTURES, MAY BE A MAXIMUM OF 42" IN THE FRONT YARD SETBACK, AND 6' AT ALL OTHER LOCATIONS ON SITE (3' IN DRIVEWAY VISIBILITY TRIANGLE AND IN THE TRAFFIC VISION CLEARANCE TRIANGLE).
24. NEW TRENCH DRAIN WITH TRAFFIC RATED GRATE DRAIN TO SUMP BASIN VIA 3" Ø PVC PIPE
25. AREA DRAIN DRAIN TO SUMP BASIN VIA 3" Ø PVC PIPE
26. CATCH BASIN WITH SUMP PUMP 30"x30"x4'-0" DEEP PREFAB CATCH BASIN W/ 24" SQ. GRATE PROVIDE (2) ZOELLER MODEL #181 SUMP PUMPS PER HYDROLOGY BY PERI CONSULTANTS OUTLET TO STREET VIA (2) 3" Ø PVC PIPES TO PROPERTY LINE THEN (2) 3" Ø DUCTILE IRON PIPES THROUGH CURB FACE NOTE: SUBMIT HYDRAULIC CALCULATIONS AND DETAIL FOR SUMP / PUMP TO BUILDING DEPARTMENT FOR APPROVAL PRIOR TO FABRICATION
27. PEDESTRIAN PROTECTION DURING CONSTRUCTION COMPLY WITH UBC SECT. 3303 REGARDING PROTECTION OF PEDESTRIANS.
28. BUILDING ADDRESS BUILDING ADDRESS SHALL BE PROVIDED ON THE BUILDING IN SUCH POSITION AS TO BE PLAINLY VISIBLE AND LEGIBLE FROM THE STREET PER SECTION 501.2
29. WOOD FENCE AND GATE PROVIDE 5'-0" HIGH WOOD FENCE WITH 3'-0" x 5'-0" WOOD GATE PROVIDE 5'-0" HIGH SEPARATION FENCE SEE DETAIL
30. NEW COMBINATION CMU / WOOD FENCE PROVIDE 5'-0" HIGH SEPARATION FENCE SEE DETAIL
31. UNPROTECTED FRONT YARD PALM TREE TO BE REMOVED
32. PROTECTED FRONT YARD ACACIA TREE TO BE REMOVED AND REPLACED WITH 48" BOX TREE SEPARATE TREE REMOVAL PERMIT MUST BE OBTAINED PRIOR TO TREE REMOVAL
33. NEW 48" BOX TREE IN FRONT YARD PROVIDE NEW 48" BOX TREE IN FRONT YARD PER TREE REMOVAL PERMIT



- Revisions:
- △
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**15th Street CONDOMINIUMS**  
1421 15th Street, Manhattan Beach, CA, 90266

Site Plan  
Date: 1/11/21  
Name of File: 1421\_15th

**A-1.0**



**FLOORPLAN NOTES:**

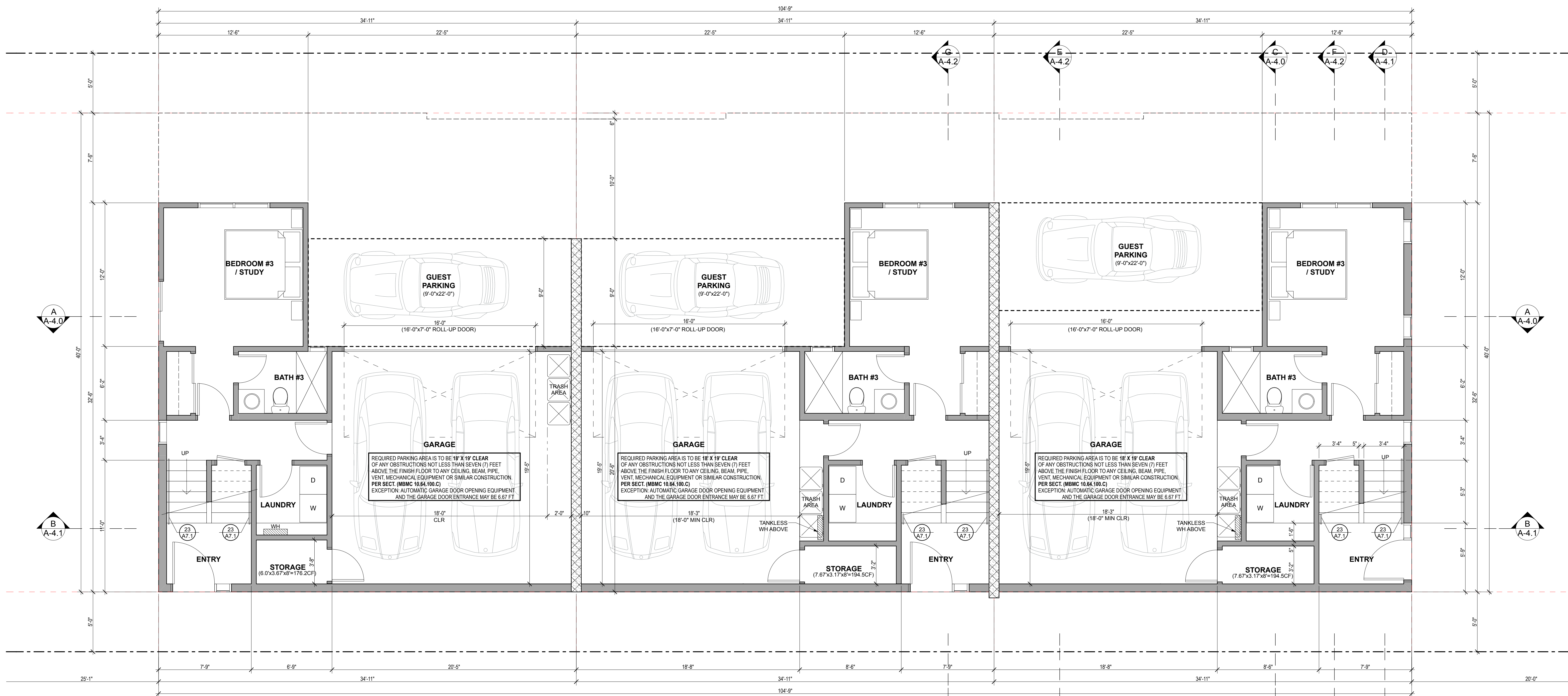
- NEW ELECTRIC METER SERVICE PANEL WITH A 3" DIAMETER STUB OUT CONDUIT**  
MIN. 200 AMP SERVICE.  
WATERPROOF METAL CONTAINER.  
PAINT TO MATCH ADJACENT WALL.  
ELECTRICIAN SHALL PROVIDE PANEL SCHEDULE AND LOAD CALCULATIONS REFER TO M. E. P. SHEETS PER ARTICLE 220, NEC.
- GROUND FAULT INTERRUPTER (GFI) OUTLETS**  
SHALL BE PROVIDED IN BATHROOMS, GARAGES, CRAWL SPACES, EXTERIOR, AND WITHIN 6' OF KITCHEN SINKS.  
REFER TO M. E. P. SHEETS PER SECT. 210-8a, NEC.
- SEPARATE BRANCH CIRCUIT FOR APPLIANCES**  
APPLIANCES SUCH AS KITCHEN SINK, FOOD GRINDERS, DISHWASHERS, MICROWAVE OVENS, TRASH COMPACTORS, WASHING MACHINES, DRYERS, REFRIGERATORS, FREEZERS, AIR CONDITIONERS, FAUCETS, BUILT-IN HEATERS OR ANY FIXED APPLIANCE WITH MOTOR LARGER THAN 1/4 HP SHALL BE ON A SEPARATE BRANCH CIRCUIT SUPPLIED BY A MIN. NUMBER 12 AWG WIRE.
- GENERAL LIGHTING @ KITCHEN AND BATH**  
PROVIDE HIGH EFFICIENCY LIGHTING AT NOT LESS THAN 40 LUMENS PER WATT.  
REFER TO ELECTRICAL PLANS.  
PER SECT. 2-3350 T-24.
- MECHANICAL VENTILATION @ BATHROOMS**  
BATHROOMS SHALL BE MECHANICALLY VENTILATED OR PROVIDED WITH A WINDOW AREA NOT LESS THAN 3 SQ.FT. AT LEAST 50% OPENABLE. PER SECTION 303.3.  
  
BATHROOMS, WATER CLOSET COMPARTMENTS, LAUNDRY ROOMS SHALL BE PROVIDED WITH MECHANICAL VENTILATION IN ACCORDANCE WITH THE CALIFORNIA MECHANICAL CODE PER SECT. 1203.42.1, C.B.C.
- ONE-HOUR FIRE RESISTIVE WALL / CEILING**  
GARAGE BENEATH HABITABLE ROOMS SHALL BE SEPARATED FROM ALL HABITABLE ROOMS BY NOT LESS THAN 5/8" TYPE "X" GYP. WALL BOARD.  
PER TABLE R302.6.  
5/8" TYPE "X" GYP. WALL BOARD AT ALL WALLS AND CEILING BETWEEN GARAGE AND ALL ADJACENT LIVING SPACES, AND ENCLOSING ALL STRUCTURAL MEMBERS.  
PER SECT. 406.14, C.B.C.  
PENETRATIONS THROUGH FIRE RATED WALL COMPLY WITH SECTION 714 SEE DETAILS 5/49 & 43 / A-7.2.  
WALL SEPARATING DWELLING UNITS SHALL BE 1-HOUR FIRE RATED PER SECTION R420.2. SEE DETAILS 42 & 43 / A-7.2.  
EXTERIOR WALL LOCATED LESS THAN 10 FT. AWAY FROM PROPERTY LINE SHALL BE 1-HOUR FIRE RATED. PER TABLE 602. SEE DETAILS 32 / A-7.2 & 33 / A-7.2.
- STAIRWAY**  
PROVIDE 1 LAYER 5/8" TYPE "X" G.W.B. AT ALL WALLS AND SOFFIT FOR ENCLOSED USABLE SPACE BENEATH STAIRWAY.  
PER SECT. 1009, C.B.C.
- STAIR HANDRAIL (MATERIAL T.B.D.)**  
SEE DETAIL 5 / A-7.0.  
  
STAIR HANDRAIL SHALL BE 34" TO 38" ABOVE TREAD NOSING. CIRCULAR HANDRAIL SHALL HAVE AN OUTSIDE DIAMETER OF AT LEAST 1.25" AND NOT GREATER THAN 2". IF THE HANDRAIL IS NOT CIRCULAR, IT SHALL HAVE A PERIMETER DIMENSION OF AT LEAST 4" AND NOT GREATER THAN 6.25" WITH A MAXIMUM CROSS SECTION DIMENSION OF 2.25". EDGES SHALL HAVE A MINIMUM RADIUS OF 0.01" PER CBC SECT. 1014.3.  
  
HANDRAIL ASSEMBLIES SHALL BE ABLE TO RESIST A SINGLE CONCENTRATED LOAD OF 200 POUNDS, APPLIED IN ANY DIRECTION IN ANY POINT ALONG THE TOP AND HAVE ATTACHMENT DEVICES AND SUPPORTING STRUCTURE TO TRANSFER THIS LOADING TO APPROPRIATE STRUCTURAL ELEMENTS OF THE BUILDING PER 1607.7.1, & 1607.1.1.
- GUARDRAIL (42" HIGH U.N.O.)**  
SEE DETAIL: 18 / A-7.1 & 25 / A-7.1.  
  
GUARDRAIL SHALL NOT BE LESS THAN 42" HIGH AND SHALL HAVE BALLUSTERS OR ORNAMENTAL PATTERNS SUCH THAT A 4" DIAMETER SPHERE CANNOT PASS THROUGH ANY OPENING.  
PER CBC SECTION 1013.  
  
GUARDRAIL ASSEMBLIES SHALL BE ABLE TO RESIST A SINGLE CONCENTRATED LOAD OF 200 POUNDS, APPLIED IN ANY DIRECTION IN ANY POINT ALONG THE TOP AND HAVE ATTACHMENT DEVICES AND SUPPORTING STRUCTURE TO TRANSFER THIS LOADING TO APPROPRIATE STRUCTURAL ELEMENTS OF THE BUILDING PER 1607.7.1, & 1607.1.1.
- CORRIDOR / HALL WIDTH**  
MINIMUM CLEAR WIDTH 36" (REQ'D)  
PER SECT. 1005.2, C.B.C.
- WINDOWS AT BEDROOMS (EGRESS)**  
MIN. CLR. OPENING: 5.7 sq. ft.  
MIN. CLR. HEIGHT: 24"  
MIN. CLR. WIDTH: 20"  
FINISHED SILL HEIGHT TO BE NOT MORE THAN 44" ABOVE FINISHED FLOOR REFER TO WINDOW / DOOR SCHEDULE.  
PER SECT. 1026, C.B.C.
- DRYER VENT**  
EXHAUST TO OUTSIDE AIR @ WALL.  
PROVIDE LINT TRAP/ACCESS PAINT TO MATCH EXTERIOR FINISH.  
INSTALL PER MANUF. SPECS. VERIFY LOCATION WITH ARCHITECT.  
PER SECT. 504.3 & 908, C.M.C.
- WASHER**  
HOT AND COLD WATER VALVES, PROVIDE SMITTY PAN WITH DRAIN.
- FORCED AIR UNIT**  
SIZE: PER TITLE-24 CALCS. SEE CF-1R FORMS GAS FIRED (INTERMITTENT ELECTRONIC IGNITION)  
"B" VENT THRU FLOOR TO ROOF.  
PAINT TO MATCH EXTERIOR FIN.  
INSTALLATION/CL. CLEARANCES PER MANUF. SPECS @ GARAGE. PROVIDE 18" HIGH PLATFORM PER SECT. 308, C.M.C. & C.P.C.
- WATER HEATER**  
SIZE: PER TITLE-24 CALCS. SEE CF-1R FORMS HIGH RECOVERY WITH RECIRCULATION PUMP GAS FIRED (INTERMITTENT ELECTRONIC IGNITION)  
PROVIDE SEISMIC STRAPS  
"B" VENT THRU FLOOR TO ROOF.  
PAINT TO MATCH EXTERIOR FIN.  
PROVIDE SMITTY PAN WITH DRAIN P & T VALVE SHALL TERMINATE OUTSIDE INSTALLATION/CL. CLEARANCES PER MANUF. SPECS @ GARAGE. PROVIDE 18" HIGH PLATFORM PER SECT. 510.1, C.P.C. & SECT. 308.2, C.M.C.  
INSTALL ON THE COLD WATER SUPPLY PIPE AT THE TOP OF WATER HEATER A CAPPED "T" FITTING TO PLUMB FOR FUTURE SOLAR WATER HEATING.
- COMBUSTION AIR VENTS**  
PROVIDE VENTS FOR TOP & BOTTOM COMBUSTION AIR. TOP VENT LOCATED WITHIN 12" OF CEILING. BOTTOM VENT LOCATED WITHIN 12" OF PLATFORM. SIZE PER CMC PER CHAPTER 7, U.M.C. and U.P.C.
- RETURN AIR GRILLE**  
SIZE PER CODE.  
VERIFY LOCATION WITH ARCHITECT.
- AIR SUPPLY DUCT**  
2 sq. in. PER 1000 BTU REQUIRED @ F.A.U.  
SIZE PER CODE.  
PER SECT. 317, U.M.C.
- LIGHT and VENTILATION @ BEDROOMS**  
NATURAL LIGHT BY MEANS OF EXTERIOR GLAZED OPENINGS WITH AN AREA OF NOT LESS THAN 1/10 OF THE FLOOR AREA (MIN. 10 sq. ft.) NATURAL VENTILATION BY MEANS OF OPENABLE EXTERIOR OPENINGS WITH AN AREA OF NOT LESS THAN 1/20 OF THE FLOOR AREA (MIN. 5 sq. ft.)  
PER SECT. 1203 C.B.C.
- COMBINATION SMOKE AND CARBON MONOXIDE ALARM**  
SMOKE ALARMS AND CARBON MONOXIDE ALARMS SHALL BE INSTALLED INSIDE ALL BEDROOMS, ON THE CEILING OR WALL OUTSIDE OF EACH BEDROOM AND IN EVERY STORY.  
PER SECTION R314.3; R315.1;  
SMOKE ALARMS AND CARBON MONOXIDE ALARMS SHALL RECEIVE THEIR PRIMARY POWER FROM THE BUILDING WIRING, AND SHALL BE EQUIPPED WITH A BATTERY BACKUP AND INTERCONNECTED.  
PER SECTION R314.3; R314.4; R315.1;  
  
SMOKE DETECTORS ARE REQUIRED IN EACH ROOM USED FOR SLEEPING AND CENTRALLY LOCATED IN THE WALL OR CEILING IN CORRIDORS PROVIDING ACCESS TO EACH SLEEPING AREA, AT EACH FLOOR OR BASEMENT LEVEL AND IN CLOSE PROXIMITY TO THE STAIRWAY. SMOKE DETECTORS SHALL BE CONNECTED TO THE BUILDING WIRING SYSTEM IN ALL NEW CONSTRUCTION AND BE PROVIDED WITH BATTERY BACKUP. SHALL SOUND AN ALARM AUDIBLE IN ALL AREAS OF THE BUILDING OR BE INTERCONNECTED.  
PER SECT. 907.2.10, C.B.C.

