

8451 MELROSE AVENUE
WEST HOLLYWOOD, CA 90069

OWNER:	8451 MELROSE PROPERTY, LLC 1961 LA CIENEGA BLVD LOS ANGELES, CA 90034
PROJECT ADDRESS:	8451 MELROSE AVE. WEST HOLLYWOOD, CA 90069
APN#:	5528-017-073
LEGAL DESCRIPTION:	TRACT: 6072 LOT: 22 & 23, BLOCK 1
LOT SIZE:	8,394 SQ. FT.
FAR:	ALLOWED: 1.0:1 = 8,394 SF PROPOSED: 1.02:1 = 8,599 SF
FIRST FLOOR:	5,305 SQ. FT.
1ST FLR STAIR ADDITION:	153 SQ. FT.
SECOND FLOOR:	3,141 SQ. FT.
TOTAL	8,599 SQ. FT.
BUILDING HEIGHT:	±25'-0" (25'-0" HEIGHT LIMIT)
ZONE:	CN-1
CONST. TYPE:	VA
SPRINKLERED:	YES, NFPA 13 WITH FIRE ALARM THROUGH OUT INCLUDING OCCUPIED ROOF
OCCUPANCY:	M (RETAIL) / A2 (RESTAURANT) / * A2 (ROOF TOP)

PARKING REQUIRED: SEE SHEET A-1.0

SCOPE OF WORK: ADDITION TO APPROVED ROOF DECK,
EXPANSION OF DINING AND ALCOHOL SERVICE, 
INCLUDING ROOF SUN SHADE AND LANDSCAPING.

ARCHITECT:
ASD|SKY
235 PINE STREET, SUITE 2100
SAN FRANCISCO, CA 94110
CONTACT:
JEFF SUTTON
TEL: (415) 290-8781
EMAIL: jsutton@asdnet.com

STRUCTURAL
 NAST ENTERPRISES CORP.
 554 S SAN VICENTE BLVD, #202
 LOS ANGELES, CA 90048
 CONTACT:
 HOOMAN NASTARIN
 TELE: (310) 268-9419
 email: hooman@nasterprises.com

LANDSCAPE
STUDIO H2O
13929 MARQUESAS WAY, #310
MARINA DEL REY, CA 90292
CONTACT:
PJ BERJIS
TELE: 310-663-4385
EMAIL: pj@studio-h2o.com

ARCHITECTURAL

A-0.0	COVER SHEET
A-0.3	GREEN BUILDING FORMS
A-0.4	ACCESSIBLE PATH OF TRAVEL
A-0.5	EGRESS ANALYSIS
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A-0.11	EXISTING RESTROOM PLANS & ELEVATIONS
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STRUCTURAL

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LANDSCAPE

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The map shows the project site located at the intersection of Melrose Ave and Rangely Ave. The site is marked with a grey rectangle. Surrounding streets include Melrose Pl, Melrose Ave, La Cienega Blvd, Rangely Ave, and Clinton Ave. Nearby businesses and landmarks include Nightingale Plaza, Catch Steak LA Steak, Alfred Coffee, Cookies, Meiji Jewelry store, House of CB Clothing store, Rosaline Peruvian, EP & LP California, and LA Store. A north arrow and the text 'N.T.S.' are also present.

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ROOF GARDEN
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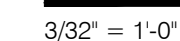
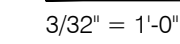
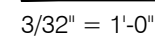
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Documentation of Accessibility Upgrades to Existing Buildings

Rev. 07/23

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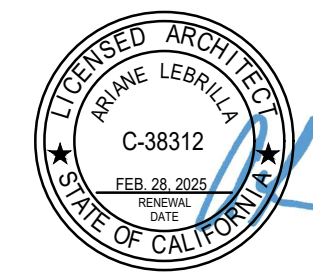
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EGRESS ANALYSIS

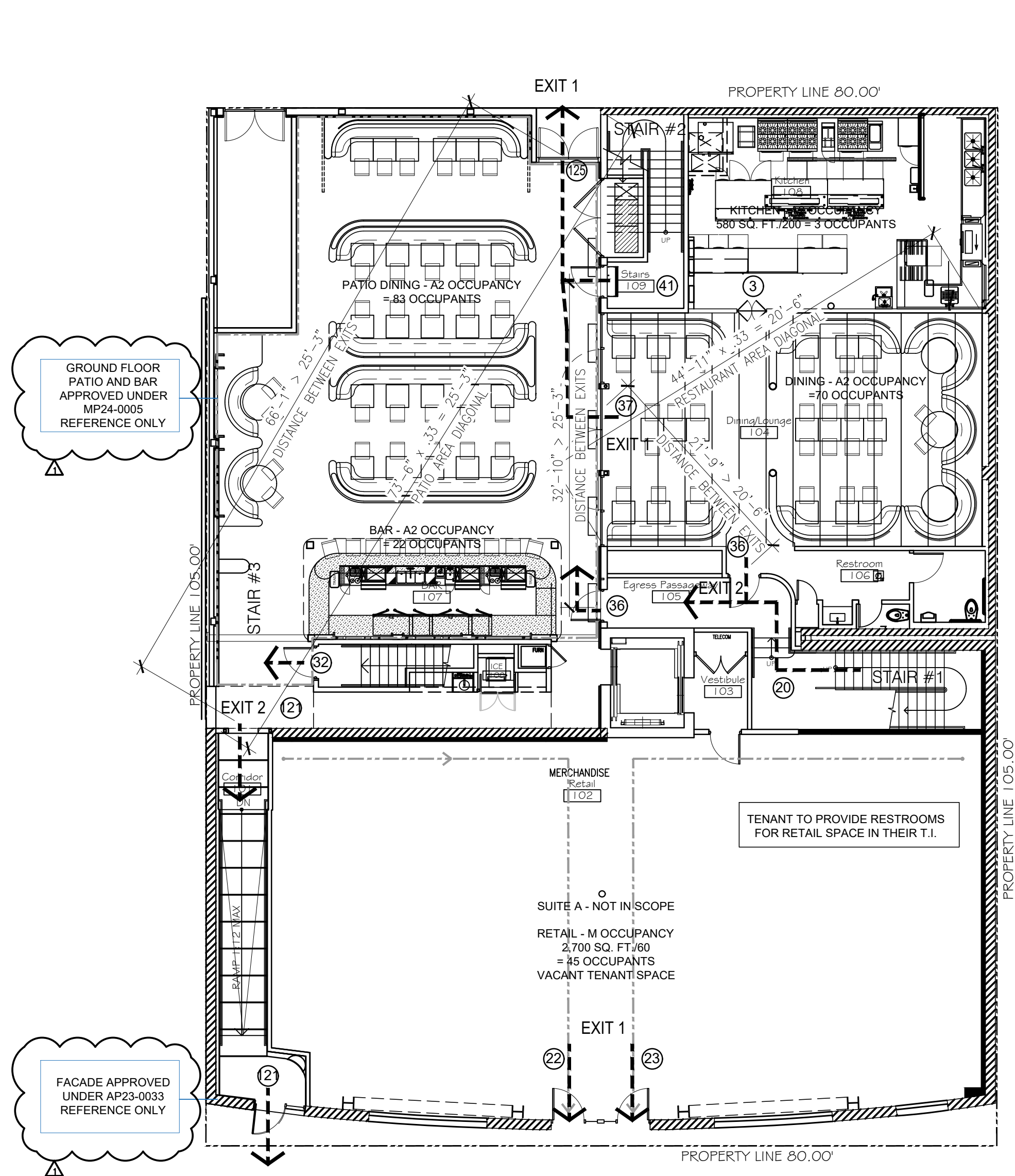
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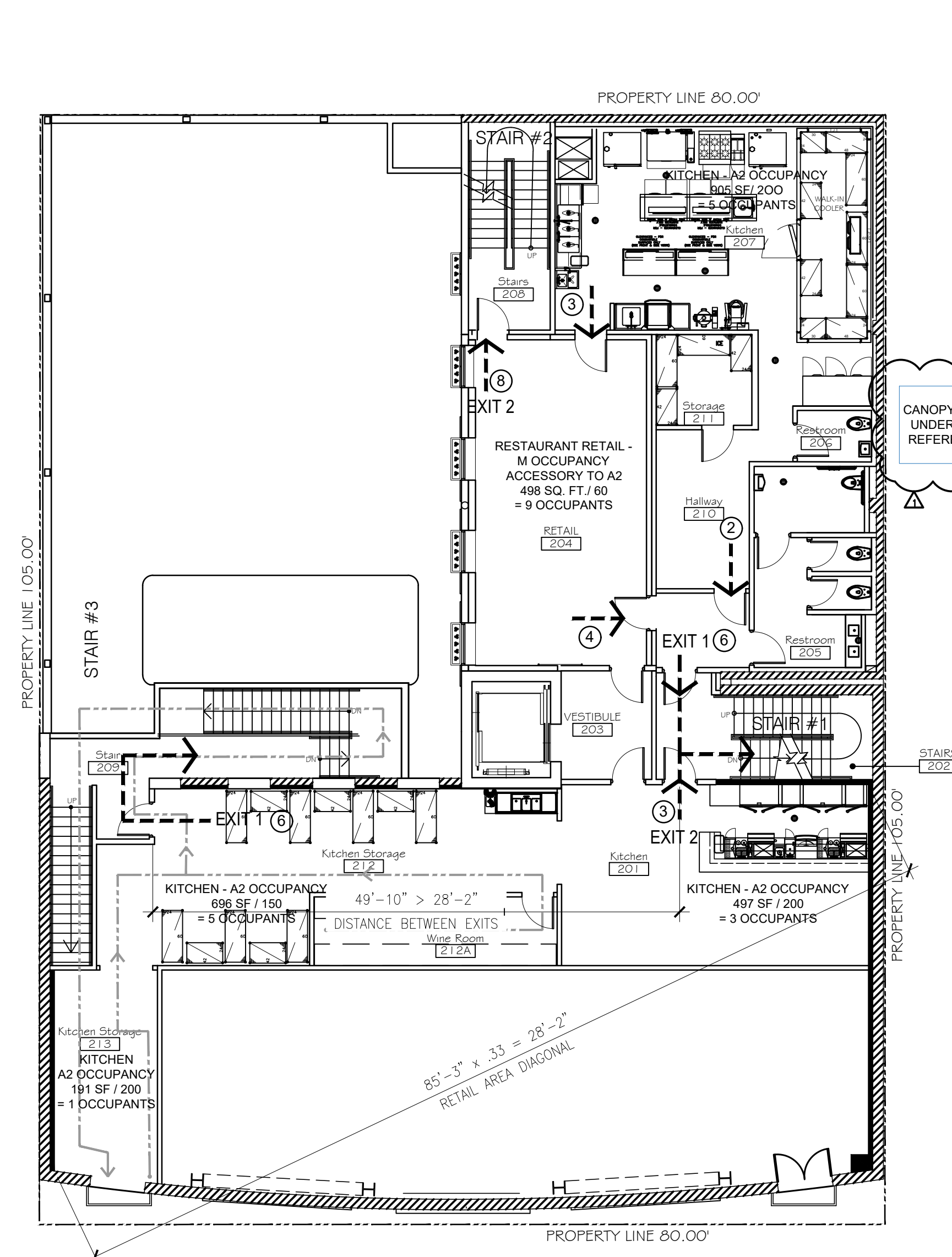
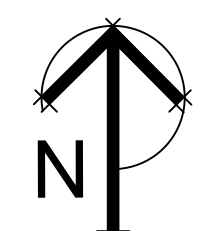


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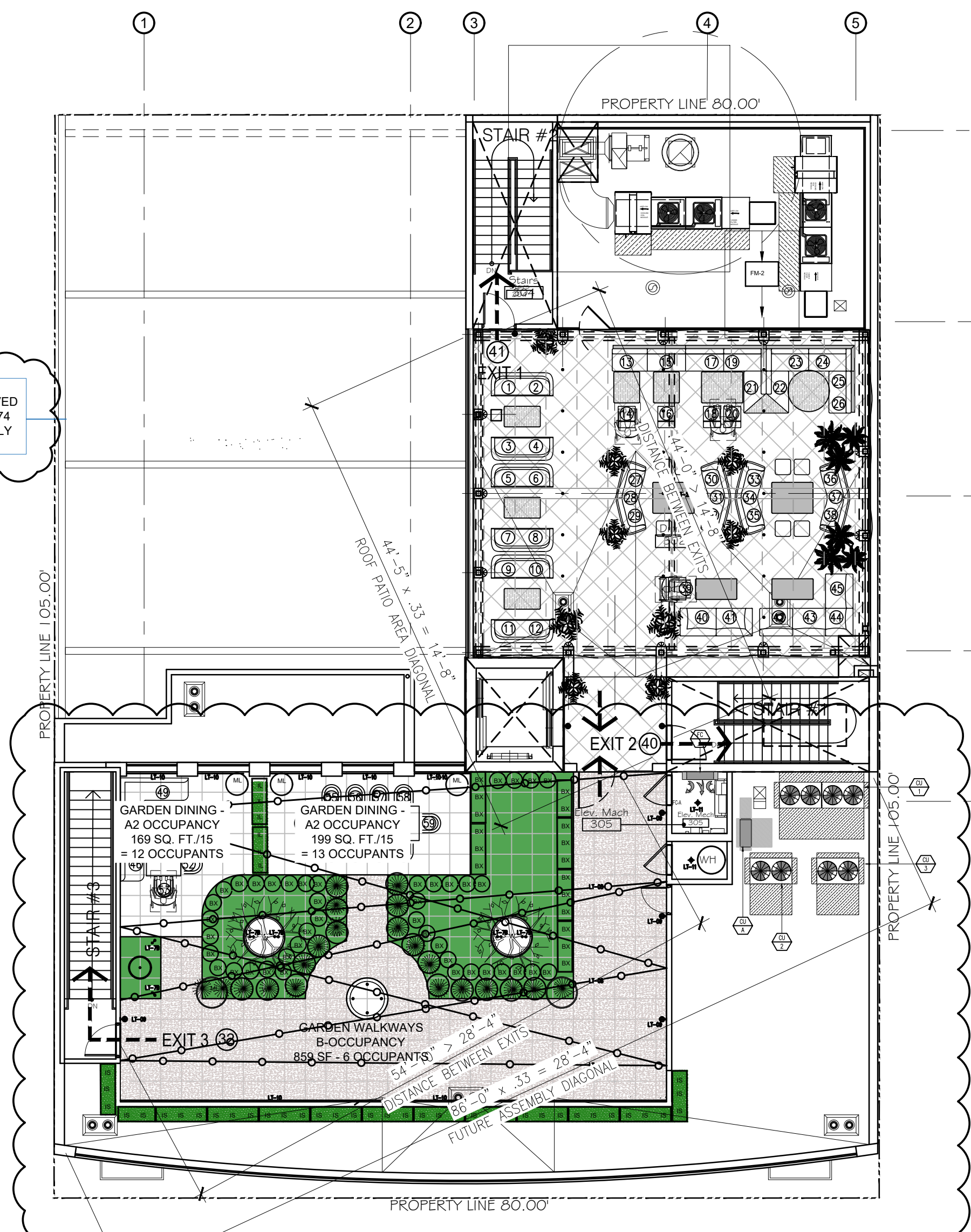
FIRST FLOOR PLAN

1" = 10'-0" REFERENCE ONLY - NO WORK ON FIRST FLOOR



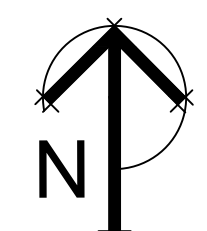
SECOND FLOOR PLAN

1" = 10'-0" REFERENCE ONLY - NO WORK ON SECOND FLOOR



ROOF PLAN

1" = 10'-0" REFERENCE ONLY - NO WORK ON ROOF



OCCUPANT LOAD CALC.			
USE	AREA	OCCUPANCY LOAD (CPC)	# OCC.
1ST FLR RETAIL AREA	2700 SF	1 : 60	45
1ST FLR KITCHEN	580 SF	1 : 200	3
1ST FLR INSIDE DINING TABLES	436 SF	1 : 15	29
INSIDE DINING BANQUETTE LF	81 LF	1 : 2 LF	41
1ST FLR INSIDE DINING TOTAL	1562 SF		70
TOTAL 1ST FLOOR INTERIOR	4923 SF		118
1ST FLR PATIO DINING TABLES	389 SF	1 : 15	28
PATIO DINING BANQUETTE LF	108.6 LF	1 : 2 LF	55
1ST FLR PATIO DINING TOTAL			83
1ST FLR BAR	33 LF	1 : 1.5 LF	22
1ST FLR PATIO TOTAL			105
2ND FLR RETAIL	498 SF	1 : 60	9
2ND FLR KITCHEN	1402 SF	1 : 200	8
2ND FLR KITCHEN STORAGE	887 SF	1 : 200	5
TOTAL 2ND FLR	2,787 SF		23
ROOF PATIO	1208 SF	1 : 15	81
ROOF GARDEN DINING	366 SF	1 : 15	26
ROOF GARDEN WALKS	859 SF	1 : 150	6
BUILDING OCC TOTAL			253
SITE OCC TOTAL			358

PLUMBING FIXTURE CALC.					
USE	AREA	OCCUPANCY LOAD (CPC)	# OCC.	50% MEN	50% WOMEN
FIRST FLR RETAIL AREA	2,700 SF	1 : 100	27	-	-
1ST FLR KITCHEN & STOR.	580 SF	1 : 50	11.6	5.8	5.8
FIRST FLOOR DINING INT.	698 SF	1 : 30	23.3	11.7	11.7
FIRST FLR PATIO	864 SF	1 : 30	28.8	14.4	14.4
SECOND FLR RETAIL AREA	498 SF	1 : 100	5	2.5	2.5
2ND FLR KITCHEN	1402 SF	1 : 50	28	14	14
2ND FLR KITCHEN STORAGE	887 SF	1 : 200	4.4	2.2	2.2
ROOF TOP PATIO	1208 SF	1 : 30	40	20	20
ROOF GARDEN DINING	366 SF	1 : 30	12.2	6.1	6.1
ROOF GARDEN WALKWAYS	859 SF	1 : 200	4.3	2.2	2.2
TOTAL (W/O FIRST FLR RETAIL)		TOTAL	158	79	79
WATER CLOSETS REQUIRED				2 : 50-150	3 : 51-100
WATER CLOSETS PROVIDED				3	4
LAVATORIES REQUIRED				1 : 1-150	1 : 1-150
LAVATORIES PROVIDED				2	2
URINALS REQUIRED				1 : 1-200	-
URINALS PROVIDED				2	-

EXIT ACCESS REQUIREMENTS FOR "A" & "M" OCCUPANCIES:
NUMBER OF EXITS REQUIRED: 2
SEPARATION REQUIRED BETWEEN EXITS: 1/3 THE DIAGONAL DISTANCE (FIRE SPRINKLERS)
EXIT STAIR WIDTH REQUIRED = 40 OCC. X 0.2" = 8 / 2 = 4.0 (44" MIN.) (FIRE SPRINKLERS)
EXIT WIDTH REQUIRED (REAR) = 176 OCC. X 0.15" = 26.4 / 2 = 13.2 (44" MIN.)
MAXIMUM DISTANCE COMMON PATH OF TRAVEL = 30'-0"

FIRE DEPARTMENT NOTE

- PROVIDE A FIRE SAFETY, EVACUATION, AND LOCKDOWN PLAN ON SITE DURING FINAL INSPECTION.
- EVERY ROOM OR SPACE THAT IS AN ASSEMBLY OCCUPANCY SHALL HAVE THE OCCUPANT LOAD OF THE ROOM OR SPACE POSTED IN A CONSPICUOUS PLACE, NEAR THE MAIN EXIT OR EXIT ACCESS DOORWAY FROM THE ROOM OR SPACE. POSTED SIGNS SHALL BE OF AN APPROVED LEGIBLE PERMANENT DESIGN AND SHALL BE MAINTAINED BY THE OWNER OR AUTHORIZED AGENT. BUILDING CODE 1004.9. FIRE CODE.
- COMPLY WITH LA COUNTY FIRE CODE SECTIONS 317 AND 905.8.3

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A0.5

PARKING TABULATION

USE	AREA	REQ PER 1,000	REQUIRED
RETAIL AREA	2,700 SQ. FT.	2/1000	5.4 = 5
RESTAURANT AREA	3,302 SQ. FT.	3.5/1000	11.56 = 12
OUTDOOR GRADE LEVEL DINING	2060 SQ. FT.	3.5/1000	7.21 = 7
OUTDOOR ROOFTOP LEVEL DINING	1574 SQ. FT.	3.5/1000	5.5 = 6
CREDIT OF PARKING SPACES FROM PREVIOUS USES (RETAIL, OFFICE, WAREHOUSE)		14	
EXISTING ON-SITE PARKING SPACES TO BE REMOVED		5	
TOTAL PARKING REQUIRED FOR PROPOSED PROJECT + REMOVED PARKING - CREDIT FROM PREVIOUS USES		(30 + 5) - 14 = 21	
PARKING SPACES REQUIRES AND WILL BE PROVIDED VIA PARKING CREDITS PROGRAM		21	

KEY NOTES:

- EXISTING 6'-0" HIGH CMU TRASH ENCLOSURE AND GATES
- EXISTING 10'-0" HIGH STUCCO FENCE.
- EXISTING 9'-0" HIGH ENTRY DOORS WITH PANIC HARDWARE, SEE DOOR SCHEDULE
- EXISTING EXTERIOR BAR
- EXISTING HARDSCAPE WALKWAY
- EXISTING FIRE FIGHTER AND ADA CONCRETE PATH OF TRAVEL FROM AND TO PUBLIC RIGHT OF WAY
- EXISTING SECOND FLOOR EGRESS STAIR ENCLOSURE
- EXISTING POWER POLE
- EXISTING PARKING METER
- EXISTING STREET SIGN
- EXISTING WATER METER AND SERVICE TO BE REUSED FOR FIRE SERVICE.
- EXISTING GAS MANIFOLD FROM GAS LATERAL TO 3 TENANT METERS.
- EXISTING 3 TENANT GAS METERS
- EXISTING ELECTRICAL PULL BOX
- NOT USED
- EXISTING FIRE SERVICE BACK FLOW PREVENTER
- EXISTING TREE WELL
- EXISTING STREET LIGHT POLE
- EXISTING CONCRETE CURB
- ADJACENT LOT WATER METER
- REUSE EXISTING AERIAL TELECOM FEED
- REUSE EXISTING SEWER LATERAL
- EXISTING SCE ELECTRICAL VAULT AND CONDUIT SERVICE TO PROPERTY TO BE REUSED FOR SERVICE
- EXISTING ROOF DRAIN TO BE REUSED INCLUDING CURB DRAINS
- EXISTING 6"x4"x2-1/2", IN CONFORMANCE WITH AMERICAN WATER WORKS ASSOCIATION STANDARD C503 BRONZE FIRE HYDRANT (VERIFY IN FIELD)
- EXISTING WATER METER AND SERVICE TO BE REUSED FOR DOMESTIC SERVICE
- EXISTING GAS SERVICE TO PROPERTY TO BE REUSED FOR SERVICE
- RECONSTRUCTED ALLEY PAVEMENT ACROSS FRONT AGE OF LOT, GRIND AND REMOVE 2" OF EXISTING PAVEMENT, OVERLAY 2" OF NEW C2-PG 64-10 ASPHALT CONCRETE PAVEMENT. LOCALIZED SPOT REPAIRS PER CITY INSPECTOR SHALL BE DONE PRIOR.

FIRE DEPARTMENT NOTES

- ALL FIRE HYDRANTS SHALL MEASURE 6"x4"x2-1/2" BRASS OR BRONZE, CONFORMING TO AMERICAN WATER WORKS ASSOCIATION STANDARD C603, OR APPROVED EQUAL, AND SHALL BE INSTALLED IN ACCORDANCE WITH THE COUNTY OF LOS ANGELES FIRE DEPARTMENT.
- ELEVATORS, ESCALATORS AND MOVING WALKS SHALL COMPLY WITH THE REQUIREMENTS SET FORTH IN BUILDING CODE CHAPTER 30.
- BUILDINGS AND STRUCTURES WITH ONE OR MORE PASSENGER SERVICE ELEVATORS SHALL BE PROVIDED WITH NOT LESS THAN ONE MEDICAL EMERGENCY SERVICE ELEVATOR TO ALL LANDINGS MEETING THE REQUIREMENTS OF 3002.4.1A THROUGH 3002.4.7A BUILDING CODE 3002.4A
- PROVIDE AN APPROVED AUTOMATIC FIRE SPRINKLER SYSTEM AS SET FORTH BY BUILDING CODE 903 AND FIRE CODE 903. PLANS SHALL BE SUBMITTED TO THE SPRINKLER PLAN CHECK UNIT FOR REVIEW AND APPROVAL PRIOR TO INSTALLATION
- THE MEANS OF EGRESS, AND EXIT DISCHARGE, SHALL BE ILLUMINATED AT ANY TIME THE BUILDING IS OCCUPIED WITH A LIGHT INTENSITY OF NOT LESS THAN 1 FOOT-CANDLE AT THE WALKING SURFACE LEVEL. BUILDING CODE 1008.2.1
- EACH DOOR IN A MEANS OF EGRESS FROM A GROUP A, OR ASSEMBLY AREA NOT CLASSIFIED AS AN ASSEMBLY OCCUPANCY, HAVING AN OCCUPANT LOAD OF 50 OR MORE SHALL NOT BE PROVIDED WITH A LATCH OR LOCK UNLESS IT IS PANIC HARDWARE OR FIRE EXIT HARDWARE. BUILDING CODE 1010.1.10 FIRE CODE 1010.1.10
- EGRESS DOORS SHALL BE READILY OPENABLE FROM THE EGRESS SIDE WITHOUT THE USE OF A KEY OR ANY SPECIAL KNOWLEDGE OR EFFORT. BUILDING CODE 1010.1.9
- PORTABLE FIRE EXTINGUISHERS SHALL BE INSTALLED IN LOCATIONS AS REQUIRED BY FIRE CODE 906.
- DUMPSTERS AND CONTAINERS WITH AN INDIVIDUAL CAPACITY OF 1.5 CUBIC YARDS OR MORE SHALL NOT BE STORED IN BUILDINGS OR PLACED WITHIN 5 FEET OF COMBUSTIBLE WALLS, OPENINGS OR COMBUSTIBLE ROOF EAVES, UNLESS AS CONTAINING DUMPSTERS OR CONTAINERS ARE PROTECTED BY AN APPROVED AUTOMATIC FIRE SPRINKLER SYSTEM. FIRE CODE 304.3.3
- EACH REQUIRED COMMERCIAL KITCHEN EXHAUST HOOD AND DUCT SYSTEM SHALL HAVE A TYPE I HOOD PROTECTED WITH AN APPROVED AUTOMATIC FIRE-EXTINGUISHING SYSTEM INSTALLED IN ACCORDANCE WITH BUILDING CODE 904.2.2, FIRE CODE 608
- INTERIOR WALL AND CEILING FINISHES SHALL BE CLASSIFIED IN ACCORDANCE WITH BUILDING CODE 803 AND TABLE 803.13. FIRE CODE SEC. 803 TABLE 803.3
- CURTAINS, DRAPES AND OTHER DECORATIVE MATERIALS SUSPENDED FROM THE WALLS OR CEILINGS SHALL MEET THE FLAME SPREAD PROPAGATION PERFORMANCE CRITERIA OF NFPA 701 IN ACCORDANCE WITH SECTION 806.2 OR BE NONCOMBUSTIBLE. BUILDING CODE 806.1. FIRE CODE 807.
- THE MEANS OF EGRESS, AND EXIT DISCHARGE, SHALL BE ILLUMINATED AT ANY TIME THE BUILDING IS OCCUPIED WITH A LIGHT INTENSITY OF NOT LESS THAN 1 FOOT-CANDLE AT THE WALKING SURFACE LEVEL. BUILDING CODE 1008.2.1
- THE POWER SUPPLY FOR MEANS OF EGRESS ILLUMINATION SHALL NORMALLY BE PROVIDED BY THE PREMISES ELECTRICAL SUPPLY. IN THE EVENT OF POWER SUPPLY FAILURE, THE EMERGENCY POWER SYSTEM SHALL PROVIDE POWER FOR A DURATION OF NOT LESS THAN 90 MINUTES AND SHALL CONSIST OF STORAGE BATTERIES, UNIT EQUIPMENT OR AN ON-SITE GENERATOR. BUILDING CODE 1008.3
- APPROVED PATH MARKING SHALL BE INSTALLED AT FLOOR LEVEL OR NO HIGHER THAN 8 INCHES ABOVE THE FLOOR LEVEL IN ALL INTERIOR CORRIDORS. BUILDING CODE 1025 FIRE CODE 1025
- APPROVED BUILDING ADDRESS NUMBERS, BUILDING NUMBERS OR APPROVED BUILDING IDENTIFICATION SHALL BE PROVIDED AND MAINTAINED SO AS TO BE PLAINLY VISIBLE AND LEGIBLE FROM THE STREET FRONTING THE PROPERTY. THE NUMBERS SHALL CONTRAST WITH THEIR BACKGROUND, BE ARABIC NUMERALS OR ALPHABET LETTERS, AND BE A MINIMUM OF 4 INCHES HIGH WITH A MINIMUM STROKE WIDTH OF 0.5 INCH. FIRE CODE 505.1
- AN APPROVED KEY BOX, LISTED IN ACCORDANCE WITH UL 1037 SHALL BE PROVIDED AS REQUIRED BY FIRE CODE 506. THE LOCATION OF EACH KEY BOX SHALL BE DETERMINED BY THE FIRE INSPECTOR.

FIRE FLOW CALCULATION

THE REQUIRED FIRE FLOW IS BASED ON THE FOLLOWING CALCULATION: TYPE OF CONSTRUCTION PER THE BUILDING CODE TYPE VIA FIRE-FLOW CALCULATION AREA 3,446 SQ. FT FIRE FLOW BASED ON THE FIRE-FLOW CALCULATION AREA 1,750GPM REDUCTION FOR FIRE SPRINKLERS (MAXIMUM 50%) 875GPM TOTAL FIRE FLOW REQUIRED 875GPM

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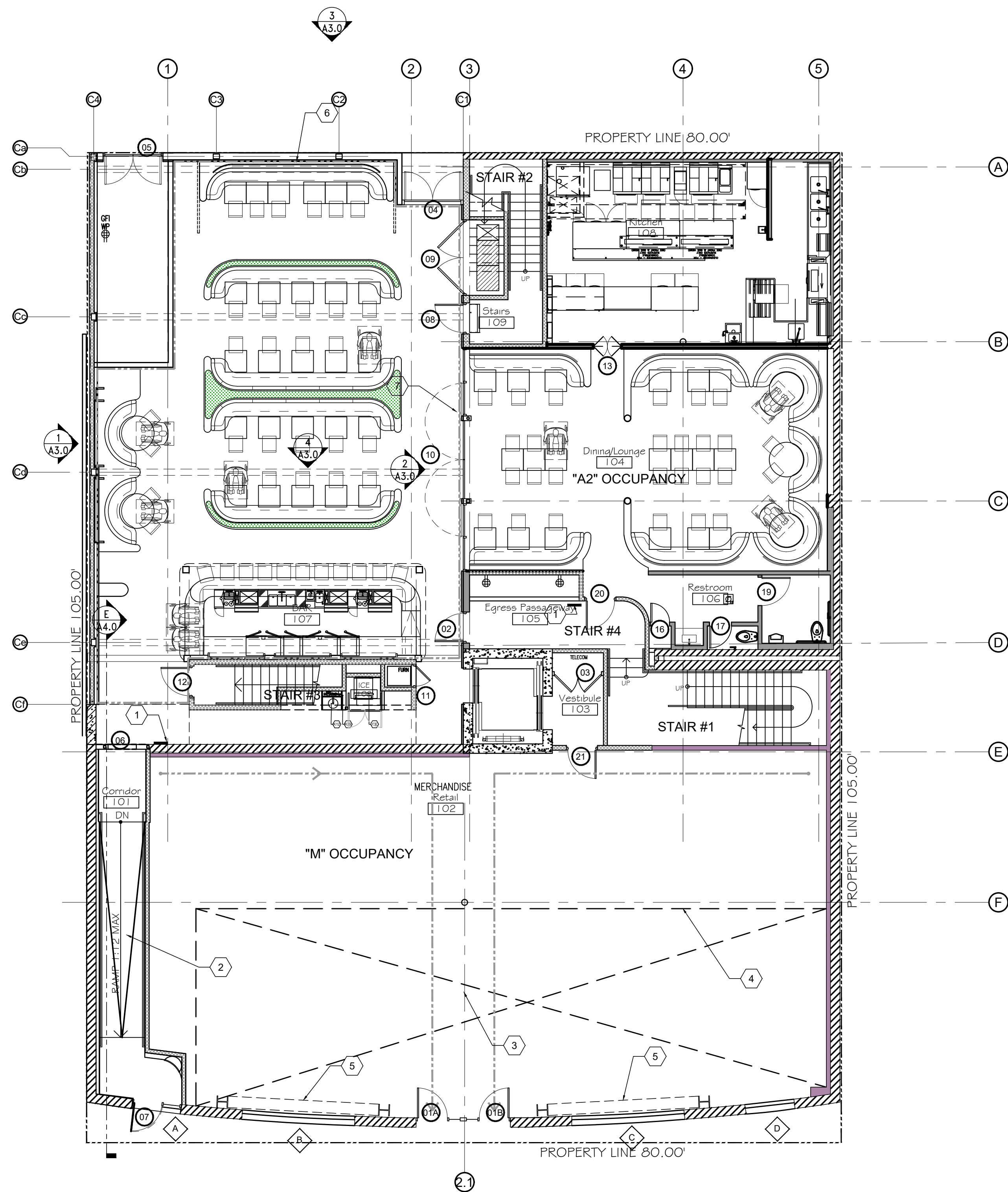
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EXISTING FIRST LEVEL