**WALL LEGEND:**

- NON-RATED CONSTRUCTION  
SEE STRUCTURAL PLANS FOR STUD SIZE & SPACING
- 1-HOUR RATED COMMON WALL  
SEE DETAIL 45 / A-7.2

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KEY NOTES CONTINUED AT SHEET A-2.1



REQUIRED PARKING AREA IS TO BE 18' X 19' CLEAR OF ANY OBSTRUCTIONS NOT LESS THAN SEVEN (7) FEET ABOVE THE FINISH FLOOR TO ANY CEILING, BEAM, PIPE, VENT, MECHANICAL EQUIPMENT OR SIMILAR CONSTRUCTION. PER SECT. (IMBC 10.84.100.C)  
EXCEPTION: AUTOMATIC GARAGE DOOR OPENING EQUIPMENT AND THE GARAGE DOOR ENTRANCE MAY BE 6.67 FT

**FIRST FLOOR PLAN**  
SCALE: 1/4" = 1'-0"

- Revisions:**
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**15th Street CONDOMINIUMS**  
 1421 15th Street, Manhattan Beach, CA, 90266

**First Floor Plan**

Date: 1/11/21  
Name of File: 1421\_15th


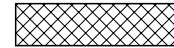
**A-2.0**



**FLOORPLAN NOTES:** (CONTINUED FROM SHEET A-2.0)

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|--|---|--|--|--|--|
| <p>21. <b>PLUMBING WALL</b><br/>PROVIDE 2x6 STUD WALL BEHIND PLUMBING FIXTURES PER C.P.C.</p> <p>22. <b>SHOWERS &amp; TUB SHOWERS</b><br/>CONTROL VALVES FOR SHOWERS AND TUB SHOWERS SHALL BE OF THE PRESSURE BALANCE OR THERMOSTATIC MIXING VALVE TYPE.<br/>PER CPC SEC 410.7<br/>PROVIDE APPROVED SMOOTH HARD NON ABSORBENT FINISH TO CEILING (VERIFY WITH ARCHITECT)<br/>PROVIDE 1-LAYER "GREENBOARD" MOISTURE RESISTANT GYPSUM WALLBOARD<br/>PER UBC SEC 807.1.3</p> <p>23. <b>FRAMESLESS TEMPERED GLASS ENCLOSURE</b><br/>@ SHOWER, WITH DOOR @ TUB SHOWER COMBINATION PER SECT 2406 &amp; 2407, U.B.C.</p> <p>24. <b>BATH TUB</b><br/>MANUF:<br/>MODEL:<br/>INSTALL PER MANUF SPECS</p> <p>25. <b>TUB TRAP ACCESS</b><br/>12" x 12" PREFABRICATED SHEET METAL PAINT TO MATCH ADJACENT WALL</p> <p>26. <b>WATER CLOSETS</b><br/>1.28 GALLON FLUSH, MAX.<br/>PER H &amp; S CODE, SECT. 17921.3b</p> <p>27. <b>ACCESS TO TOILETS</b><br/>30" CLEAR WIDTH REQUIRED<br/>24" CLEARANCE IN FRONT REQUIRED.<br/>PER SECT. 2902.6 &amp; 2904, C.B.C.</p> <p>28. <b>EXHAUST FAN</b><br/>BATHROOMS SHALL BE EQUIPPED WITH AN EXHAUST FAN CONTROLLED BY A HUMIDISTAT<br/>PER 2013 C.G.B.S.C.</p> | <p>28. <b>EXHAUST FAN</b><br/>BATHROOMS SHALL BE EQUIPPED WITH AN EXHAUST FAN CONTROLLED BY A HUMIDISTAT<br/>PER 2013 C.G.B.S.C.</p> <p>29. <b>DISHWASHER</b><br/>HOT WATER STUB-OUT SMITTY PAN WITH DRAIN</p> <p>30. <b>REFRIGERATOR SPACE</b><br/>COLD WATER STUB-OUT (ICE MAKER)</p> <p>31. <b>KITCHEN SINK</b><br/>DOUBLE BASIN<br/>MANUF:<br/>MODEL:<br/>PROVIDE GARBAGE DISPOSAL</p> <p>32. <b>COOK - TOP</b><br/>MANUF:<br/>MODEL:<br/>PROVIDE GAS STUB-OUT<br/>PROVIDE SHEET METAL HOOD (24" MIN CLR) VENT THROUGH ROOF PER MANUF SPECS<br/>OR<br/>DOWNDRAFT VENT DUCT TO OUTSIDE AIR THRU WALL PAINT TO MATCH EXTERIOR FINISH.<br/>VERIFY LOCATION OF VENT WITH ARCHITECT.<br/>SEE ENERGY CONFORMANCE NOTES</p> <p>33. <b>CONVECTION OVEN</b><br/>MANUF:<br/>MODEL:<br/>PROVIDE GAS STUB-OUT DUCT TO OUTSIDE AIR THRU WALL PAINT TO MATCH EXTERIOR FINISH<br/>VERIFY LOCATION OF VENT WITH ARCHITECT</p> <p>34. <b>UNDER-COUNTER MICROWAVE OVEN</b></p> <p>35. <b>SHELF AND POLE (H66" HIGH) (T.B.D.)</b><br/>1 1/2" DIA WOOD POLE WITH 1x14 WOOD SHELF PAINT TO MATCH ADJACENT WALL FINISH<br/>OPTION: CLOSET ORGANIZER HARDWARE CONFIRM WITH OWNER</p> | <p>36. <b>GAS FIREPLACE (VENT THROUGH ROOF)</b><br/>MANUFACTURER: LENOX<br/>MODEL: SYMMETRY GAS ONLY<br/>APPROVAL: ANSI Z21.88 - 2009<br/>INSTALL PER MANUFACTURERS SPECIFICATIONS.<br/>USE THIS PRODUCT OR APPROVED EQUAL, TO BE DETERMINED BY OWNER / ARCHITECT.<br/>- PER SECTION R100.1<br/>WOOD BURNING FIREPLACES ARE NOT PERMITTED PER AQMD RULE 445</p> <p>37. <b>DRAINAGE FIXTURES LOCATED BELOW THE NEXT UPSTREAM MANHOLE OR BELOW THE MAIN SEWER LEVEL REQUIRES INVESTIGATION TO ASCERTAIN THE NECESSITY FOR SEWER BACKWATER DEVICE INSTALLATION PER 2016 CPC SECTION 710.0</b></p> <p>38. <b>TRASH CANS</b><br/>TRASH AREA FOR A MINIMUM OF (3) 4' TALL 2X2' TRASH CANS REFUSE AREA SHALL NOT INTRUDE INTO REQUIRED PARKING DIMENSIONS.</p> <p>39. <b>STAIR REQUIREMENTS</b><br/>A. MAX. 7.75" RISE &amp; MIN. 10" RUN<br/>B. MIN. 36" CLEAR WIDTH<br/>C. HANDRAILS 34" TO 38" HIGH ABOVE TREAD NOSING.<br/>D. HANDGRIP PORTION OF HANDRAIL SHALL BE NOT LESS THAN 1 1/4" NOR MORE THAN 2" CROSS SECTIONAL DIAM. DIMENSION HAVING A SMOOTH SURFACE WITH NO SHARP CORNERS. (1003.3.2.3,4,6)</p> <p>40. <b>LANDING AT EGRESS DOOR</b><br/>LANDING AT EGRESS SHALL NOT BE MORE THAN 1 1/2" LOWER THAN TOP OF THRESHOLD.<br/>(EXCEPTION: THRESHOLD HEIGHT CAN BE 7.75" MAX. IF DOOR IS NOT A REQUIRED EXIT OR DOOR DOES NOT SWING OVER THE LANDING.)<br/>PER CRC SECTION R311.3.1</p> <p>41. <b>LAUNDRY ROOM</b><br/>DRIP PANS OR OTHER DEVICES FOR LAUNDRY ROOM, WATER HEATERS, AND DISHWASHERS MUST BE PROVIDED.</p> | <p>42. <b>CABLE BOX</b></p> <p>43. <b>GAS METER</b></p> <p>44. <b>BACKWATER VALVE</b><br/>AN APPROVED BACKWATER VALVE IS REQUIRED FOR DRAINAGE PIPING SERVING FIXTURES LOCATED BELOW THE ELEVATION OF THE NEXT UPSTREAM MANHOLE COVER. FIXTURES ABOVE SUCH ELEVATION SHALL NOT DISCHARGE THROUGH THE BACKWATER VALVE.<br/>(UPC: 710-1)</p> <p>45. <b>GARAGE FLOOR</b><br/>GARAGE FLOOR SHALL BE SLOPED TO FACILITATE MOVEMENT OF LIQUIDS TOWARD DRAIN OR VEHICLE ENTRY DOORWAY<br/>CBC SECT 406.1.3.</p> <p>46. <b>DECK WATERPROOFING</b><br/>MANUF: CROSSFIELD PRODUCTS CORP<br/>PRODUCT: DEX-O-TEX ROOF WATERPROOFING MEMBRANE<br/>ICCF: ESR 175<br/>SLOPE: 1/4"FT. MIN.<br/>CLASS: A<br/>INSTALL PER MANUF SPECS<br/>USE THIS PRODUCT OR APPROVED EQUAL<br/>PER SECT. 1402, C.B.C.</p> <p>47. <b>DECK DRAINS</b><br/>MANUF: THUNDERBIRD<br/>MODEL: 3" DIA. COPPER DECK DRAIN WITH STRAINER<br/>PROVIDE DRAIN LINE TO DRAINAGE SYSTEM<br/>INSTALL PER MANUF SPECS<br/>USE THIS PRODUCT OR APPROVED EQUAL<br/>SEE DETAIL 28 / A-7.1</p> <p>48. <b>LANDING AT EXTERIOR DOORS</b><br/>LANDING ON EACH SIDE OF EXTERIOR DOOR SHALL HAVE A LENGTH IN DIRECTION OF TRAVEL OF NOT LESS THAN 36" SECTION R311.3.</p> <p>49. <b>WATER METER SERVICE</b><br/>SEE LOCATION ON SITE PLAN AT A-1.0</p> <p>50. <b>OPEN RAILING</b><br/>BALCONIES SHALL HAVE OPEN RAILINGS OR GLASS</p> | <p>51. <b>1-HOUR COMMON / SEPARATION WALL</b><br/>WALL BETWEEN INDIVIDUAL UNITS SHALL BE 1-HOUR CONSTRUCTION AND SHALL HAVE SOUND TRANSMISSION COEFFICIENT (STC) RATING OF STC 52 MINIMUM.<br/>SEE DETAILS 42 &amp; 45 / A-7.2 FOR CONSTRUCTION<br/>COMMON WALL BETWEEN UNITS SHALL BE FREE FROM PLUMBING, MECHANICAL EQUIPMENT DUCT OR VENT<br/>PER CRC SECT R-302.2<br/>COMMON WALL SHALL EXTEND FROM FOUNDATION TO UNDERSIDE OF ROOF SHEATHING PER CRC SECT R-302.2.1</p> <p>52. <b>WHOLE HOUSE VENTILATION</b><br/>WHOLE HOUSE MECHANICAL VENTILATION SYSTEM PER 2019 CALIFORNIA RESIDENTIAL COMPLIANCE MANUAL. THE BUILDING SHALL BE PROVIDED WITH A WHOLE HOUSE VENTILATION SYSTEM.<br/>EXHAUST FANS AT THE LAUNDRY ROOM SHALL BE 90 CFM MIN. (PER TABLE 4-14)<br/>AND SHALL OPERATE CONTINUOUSLY<br/>FAN SHALL BE RATED TO OPERATE AT A MAX. NOISE LEVEL OF 1.0 SONE.<br/>- OR -<br/>PROVIDE WHOLE HOUSE VENTILATION SYSTEM @ FAU FORCED AIR UNIT TO PROVIDE REQUIRED WHOLE HOUSE VENTILATION SYSTEM.<br/>UNIT MUST BE INSTALLED WITH A SUMMER SWITCH AT THE AIR HANDLER AND AN OUTSIDE AIR DUCT DIRECTLY TO THE RETURN AIR PLENUM.<br/>UNIT MUST BE EQUIPPED WITH CONTROLS WHICH ENSURE THAT THE AIR HANDLER RUNS EVEN WHEN THERE IS NO HEATING OR COOLING.<br/>OUTDOOR AIR DUCT INLET SHALL BE PLACED TO AVOID DRAWING AIR FROM KNOWN AREAS OF CONTAMINANTS, SUCH AS CHIMNEYS, GARAGES, EXHAUST FANS, ETC.<br/>INSTALLER SHALL MEASURE THE VENTILATION FLOW RATE INDUCED TO ENSURE THAT IT MEETS THE VENTILATION RATE REQUIREMENTS UNDER NORMAL HEATING AND COOLING OPERATING CONDITIONS.</p> | <p>53. <b>FUTURE SOLAR ELECTRICAL CONDUIT</b><br/>PROVIDE ELECTRICAL CONDUIT FOR EACH UNIT FROM ROOF TO ELECTRICAL SERVICE PANEL FOR FUTURE SOLAR</p> <p>54. <b>PLUMBING FIXTURES</b><br/>ALL NEW PLUMBING FIXTURES SHALL BE WATER CONSERVING PER 2016 CPC 402.0</p> |
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**WALL LEGEND:**

-  NON-RATED CONSTRUCTION  
SEE STRUCTURAL PLANS FOR STUD SIZE & SPACING
-  1-HOUR RATED COMMON WALL  
SEE DETAIL 45 / A-7.2

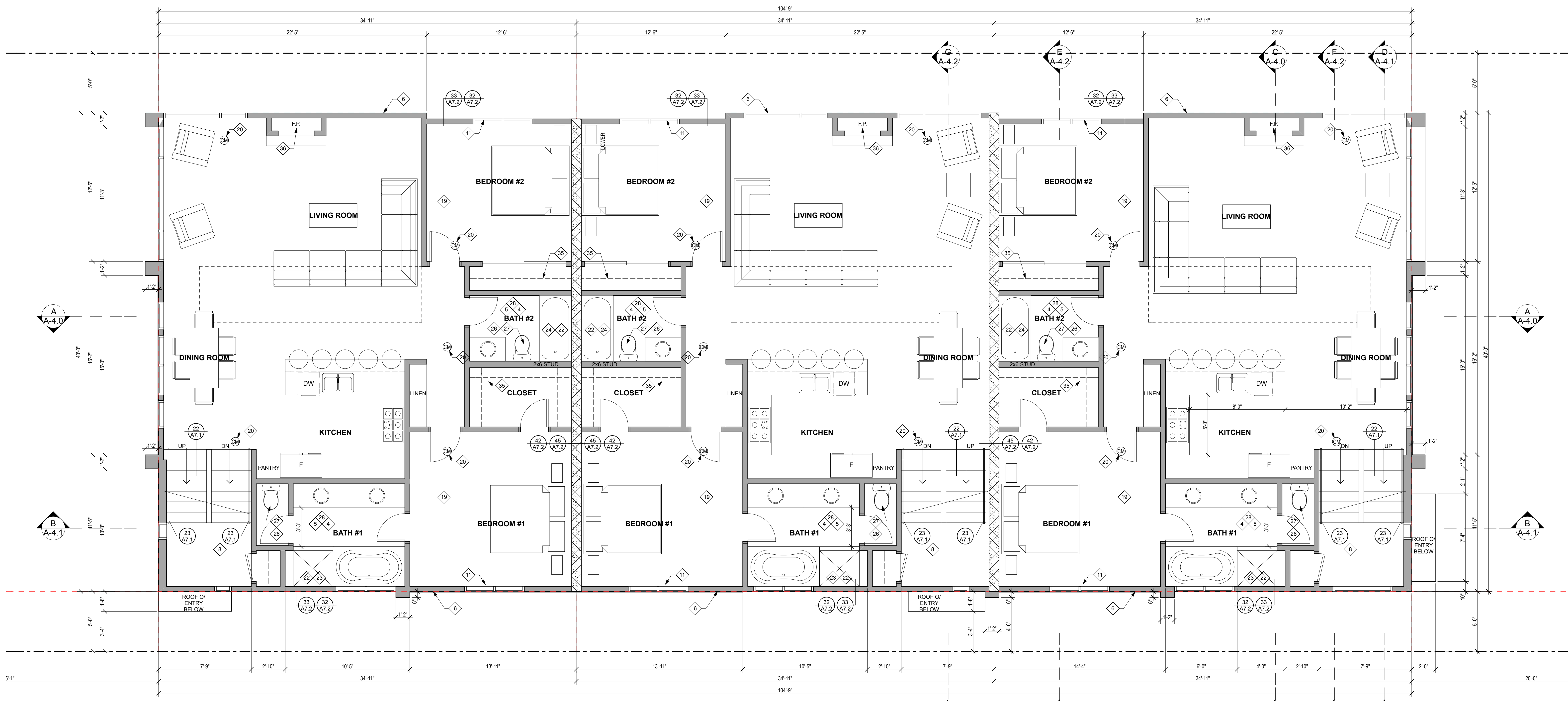
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**Revisions:**

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**15th Street CONDOMINIUMS**  
 1421 15th Street, Manhattan Beach, CA, 90266

**Second Floor Plan**  
 Date: 1/11/21  
 Name of File: 1421\_15th




**SECOND FLOOR PLAN**  
 SCALE: 1/4" = 1'-0"



**GREEN BUILDING CODE NOTES:**

(SEE ALSO MANDATORY MEASURES CHECKLIST AT SHEET 8-B)

- 1. INDOOR WATER USE**
- A. WATER CLOSETS**  
THE EFFECTIVE FLUSH VOLUME OF ALL WATER CLOSETS SHALL NOT EXCEED 1.28 GALLONS PER FLUSH. TANK-TYPE WATER CLOSETS SHALL BE CERTIFIED TO THE PERFORMANCE CRITERIA OF THE US EPA WATERSENSE SPECIFICATION FOR TANK-TYPE TOILETS. THE EFFECTIVE FLUSH VOLUME OF DUAL FLUSH TOILETS IS DEFINED AS THE COMPOSITE AVERAGE FLUSH VOLUME OF TWO REDUCED FLUSHES AND ONE FULL FLUSH.
- B. URINALS**  
THE EFFECTIVE FLUSH VOLUME OF WALL-MOUNTED URINALS SHALL NOT EXCEED 0.25 GALLONS PER FLUSH. THE EFFECTIVE FLUSH VOLUME OF ALL OTHER URINALS SHALL NOT EXCEED 0.5 GALLONS PER FLUSH.
- C. SINGLE SHOWERHEAD**  
SHOWERHEADS SHALL HAVE A MAXIMUM FLOW RATE OF NOT MORE THAN 1.8 GALLONS PER MINUTE AT 80 PSI. SHOWERHEADS SHALL BE CERTIFIED TO THE PERFORMANCE CRITERIA OF THE US EPA WATERSENSE SPECIFICATION FOR SHOWERHEADS.
- D. MULTIPLE SHOWERHEADS SERVING ONE SHOWER**  
WHEN A SHOWER IS SERVED BY MORE THAN ONE SHOWERHEAD, THE COMBINED FLOW RATE OF ALL SHOWERHEADS AND/OR OTHER SHOWER OUTLETS CONTROLLED BY A SINGLE VALVE SHALL NOT EXCEED 1.8 GALLONS PER MINUTE AT 80 PSI. OR THE SHOWER SHALL BE DESIGNED TO ALLOW ONLY ONE SHOWER OUTLET TO BE IN OPERATION AT A TIME. NOTE: A HAND-HELD SHOWER SHALL BE CONSIDERED A SHOWERHEAD.
- E. RESIDENTIAL LAVATORY FAUCETS**  
THE MAXIMUM FLOW RATE OF RESIDENTIAL LAVATORY FAUCETS SHALL NOT EXCEED 1.2 GALLONS PER MINUTE AT 80 PSI. THE MINIMUM FLOW RATE OF RESIDENTIAL LAVATORY FAUCETS SHALL NOT BE LESS THAN 0.8 GALLONS PER MINUTE AT 20 PSI.
- F. LAVATORY FAUCETS IN COMMON AND PUBLIC USE AREAS**  
THE MAXIMUM FLOW RATE OF LAVATORY FAUCETS INSTALLED IN COMMON AND PUBLIC USE AREAS (OUTSIDE OF DWELLINGS OR SLEEPING UNITS) IN RESIDENTIAL BUILDINGS SHALL NOT EXCEED 0.5 GALLONS PER MINUTE AT 60 PSI.
- G. METERING FAUCETS**  
METERING FAUCETS WHEN INSTALLED IN RESIDENTIAL BUILDINGS SHALL NOT DELIVER MORE THAN 0.2 GALLONS PER CYCLE.