1/8" = 1'-0"



LEGEND

- EXISTING STUD WALL
- EXISTING 8" CONCRETE MASONRY UNIT (CMU) WALL - MINIMUM 1-HOUR RATED
- 2X4 STUDS @ 16" O.C. - U.O.N.
- 1 HOUR RATED INTERIOR FIRE BARRIER
- 12" CONCRETE WALL
- 8" CONCRETE MASONRY UNIT (CMU) WALL

NOTE: ALL PENETRATIONS TO RATED FIRE BARRIER ASSEMBLIES SHALL FIRE STOPPED AND CAULKED PER DETAIL 1-A-8.3, INCLUDING HVAC DUCTS TO INCLUDE FIRE DAMPERS AT EACH PENETRATION.

KEY NOTES:

- MAXIMUM OCCUPANCY SIGN
- 1:12 MAXIMUM SLOPE CONCRETE RAMP WITH METAL HANDRAILS
- OPEN TO ABOVE
- EDGE OF SECOND FLOOR
- STEEL MOMENT FRAME W/ 1-HOUR RATED INTUMESCENT PAINT
- 10'-0" HIGH STUCCO FENCE.
- NOT USED

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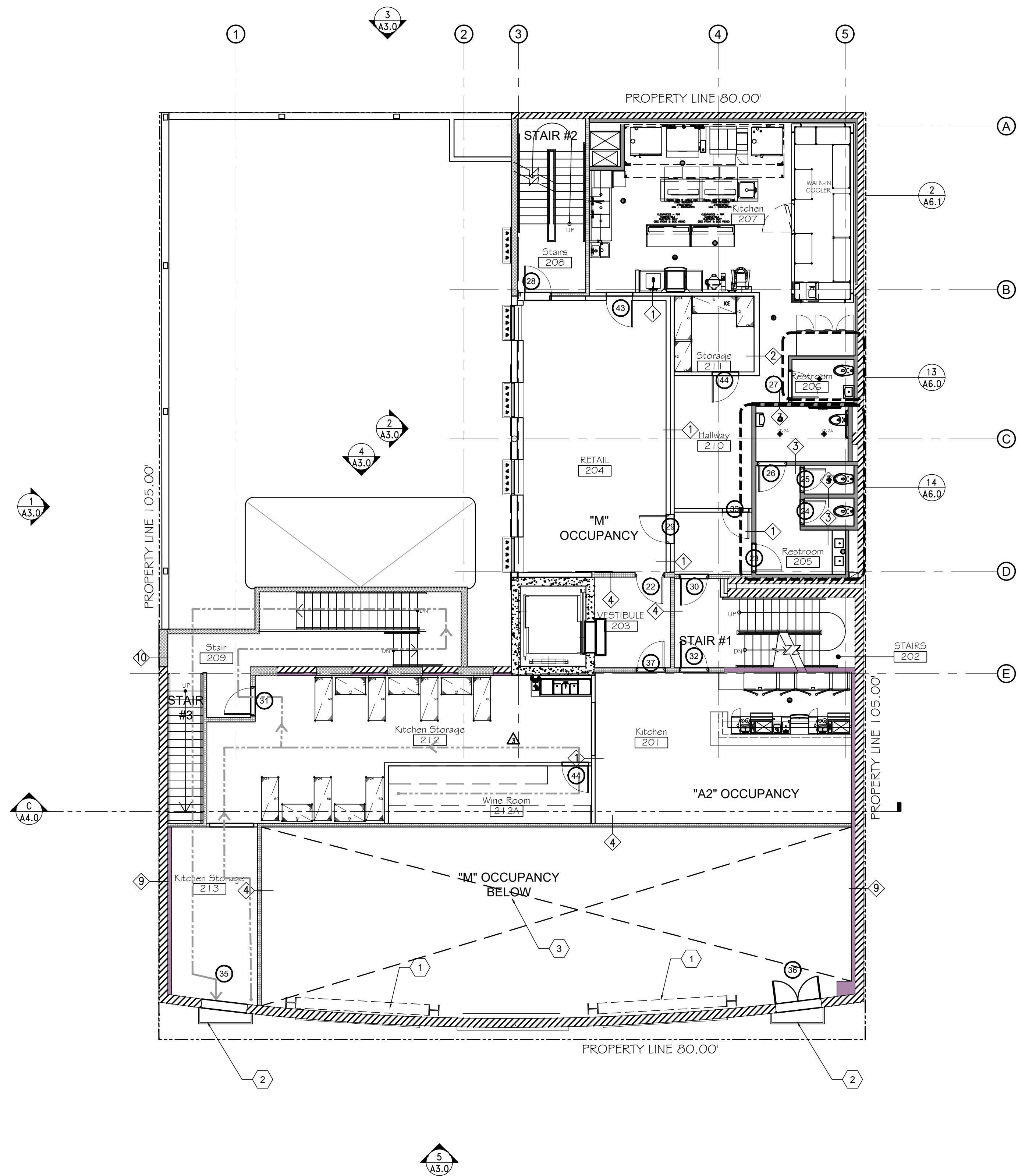
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EXISTING SECOND LEVEL

1/8" = 1'-0"



LEGEND

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- EXISTING 8" CONCRETE MASONRY UNIT (CMU) WALL - MINIMUM 1-HOUR RATED
- 2X4 STUDS @ 16" O.C. - U.O.N.
- 1 HOUR RATED INTERIOR FIRE BARRIER TO ROOF SHEATHING
- 1 HOUR RATED EXTERIOR FIRE BARRIER
- 12" CONCRETE WALL
- 8" CONCRETE MASONRY UNIT (CMU) WALL

NOTE: ALL PENETRATIONS TO RATED FIRE BARRIER ASSEMBLIES SHALL FIRE STOPPED AND CAULKED PER DETAIL 1 A-8.3, INCLUDING HVAC DUCTS TO INCLUDE FIRE DAMPERS AT EACH PENETRATION.

KEY NOTES:

- STEEL MOMENT FRAME W/ 1-HOUR RATED INTUMESCENT PAINT, SEE SHEET A-8.5 FOR SPEC AND SEE STRUCTURAL
- EXISTING JULIET BALCONIES
- OPEN TO BELOW
- MAXIMUM OCCUPANCY SIGN

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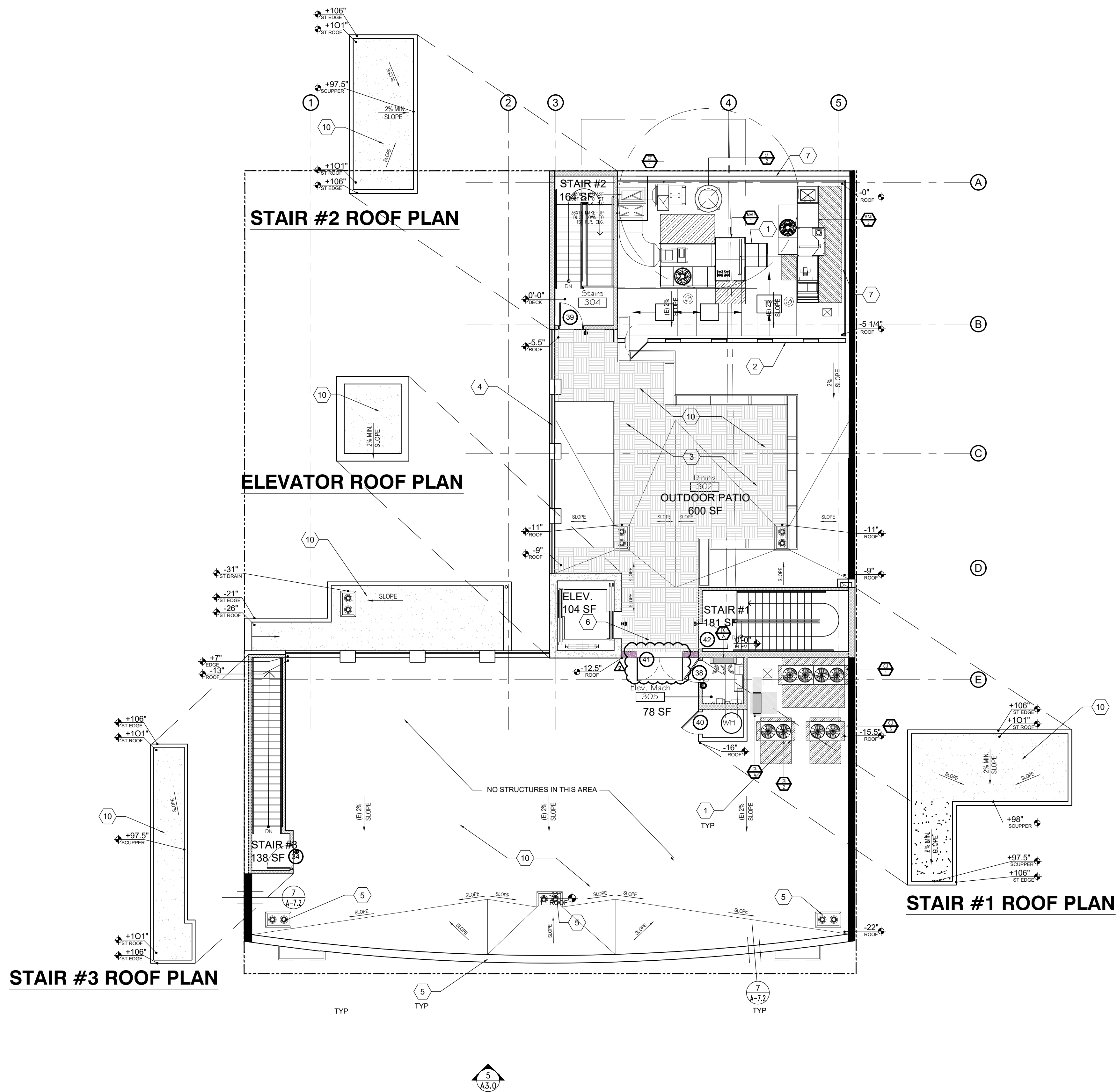
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LEGEND

- EXISTING EXTERIOR PARAPET WALL
- NEW 1 HOUR RATED EXTERIOR FIRE BARRIER, SEE

KEY NOTES:

- NEW ROOF TOP HVAC EQUIPMENT, SEE MECHANICAL DRAWINGS
- 7'-0" HIGH STUCCO WALL
- NEW BISON PEDESTAL FLOOR SYSTEM
- WROUGHT IRON GUARD RAIL, 42" ABOVE ROOF DECK
- EXISTING ROOF DRAIN
- NEW SIGN ON GATE RESTRICTED ACCESS TO EMPLOYEE USE ONLY FOR SERVICE TO THE BUILDING
- 4'-0" HIGH METAL PANEL MECHANICAL SCREEN, PER 5/A7.01
- PARAPET FILL-IN FROM REMOVAL OF ARCHITECTURAL FEATURE
- EXISTING ROOF CRICKET WITH NEW CLASS 'A' BUILT-UP ROOF SYSTEM
- CLASS 'A' BUILT-UP ROOF SYSTEM AS MANUFACTURED BY CERTAINTED, ICC #ESR-1388

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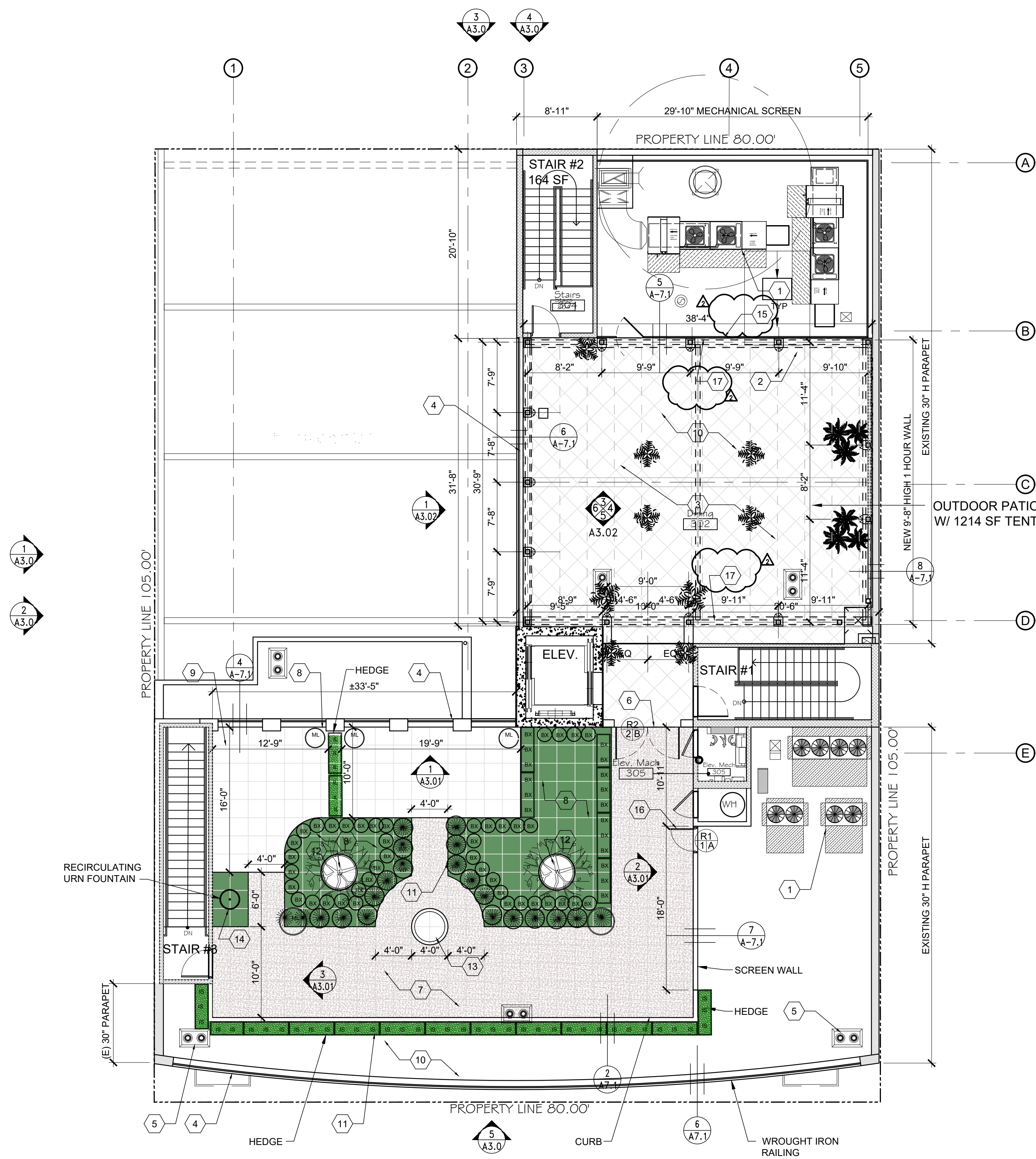
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00	05/30/24	ISSUE FOR PLANNING

DRAWING TITLE:
EXISTING APPROVED
ROOF LEVEL PLAN

PROJECT NO: 28196.01	ISSUE DATE: 08.28.24
DRAWN BY: JS	CHECKED BY: MN
SHEET NUMBER:	

A2.3.0



PROPOSED ROOF LEVEL

1/8" = 1'-0"



LEGEND

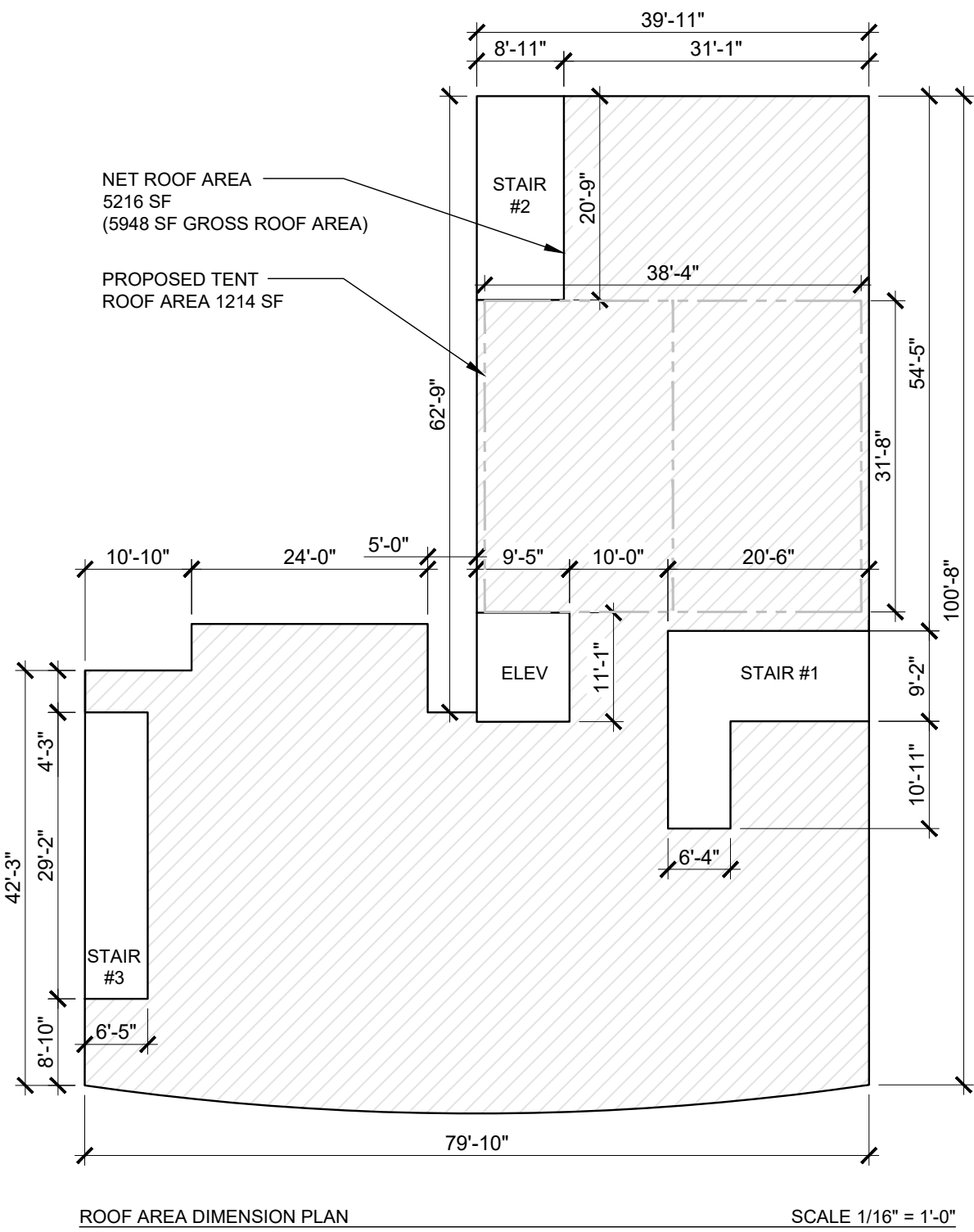
- EXISTING EXTERIOR PARAPET WALL
- EXISTING 1 HOUR RATED EXTERIOR FIRE BARRIER
- EXISTING 12" CONCRETE WALL

KEY NOTES:

- EXISTING ROOF TOP HVAC EQUIPMENT
- NEW 8'-0" HIGH STUCCO WALL W/ VINES
- NEW BISON PEDESTAL FLOOR SYSTEM
- (N) WROUGHT IRON GUARD RAIL, 42" HIGH ABOVE ROOF DECK
- EXISTING ROOF DRAIN
- NEW 8'-2" H WROUGHT IRON GATE ACCESS TO ROOF GARDEN
- TILE TECH PLANTING TRAY PAVER W/ COMPACTED GRAVEL PATHWAY
- TILE TECH TURF PAVER W/ ARTIFICIAL GRASS
- PORCELAIN TILE PAVER
- EXISTING CLASS 'A' BUILT-UP ROOF SYSTEM AS MANUFACTURED BY CERTANTEED, ICC #ESR-1388, UNDER PAVERS
- PLANTED AREA - W/ PLANTS IN POTS. SEE LANDSCAPE PLANS
- TREE IN POT - SEE LANDSCAPE PLANS
- STATUE ON CONCRETE PEDESTAL
- FREE STANDING RECIRCULATING URN FOUNTAIN
- NEW 48" HIGH MECHANICAL SCREEN, TO MATCH EXISTING SEE 5/A7.01
- NEW 7'-0" H HOLLOW METAL DOOR ACCESS TO MECHANICAL AREA. MATCH EXISTING ADJACENT DOOR HEIGHT AND COLOR.
- 8'-10" H TENT FABRIC OUTER WALL WITH PAINTED LATH INNER WALL

ALLOWABLE SUN SCREEN CALC.

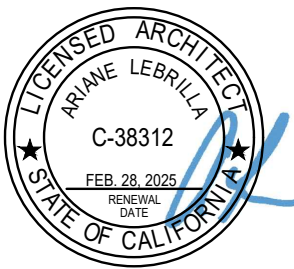
PER TABLE 'A' ZONING CODE SECTION 19.20.080.C.
BUILDING ROOF AREA = 5,216 S.F. X 25% = 1304 SF MAXIMUM SUNSHADE/ OPEN TRELLIS COVERAGE
PROPOSED SUNSHADE = 1214 SF.



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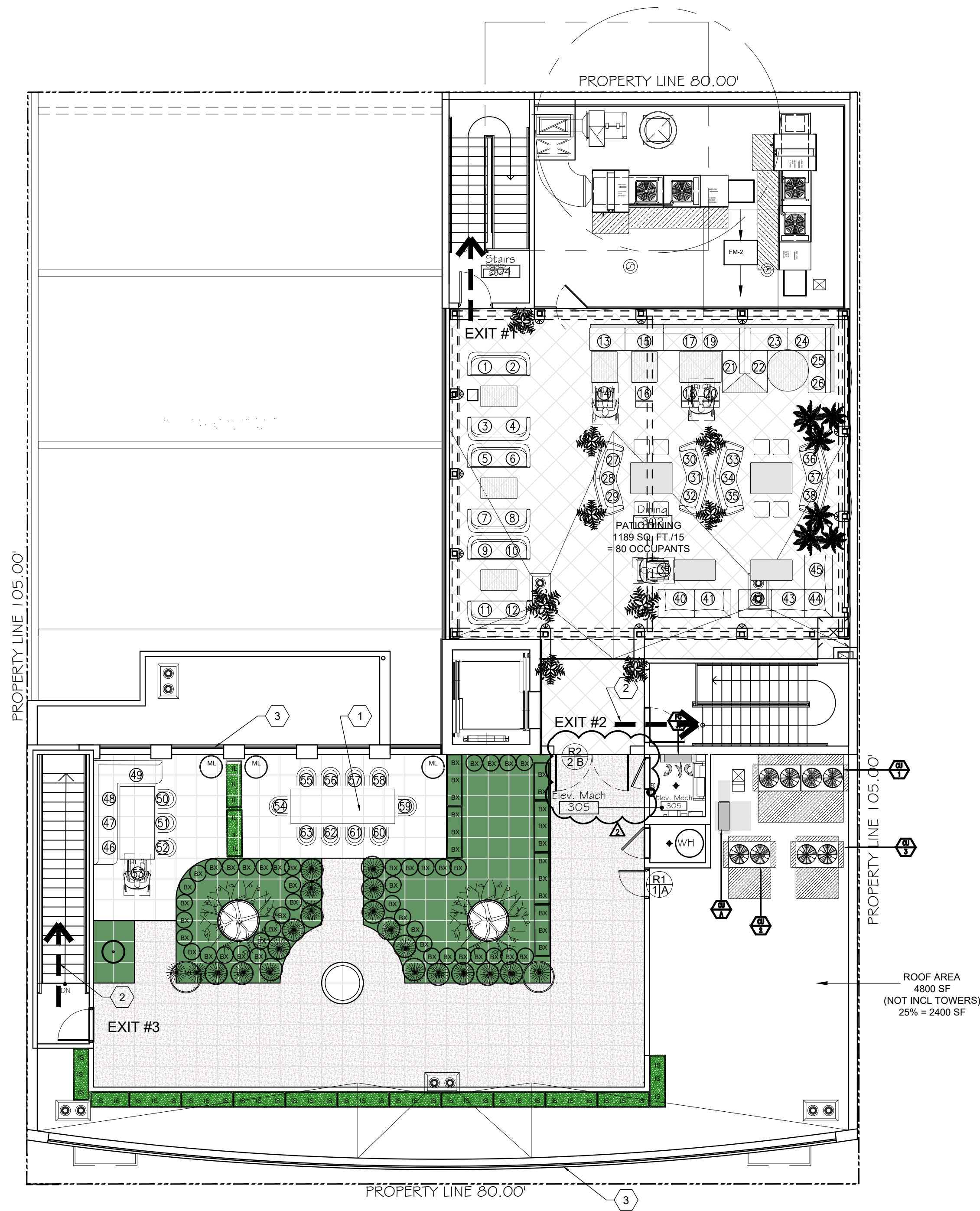
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PROPOSED ROOF PLAN

PROJECT NO:	ISSUE DATE:
28196.01	08.28.24
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JS	MN
SHEET NUMBER:	

A2.3.1



PROPOSED ROOF LEVEL SEATING

1/8" = 1'-0"



SEAT COUNT

ROOFTOP DINING 63 (x 5% ADA = 3.15, 4 PROVIDED)



KEY NOTES

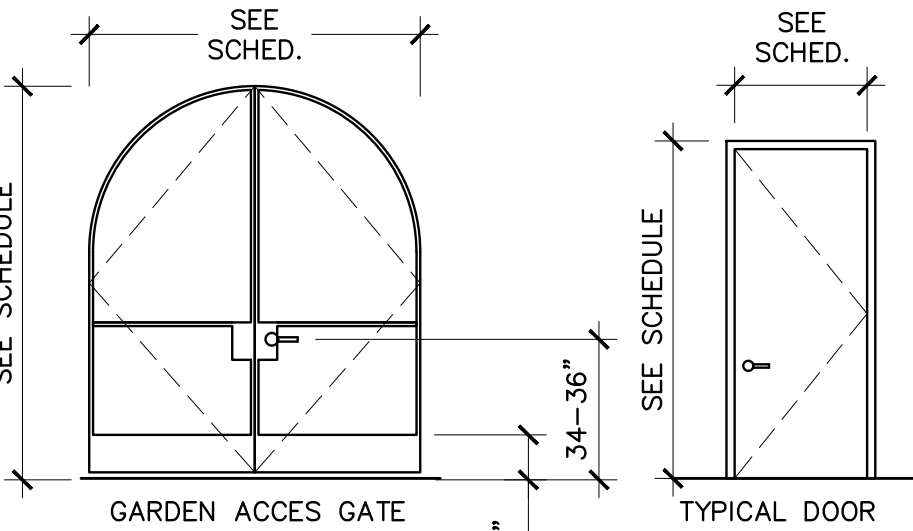
- 1 30" X 48" ADA COMPLIANT SEATING, SEE 4 A-0.3
- 2 EXIT PATH OF TRAVEL
- 3 WROUGHT IRON RAILING

DOORS:

DOOR / FRAME TYPE	DOOR / FRAME DESCRIPTION	DOOR SIZE
1	NEW PAINTED HOLLOW METAL DOOR IN PAINTED HOLLOW METAL FRAME	2'-6" X 7'-0" X 1-3/4" MATCH (E) HEIGHT & COLOR
2	NEW CUSTOM WROUGHT IRON GATE	7'-8" X 8'-2" H

- 1.2 DOORS
- A. CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING ALL DOOR ASSEMBLIES MEET ALL APPLICABLE CODES.
 - B. STANDARD FINISH FOR DOORS SHALL MATCH EXISTING.
 - C. DOORS AT BASE BUILDING AREAS ARE EXISTING TO REMAIN U.N.O.
 - D. GENERAL CONTRACTOR AND HARDWARE SUPPLIER SHALL BE RESPONSIBLE FOR COORDINATING THE LOCKING, LATCHING AND KEYING REQUIREMENTS WITH THE OWNER'S REPRESENTATIVE PRIOR TO PURCHASE AND INSTALLATION.
 - E. INTERIOR DOORS SHALL NOT EXCEED 5# OF FORCE TO OPERATE. EXTERIOR DOORS SHALL NOT EXCEED 5# OF FORCE TO OPERATE.
 - F. ALL OPERABLE DOORS SHALL BE FURNISHED WITH ACCESSIBLE, LEVER TYPE HARDWARE NOT TO EXCEED 15# AT FIRE RATED DOORS.
 - G. TEST AND ADJUST DOOR FOR SMOOTH, QUIET OPERATION.