- H. KITCHEN FAUCETS**  
THE MAXIMUM FLOW RATE OF KITCHEN FAUCETS SHALL NOT EXCEED 1.8 GALLONS PER MINUTE AT 80 PSI. KITCHEN FAUCETS MAY TEMPORARILY INCREASE THE FLOW ABOVE THE MAXIMUM RATE, BUT NOT TO EXCEED 2.2 GALLONS PER MINUTE AT 80 PSI, AND MUST DEFAULT TO A MAXIMUM FLOW RATE OF 1.8 GALLONS PER MINUTE AT 60 PSI. NOTE: WHERE COMPLYING FAUCETS ARE UNAVAILABLE, AERATORS OR OTHER MEANS MAY BE USED TO ACHIEVE REDUCTION.
- I. STANDARDS FOR PLUMBING FIXTURES AND FITTINGS**  
PLUMBING FIXTURES AND FITTINGS SHALL BE INSTALLED IN ACCORDANCE WITH THE CALIFORNIA PLUMBING CODE, AND SHALL MEET THE APPLICABLE REFERENCED STANDARDS.
- 2. OUTDOOR WATER USE**
- A. OUTDOOR POTABLE WATER USE IN LANDSCAPE AREAS**  
RESIDENTIAL DEVELOPMENTS SHALL COMPLY WITH A LOCAL WATER EFFICIENT LANDSCAPE ORDINANCE OR THE CURRENT CALIFORNIA DEPARTMENT OF WATER RESOURCES MODEL WATER EFFICIENT LANDSCAPE ORDINANCE (MWELO), WHICHEVER IS MORE STRINGENT.
- B. RECYCLED WATER SUPPLY SYSTEMS**  
NEWLY CONSTRUCTED RESIDENTIAL DEVELOPMENTS, WHERE DISINFECTED TERTIARY RECYCLED WATER IS AVAILABLE FROM A MUNICIPAL SOURCE TO A CONSTRUCTION SITE, MAY BE REQUIRED TO HAVE RECYCLED WATER SUPPLY SYSTEMS INSTALLED, ALLOWING THE USE OF RECYCLED WATER FOR RESIDENTIAL LANDSCAPE IRRIGATION SYSTEMS. SEE CHAPTER 15 OF THE CALIFORNIA PLUMBING CODE.
- 3. ENHANCED DURABILITY AND REDUCED MAINTENANCE**
- A. RODENT PROOFING**  
ANNULAR SPACES AROUND PIPES, ELECTRIC CABLES, CONDUITS OR OTHER OPENINGS IN SOLE-BOTTOM PLATES AT EXTERIOR WALLS SHALL BE PROTECTED AGAINST THE PASSAGE OF RODENTS BY CLOSING SUCH OPENINGS WITH CEMENT MORTAR, CONCRETE MASONRY OR A SIMILAR METHOD ACCEPTABLE TO THE ENFORCING AGENCY.
- 4. CONSTRUCTION WASTE REDUCTION DISPOSAL AND RECYCLING**
- A. CONSTRUCTION WASTE MANAGEMENT**  
RECYCLE AND/OR SALVAGE FOR REUSE A MINIMUM OF 65% OF THE NONHAZARDOUS CONSTRUCTION AND DEMOLITION WASTE IN ACCORDANCE WITH EITHER SECTION 4.408.2, 4.408.3 OR 4.408.4 AND MANHATTAN BEACH MUNICIPAL CODE SECTION 5.26.

- B. CONSTRUCTION WASTE MANAGEMENT PLAN**  
SUBMIT A CONSTRUCTION WASTE MANAGEMENT PLAN MEETING ITEMS 1 THROUGH 5 IN SECTION 4.408.2. PLANS SHALL BE UPDATED AS NECESSARY AND SHALL BE AVAILABLE FOR EXAMINATION DURING CONSTRUCTION.
- C. WASTE MANAGEMENT COMPANY**  
UTILIZE A WASTE MANAGEMENT COMPANY, APPROVED BY THE ENFORCING AGENCY, WHICH CAN PROVIDE VERIFIABLE DOCUMENTATION THAT DIVERTED CONSTRUCTION AND DEMOLITION WASTE MATERIALS MEET THE REQUIREMENTS IN SECTION 4.408.1.
- D. DOCUMENTATION**  
DOCUMENTATION SHALL BE PROVIDED TO THE ENFORCING AGENCY, WHICH DEMONSTRATES COMPLIANCE WITH SECTIONS 4.408.2, 4.408.3, OR 4.408.4.
- 5. BUILDING MAINTENANCE AND OPERATION**
- A. OPERATION AND MAINTENANCE MANUAL**  
AT THE TIME OF FINAL INSPECTION, A MANUAL, COMPACT DISC, WEB-BASED REFERENCE OR OTHER MEDIA ACCEPTABLE TO THE ENFORCING AGENCY WHICH COVERS 10 SPECIFIC SUBJECT AREAS SHALL BE PLACED IN THE BUILDING.
- B. RECYCLING BY OCCUPANTS**  
WHERE 5 OR MORE MULTIFAMILY DWELLING UNITS ARE CONSTRUCTED ON A BUILDING SITE, PROVIDE READILY ACCESSIBLE AREAS THAT SERVES ALL BUILDINGS ON THE SITE AND IS IDENTIFIED FOR THE DEPOSITING, STORAGE AND COLLECTION OF NON-HAZARDOUS MATERIALS FOR RECYCLING, INCLUDING (AT MINIMUM) PAPER, CORRUGATED CARDBOARD, GLASS, PLASTICS, ORGANIC WASTE, AND METALS.
- 6. FIREPLACES**
- A. GENERAL**  
ANY INSTALLED GAS FIREPLACE SHALL BE A DIRECT-VENT SEALED-COMBUSTION TYPE. ANY INSTALLED WOODSTOVE OR PELLET STOVE SHALL COMPLY WITH U.S. EPA NEW SOURCE PERFORMANCE STANDARDS (NSPS) EMISSION LIMITS AS APPLICABLE, AND SHALL HAVE A PERMANENT LABEL INDICATING THEY ARE CERTIFIED TO MEET THE EMISSION LIMITS. WOODSTOVES, PELLET STOVES AND FIREPLACES SHALL ALSO COMPLY WITH APPLICABLE LOCAL ORDINANCES INCLUDING SOUTH COAST AIR QUALITY MANAGEMENT DISTRICT REGULATIONS.

- 7. POLLUTANT CONTROL**
- A. COVERING OF DUCT OPENINGS AND PROTECTION OF MECHANICAL EQUIPMENT DURING CONSTRUCTION**  
AT THE TIME OF ROUGH INSTALLATION, DURING STORAGE ON THE CONSTRUCTION SITE AND UNTIL FINAL STARTUP OF THE HEATING, COOLING AND VENTILATING EQUIPMENT, ALL DUCT AND OTHER RELATED AIR DISTRIBUTION COMPONENT OPENINGS SHALL BE COVERED WITH TAPE, PLASTIC, SHEET METAL OR OTHER METHODS ACCEPTABLE TO THE ENFORCING AGENCY TO REDUCE THE AMOUNT OF WATER, DUST AND DEBRIS WHICH MAY ENTER THE SYSTEM.
- B. ADHESIVES, SEALANTS AND CAULKS**  
ADHESIVES, SEALANTS AND CAULKS USED ON THE PROJECT SHALL MEET THE REQUIREMENTS OF THE FOLLOWING STANDARDS UNLESS MORE STRINGENT LOCAL OR REGIONAL AIR POLLUTION OR AIR QUALITY MANAGEMENT DISTRICT RULES APPLY:
  1. ADHESIVES, ADHESIVE BONDING PRIMERS, ADHESIVE PRIMERS, SEALANTS, SEALANT PRIMERS, AND CAULKS SHALL COMPLY WITH LOCAL OR REGIONAL AIR POLLUTION CONTROL OR AIR QUALITY MANAGEMENT DISTRICT RULES WHERE APPLICABLE, OR SCAM AND RULE 118 VOC LIMITS, AS SHOWN IN TABLE 4.504.1 OR 4.504.2, AS APPLICABLE. SUCH PRODUCTS SHALL ALSO COMPLY WITH RULE 118 PROHIBITION ON THE USE OF CERTAIN TOXIC COMPOUNDS (CARBON MONOXIDE, ETHYLENE DICHLORIDE, METHYLENE CHLORIDE, PERCHLOROETHYLENE AND TRICHLOROETHYLENE), EXCEPT FOR AEROSOL PRODUCTS AS SPECIFIED IN SUBSECTION 2 BELOW.
  2. AEROSOL ADHESIVES, AND SMALLER UNIT SIZES OF ADHESIVES, AND SEALANT OR CAULKING COMPOUNDS (IN UNITS OF PRODUCT, LESS PACKAGING, WHICH DO NOT WEIGH MORE THAN 1 POUND AND DO NOT CONSIST OF MORE THAN 16 FLUID OUNCES) SHALL COMPLY WITH STATEWIDE VOC STANDARDS AND OTHER REQUIREMENTS, INCLUDING PROHIBITIONS ON USE OF CERTAIN TOXIC COMPOUNDS, OF THE CALIFORNIA CODE OF REGULATIONS (CCR), TITLE 17, COMMENCING WITH SECTION 94507.
- C. PAINTS AND COATINGS**  
ARCHITECTURAL PAINTS AND COATINGS SHALL COMPLY WITH VOC LIMITS IN TABLE 1 OF THE AIR RESOURCES BOARD ARCHITECTURAL SUGGESTED CONTROL MEASURE, AS SHOWN IN TABLE 4.504.3, UNLESS MORE STRINGENT LOCAL LIMITS APPLY. THE VOC CONTENT LIMIT FOR COATINGS THAT DO NOT MEET THE DEFINITIONS FOR THE SPECIALTY COATINGS CATEGORIES LISTED IN TABLE 4.504.3 SHALL BE DETERMINED BY CLASSIFYING THE COATING AS FLAT, NONFLAT, OR NONFLAT-HIGH GLOSS COATING, BASED ON ITS GLOSS, AS DEFINED IN SUBSECTIONS 4.21, 4.36, AND 4.37, OF THE 2007 CALIFORNIA AIR RESOURCES BOARD, SUGGESTED CONTROL MEASURE, AND THE CORRESPONDING FLAT, NONFLAT, OR NONFLAT-HIGH GLOSS VOC LIMIT IN TABLE 4.504.3 SHALL APPLY.

- D. AEROSOL PAINTS AND COATINGS**  
AEROSOL PAINTS AND COATINGS SHALL MEET THE PRODUCT-WEIGHTED MIR LIMITS FOR RGC IN SECTION 94522(A)(2) AND OTHER REQUIREMENTS, INCLUDING PROHIBITIONS ON USE OF CERTAIN TOXIC COMPOUNDS AND OZONE DEPLETING SUBSTANCES, IN SECTION 94522(E)(1) AND (F)(1) OF THE CCR, TITLE 17, COMMENCING WITH SECTION 94520.
- E. VERIFICATION**  
VERIFICATION OF COMPLIANCE WITH THIS SECTION SHALL BE PROVIDED AT THE REQUEST OF THE ENFORCING AGENCY. DOCUMENTATION MAY INCLUDE, BUT IS NOT LIMITED TO, THE FOLLOWING:
  1. MANUFACTURER'S PRODUCT SPECIFICATION.
  2. FIELD VERIFICATION OF ON-SITE PRODUCT CONTAINERS.
- F. CARPET SYSTEMS**  
ALL CARPET INSTALLED IN THE BUILDING INTERIOR SHALL MEET THE TESTING AND PRODUCT REQUIREMENTS OF ONE OF THE FOLLOWING:
  1. CARPET AND RUG INSTITUTE'S GREEN LABEL PLUS PROGRAM
  2. CALIFORNIA DEPARTMENT OF PUBLIC HEALTH, "STANDARD METHOD FOR THE TESTING AND EVALUATION OF VOLATILE ORGANIC CHEMICAL EMISSIONS FROM INDOOR ENVIRONMENTAL CHAMBERS," VERSION 1.1, FEBRUARY 2010 (ALSO KNOWN AS SPECIFICATION 01350)
  3. NSF/ANSI 140 AT THE GOLD LEVEL
  4. SCIENTIFIC CERTIFICATIONS SYSTEMS INDOOR ADVANTAGE GOLD
- G. CARPET CUSHION**  
ALL CARPET CUSHION INSTALLED IN THE BUILDING INTERIOR SHALL MEET THE REQUIREMENTS OF THE CARPET AND RUG INSTITUTE'S GREEN LABEL PROGRAM.
- H. CARPET ADHESIVE**  
ALL CARPET ADHESIVE SHALL MEET THE REQUIREMENTS OF TABLE 4.504.1.
- I. RESILIENT FLOORING SYSTEMS**  
WHERE RESILIENT FLOORING IS INSTALLED, AT LEAST 80% OF FLOOR AREA RECEIVING RESILIENT FLOORING SHALL COMPLY WITH ONE OR MORE OF THE FOLLOWING:
  1. PRODUCTS COMPLIANT WITH THE CALIFORNIA DEPARTMENT OF PUBLIC HEALTH, "STANDARD METHOD FOR THE TESTING AND EVALUATION OF VOLATILE ORGANIC CHEMICAL EMISSIONS FROM INDOOR SOURCES USING ENVIRONMENTAL CHAMBERS," VERSION 1.1, FEBRUARY 2010 (ALSO KNOWN AS SPECIFICATION 01350), CERTIFIED AS A CHPS LOW-EMITTING MATERIAL IN THE COLLABORATIVE FOR HIGH PERFORMANCE SCHOOLS (CHPS) HIGH PERFORMANCE PRODUCTS DATABASE.

- 2. PRODUCTS CERTIFIED UNDER UL GREENGUARD GOLD (FORMERLY THE GREENGUARD CHILDREN & SCHOOLS PROGRAM)**
- 3. CERTIFICATION UNDER THE RESILIENT FLOOR COVERING INSTITUTE (RFCI) FLOORSCORE PROGRAM**
- 4. MEET THE CALIFORNIA DEPARTMENT OF PUBLIC HEALTH, "STANDARD METHOD FOR THE TESTING AND EVALUATION OF VOLATILE ORGANIC CHEMICAL EMISSIONS FROM INDOOR SOURCES USING ENVIRONMENTAL CHAMBERS," VERSION 1.1, FEBRUARY 2010 (ALSO KNOWN AS SPECIFICATION 01350)**
- J. COMPOSITE WOOD PRODUCTS**  
HARDWOOD PLYWOOD, PARTICLEBOARD AND MEDIUM DENSITY FIBERBOARD COMPOSITE WOOD PRODUCTS USED ON THE INTERIOR OR EXTERIOR OF THE BUILDING SHALL MEET THE REQUIREMENTS FOR FORMALDEHYDE AS SPECIFIED IN THE AIR RESOURCES BOARD'S AIR TOXICS CONTROL MEASURE FOR COMPOSITE WOOD (17 CCR 93120 ET. SEQ.), BY OR BEFORE THE DATES SPECIFIED IN THOSE SECTIONS, AS SHOWN IN TABLE 4.504.5.
- K. DOCUMENTATION**  
VERIFICATION OF COMPLIANCE WITH THIS SECTION SHALL BE PROVIDED AS REQUESTED BY THE ENFORCING AGENCY. DOCUMENTATION SHALL INCLUDE AT LEAST ONE OF THE FIVE SPECIFIED METHODS.
- 8. INTERIOR MOISTURE CONTROL**
- A. CONCRETE SLAB FOUNDATIONS**  
CONCRETE SLAB FOUNDATIONS OR CONCRETE SLAB-ON-GROUND FLOORS REQUIRED TO HAVE A VAPOR RETARDER BY THE CALIFORNIA BUILDING CODE, CHAPTER 19, OR THE CALIFORNIA RESIDENTIAL CODE, CHAPTER 5, RESPECTIVELY, SHALL ALSO COMPLY WITH THIS SECTION.
- B. CAPILLARY BREAK**  
A CAPILLARY BREAK SHALL BE INSTALLED IN COMPLIANCE WITH AT LEAST ONE OF THE FOLLOWING:
  1. A 4-INCH THICK BASE OF 1/2-INCH OR LARGER CLEAN AGGREGATE SHALL BE PROVIDED WITH A VAPOR RETARDER IN DIRECT CONTACT WITH CONCRETE AND A CONCRETE MIX DESIGN, WHICH WILL ADDRESS BLEEDING, SHRINKAGE, AND CURING SHALL BE USED. FOR ADDITIONAL INFORMATION, SEE AMERICAN CONCRETE INSTITUTE, ACI 302.2R-06.
  2. OTHER EQUIVALENT METHODS APPROVED BY THE ENFORCING AGENCY.
  3. A SLAB DESIGN SPECIFIED BY A LICENSED DESIGN PROFESSIONAL.

- 9. INDOOR AIR QUALITY AND EXHAUST**
- A. BATHROOM EXHAUST FANS**  
EACH BATHROOM SHALL BE MECHANICALLY VENTILATED AND SHALL COMPLY WITH THE FOLLOWING:
  1. FANS SHALL BE ENERGY STAR COMPLIANT AND BE DUCTED TO TERMINATE OUTSIDE THE BUILDING.
  2. UNLESS FUNCTIONING AS A COMPONENT OF A WHOLE HOUSE VENTILATION SYSTEM, FANS MUST BE CONTROLLED BY A HUMIDITY CONTROL:
    - a. HUMIDITY CONTROLS SHALL BE CAPABLE OF ADJUSTMENT BETWEEN A RELATIVE HUMIDITY RANGE OF 50% TO A MAXIMUM OF 80%. A HUMIDITY CONTROL MAY UTILIZE MANUAL OR AUTOMATIC MEANS OF ADJUSTMENT.
    - b. A HUMIDITY CONTROL MAY BE A SEPARATE COMPONENT TO THE EXHAUST FAN AND IS NOT REQUIRED TO BE INTEGRAL (I.E., BUILT-IN).
- 3. FOR THE PURPOSES OF THIS SECTION, A BATHROOM IS A ROOM WHICH CONTAINS A BATHTUB, SHOWER, OR TUB/SHOWER COMBINATION.
- 4. LIGHTING INTEGRAL TO BATHROOM EXHAUST FANS SHALL COMPLY WITH THE CALIFORNIA ENERGY CODE.

- 10. ENVIRONMENTAL COMFORT**
- A. HEATING AND AIR-CONDITIONING SYSTEM DESIGN**  
HEATING AND AIR-CONDITIONING SYSTEMS SHALL BE SIZED, DESIGNED, AND EQUIPMENT SELECTED USING THE FOLLOWING METHODS:
  1. THE HEAT LOSS AND HEAT GAIN IS ESTABLISHED ACCORDING TO ANSI/ACCA 2 MANUAL J - 2016 (RESIDENTIAL LOAD CALCULATION), ASHRAE HANDBOOKS OR OTHER EQUIVALENT DESIGN SOFTWARE OR METHODS.
  2. DUCT SYSTEMS ARE SIZED ACCORDING TO ANSI/ACCA 1 MANUAL D - 2016 (RESIDENTIAL DUCT SYSTEMS), ASHRAE HANDBOOKS OR OTHER EQUIVALENT DESIGN SOFTWARE OR METHODS.
  3. SELECT HEATING AND COOLING EQUIPMENT ACCORDING TO ANSI/ACCA 5 - 2014 (RESIDENTIAL EQUIPMENT SELECTION) OR OTHER EQUIVALENT DESIGN SOFTWARE OR METHODS.
- EXCEPTION: USE OF ALTERNATE DESIGN TEMPERATURES NECESSARY TO ENSURE THE SYSTEMS FUNCTIONS ARE ACCEPTABLE.
- 11. INSTALLER AND SPECIAL INSPECTOR QUALIFICATION**
- A. INSTALLER TRAINING**  
HVAC SYSTEM INSTALLERS SHALL BE TRAINED AND CERTIFIED IN THE PROPER INSTALLATION OF HVAC SYSTEMS INCLUDING DUCTS AND EQUIPMENT BY A NATIONALLY OR REGIONALLY RECOGNIZED TRAINING OR CERTIFICATION PROGRAM.
- B. SPECIAL**  
SPECIAL INSPECTORS MUST BE QUALIFIED AND ABLE TO DEMONSTRATE COMPETENCE TO THE ENFORCING AGENCY IN THE DISCIPLINE IN WHICH THEY ARE INSPECTING.
- C. DOCUMENTATION**  
DOCUMENTATION OF COMPLIANCE SHALL INCLUDE, BUT IS NOT LIMITED TO, CONSTRUCTION DOCUMENTS, PLANS, SPECIFICATIONS, BUILDER OR INSTALLER CERTIFICATION, INSPECTION REPORTS, OR OTHER METHODS ACCEPTABLE TO THE LOCAL ENFORCING AGENCY. OTHER SPECIFIC DOCUMENTATION OR SPECIAL INSPECTIONS NECESSARY TO VERIFY COMPLIANCE ARE SPECIFIED IN APPROPRIATE SECTIONS OF CALGREEN.