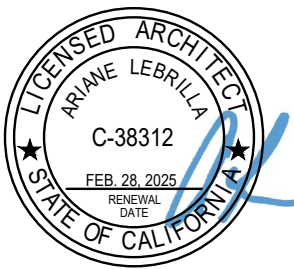
HARDWARE GROUP / DESCRIPTION
A EXTERIOR STORAGE LOCKSET, 2 PR. BUTT HINGES, SILENCER, CLOSER WALL STOP.
B GATE ENTRY LEVER LOCKSET, MORTISE ON ACTIVE LEAF, MANUAL FLUSH BOLTS ON INACTIVE LEAF GATE HINGES



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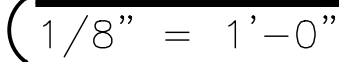
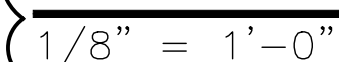
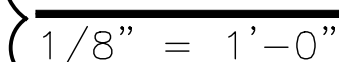
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PROPOSED ROOF LEVEL SEATING PLAN

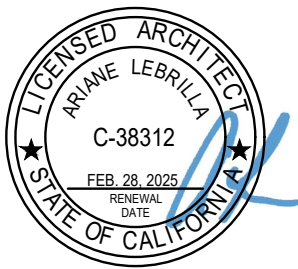
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A3.00

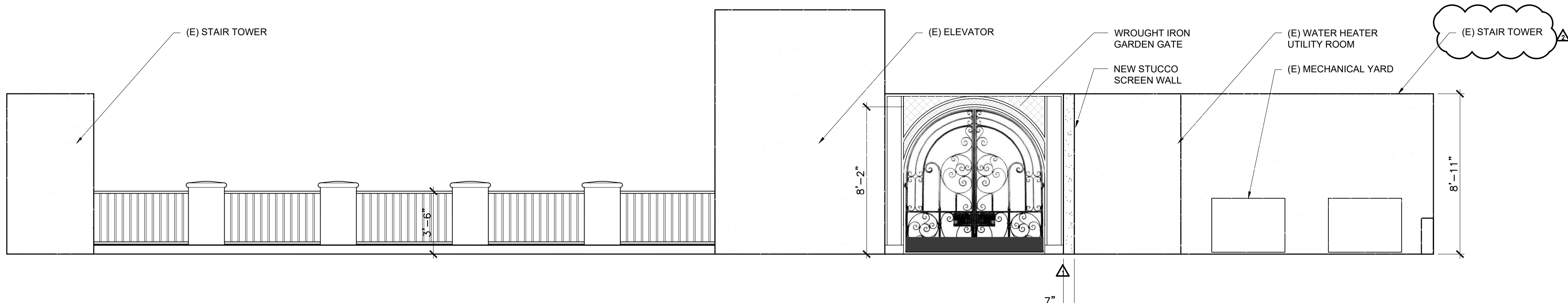
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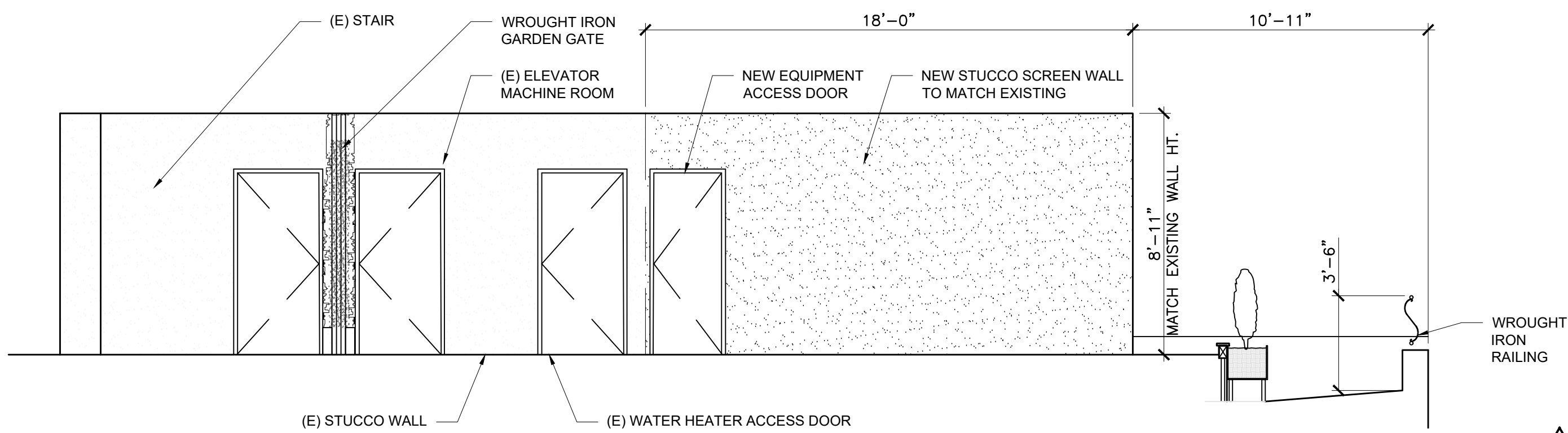
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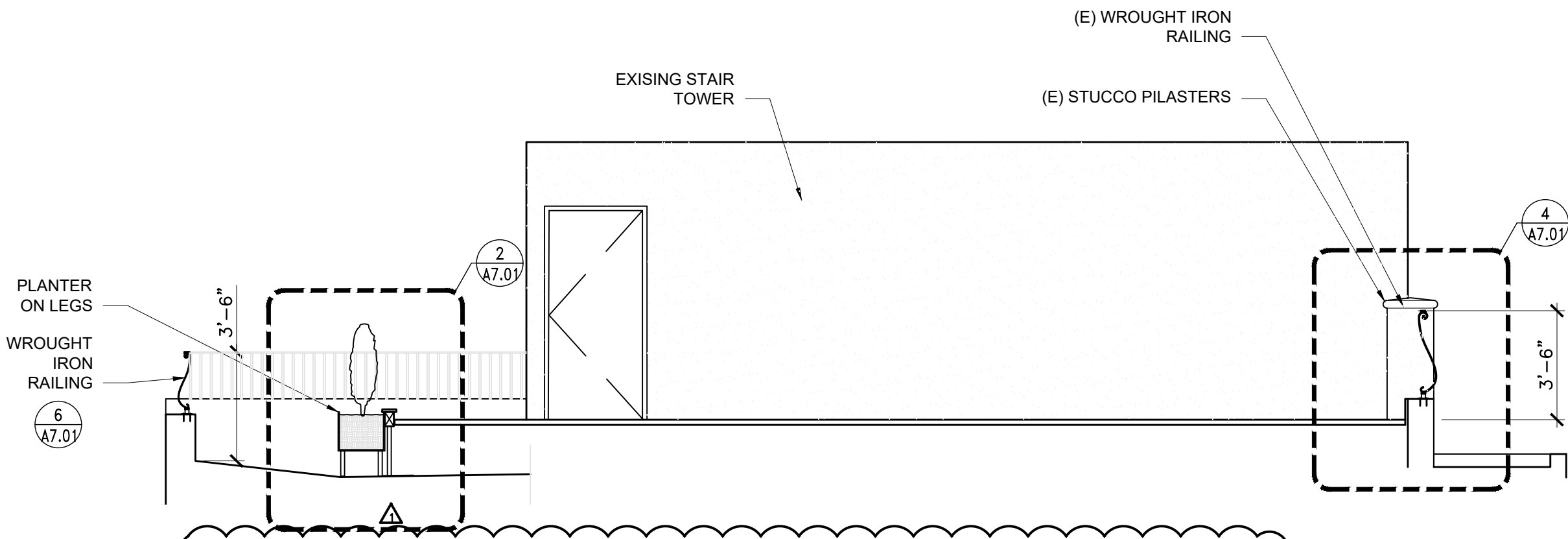
DRAWING TITLE: ENLARGED EXTERIOR ELEVATIONS ROOF GARDEN	
PROJECT NO.: 28196.01	ISSUE DATE: 08.28.24
DRAWN BY: JS	CHECKED BY: MN
SHEET NUMBER: A3.01	



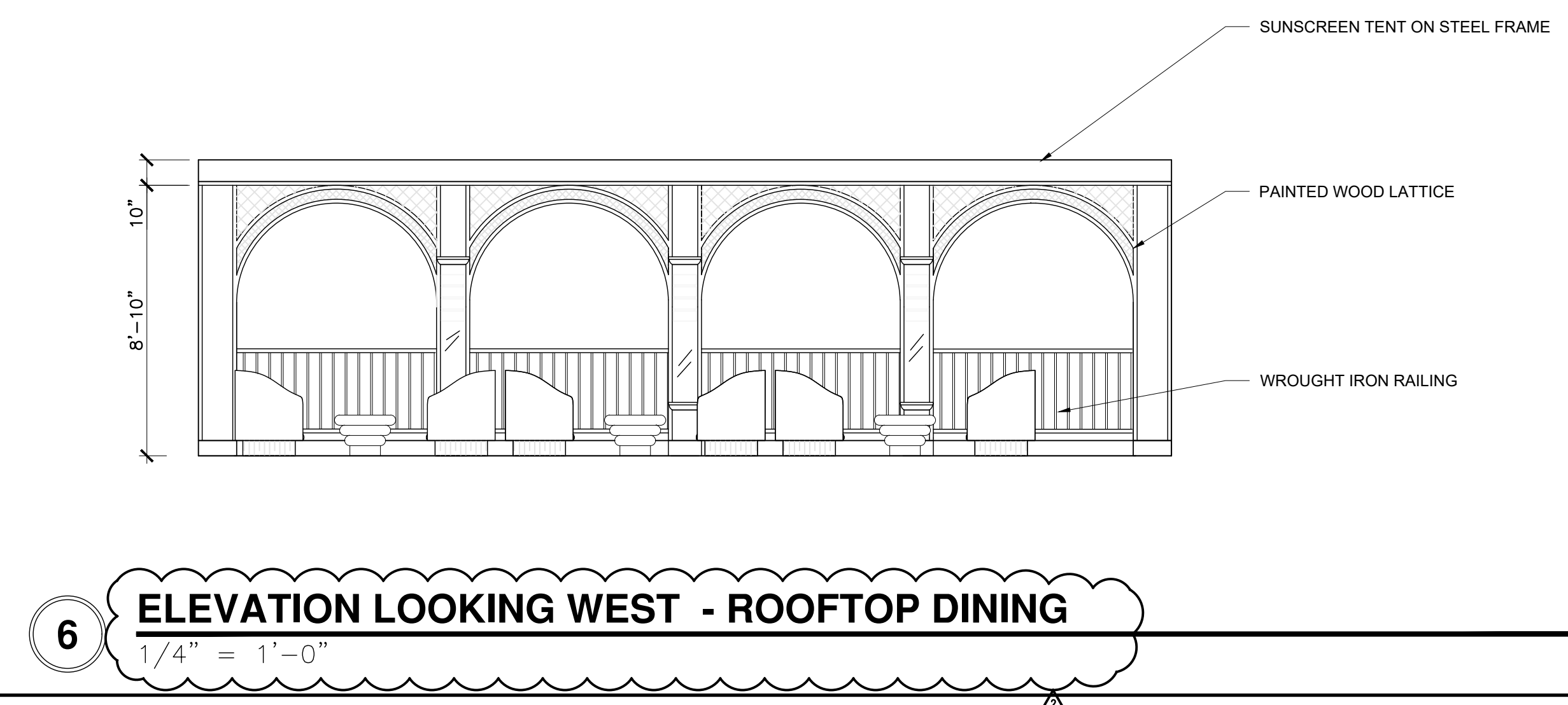
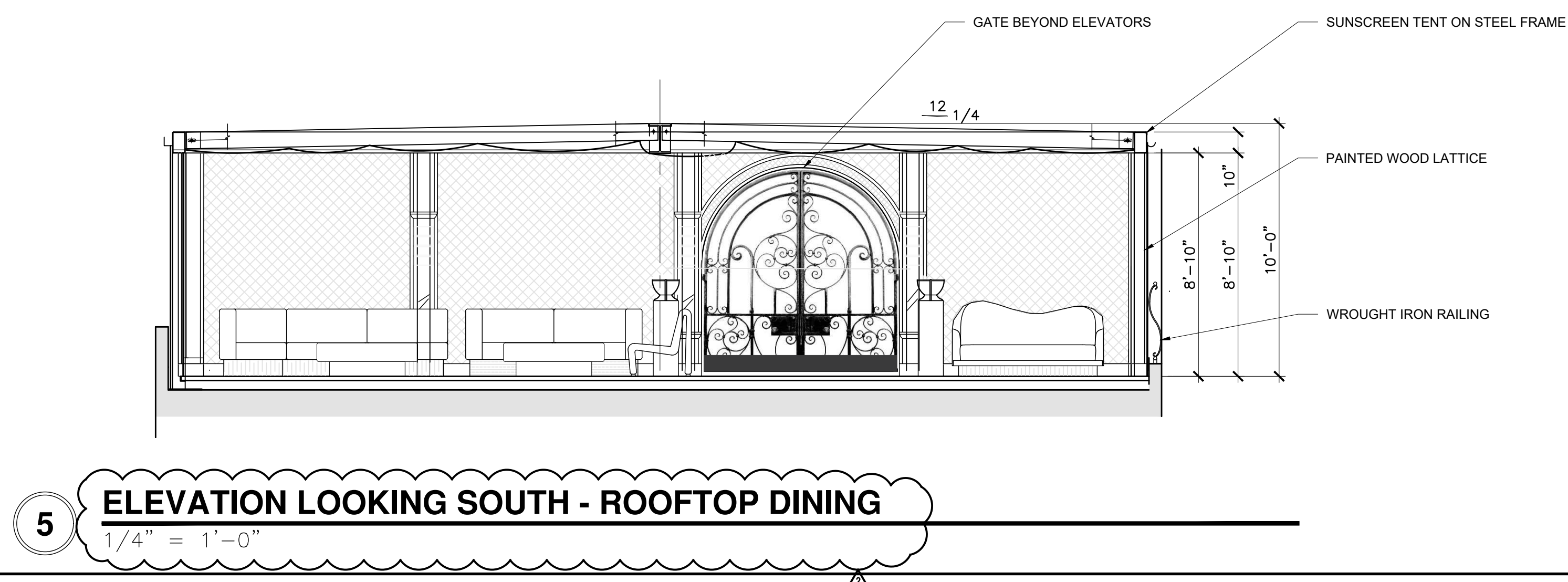
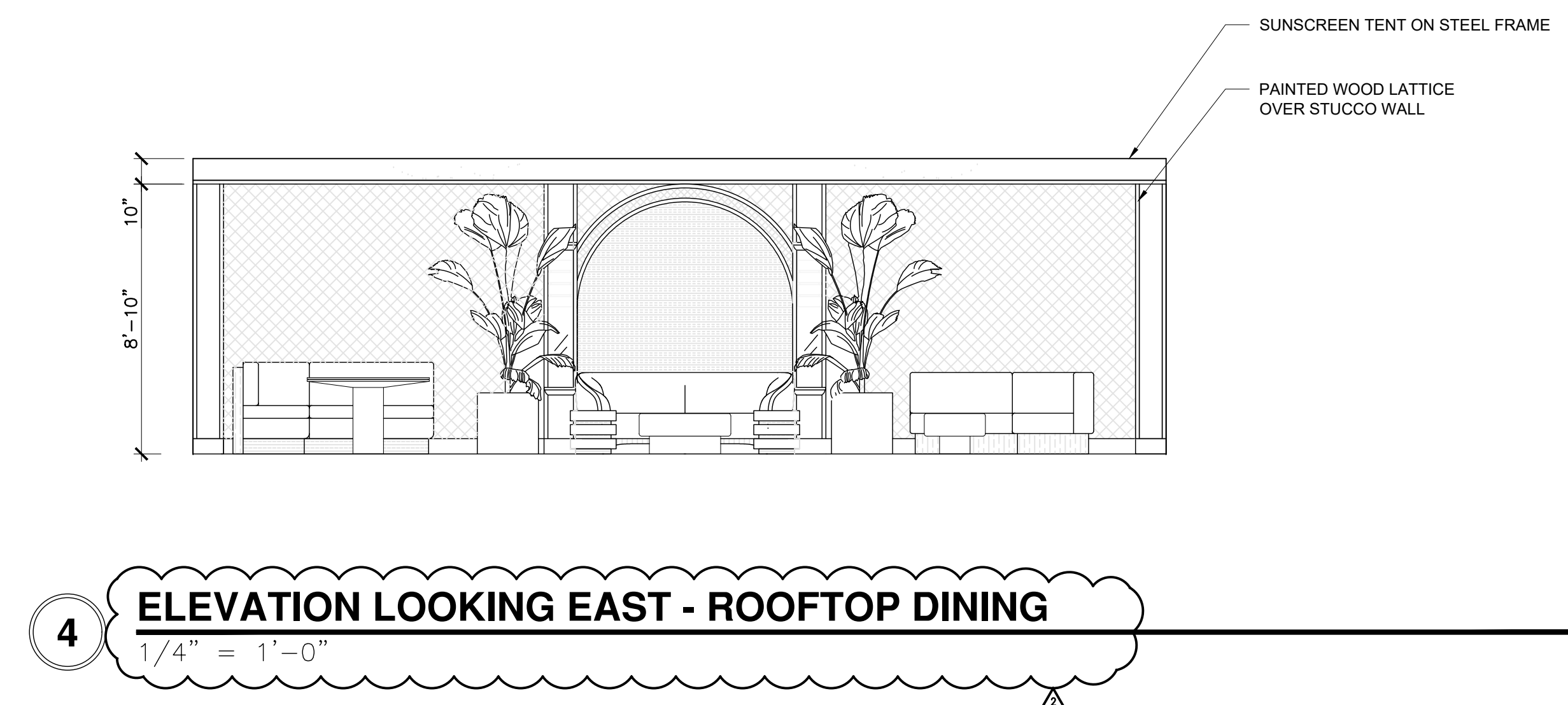
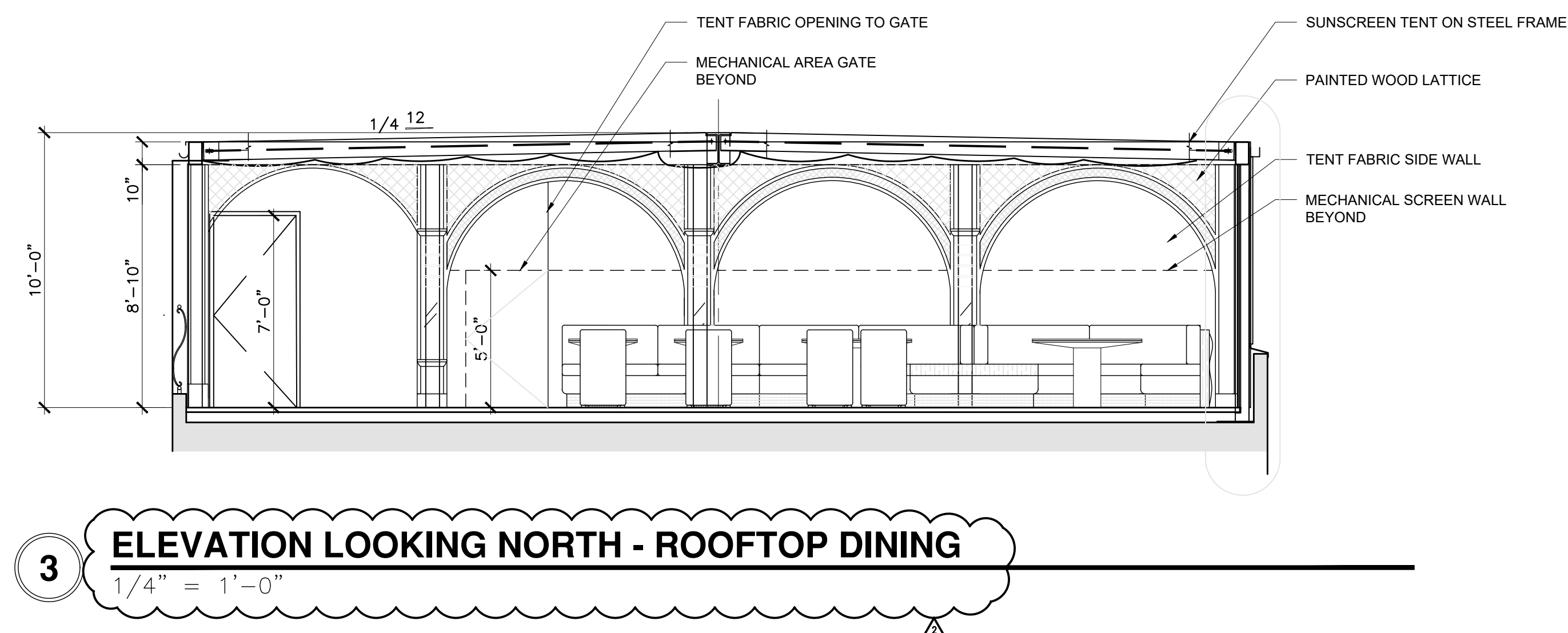
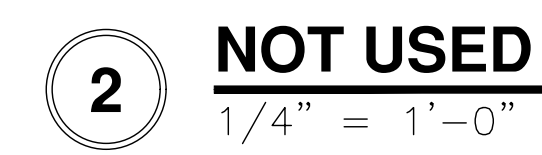
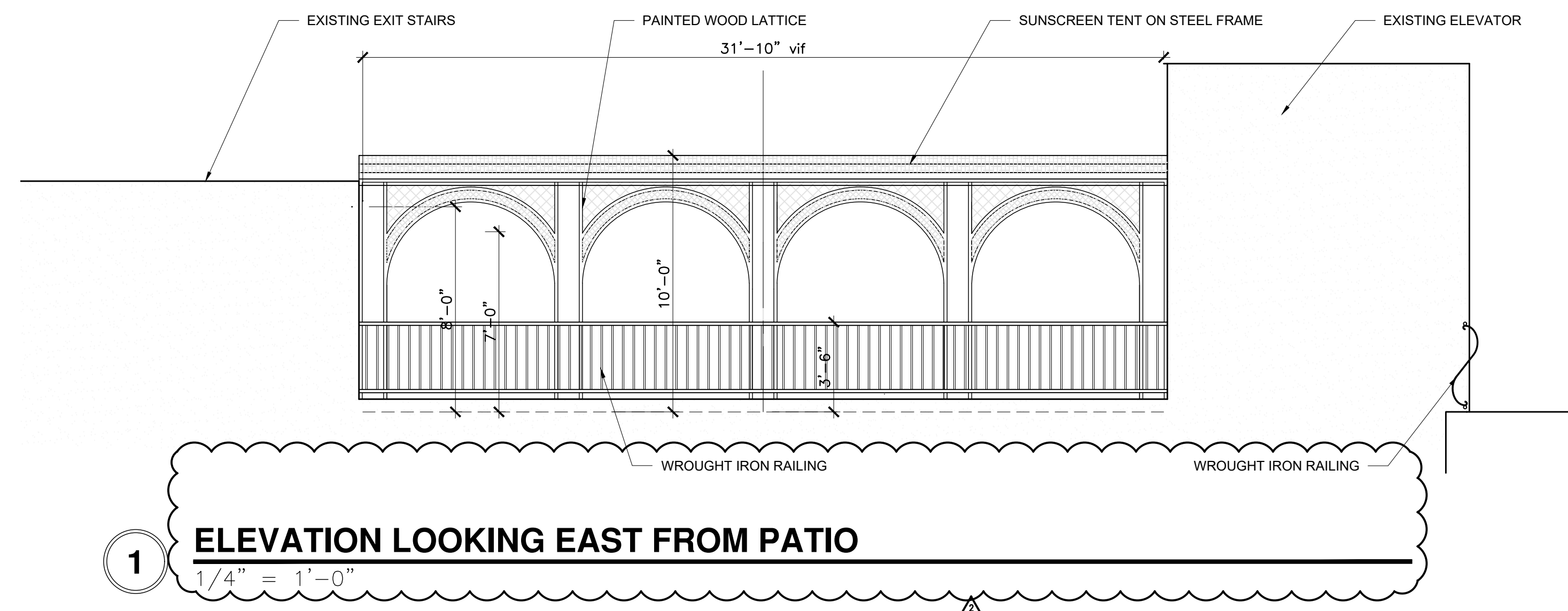
1
ELEVATION LOOKING NORTH FROM ROOF GARDEN
1/4" = 1'-0"



2
ELEVATION LOOKING EAST FROM ROOF GARDEN
1/4" = 1'-0"



3
ELEVATION LOOKING WEST FROM ROOF GARDEN
1/4" = 1'-0"



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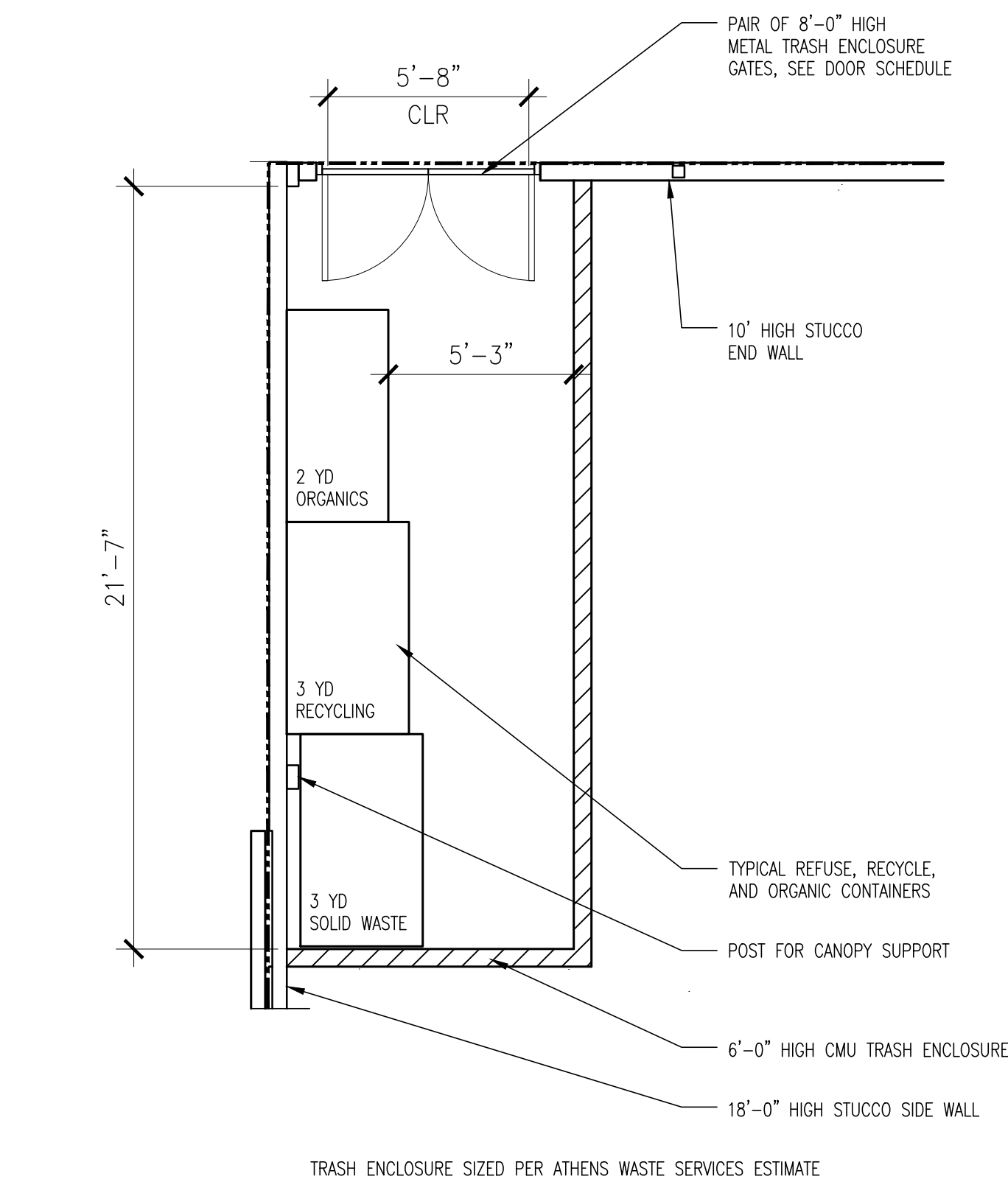
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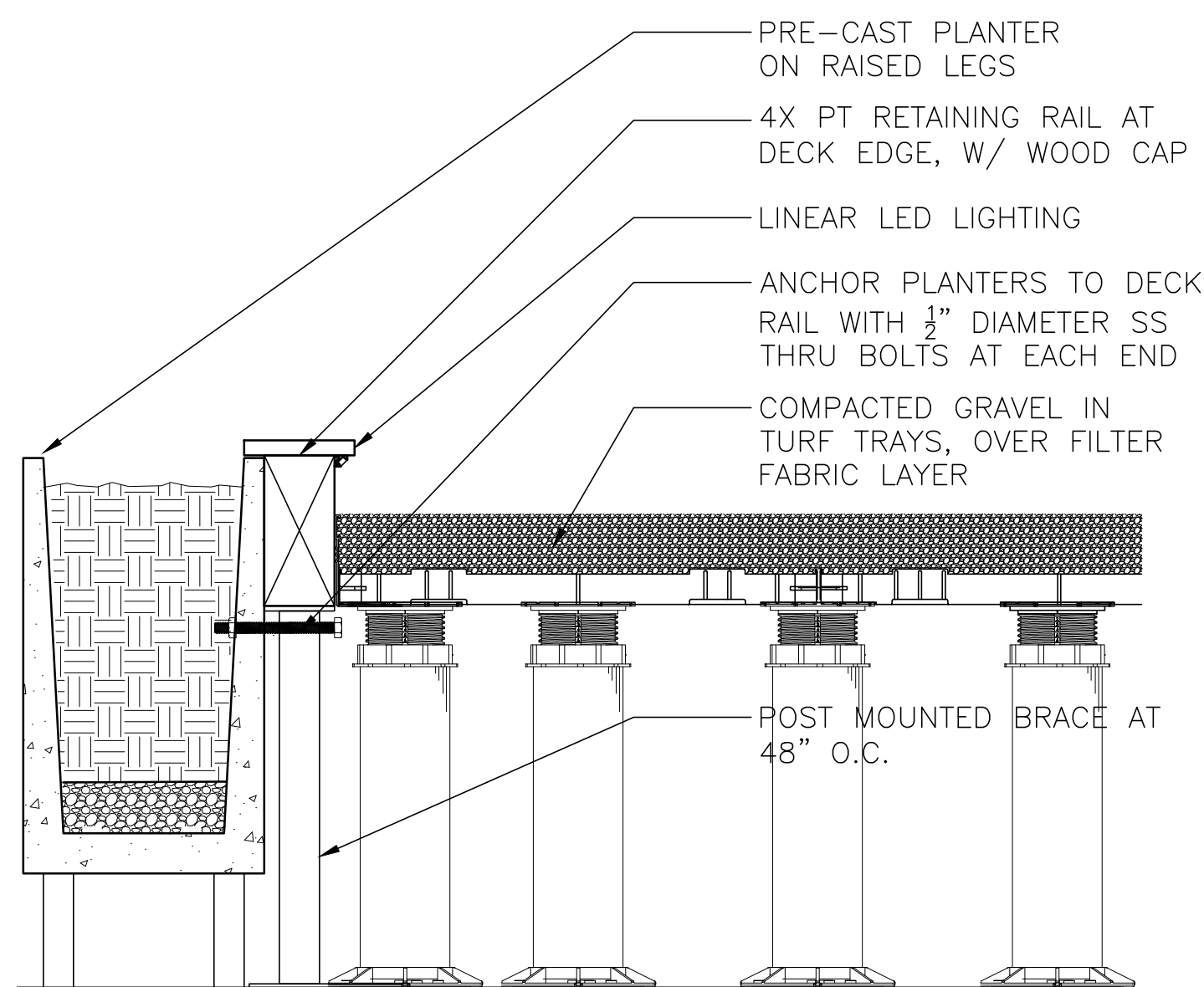
[illegible]

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PROJECT NO:	ISSUE DATE:
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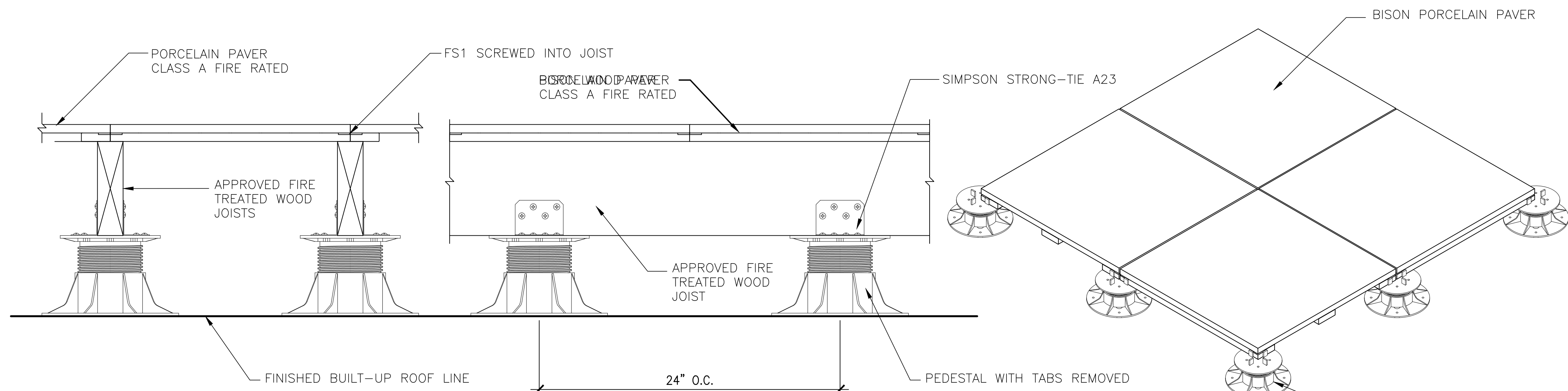
Z:\28196.01 8451 Melrose Rooftop\Drawings\CD\8451Melrose Roof Elevations.dwg