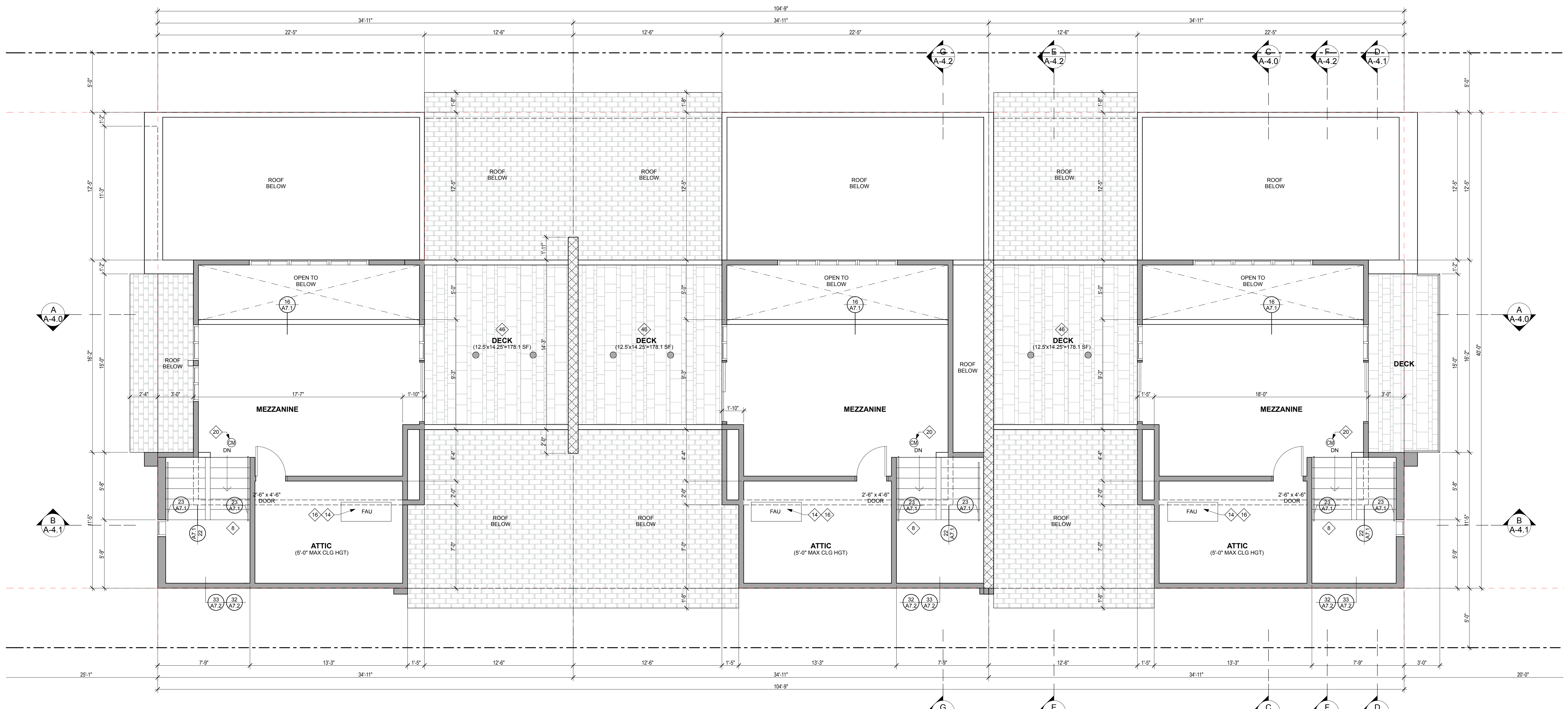
architecture  
 627 Avillion Way  
 Manhattan Beach, CA 90266  
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- Revisions:**
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**15th Street CONDOMINIUMS**  
 1421 15th Street, Manhattan Beach, CA, 90266

Mezzanine Plan  
 Date: 1/11/21  
 Name of File: 1421\_15th

**A-2.2**



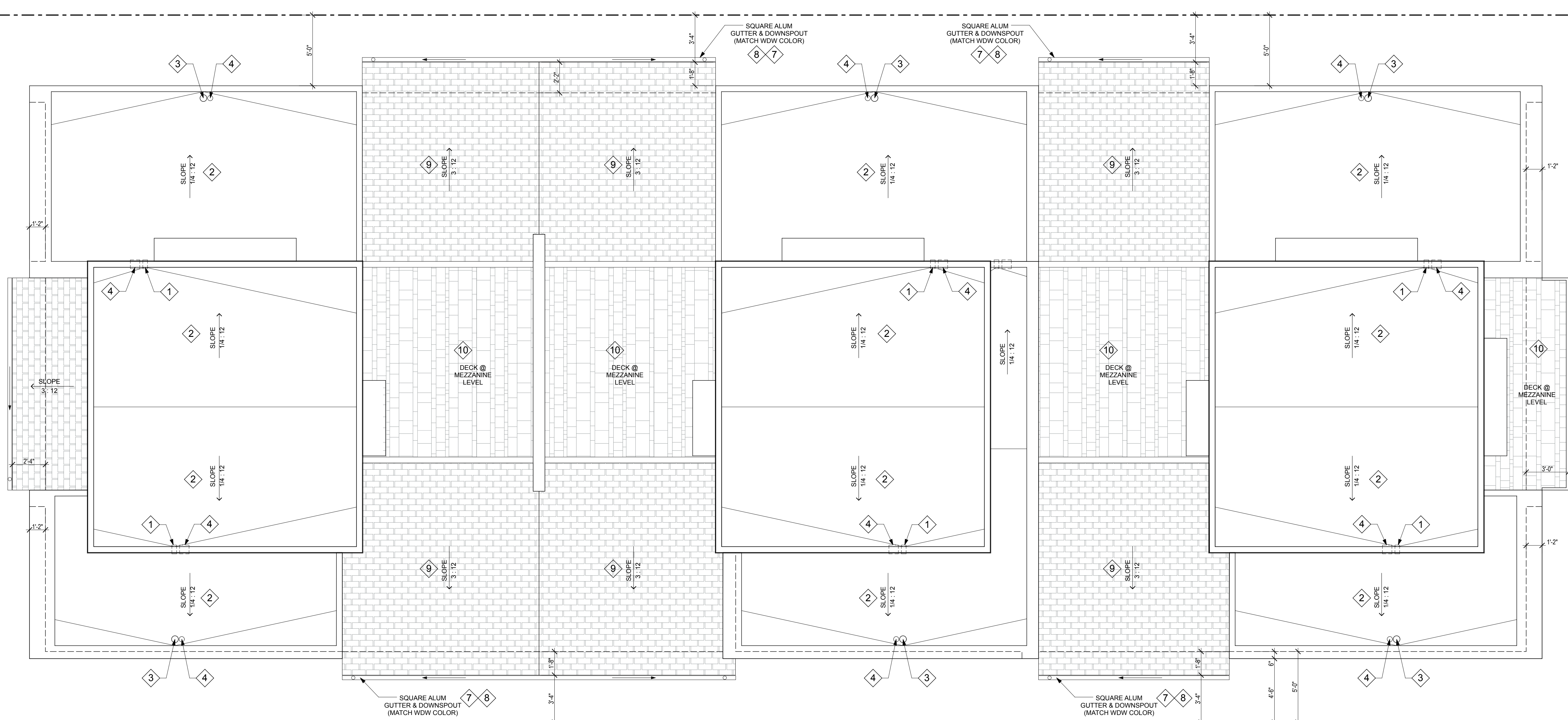
**MEZZANINE FLOOR PLAN**  
 SCALE: 1/4" = 1'-0"



**ROOF PLAN KEYNOTES:**

1. **ROOF SCUPPER**  
SEE DETAIL: 25 / A-7.1
2. **ROOF FINISH**  
MANUF: CROSSFIELD PRODUCTS CORP  
PRODUCT: DEX-O-TEX ROOF WATERPROOFING MEMBRANE  
ICC#: ESR 1757  
SLOPE: 1/4" FT. MIN.  
CLASS: A  
INSTALL PER MANUF SPECS  
USE THIS PRODUCT OR APPROVED EQUAL  
PER SECT. 1402, C.B.C.
3. **ROOF DRAINS**  
MANUF: THUNDERBIRD  
MODEL: 3" DIA. COPPER DECK DRAIN WITH STRAINER  
PROVIDE DRAIN LINE TO DRAINAGE SYSTEM  
INSTALL PER MANUF SPECS  
USE THIS PRODUCT OR APPROVED EQUAL  
SEE DETAIL: 29 / A-7.1
4. **OVERFLOW SCUPPER / DRAIN**  
PROVIDE SEPARATE DRAIN LINE  
OUTLET SHALL BE LOCATED 2' ABOVE LOW POINT OF ROOF  
OVERFLOW SCUPPER TO BE 3X DRAIN SIZE  
INSTALL PER MANUF. SPECS  
SEE DETAIL: 29 / A-7.1
5. **ROOF FLASHING**  
PROVIDE COPPER SHEET METAL FLASHING  
AT ALL ROOF PENETRATIONS / VALLEY / CRUICKET
6. **CHIMNEY TERMINATION CAP**  
GALV SHEET METAL OR METAL MESH  
WITH APPROVED SPARK ARRESTOR  
MANUF: MARCO  
ICCB#: 2518  
USE THIS PRODUCT OR AN APPROVED EQUAL  
INSTALL PER MANUFACTURERS INSTRUCTIONS  
DECORATIVE CHIMNEY CAP MUST BE LISTED ASSEMBLY  
CHIMNEY SHALL EXTEND 2 FT ABOVE ADJACENT ROOF  
WITHIN 10 FT DISTANCE  
PER SECTION 2113.3, C.B.C.
7. **ROOF GUTTER**  
SQUARE ALUMINUM ROOF GUTTER SLOPE TO  
DOWNSPOUT LOCATION @ 1/8" IN 2'
8. **3" DIAM. DOWNSPOUT**  
ALUMINUM DOWNSPOUT - DRAIN TO STREET VIA APPROVED  
NON-EROSIVE DEVICE  
SEPARATE PIPE REQUIRED FOR OVERFLOW.
9. **ROOF FINISH: ASPHALT ROOFING SHINGLES**  
MANUF: MANYVILLE  
MODEL: THREE-TAB APPROVED SELF SEALING OR HAND SEALED SHINGLES.  
COLOR: PER ARCHITECT  
CLASS: A  
PROVIDE 2 LAYERS 15# FELT LAID WITH 1" OVERLAP  
PER SECT. 1507.2.8.
10. **DECK WATERPROOFING**  
MANUF: CROSSFIELD PRODUCTS CORP  
PRODUCT: DEX-O-TEX ROOF WATERPROOFING  
MEMBRANE  
ICC#: ESR 1757  
SLOPE: 1/4" FT. MIN.  
CLASS: A  
INSTALL PER MANUF SPECS  
USE THIS PRODUCT OR APPROVED EQUAL  
PER SECT. 1402, C.B.C.
11. **DECK DRAINS**  
MANUF: THUNDERBIRD  
MODEL: 3" DIA. COPPER DECK DRAIN  
WITH STRAINER  
PROVIDE DRAIN LINE TO DRAINAGE SYSTEM  
INSTALL PER MANUF SPECS  
USE THIS PRODUCT OR APPROVED EQUAL  
SEE DETAIL: 29 / A-7.1
12. **ATTIC VENTILATION**  
ALL ENCLOSED RAFTER SPACES AND ATTICS SHALL BE UNVENTED  
PER CBC SECTION 1203.3 ITEMS 1 THROUGH 5 AND SUB-ITEM 5.1.2  
INSULATION SHALL BE APPLIED DIRECTLY BELOW THE STRUCTURAL SHGTG  
WITH NO VAPOR RETARDING MEMBRANE.  
PROVIDE FOAMULAR 1/2" XPS INSULATION  
EXTRUDED POLYSTYRENE RIGID INSULATION, MIN. R-5  
PER TABLE R06.5 ABOVE STRUCTURAL ROOF SHGTG.  
MEETS ASTM C578 TYPE X  
ABOVE THE ROOF SHGTG. SEE DETAILS AT SHEET A-7.1  
PER C.B.C. SECTION 1203.3  
  - UL CLASSIFICATION CERTIFICATE U-19712
  - CODE EVALUATION REPORT UL ER 8811-0112
  - ASTM E 119 FIRE RESISTANCE RATED WALL ASSEMBLY 12
  - MEETS CALIFORNIA QUALITY STANDARDS; HUD UM #71a
  - COMPLIANCE VERIFICATION BY REDCO (AA-650)
13. ALL SITE DRAINAGE SHALL BE TERMINATED AT PUBLIC WAY VIA NON EROSIIVE DEVICE.
14. ROOF DRAINS PASSING THROUGH THE ROOF INTO THE INTERIOR OF A BUILD'G SHALL BE MADE WATER TIGHT AT THE ROOF LINE BY THE USE OF SUITABLE FLASH MATERIAL.
15. ROOF DRAINAGE WATER SHALL NOT BE ALLOWED TO FLOW OVER PUBLIC PROPERTY, BUT SHALL BE CARRIED, IN A DRAIN PIPE OR OTHER APPROVED TRANSPORT, UNDER THE PUBLIC SIDEWALK OR WALKING SURFACE TO THE GUTTER UNLESS ONE ONE OF THE FOLLOWING CONDITIONS EXISTS AND IS MAINTAINED.
16. ROOF DRAINAGE WATER IS TO BE DEPOSITED AT A POINT OR POINTS ON THE SITE WHERE THE DRAINAGE SWALE IS TO A NATURAL DRAINAGE CHANNEL THAT DOES NOT FLOW OVER PUBLIC PROPERTY.
17. ALL CONCENTRATED DRAINAGE, INCLUDING ROOF WATER SHALL BE CONDUCTED VIA GRAVITY TO THE STREET OR AN APPROVED LOCATION AT A 2% MINIMUM.
18. VALLEY FLASHING SHALL BE NOT LESS THAN 0.019-INCH (0.48 mm) NO. 26 GALVANIZED SHEET GAGE) CORROSION RESISTANT METAL INSTALLED OVER A MINIMUM 3/8-INCH WIDE (9.4 mm) UNDERLAYMENT CONSISTING OF ONE LAYER OF NO. 72 ASTM G40 SHEET RUNNING THE FULL LENGTH OF THE VALLEY
19. ROOF GUTTERS SHALL BE PROVIDED WITH THE MEANS TO PREVENT THE ACCUMULATION OF LEAVES AND DEBRIS IN THE GUTTER.
20. (ROOF) (ATTIC) (EXTERIOR WALL) SHALL RESIST THE INTRUSION OF FLAME EMBERS INTO THE ATTIC AREA OF THE STRUCTURE, OR SHALL BE PROTECTED BY CORROSION RESISTANT, NONCOMBUSTIBLE WIRE MESH WITH 1/4-INCH (6 mm) OPENINGS OR EQUIVALENT. VENTS SHALL NOT BE INSTALLED IN EAVES AND CORNICES.
21. EAVES AND SOFFITS SHALL MEET THE REQUIREMENTS OF SFM-7A-3 OR SHALL BE PROTECTED BY IGNITION RESISTANT MATERIALS OR NON-COMBUSTIBLE CONSTRUCTION ON THE EXPOSED UNDERSIDE.
22. ROOF / PROJECTION LOCATED WITHIN 5 FEET OF PROPERTY LINE SHALL BE 1 HOUR FIRE RATED SECTION 705.2.3.
23. PARAPETS, SATELITE ANTENNA, RAILS, SKYLIGHTS, ROOF EQUIP. MUST BE WITH THE HEIGHT LIMIT.
24. **RADIANT BARRIER**  
PER TITLE 24 ENERGY REQUIREMENTS, PROVIDE RADIANT BARRIER AT UNDERSIDE OF ROOF SHGTG IN ALL ATTIC AREAS

- Revisions:**
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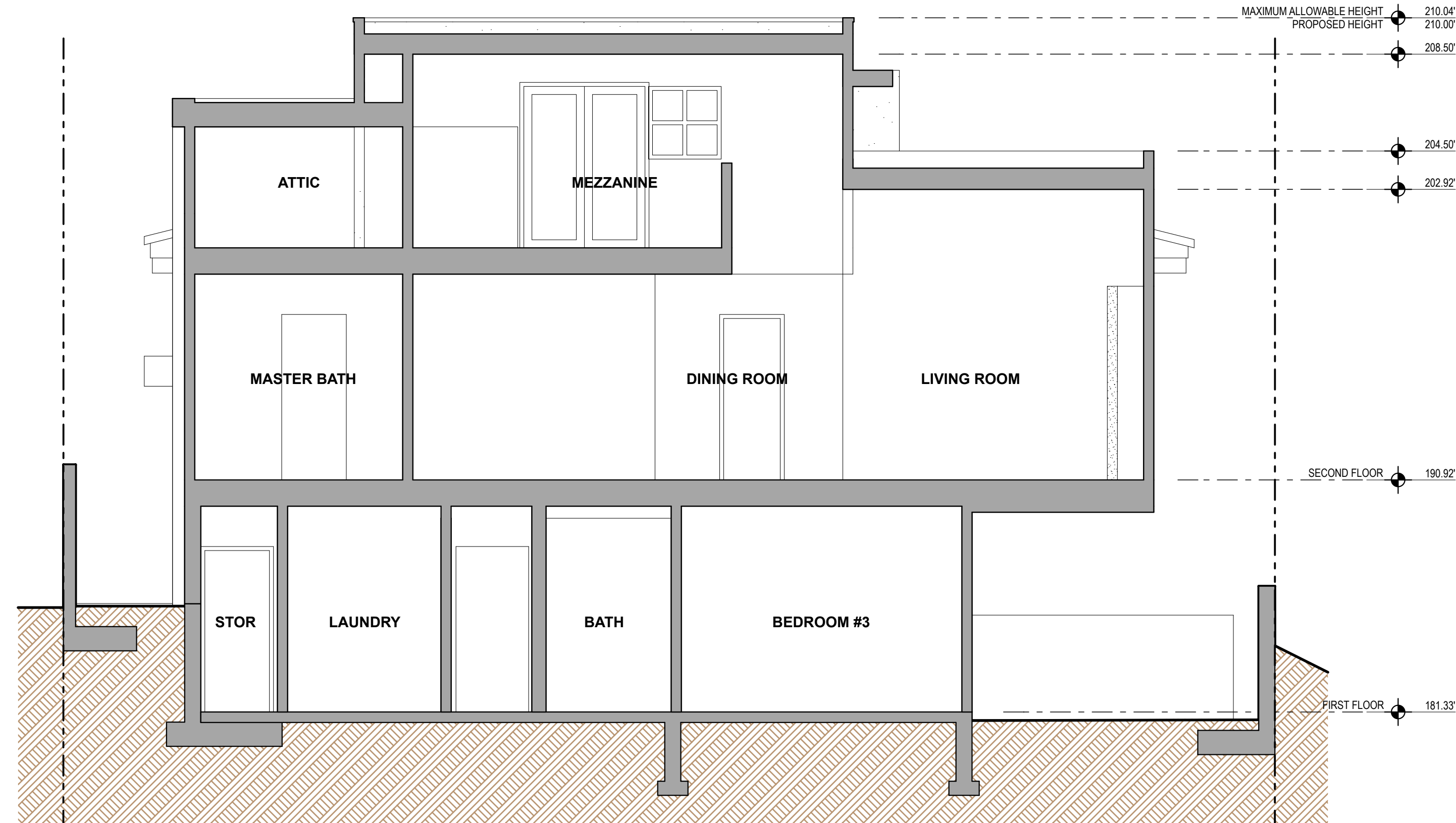
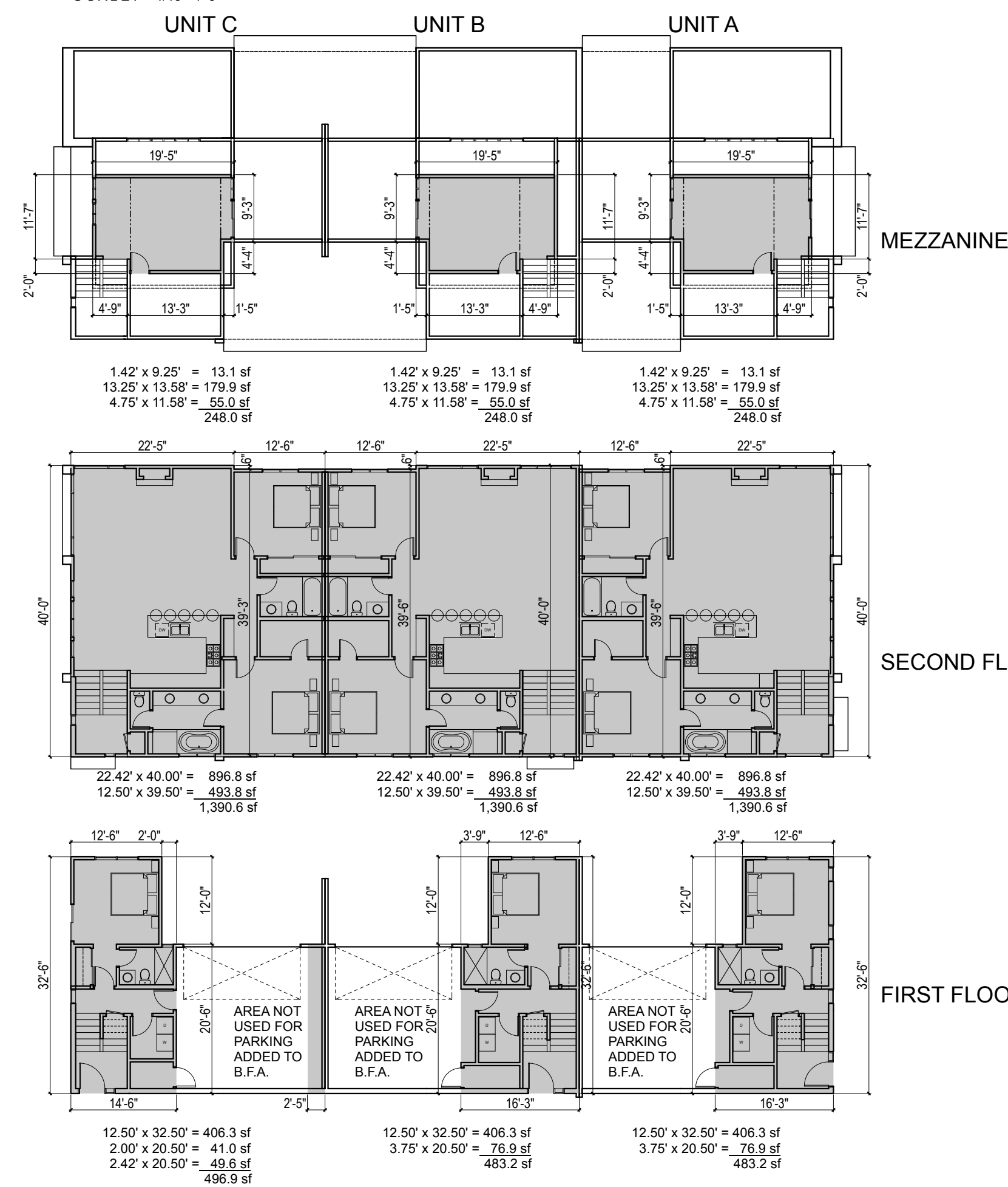


**ROOF PLAN**  
 SCALE: 1/4" = 1'-0"



**BFA DIAGRAM**

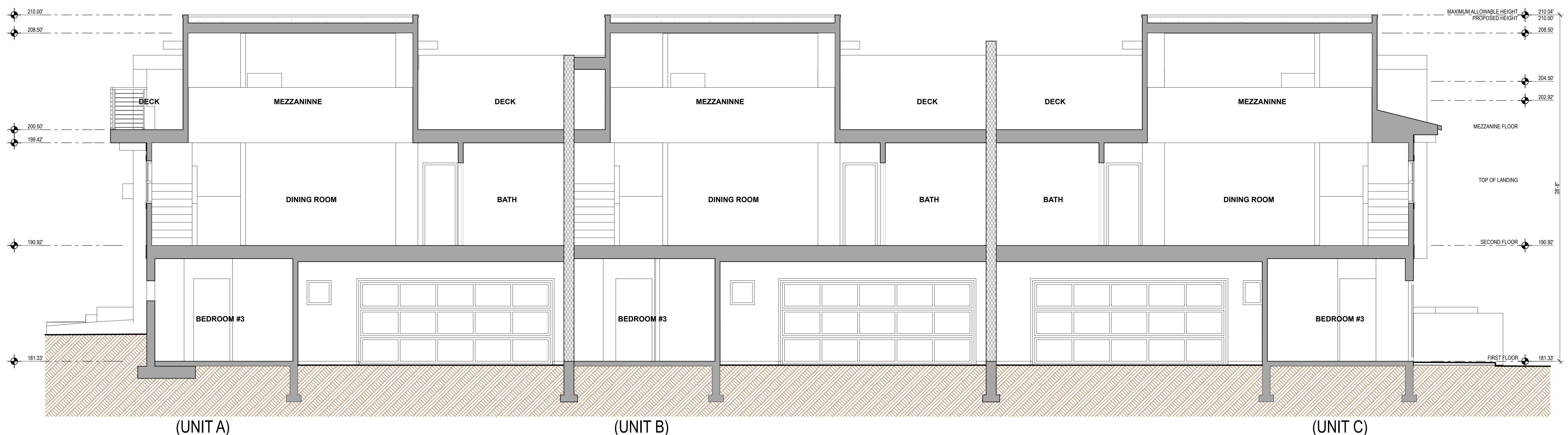
SCALE: 1/16"=1'-0"



- INSULATION REQUIREMENTS**  
FOIL-BACKED BATT INSULATION  
INSTALL PER MANUF. SPECS  
PROVIDE: ROOF / CEILING R-30 PER CF-1R FORM  
EXTERIOR WALL R-15  
INTERIOR WALL R-13  
(WHERE SPECIFIED)  
RAISED WD FLOOR R-19 PER CF-1R FORM  
FLR @ OVERHANGS R-19 PER CF-1R FORM  
SLAB EDGE INSUL. N/A  
REFER TO CF-1R FORMS, SEE SHEET T-6
- WATERPROOFING @ FOUNDATION WALL**  
MANUF: DMX PLASTICS LTD  
PRODUCT: DMX AG WATER PROOFING SYSTEM  
ICCF: ESR 2896  
PROVIDE 4" DIA. PERFORATED PIPE DRAIN IN FILTER FABRIC WRAP SET IN GRAVEL BED  
OUTLET DRAIN @ STREET THROUGH APPROVED NON-EROSIVE DEVICE. SEE CIVIL DRWGS.  
INSTALL PER MANUF. SPECS.  
USE THIS PRODUCT OR APPROVED EQUAL.
- ONE-HOUR FIRE RESISTIVE WALL**  
5/8" TYPE "X" GYP. WALL BOARD  
AT ALL WALLS AND CEILING BETWEEN GARAGE AND ALL ADJACENT LIVING SPACES, AND ENCLOSING ALL STRUCTURAL MEMBERS  
PER SECT. 302.4, C.B.C.
- HANDRAIL**  
TOP OF RAIL @ 34" TO 38" ABOVE TREAD  
NOSING ONE RAIL TO EXTEND 6" BEYOND TOP AND BOTTOM RISER, AND SHALL TERMINATE IN A NEWEL POST OR WALL  
HANDGRIP CROSS-SECTIONAL AREA OF TOP RAIL: 1 1/2" MIN TO 2" MAX  
MIN 1 1/2" CLEAR BETWEEN RAIL AND WALL @ OPEN RAIL. SEE GUARDRAIL NOTE  
PER SECT. 1006, C.B.C.
- GUARDRAIL (42" HIGH U.N.O.)**  
TOP RAIL SHALL SUPPORT 20 LBS. PER LIN. FT.  
PER SECT. 705, C.B.C.  
SEE HAND RAIL NOTE FOR TOP RAIL  
OPEN RAIL SHALL HAVE INTERMEDIATE RAILS, SO THAT A 4" DIA. SPHERE CANNOT PASS THRU.  
PER SECT. 509.1, C.B.C.
- ROOF FINISH: ASPHALT ROOFING SHINGLES**  
MANUF: MANVILLE  
MODEL: THREE-TAB APPROVED SELF SEALING OR HAND SEALED SHINGLES.  
COLOR: PER ARCHITECT  
CLASS: A  
PROVIDE 2-LAYERS 15# FELT LAID WITH 19" OVERLAP  
PER SECT. 1507.2.6.
- CHIMNEY**  
TOP OF CHIMNEY MUST EXTEND A MINIMUM OF 2' ABOVE ANY PART OF THE BUILDING WITHIN 10'. CHIMNEY MAY EXCEED THE MAX PERMITTED BUILDING HEIGHT BY NO MORE THAN 5' PROVIDED THE WIDTH AND DEPTH DO NOT EXCEED 3' AND 5' RESPECTIVELY.
- PROPOSED NEW ROOF FINISH**  
MANUF: CROSSFIELD PRODUCTS CORP.  
PRODUCT: DEX-O-TEX ROOF WATERPROOFING MEMBRANE  
ICCF: ESR 1757  
SLOPE: 1/4" FT. MIN.  
CLASS: A  
INSTALL PER MANUF. SPECS  
USE THIS PRODUCT OR APPROVED EQUAL  
PER SECT. 1402, C.B.C.
- PROPOSED NEW DECK FINISH**  
MANUF: CROSSFIELD PRODUCTS CORP.  
PRODUCT: TILE OR STONE OVER THINSET MORTAR OVER DEX-O-TEX DECK WATERPROOFING MEMBRANE  
ICCF: ESR 1757  
SLOPE: 1/4" FT. MIN.  
CLASS: A  
INSTALL PER MANUF. SPECS  
USE THIS PRODUCT OR APPROVED EQUAL  
PER SECT. 1402, C.B.C.

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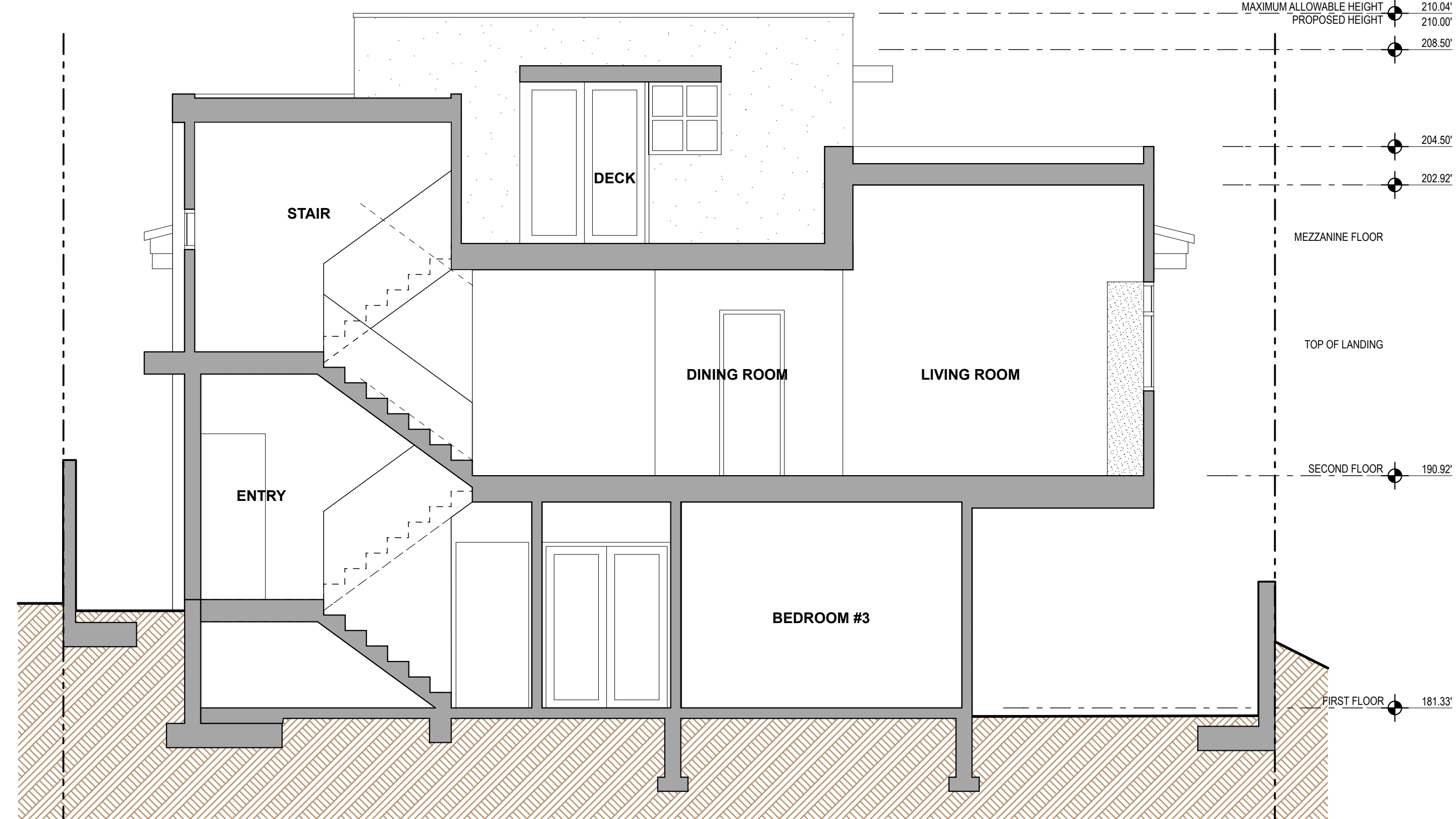
**15th Street CONDOMINIUMS**  
1421 15th Street, Manhattan Beach, CA, 90266

**Sections**

Date: 1/11/21  
Name of File: 1421\_15th

**A-4.0**





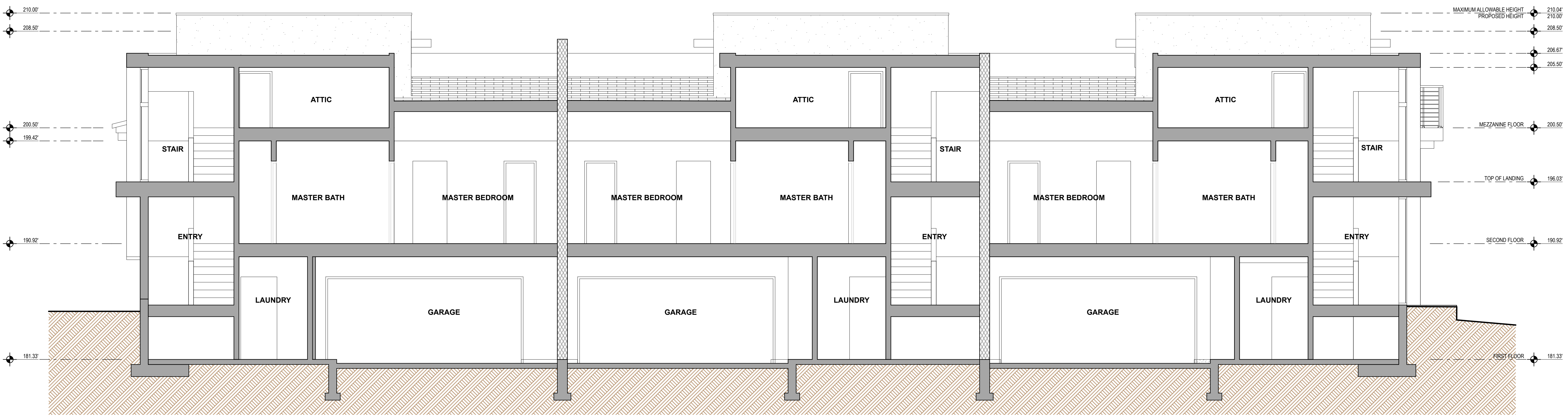
**SECTION D** (UNIT A)  
SCALE: 1/4" = 1'-0"

1. **INSULATION REQUIREMENTS**  
FOIL-BACKED BATT INSULATION  
INSTALL PER MANUF. SPECS  
PROVIDE: ROOF / CEILING R-30 PER CF-1R FORM  
EXTERIOR WALL R-15  
INTERIOR WALL R-13  
(WHERE SPECIFIED)  
RAISED WD FLOOR R-19 PER CF-1R FORM  
FLR @ OVERHANGS R-19 PER CF-1R FORM  
SLAB EDGE INSUL. N/A  
REFER TO CF-1R FORMS, SEE SHEET T-6
2. **WATERPROOFING @ FOUNDATION WALL**  
MANUF: DMX PLASTICS LTD  
PRODUCT: DMX AG WATER PROOFING SYSTEM  
ICCF: ESR 2896  
PROVIDE 4" DIA. PERFORATED PIPE DRAIN IN FILTER FABRIC WRAP SET IN GRAVEL BED  
OUTLET DRAIN @ STREET THROUGH APPROVED NON-EROSIVE DEVICE. SEE CIVIL DRWGS.  
INSTALL PER MANUF. SPECS.  
USE THIS PRODUCT OR APPROVED EQUAL.
3. **ONE-HOUR FIRE RESISTIVE WALL**  
5/8" TYPE "X" GYP. WALL BOARD  
AT ALL WALLS AND CEILING BETWEEN GARAGE AND ALL ADJACENT LIVING SPACES, AND ENCLOSING ALL STRUCTURAL MEMBERS  
PER SECT. 302.4, C.B.C.
4. **HANDRAIL**  
TOP OF RAIL @ 34" TO 38" ABOVE TREAD  
NOSING ONE RAIL TO EXTEND 6" BEYOND TOP AND BOTTOM RISER, AND SHALL TERMINATE IN A NEWEL POST OR WALL.  
HANDGRIP CROSS-SECTIONAL AREA OF TOP RAIL: 1 1/2" MIN TO 2" MAX  
MIN 1 1/2" CLEAR BETWEEN RAIL AND WALL @ OPEN RAIL. SEE GUARDRAIL NOTE  
PER SECT. 1006, C.B.C.
5. **GUARDRAIL (42" HIGH U.N.O.)**  
TOP RAIL SHALL SUPPORT 20 LBS. PER LIN. FT. PER SECT. 705, C.B.C.  
SEE HAND RAIL NOTE FOR TOP RAIL  
OPEN RAIL SHALL HAVE INTERMEDIATE RAILS, SO THAT A 4" DIA. SPHERE CANNOT PASS THRU.  
PER SECT. 509.1, C.B.C.
6. **ROOF FINISH: ASPHALT ROOFING SHINGLES**  
MANUF: MANVILLE  
MODEL: THREE-TAB APPROVED SELF SEALING OR HAND SEALED SHINGLES.  
COLOR: PER ARCHITECT  
CLASS: A  
PROVIDE 2-LAYERS 15# FELT LAID WITH 19" OVERLAP  
PER SECT. 1507.2.6.
7. **CHIMNEY**  
TOP OF CHIMNEY MUST EXTEND A MINIMUM OF 2' ABOVE ANY PART OF THE BUILDING WITHIN 10'. CHIMNEY MAY EXCEED THE MAX PERMITTED BUILDING HEIGHT BY NO MORE THAN 5' PROVIDED THE WIDTH AND DEPTH DO NOT EXCEED 3' AND 5' RESPECTIVELY.
8. **PROPOSED NEW ROOF FINISH**  
MANUF: CROSSFIELD PRODUCTS CORP.  
PRODUCT: DEX-O-TEX ROOF WATERPROOFING MEMBRANE  
ICCF: ESR 1757  
SLOPE: 1/4" FT. MIN.  
CLASS: A  
INSTALL PER MANUF. SPECS  
USE THIS PRODUCT OR APPROVED EQUAL  
PER SECT. 1402, C.B.C.
9. **PROPOSED NEW DECK FINISH**  
MANUF: CROSSFIELD PRODUCTS CORP.  
PRODUCT: TILE OR STONE OVER THINSET MORTAR OVER DEX-O-TEX DECK WATERPROOFING MEMBRANE  
ICCF: ESR 1757  
SLOPE: 1/4" FT. MIN.  
CLASS: A  
INSTALL PER MANUF. SPECS  
USE THIS PRODUCT OR APPROVED EQUAL  
PER SECT. 1402, C.B.C.