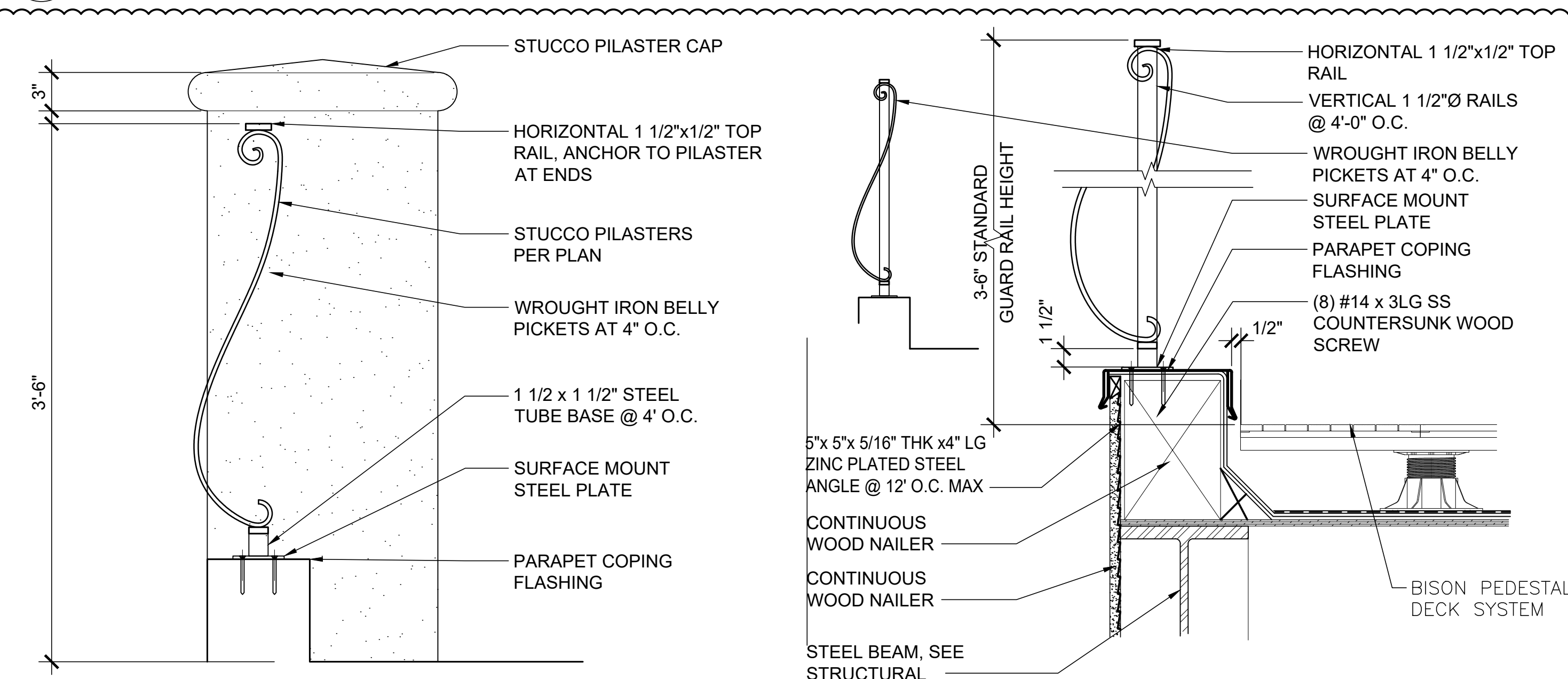
1 EXISTING TRASH ENCLOSURE PLAN
1/4" = 1'-0"



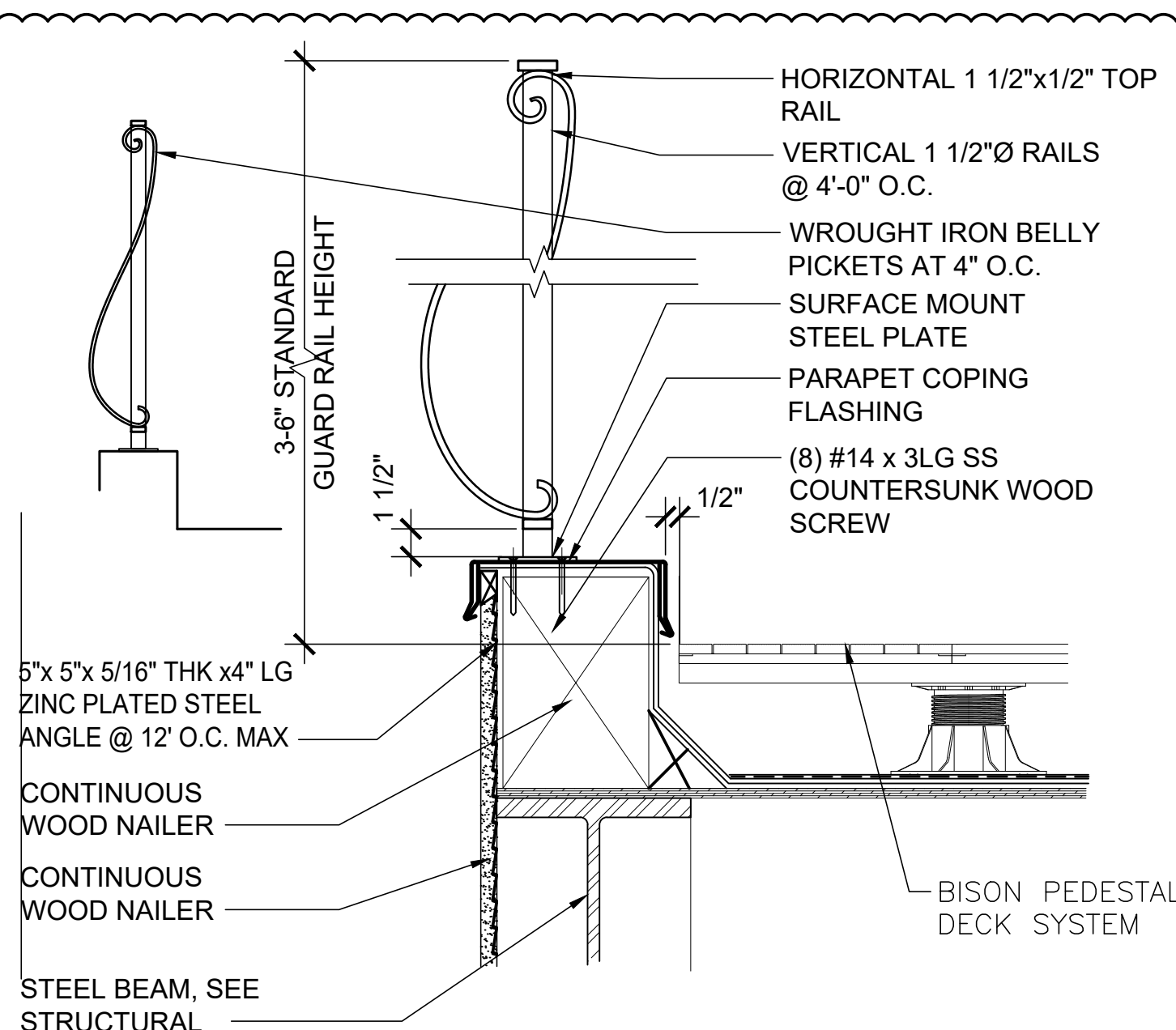
2 DECK EDGE DETAIL
1-1/2" = 1'-0"



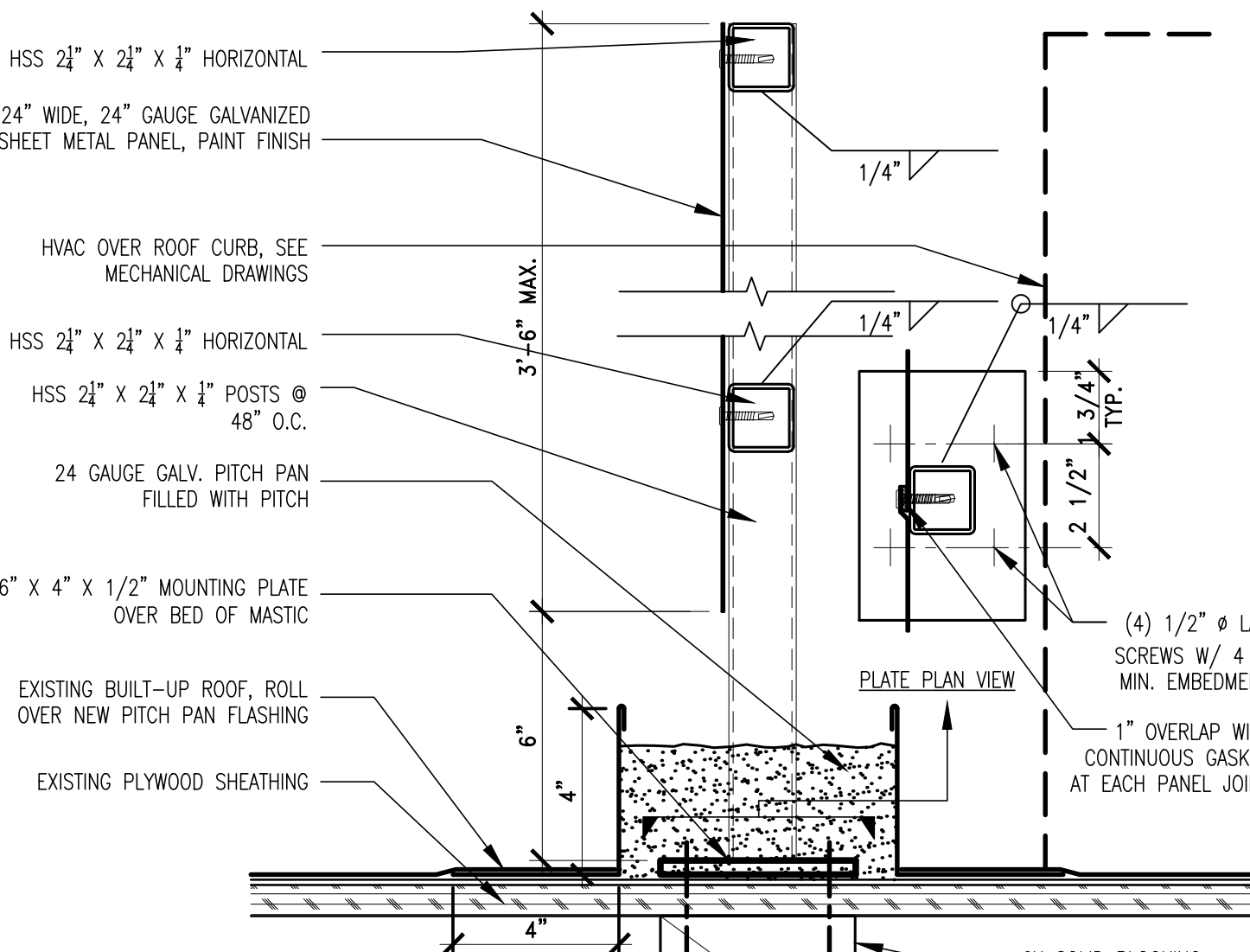
3 BISON EXTERIOR PEDESTAL FLOOR SYSTEM
3" = 1'-0"



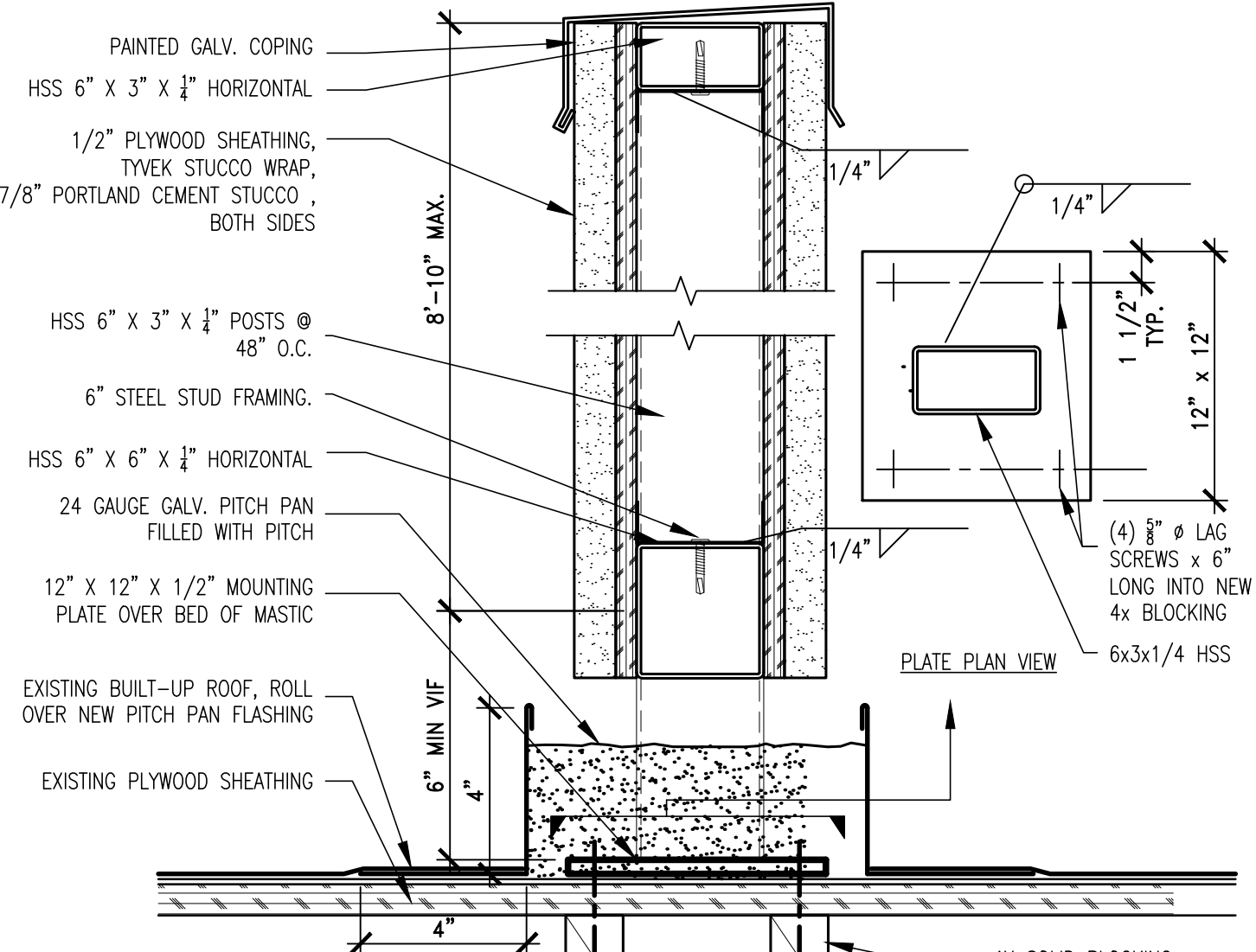
4 IRON RAILING DETAIL @ PILASTER
1-1/2" = 1'-0"