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**SECTION B**  
SCALE: 1/4" = 1'-0"

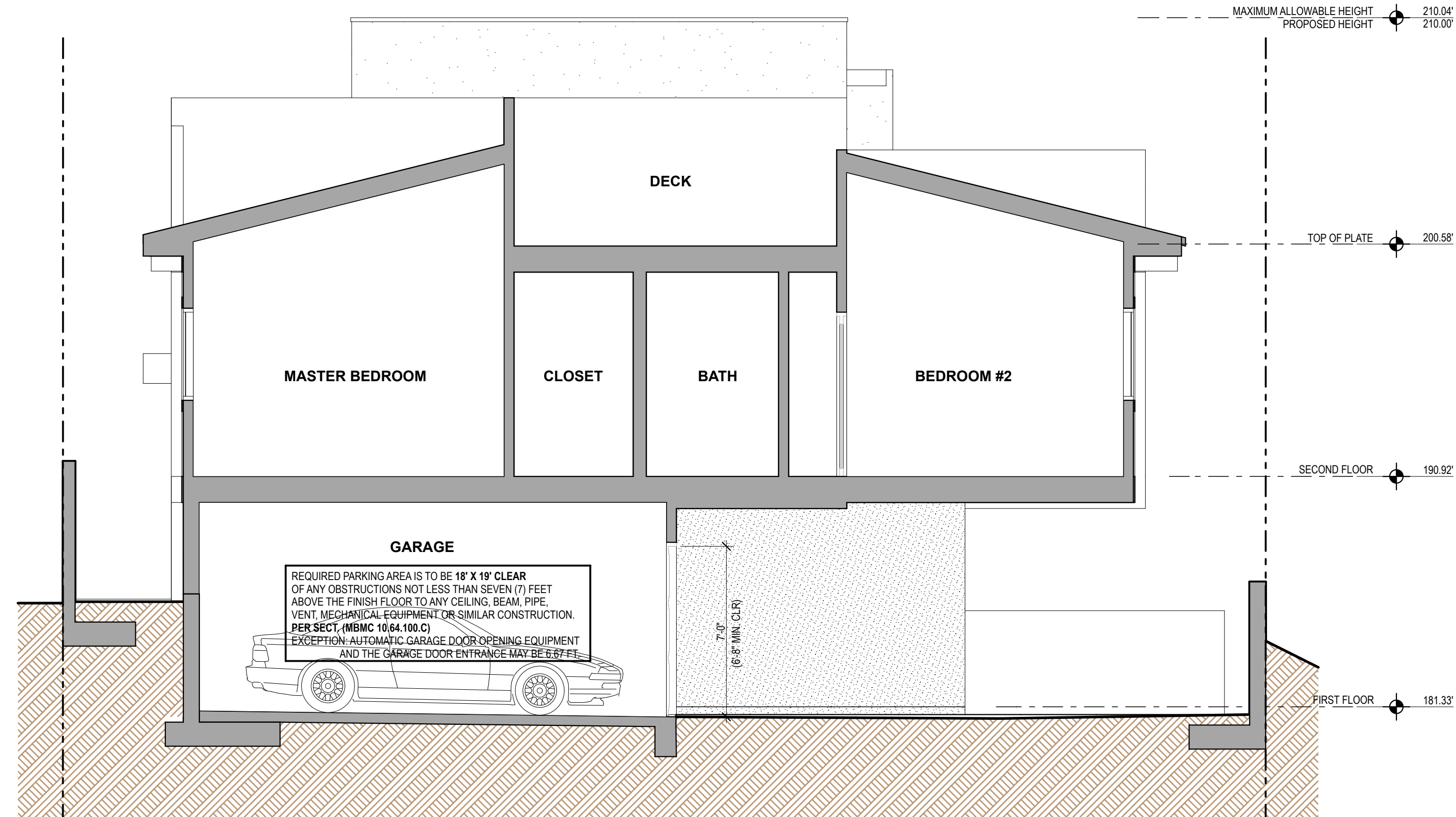
**15th Street CONDOMINIUMS**  
 1421 15th Street, Manhattan Beach, CA, 90266

**Sections**

Date: 1/11/21  
Name of File: 1421\_15th

**A-4.1**

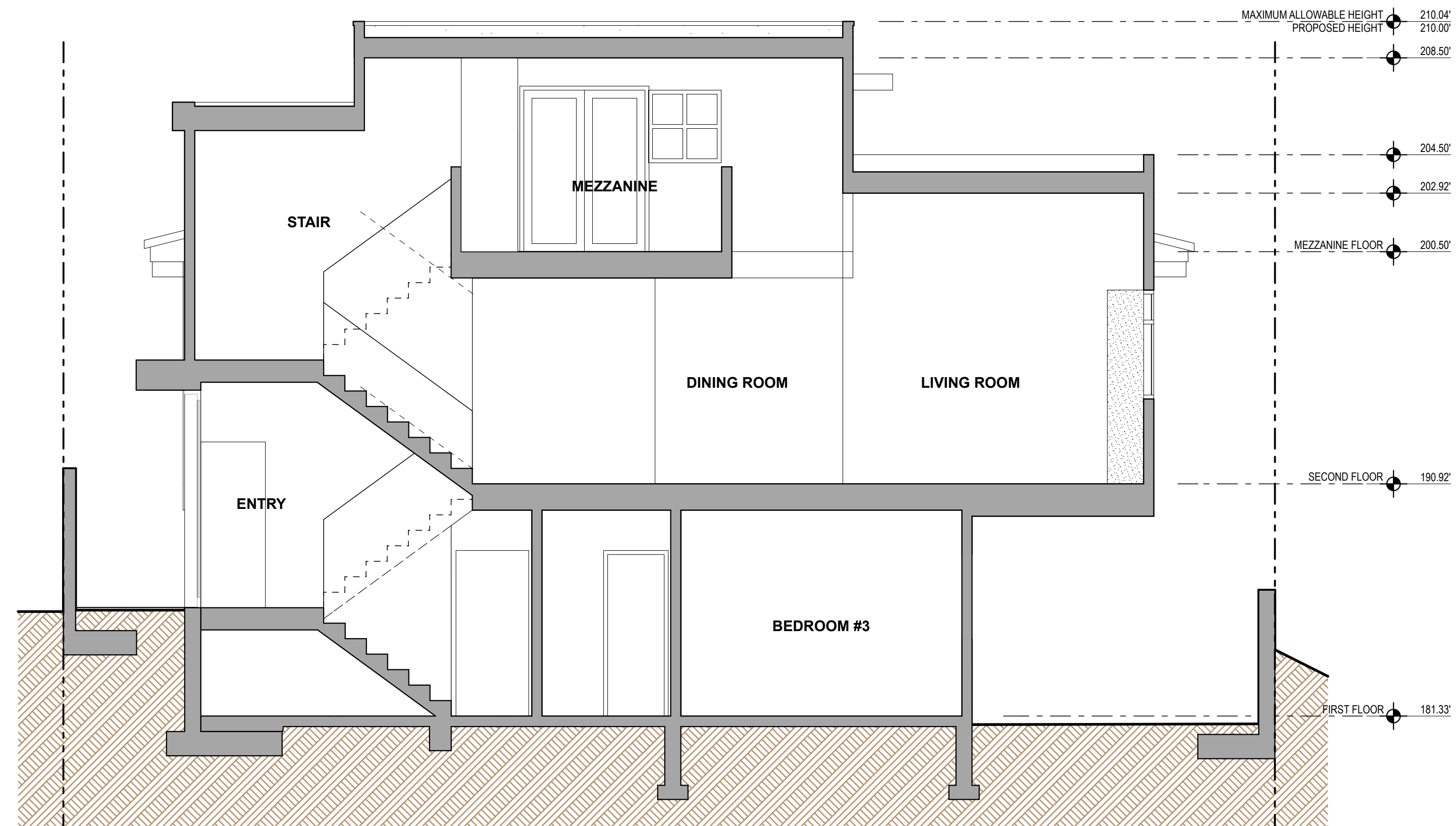
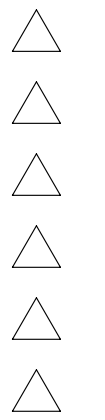




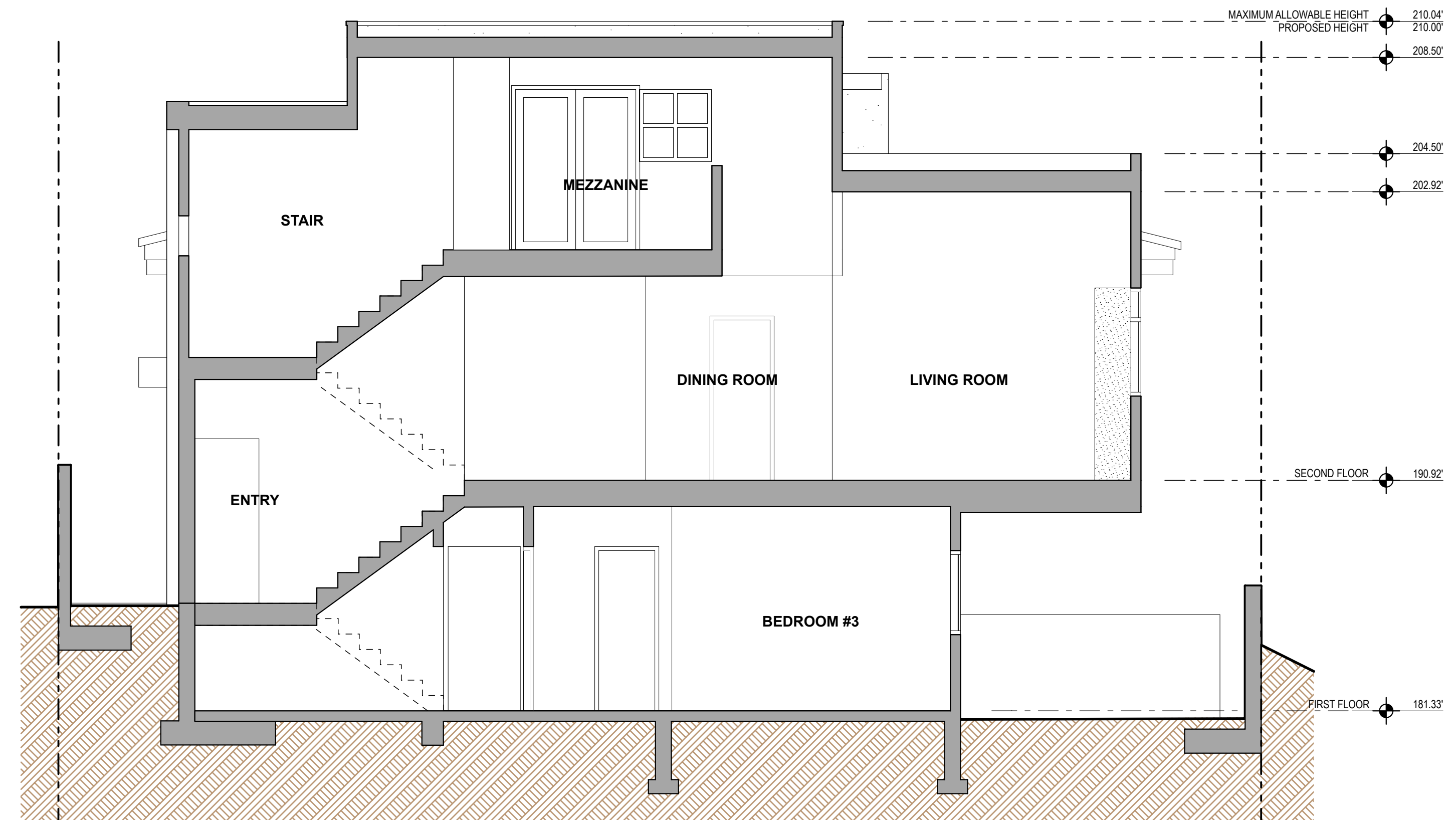
**SECTION E** (UNIT A)  
SCALE: 1/4" = 1'-0"

1. **INSULATION REQUIREMENTS**  
FOIL-BACKED BATT INSULATION  
INSTALL PER MANUF. SPECS  
PROVIDE: ROOF / CEILING R-30 PER CF-1R FORM  
EXTERIOR WALL R-15  
INTERIOR WALL R-13  
(WHERE SPECIFIED)  
RAISED WD FLOOR R-19 PER CF-1R FORM  
FLR @ OVERHANGS R-19 PER CF-1R FORM  
SLAB EDGE INSUL. N/A  
REFER TO CF-1R FORMS, SEE SHEET T-6
2. **WATERPROOFING @ FOUNDATION WALL**  
MANUF: DMX PLASTICS LTD  
PRODUCT: DMX AG WATER PROOFING SYSTEM  
ICC#: ESR 2896  
PROVIDE 4" DIA. PERFORATED PIPE DRAIN IN FILTER FABRIC WRAP SET IN GRAVEL BED. OUTLET DRAIN @ STREET THROUGH APPROVED NON-EROSIVE DEVICE. SEE CIVIL DRWGS. INSTALL PER MANUF SPECS. USE THIS PRODUCT OR APPROVED EQUAL.
3. **ONE-HOUR FIRE RESISTIVE WALL**  
5/8" TYPE "X" GIP WALL BOARD  
AT ALL WALLS AND CEILING BETWEEN GARAGE AND ALL ADJACENT LIVING SPACES, AND ENCLOSED ALL STRUCTURAL MEMBERS  
PER SECT. 302.4, C.B.C
4. **HANDRAIL**  
TOP OF RAIL @ 34" TO 38" ABOVE TREAD  
NOSING ONE RAIL TO EXTEND 6" BEYOND TOP AND BOTTOM RISER, AND SHALL TERMINATE IN A NEWEL POST OR WALL.  
HANDGRIP CROSS-SECTIONAL AREA OF TOP RAIL: 1 1/2" MIN TO 2" MAX  
MIN 1 1/2" CLEAR BETWEEN RAIL AND WALL @ OPEN RAIL. SEE GUARDRAIL NOTE  
PER SECT. 1006, C.B.C.
5. **GUARDRAIL (42" HIGH U.N.O.)**  
TOP RAIL SHALL SUPPORT 20 LBS. PER LIN. FT. PER SECT. 705, C.B.C.  
SEE HAND RAIL NOTE FOR TOP RAIL  
OPEN RAIL SHALL HAVE INTERMEDIATE RAILS, SO THAT A 4" DIA. SPHERE CANNOT PASS THRU.  
PER SECT. 509.1, C.B.C.
6. **ROOF FINISH: ASPHALT ROOFING SHINGLES**  
MANUF: MANVILLE  
MODEL: THREE-TAB APPROVED SELF SEALING OR HAND SEALED SHINGLES.  
COLOR: PER ARCHITECT  
CLASS:  
PROVIDE 2-LAYERS 15# FELT LAID WITH 19" OVERLAP  
PER SECT. 1507.2.8.
7. **CHIMNEY**  
TOP OF CHIMNEY MUST EXTEND A MINIMUM OF 2' ABOVE ANY PART OF THE BUILDING WITHIN 10'. CHIMNEY MAY EXCEED THE MAX PERMITTED BUILDING HEIGHT BY NO MORE THAN 5' PROVIDED THE WIDTH AND DEPTH DO NOT EXCEED 3' AND 5' RESPECTIVELY.
8. **PROPOSED NEW ROOF FINISH**  
MANUF: CROSSFIELD PRODUCTS CORP.  
PRODUCT: DEX-O-TEX ROOF WATERPROOFING MEMBRANE  
ESR: 1757  
ICC#: ESR 1757  
SLOPE: 1/4" FT. MIN.  
CLASS:  
INSTALL PER MANUF SPECS  
USE THIS PRODUCT OR APPROVED EQUAL  
PER SECT. 1402, C.B.C
9. **PROPOSED NEW DECK FINISH**  
MANUF: CROSSFIELD PRODUCTS CORP.  
PRODUCT: TILE OR STONE OVER THINSET MORTAR OVER DEX-O-TEX DECK WATERPROOFING MEMBRANE  
ESR: 1757  
ICC#: ESR 1757  
SLOPE: 1/4" FT. MIN.  
CLASS: A  
INSTALL PER MANUF SPECS  
USE THIS PRODUCT OR APPROVED EQUAL  
PER SECT. 1402, C.B.C

Revisions:



**SECTION G** (UNIT B)  
SCALE: 1/4" = 1'-0"



**SECTION F** (UNIT A)  
SCALE: 1/4" = 1'-0"

**15th Street CONDOMINIUMS**  
1421 15th Street, Manhattan Beach, CA, 90266

Sections

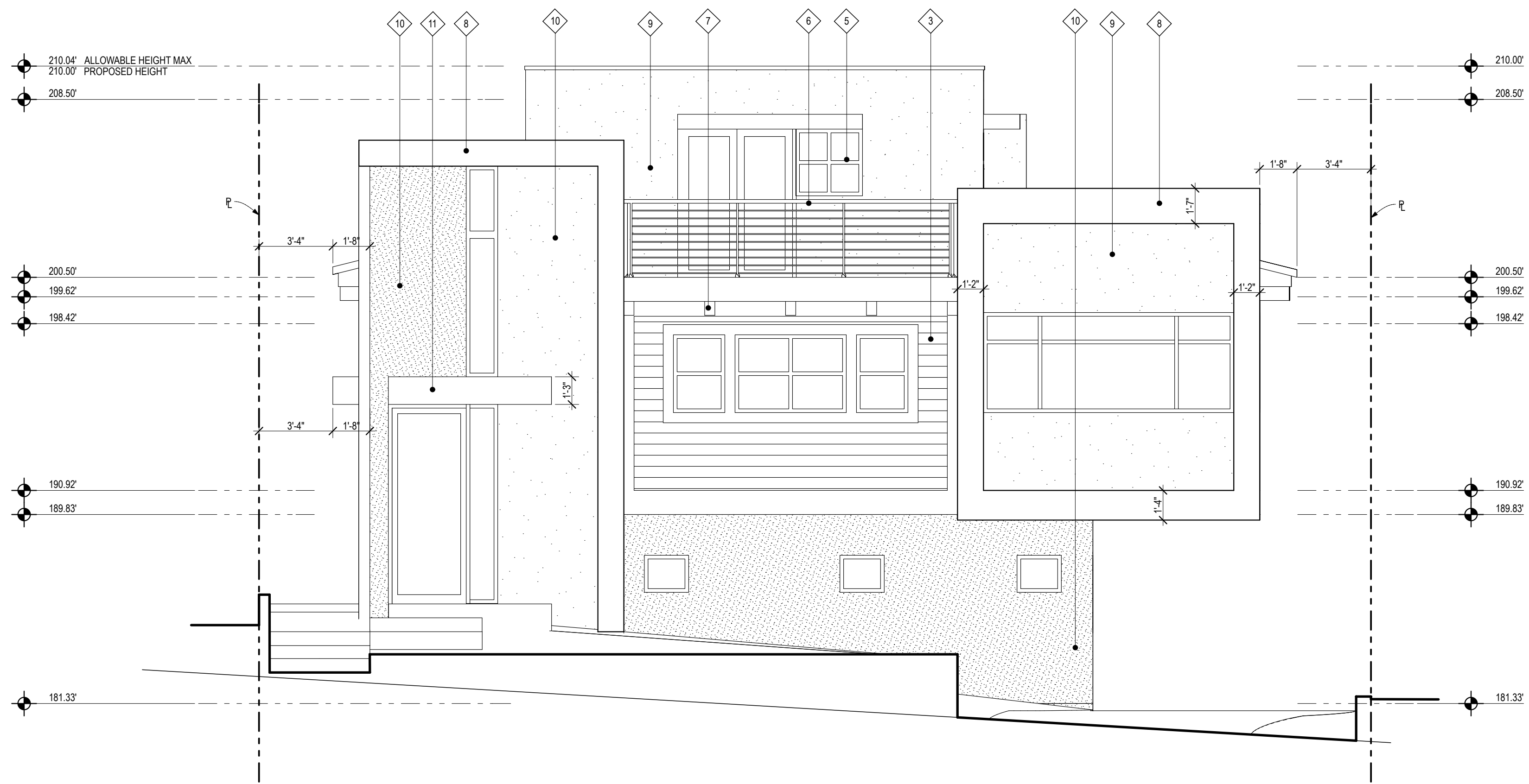
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**A-4.2**

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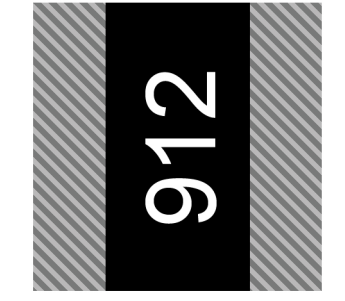


**SOUTH (FRONT) ELEVATION**

SCALE: 1/4" = 1'-0"

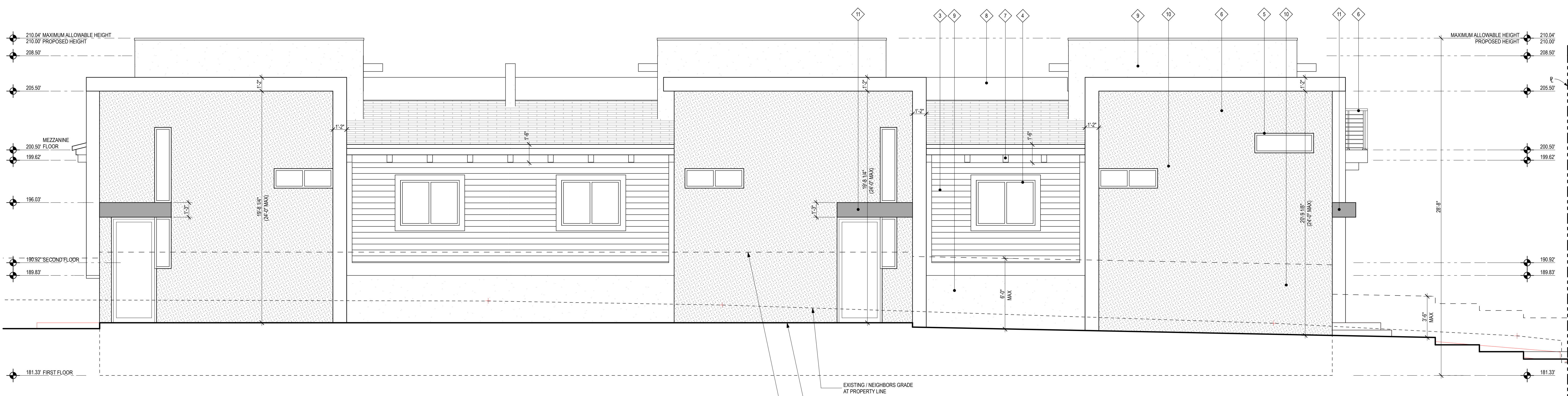
NOTES:  
 MAX. PROPERTY LINE WALL HEIGHT 6'-0" ABOVE LOWEST LOCAL GRADE (42' MAX IN FRONT YARD)  
 8'-0" MAX HEIGHT ALLOWED WITH APPROVED FENCE HEIGHT AGREEMENT  
 PARAPETS, SATELLITE ANTENNAE, RAILS, SKYLIGHTS, ROOF EQUIPMENT MUST BE WITHIN THE HEIGHT LIMIT.

- ELEVATION NOTES:**
- ASPHALT SHINGLE ROOFING**  
 40 YEARS MIN. 30 DIMENSION  
 ASPHALT ROOF SHINGLES OVER  
 2 LAYER OF 15# FELT LAID WITH  
 1" OVERLAP.  
 PER C.B.C. SECT. 1507.2 AND 1507.3
  - LOW SLOPE ROOF FINISH**  
 MANUF: CROSSFIELD PRODUCTS CORP.  
 PRODUCT: DEX-O-TEX ROOF WATERPROOFING MEMBRANE  
 ICC#: ESR 1757  
 SLOPE: 1/4" FT. MIN.  
 CLASS: A  
 INSTALL PER MANUF SPECS  
 USE THIS PRODUCT OR APPROVED EQUAL  
 PER SECT. 1402, C.B.C.
  - HORIZONTAL HARDI-PLANK EXTERIOR SIDING**  
 HARDI-PLANK HORIZONTAL EXTERIOR SIDING  
 OVER TYPAR BUILDING PAPER LAYED SHINGLE FASHION  
 SEE DETAIL 22 / A-7.1
  - DECK FINISH**  
 MANUF: CROSSFIELD PRODUCTS CORP.  
 PRODUCT: TILE OR STONE OVER THINSET MORTAR OVER  
 DEX-O-TEX DECK WATERPROOFING MEMBRANE  
 ICC#: ESR 1757  
 SLOPE: 1/4" FT. MIN.  
 CLASS: A  
 INSTALL PER MANUF SPECS  
 USE THIS PRODUCT OR APPROVED EQUAL  
 PER SECT. 1402, C.B.C.
  - BRONZE ANODIZED WINDOW**  
 SEE PLAN AND WINDOW SCHEDULE FOR SIZE  
 SEE SHEET T-5 FOR CF-IR ENERGY REQUIREMENTS
  - OPEN GUARDRAIL (42" HIGH U.N.O.)**  
 SEE DETAIL: 18 / A-7.1 & 25 / A-7.1  
 GUARDRAIL SHALL NOT BE LESS THAN 42" HIGH  
 AND SHALL HAVE BALLUSTERS OR ORNAMENTAL  
 PATTERNS SUCH THAT A 4" DIAMETER SPHERE  
 CANNOT PASS THROUGH ANY OPENING.  
 PER CBC SECTION 1013.
  - EXPOSED WOOD RAFTER BEAM**  
 6x EXPOSED RAFTER TAIL  
 SEE DETAIL 13 / A-7.0
  - EXTERIOR STUCCO**  
 7/8" THICK EXTERIOR STUCCO  
 OVER 2-LAYERS WATERPROOFING PAPER  
 FINISH: 20/30 SAND  
 COLOR: WHITE
  - EXTERIOR STUCCO**  
 7/8" THICK EXTERIOR STUCCO  
 OVER 2-LAYERS WATERPROOFING PAPER  
 FINISH: 20/30 SAND  
 COLOR: BARN SWALLOW
  - EXTERIOR STUCCO**  
 7/8" THICK EXTERIOR STUCCO  
 OVER 2-LAYERS WATERPROOFING PAPER  
 FINISH: SMOOTH STEEL TROWEL  
 COLOR: TITANIUM
  - METAL FASCIA**  
 BRONZE ANODIZED ALUMINUM FASCIA  
 MATCH EXTERIOR WINDOW FRAME FINISH  
 USE THIS PRODUCT OR APPROVED EQUAL  
 PER SECT. 1402, C.B.C.
  - CHIMNEY**  
 TOP OF CHIMNEY MUST EXTEND A MINIMUM OF 2' ABOVE ANY PART OF THE  
 BUILDING WITHIN 10'. CHIMNEY MAY EXCEED THE MAX PERMITTED BUILDING  
 HEIGHT BY NO MORE THAN 5' PROVIDED THE WIDTH AND DEPTH DO NOT  
 EXCEED 3' AND 5' RESPECTIVELY.
  - GARAGE DOOR**  
 PROVIDE WOOD PANEL ROLL-UP GARAGE DOOR.  
 PAINT TO MATCH HORIZONTAL SIDING.



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**WEST ELEVATION**

SCALE: 1/4" = 1'-0"

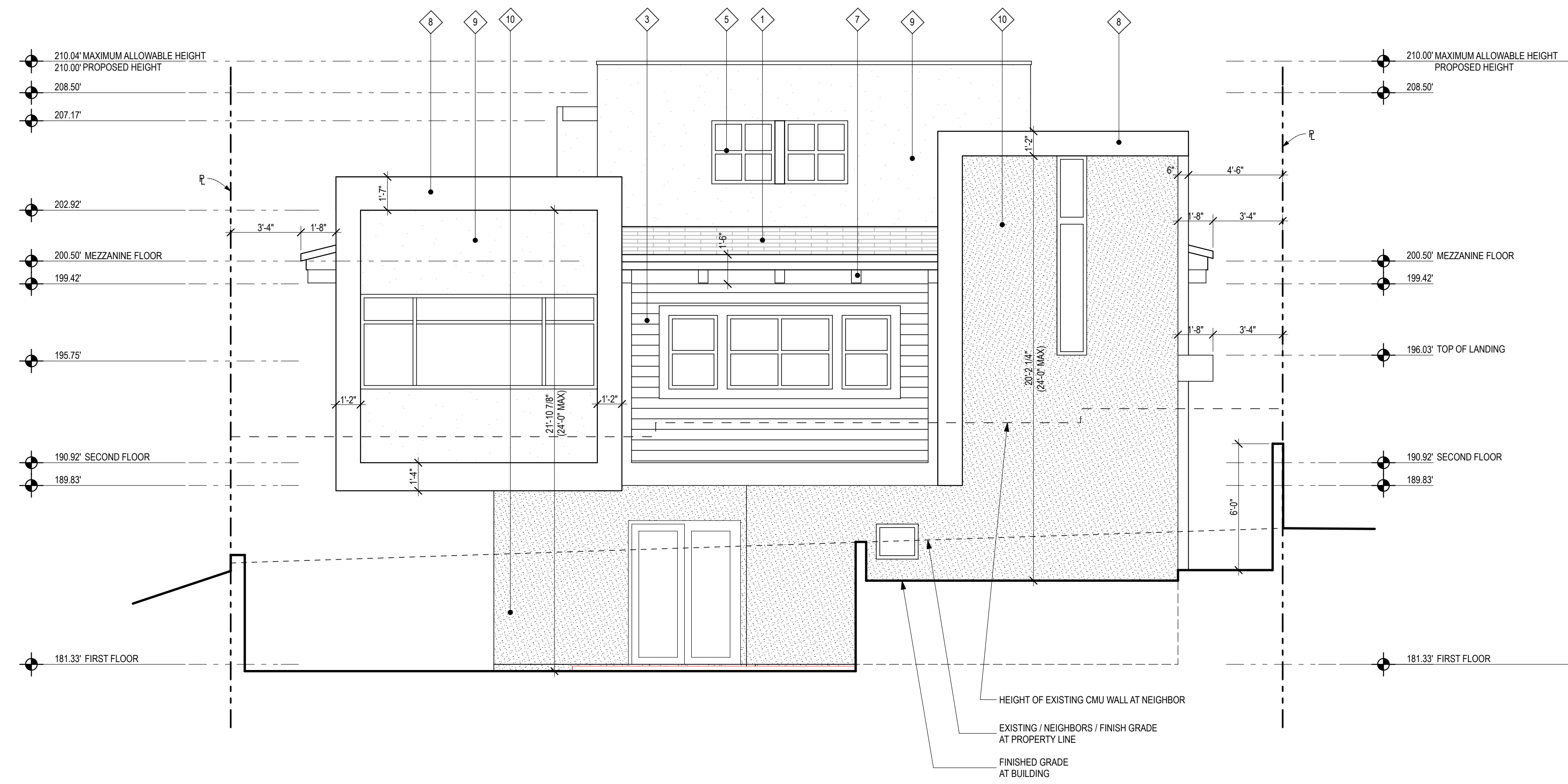
**15th Street CONDOMINIUMS**  
 1421 15th Street, Manhattan Beach, CA, 90266

Exterior Elevations

Date: 1/11/21  
 Name of File: 1421\_15th

**A-6.0**





**NORTH ELEVATION**

SCALE: 1/4" = 1'-0"

NOTES:  
 MAX. PROPERTY LINE WALL HEIGHT 6'-0" ABOVE LOWEST LOCAL GRADE (42" MAX IN FRONT YARD)  
 8'-0" MAX HEIGHT ALLOWED WITH APPROVED FENCE HEIGHT AGREEMENT  
 PARAPETS, SATELLITE ANTENNAE, RAILS, SKYLIGHTS,  
 ROOF EQUIPMENT MUST BE WITHIN THE HEIGHT LIMIT.

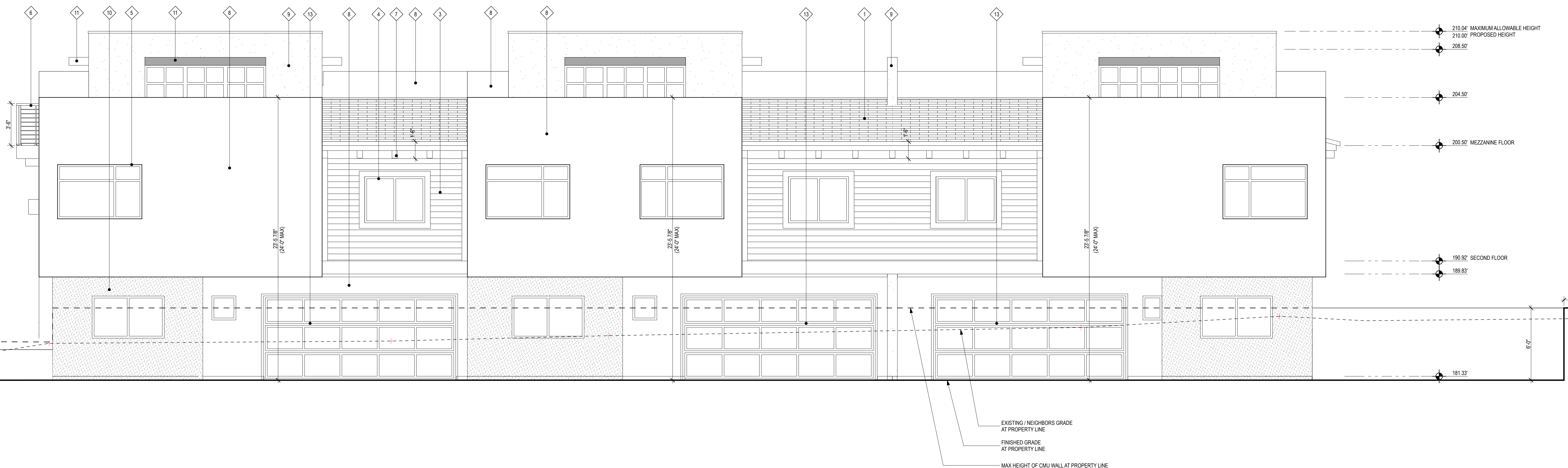
**ELEVATION NOTES:**

- ASPHALT SHINGLE ROOFING**  
 40 YEARS MIN. 30 DIMENSION  
 ASPHALT ROOF SHINGLES OVER  
 2 LAYER OF 15# FELT LAID WITH  
 1" OVERLAP.  
 PER C.B.C. SECT. 1507.2, AND 1507.3
- LOW SLOPE ROOF FINISH**  
 MANUF: CROSSFIELD PRODUCTS CORP.  
 PRODUCT: DEX-O-TEX ROOF WATERPROOFING MEMBRANE  
 ICC#: ESR 1757  
 SLOPE: 1/4" FT. MIN.  
 CLASS: A  
 INSTALL PER MANUF SPECS  
 USE THIS PRODUCT OR APPROVED EQUAL  
 PER SECT. 1402, C.B.C
- HORIZONTAL HARD-PLANK EXTERIOR SIDING**  
 HARD-PLANK HORIZONTAL EXTERIOR SIDING  
 OVER TYPAR BUILDING PAPER LAYED SHINGLE FASHION  
 SEE DETAIL 22 / A-7.1
- DECK FINISH**  
 MANUF: CROSSFIELD PRODUCTS CORP.  
 PRODUCT: TILE OR STONE OVER THINSET MORTAR OVER  
 DEX-O-TEX DECK WATERPROOFING MEMBRANE  
 ICC#: ESR 1757  
 SLOPE: 1/4" FT. MIN.  
 CLASS: A  
 INSTALL PER MANUF SPECS  
 USE THIS PRODUCT OR APPROVED EQUAL  
 PER SECT. 1402, C.B.C
- BRONZE ANODIZED WINDOW**  
 SEE PLAN AND WINDOW SCHEDULE FOR SIZE  
 SEE SHEET T-5 FOR CF-1R ENERGY REQUIREMENTS
- OPEN GUARDRAIL (42" HIGH U.N.O.)**  
 SEE DETAIL: 18 / A-7.1 & 25 / A-7.1  
 GUARDRAIL SHALL NOT BE LESS THAN 42" HIGH  
 AND SHALL HAVE BALLUSTERS OR ORNAMENTAL  
 PATTERNS SUCH THAT A 4" DIAMETER SPHERE  
 CANNOT PASS THROUGH ANY OPENING.  
 PER CBC SECTION 1013.
- EXPOSED WOOD RAFTER BEAM**  
 6x EXPOSED RAFTER TAIL  
 SEE DETAIL 13 / A-7.0
- EXTERIOR STUCCO**  
 7/8" THICK EXTERIOR STUCCO  
 OVER 2-LAYERS WATERPROOFING PAPER  
 FINISH: 2030 SAND  
 COLOR: WHITE
- EXTERIOR STUCCO**  
 7/8" THICK EXTERIOR STUCCO  
 OVER 2-LAYERS WATERPROOFING PAPER  
 FINISH: 2030 SAND  
 COLOR: BARN SWALLOW
- EXTERIOR STUCCO**  
 7/8" THICK EXTERIOR STUCCO  
 OVER 2-LAYERS WATERPROOFING PAPER  
 FINISH: SMOOTH STEEL TROWEL  
 COLOR: TITANIUM
- METAL FASCIA**  
 BRONZE ANODIZED ALUMINUM FASCIA  
 MATCH EXTERIOR WINDOW FRAME FINISH  
 USE THIS PRODUCT OR APPROVED EQUAL  
 PER SECT. 1402, C.B.C
- CHIMNEY**  
 TOP OF CHIMNEY MUST EXTEND A MINIMUM OF 2' ABOVE ANY PART OF THE  
 BUILDING WITHIN 10'. CHIMNEY MAY EXCEED THE MAX PERMITTED BUILDING  
 HEIGHT BY NO MORE THAN 5' PROVIDED THE WIDTH AND DEPTH DO NOT  
 EXCEED 3' AND 5' RESPECTIVELY.
- GARAGE DOOR**  
 PROVIDE WOOD PANEL ROLL-UP GARAGE DOOR.  
 PAINT TO MATCH HORIZONTAL SIDING.

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**EAST ELEVATION**

SCALE: 1/4" = 1'-0"

EXISTING / NEIGHBORS GRADE  
 AT PROPERTY LINE  
 FINISHED GRADE  
 AT PROPERTY LINE  
 MAX HEIGHT OF CMU WALL AT PROPERTY LINE

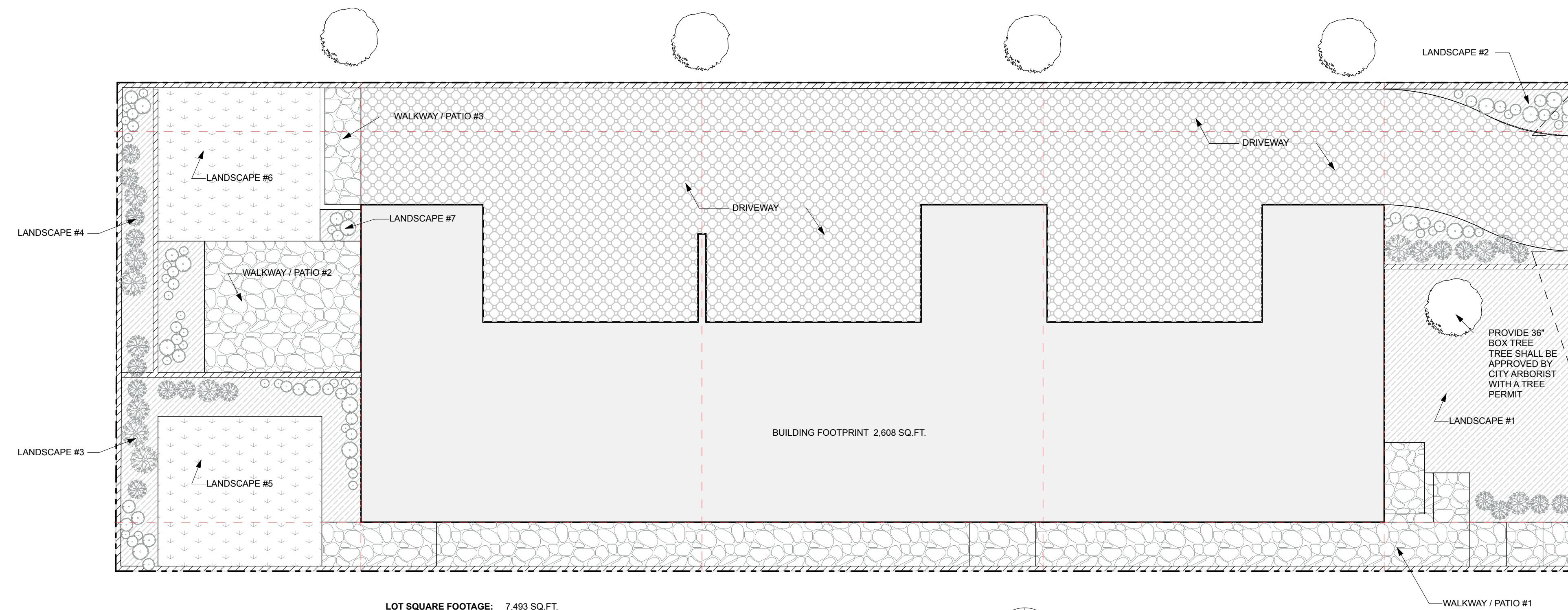
**15th Street CONDOMINIUMS**  
 1421 15th Street, Manhattan Beach, CA, 90266

**Exterior Elevations**

Date: 1/11/21  
 Name of File: 1421\_15th

**A-6.1**





LOT SQUARE FOOTAGE: 7,493 SQ.FT.  
 BUILDING FOOTPRINT: 2,608 SQ.FT.  
 DRIVEWAY: 2,276 SQ.FT.  
 LANDSCAPE / HARDSCAPE AREA = LOT SQ.FT. - BUILDINGS FOOTPRINT - DRIVEWAY =  
 = 7,493 - 2,608 - 2,276 = 2,609 SQ.FT.

A MAXIMUM 20% OF LANDSCAPE / HARDSCAPE AREA CAN HAVE HIGH WATER USAGE PLANTS AS DEFINED BY WATER USE CLASSIFICATION OF LANDSCAPE SPECIES (WUCOLS) FOR REGION 3.

MAX AREA OF HIGH WATER USE PLANTS = LANDSCAPE / HARDSCAPE AREA X 20% =  
 = 2,609 SQ.FT. X 20% = 521.8 SQ.FT.

PROVIDED HIGH WATER USE PLANTS: LANDSCAPE #5 + LANDSCAPE #6  
 257 SQ.FT + 260 SQ. FT. = 517 SQ.FT.  
 PROVIDED < ALLOWABLE  
 517 SQ.FT. < 521.8 SQ.FT. OK

HARDSCAPE / WALKWAY AREA: WALKWAY / PATIO #1 + WALKWAY / PATIO #2 + WALKWAY / PATIO #3 + SITE WALLS =  
 619.28 SQ.FT. + 214.89 SQ.FT. + 44.12 SQ.FT. + 240.61 = 1,118.9 SQ. FT.

LOW WATER AREA: LANDSCAPE #1 + LANDSCAPE #2 + LANDSCAPE #3 + LANDSCAPE #4 + LANDSCAPE #7 =  
 546.0 SQ.FT. + 50.2 SQ.FT. + 199.5 SQ.FT. + 163.9 SQ.FT. + 13.5 SQ.FT. = 973.1 SQ. FT.

FRONT YARD LANDSCAPING (20% MIN):

FRONT YARD AREA: 50.01' x 20.00' = 1,000.2 SQ. FT.  
 REQUIRED LANDSCAPE AREA: 1,000.2 x 20% = 200.04 SQ. FT.  
 PROVIDED LANDSCAPE AREA: LANDSCAPE AREA 1 + LANDSCAPE AREA 2 = 596.2 SQ. FT.

NON-HIGH WATER USE PLANTS (WUCOLS)	WATER NEED
AGAPANTHUS AFRICANUS, LILY-OF-THE-NILE	MODERATE
ANIGOZANTHOS VIRIDIS, GREEN KANGAROO PAW,	LOW
ARUM ITALICUM, ITALIAN ARUM	VERY-LOW
BACCHARIS SAROTHIODES, DESERT BLOOM	VERY-LOW
CLIVIA MINIATA, KAFFIER LILY	LOW
DRYOPTERIS ERYTHROSORA, WOOF FERN	MODERATE

HIGH WATER USE PLANTS (WUCOLS)
MARATHON II GRASS

**LANDSCAPE PLAN**  
 SCALE: 1/8"=1'-0"

**LEGEND**

- BUILDING FOOTPRINT
- DRIVEWAY
- PATIO / WALKWAY
- LANDSCAPED AREA (LOW WATER USE)
- GRASS (HIGH WATER USE)
- TREE

**DRIP IRRIGATION NOTES**

- PROVIDE DRIPLINE EMITTER TUBING SYSTEM FOR PLANTING AREAS AS SHOWN IN DRAWING
- DRIPLINE TUBING IS SHOWN DIAGRAMMATICALLY FOR CLARITY. INSTALL PIPING IN LANDSCAPE AREAS AND ADJACENT TO SELECTED PLANT MATERIAL AS SHOWN IN DETAILS
- DO NOT INSTALL DRIPLINE TUBING UNDER PAVED SURFACES. CONNECT DRIPLINE TUBING TO SCHEDULE 40 PVC LATERAL LINE PIPING FOR ROUTING UNDER PAVED SURFACES AND COPPER PIPING ROUTING THROUGH PLANTER WALLS
- DRIPLINE TUBING AS SHOWN ON PLANS CROSSES NON-PRESSURE LATERAL LINE PIPING OF OTHER SYSTEMS WITHOUT CONNECTION
- REFER TO PLANTING LEGEND FOR PLANT MATERIAL NAMES, ABBREVIATIONS, SPECIFIC SIZES, ON-CENTER SPACING, AND ADDITIONAL INFORMATION
- CONNECT DRIPLINE PVC PIPING TO PRESSURE REGULATOR UNITS WITH SCHEDULE 40 PVC MALE ADAPTER FITTINGS
- PROVIDE COMPRESSION SERIES FITTINGS FOR TUBING TO TUBING CONNECTIONS AND THREADED CONNECTIONS TO PVC PIPING
- PROVIDE TWO (2) EMISSION OUTLET EMITTERS TO EVERY VINE AND TREE LOCATE EMITTERS SPACES EQUALLY AT EDGE OF ROOTBALL FOR VINES AND AT 18-INCHES CLEAR FROM TREE TRUNK. CONNECT DRIPLINE EMITTERS AND PVC DISTRIBUTION TUBING TO DRIPLINE TUBING AT LOCATIONS
- CONNECT DRIPLINE TUBING TO PVC HARD PIPE WHEN CROSSING PAVEMENT

**GENERAL INSTALLATION NOTES**

- INSTALL ALL MATERIALS TO COMPLY WITH APPLICABLE CODES AND ORDINANCES AS CALLED FOR IN DETAIL DRAWINGS AND SPECIFICATIONS.
- ALL SCALED DIMENSIONS SHOWN ARE APPROXIMATE AND DIAGRAMMATIC. COMPONENTS SHOWN WITHIN PAVED AREA ARE DRAWN FOR CLARITY ONLY AND SHALL BE INSTALLED WITHIN PLANTED AREAS WHEREVER POSSIBLE.
- VERIFY STATIC PRESSURE SHOWN ON DRAWINGS. PRIOR TO CONSTRUCTION, NOTIFY LANDSCAPE ARCHITECT IF LESS THAN THAT SHOWN
- FINAL LOCATION OF BACKFLOW PREVENTERS AND CONTROLLERS SHALL BE APPROVED BY LANDSCAPE ARCHITECT, PRIOR TO CONSTRUCTION
- THE IRRIGATION CONTRACTOR SHALL NOT INSTALL SPRINKLER SYSTEM AS INDICATED ON DRAWINGS WHEN IT IS OBVIOUS IN THE FIELD THAT THERE WERE UNKNOWN OBSTRUCTIONS, GRADE DIFFERENCES, DISCREPANCIES IN AREA DIMENSIONS, ETC. UNTIL SUCH CONDITIONS ARE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT.
- ALL PIPING UNDER PAVED AREAS SHALL BE INSTALLED PRIOR TO PAVING. INSTALL CLASS 315 PVC FOR 2" AND LARGER, AND SCH 40 PVC FOR 1.5" AND SMALLER. INSTALL SLEEVING WHERE INDICATED ON DRAWINGS, AND SAND BACKFILL TRENCH OVER PAVED TRAFFIC AREAS
- ALL PIPING BETWEEN WATER METER AND BACKFLOW PREVENTER SHALL BE PER LOCAL CODE
- INSTALL MAIN LINES 18" BELOW GRADE IN PLANTED AREAS, AND 24" BELOW GRADE, SLEEVED, UNDER PAVED TRAFFIC AREAS
- UNLESS OTHERWISE INDICATED, LINE VOLTAGE WILL BE PROVIDED TO CONTROLLER AND PUMP LOCATIONS BY OWNER OR GENERAL CONTRACTOR. IRRIGATION CONTRACTOR SHALL MAKE ALL FINAL CONNECTIONS, AND INSTALL REQ'D EQUIPMENT
- INSTALL #14 UP DIRECT-BURIAL IRRIGATION WIRE UNTIL OTHERWISE INDICATED. INSTALL WHITE COMMON AND BLACK PLOT WIRES USE EPOXY-TYPE CONNECTORS, AND BURY WIRE IN MAIN LINE TRENCH, TAPED TOGETHER EVERY 20 POUNDS SIX EACH 1" EXPANSION COILS AT ALL VALVES ANY CHANGE OF DIRECTION AND EVERY 100 FT. OF WIRE AT INSTALL WIRES IN PVC SLEEVE UNDER ALL PAVING
- ADJUST ALL SPRINKLERS AND VALVES TO PROVIDE REQUIRED COVERAGE WITH MINIMAL OVERSPRAY. PERFORM COVERAGE TEST UPON COMPLETION IN PRESENCE OF INSPECTOR
- CONTRACTOR SHALL PROVIDE BLUE-LINE "AS BUILT" DRAWINGS TO OWNER UPON COMPLETION. SHOW LOCATION OF CONTROL VALVES, QUICK COUPLER VALVES AND MAIN LINE. DIMENSIONED FROM NEAREST PERMANENT POINT OF REFERENCE
- CONTRACTOR SHALL DELIVER TO OWNER UPON COMPLETION EXTRA MAINTENANCE EQUIPMENT AS NOTED ON DRAWINGS.
- CONTRACTOR SHALL GUARANTEE THE ENTIRE SPRINKLER SYSTEM FOR ONE (1) YEAR AGAINST DEFECTIVE MATERIAL AND WORKMANSHIP. ANY REPAIRS REQUIRED DURING THIS PERIOD, IF DUE TO DEFECTIVE MATERIALS OR WORKMANSHIP SHALL BE MADE BY CONTRACTOR AT NO COST TO OWNER.

**TREE PROTECTION REQUIREMENTS:**

- TREE PERMIT WITH A FEE. PRE-APPROVED BY CITY ARBORIST. FOR THE PROTECTION, REMOVAL, OR RELOCATION OF TREES (BONDS/DEPOSITS MAY BE REQUIRED).
- TREES SHALL BE PROTECTED WITH REQUIRED FENCING AND ADVISORY SIGNS WITH TREE PROTECTION REQUIREMENTS SHALL BE CLEARLY POSTED ON THE SITE AND PROPERLY MAINTAINED.
- NO TRASH, CONSTRUCTION MATERIAL OR DEBRIS, DIRT, PORTABLE TOILETS, OR ANY OTHER MATERIAL SHALL BE PLACED WITHIN THE PROTECTIVE FENCING AREA.
- PROVIDE 2" MULCH IN PROTECTIVE AREA.
- PROVIDE IRRIGATION (SOAKER HOSE) CIRCLING AROUND PROTECTIVE AREA STARTING AT A MINIMUM DISTANCE OF 1' AWAY FROM THE TRUNK.
- NO GRADING WITHIN THE PROTECTIVE FENCING AREA
- ANY PRUNING OF BRANCHES OR ROOTS MUST COMPLY WITH AMERICAN NATIONAL STANDARDS INSTITUTE (ANSI A300) PRUNING STANDARDS.
- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE APPROVED PLANS. ANY PROPOSED REVISIONS REQUIRE PRIOR APPROVAL BY THE CITY.
- A SECURITY DEPOSIT MAY BE REQUIRED TO ENSURE THE EXISTING TREE(S) ARE PROTECTED.
- VIOLATION OF THE TREE PRESERVATION REGULATIONS MAY RESULT IN FINES UP TO THE COST OF AN EQUAL SIZE REPLACEMENT TREE OR THE APPRAISED VALUE OF THE TREE, WHICHEVER IS HIGHER.

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**Revisions:**

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**15th Street CONDOMINIUMS**  
 1421 15th Street, Manhattan Beach, CA, 90266

Landscape Plan

Date: 1/11/21  
 Name of File: 1421\_15th

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## Attachement E

Dear Sir,

My name is Robert Eades and I live at 1420 17th Street in Manhattan Beach. Please consider the following points when deciding to issue a use permit and vesting tentative parcel map for three new residential condominium units at 1421 15th street in Manhattan Beach.

1. The 1400 blocks of 15th and 17th street are between Meadows elementary school, the Manhattan Beach Preschool and other organizations that utilize other parts of what used to be Begg Junior High School, so there is a large amount of traffic in the area and a high demand for parking. Parking for the daycare, organizations and elementary school encroach into the surrounding areas, making parking difficult for the residents. In addition, current residents of 1421 15th street regularly park in the preschool parking lot (likely due to limited options), creating tensions between teachers and local residents. If a use permit for three residences is granted, I strongly recommend at least two easily accessible on property parking spaces for each residence, preferably open so they are more likely to be used for parking rather than storage.
2. Doors for each residence should not be on the preschool parking lot side as they are now, which would discourage parking in the preschool lot.
3. The surrounding structures are two story structures, so all required clearances should be maintained. Any relief given for this permit should be available to the surrounding properties and should not be granted if any surrounding property would be denied the same relief in the future.
4. Two large trees were recently removed from the side of the property. There are some large trees on the property that will also likely be removed to accommodate three condominium units. City ordinances require replacing large trees that are removed, yet it is unlikely the lot will be capable of supporting large replacement trees with the substantially larger structures that will be on the property.
5. The area surrounding the 1421 15th street parcel sees tremendous use and experiences excessive traffic during normal (non-pandemic) times. It isn't possible to properly assess the impact of replacing the small two unit residences currently on the 1421 15th street parcel with three large condominium residences.

Unless the City is OK with all similarly sized and zoned lots in the area having three residential condominium units on them (effectively increasing population, parking demands and traffic by 50%) this permit should not be granted.

Thank you for your consideration.

Rob Eades  
(310) 200-4886