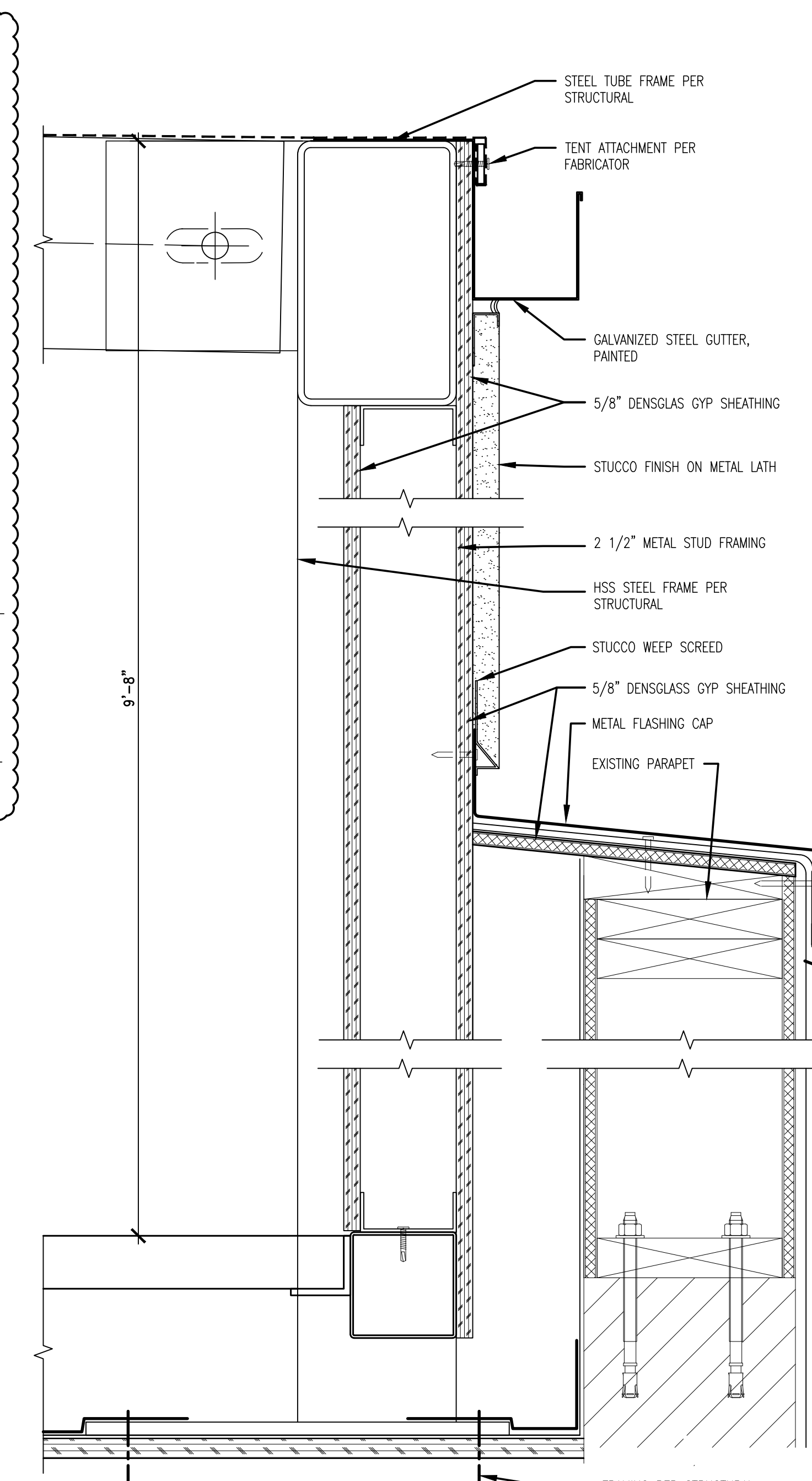
6 IRON RAILING DETAIL
1-1/2" = 1'-0"



5 METAL PANEL SCREEN
3" = 1'-0"



7 STUCCO SCREEN WALL
3" = 1'-0"



8 STUCCO SCREEN WALL @ TENT
3" = 1'-0"

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EXTERIOR DETAILS	
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A7.01

ABBREVIATIONS

A.B.	ANCHOR BOLT	LG.	LONG LENGTH
ADDL.	ADDITIONAL	LOTH.	LONG LEG HORIZONTAL
ADJ.	ADJACENT	LLH	LONG LEG HORIZONTAL
ALLOW.	ALLOWABLE	LLO	LONG LEG OUTSTANDING
ALT.	ALTERNATE	LLV	LONG LEG VERTICAL
APPROX.	APPROXIMATE	LTWT.	LIGHT WEIGHT
ARCH.	ARCHITECTURAL		
ASSY.	ASSEMBLY	MB.	MACHINE BOLTS
		MFR.	MANUFACTURER
BDRY.	BOUNDARY	MR.	MARK
BL	BOTTOM LAYER	MAX.	MAXIMUM
BLK	BLOCK	MECH.	MECHANICAL
BLKG.	BLOCKING	MEMB.	MEMBRANE
BM.	BEAM	MEZZ.	MEZZANINE
BN	BOUNDARY NAILING	MIN.	MINIMUM
BOT.	BOTTOM		
B.S.	BOTH SIDES	N.	NORTH
BT	BENT	N.I.C.	NOT IN CONTRACT
BTWN.	BETWEEN	N.O.	NUMBER
		N.S.	NEAR SIDE
		N.-S.	NORTH-SOUTH
		N. ST.	NELSON STUDS
		N.T.S.	NOT TO SCALE
CJ	CEILING JOIST		
CLR.	CLEAR	O.D.	OUTSIDE DIAMETER
CP	COMPLETE PENETRATION	O.F.	OPPOSITE HAND
COL.	COLUMN	OPNG.	OPENING
CONC.	CONCRETE	OPF.	OPPOSITE
CONN.	CONNECTION		
CONT.	CONTINUOUS	PLN.	PLAN
CSK.	COUNTERSINK	PL	PLATE
CTRS.	CENTERS	PLYWD.	PLYWOOD
		P.L.	PROPERTY LINE
		P.T.	PRESSURE TREATED
DBL.	DOUBLE		
DEPR.	DEPRESSION	R	RADIUS
DSTR.	DRAG STRUT	REG.	REGULAR
DIA.	DIAMETER	REIN.	REINFORCEMENT
DN.	DOWN	REQD.	REQUIRED
DO.	DITTO	RJ	ROOF JOIST
DWG.	DRAWING	RR	ROOF RAFTERS
DS.	DOUBLE STIRRUPS		
DWLS.	DOWELS	SCHED.	SCHEDULE
		SECT.	SECTION
E.	EACH	SHTG.	SHEATHING
EA.	EACH FACE	SM.	SIMILAR
EMBM.	EMBEDMENT	SLO	SHORT LEG OUTSTANDING
EQUIP.	EQUIPMENT	S.	SOUTH
EA. W	EAST-WEST	SQ.	SQUARE
E-W.	EXISTING	STAG.	STAGGERED
EXT.	EXTERIOR	STD.	STANDARD
		STIRR.	STIRRUPS
FD	FLOOR DRAIN	STL.	STEEL
FDN.	FOUNDATION	STR.	STRAIGHT
FINISH FLOOR		STRUCT.	STRUCTURAL
FJ.	FLOOR JOIST	SUPPT.	SUPPORT
FLG.	FLANGE	SYM.	SYMMETRICAL
FLR.	FLOOR		
F.O.S.	FACE OF STUD		
F.P.	FULL PENETRATION		
F.S.	FACE OF WALL	T & B	TOP AND BOTTOM
FTG.	FOOTING	T.C.	TEMPERATURE
F.W.	FACE OF WALL	TEMP.	TAPERED STEEL GIRDER
		TH.	THICK
GA.	GAGE	THRD.	THREADED
GALV.	GALVANIZED	TL	TOP LAYER
GL.	GLUED LAMINATED BEAM	T.S.	TOP OF STEEL
GRD.	GRADE	T.W.	TOP OF WALL
		TYP.	TYPICAL
HD	HOLD DOWN	U.N.O.	UNLESS NOTED OTHERWISE
HDR	HEADER	VERT.	VERTICAL
HGR.	HANGER		
HOOK	HOOK		
HORIZ.	HORIZONTAL		
H.S.	HIGH STRENGTH		
		W.	WEST
I.D.	INSIDE DIAMETER	WD.	WOOD
I.F.	INSIDE FACE	W/	WITH
INT.	INTERIOR	W.O.	WITHOUT
		W.P.	WORKING POINT
JT.	JOIST	WWF	WELDED WIRE FABRIC
JT.	JOINT		

GENERAL

- ALL WORK SHALL COMPLY WITH THE MINIMUM PROVISIONS OF THE CALIFORNIA BUILDING CODE, 2019 EDITION, AS MODIFIED BY THE CITY OF WEST HOLLYWOOD.
- SPECIFIC NOTES AND DETAILS SHALL TAKE PRECEDENCE OVER GENERAL NOTES AND DETAILS.
- THE CONTRACTOR SHALL VERIFY ALL CONTRACT DOCUMENTS, SITE DIMENSIONS AND CONDITIONS PRIOR TO STARTING WORK AND SHALL NOTIFY THE ARCHITECT OF ANY DISCREPANCIES OR INCONSISTENCIES.
- REFER TO ARCHITECTURAL DRAWINGS FOR ALL WALL DIMENSIONS, WALL OPENINGS AND ALL OTHER DIMENSIONS NOT SHOWN ON THE STRUCTURAL DRAWINGS. DO NOT SCALE DRAWINGS.
- CONTRACTORS RESPONSIBLE FOR THE CONSTRUCTION OF A WIND OR SEISMIC FORCE RESISTING SYSTEM/COMPONENT LISTED IN THE "STATEMENT OF SPECIAL INSPECTION" SHALL SUBMIT A WRITTEN STATEMENT OF RESPONSIBILITY TO THE LADBS INSPECTORS AND THE OWNER PRIOR TO THE COMMENCEMENT OF WORK ON SUCH SYSTEM OR COMPONENT PER SEC 1709.1.

DESIGN LOADS

1. LIVE LOADS: ROOF LOAD: FLAT - 20 PSF.
- FLOORS: TYPICAL - 50 PSF.
- DECK - 60 PSF.
- STAIR/RAMP -100 PSF.

2) WIND LOAD & FACTORS:

ASCE 7-16 Ch. 29 - MWFRS Wind Loads for All Other Structures

Method:			
Step 1- IMPORTANCE FACTOR, Iw	= 1.00	Section 11.5.1 Table 1.5-2	
Step 2- BASIC WIND LOAD, V	= 110 mph	Figure 26.5-1A for Risk Category II	
Step 3- Wind Load Parameters:			
Wind directionality factor, Kd	= 0.85	Table 26.6-1 Lattice Framework	
Exposure category	= B	Section 26.7 Urban areas	
Topo. Expos. Factor, Kzt	= 1.00	Section 26.8.2 (Not Section 26.8-1, use 1.0)	
Gust Effect Factor, G	= 0.85	Section 26.9	
Step 4- Velocity Pressure Exposure Coefficient: Kz or Kh		Table 29-2-1	
HEIGHT, h ft	25	0.66 psf	
Step 5- Velocity pressure qz or qh			Equation 29.3-1
qz = 0.00256 Kz Kzt Kd V ²	= 17.38 psf		
Step 6- Force Coefficient, Cf	= 1.10	Fig. 29.5-2 Open signs, lattice frameworks	
		Ratio of Solid to Gross: e = 0.3 to 0.7	
Step 7- Calculate wind force, F:			
F = qz G Cf Af	= Af x 16.25 psf	Eq. 29.5-1 for other structures	
	USE: = 17.00 X W		

C.) SEISMIC LOADS AND FACTORS:

SEISMIC FACTORS: Based on Ch. 15: Nonbuilding Structures:

Section 15.4.1 Requires min. force per Sec 12.8

Ch. 12.8: Minimum requirements of Equivalent Lateral Procedure			
Note:			
Short term Spec. Acc., Ss	= 1.958	USGS-Earthquake Ground Motion Parameter	
Long term Spec. Acc., S1	= 0.700	USGS-Earthquake Ground Motion Parameter	
Seis. Site Type (assume)	= D	Section 20.1	
Site Coef., Fa	= 1.200	Table 11.4-1	
Site Coef., Fv	= 1.000	Table 11.4-2	
Sms = Fa X Ss	= 2.350	Section 11.4.3 - Equation (11.4-1)	
Sm1 = Fv X S1	= 0.700	Section 11.4.3 - Equation (11.4-2)	
Sds = 2/3 Sms	= 1.566	Section 11.4.4 - Equation (11.4-3)	
Sd1 = 2/3 Sm1	= 0.467	Section 11.4.4 - Equation (11.4-4)	
SDC:	= E	Section 11.6 - T11.6-1 & T11.6-2	
IMPORTANCE FACTOR, Ie	= 1.00	Section 11.5.1 Table 1.5-2	
Resp. Modify., R	= 1.25	T. 15.4-2 All other Self Supporting Structures	
Def. Amp., Cd	= 2.5	T. 15.4-2 All other Self Supporting Structures	
Sys. Overstreng., omga0	= 2	T. 15.4-2 All other Self Supporting Structures	
STRUCTURE PERIOD:		Section 12.8.2.1	
Ct	= 0.020	Table 12.8-2 All other Structural systems	
x	= 0.800	Table 12.8-2 All other Structural systems	
h _n	= 26.00 ft	Field Measurements	
T= Ct * (h _n) ³	= 0.271 sec.	Equation (12.8-7)	
BASE SHEAR:		Section 12.8: Equivalent Lateral Procedure	
V = W Sds / (R/I)	= 1.253 X W	Equation (12.8-2)	
Vmax = W Sd1 / T(R/I)	= 1.377 X W	Equation (12.8-3)	
Vmin = W 0.01	= 0.010 X W	Equation (12.8-5)	
Vmin = W 0.44Sds	= 0.689 X W	Equation (12.8-5) or (15.4-1)	
Vmin = W 0.03	= 0.030 X W	Equation (15.4-1)	
Vmin = W 0.851 / (R/I)	= 0.448 X W	Equation (12.8-6) replaced w/ (15.4-2)	
GOVERNING BASE SHEAR	= 1.253 X W		

STRUCTURAL STEEL

- STRUCTURAL STEEL SHALL CONFORM TO ASTM A992, Fy = 50 ksi, U.N.O.
- TUBE MEMBERS SHALL CONFORM TO ASTM A500, GRADE B OR A1085.
- PIPE MEMBERS SHALL CONFORM TO ASTM A53, GRADE B OR A1085.
- BOLTS SHALL CONFORM TO ASTM A307, U.N.O.
- ANCHOR BOLTS SHALL CONFORM TO ASTM A307, U.N.O.
- WELDING ELECTRODES SHALL CONFORM TO AWS D1.1, E70XX.
- FABRICATION AND ERECTION SHALL BE IN COMPLIANCE WITH CURRENT A.I.S.C. SPECIFICATIONS FOR BUILDINGS. SHOP DRAWINGS SHALL BE SUBMITTED TO THE ENGINEER FOR REVIEW PRIOR TO FABRICATION.
- ALL WELDING SHALL BE DONE BY WELDERS CERTIFIED BY THE L.A. CITY BUILDING DEPARTMENT.
- ALL WELDS SHALL BE PREQUALIFIED IN CONFORMITY WITH THE CODE FOR WELDING IN BUILDING CONSTRUCTION AWS D1.1.
- FABRICATION SHALL BE DONE IN SHOPS WHICH COMPLY WITH THE REQUIREMENTS OF THE BUILDING CODE. FABRICATOR SHALL BE L.A. CITY LICENSED.

STATEMENT OF SPECIAL INSPECTIONS:

THIS STATEMENT OF SPECIAL INSPECTIONS IS SUBMITTED IN FULFILLMENT OF THE REQUIREMENTS OF CBC SECTIONS 1704 AND 1705. SPECIAL INSPECTIONS AND TESTING SHALL BE PERFORMED IN ACCORDANCE WITH THE APPROVED PLANS AND SPECIFICATIONS, THIS STATEMENT AND CBC SECTIONS 1704, 1705, 1707, AND 1708. THE SCHEDULE OF SPECIAL INSPECTIONS SUMMARIZES THE SPECIAL INSPECTIONS AND TESTS REQUIRED. SPECIAL INSPECTORS SHALL REFER TO THE APPROVED PLANS AND SPECIFICATIONS FOR DETAILED SPECIAL INSPECTION REQUIREMENTS. ANY ADDITIONAL TESTS AND INSPECTIONS REQUIRED BY THE APPROVED PLANS AND SPECIFICATIONS SHALL ALSO BE PERFORMED. INTERIM REPORTS SHALL BE SUBMITTED TO THE BUILDING OFFICIAL AND THE REGISTERED DESIGN PROFESSIONAL IN RESPONSIBLE CHARGE IN ACCORDANCE WITH CBC SECTION 1704.1.2. A FINAL REPORT OF SPECIAL INSPECTIONS DOCUMENTING REQUIRED SPECIAL INSPECTIONS, TESTING AND CORRECTION OF ANY DISCREPANCIES NOTED IN THE INSPECTIONS SHALL BE SUBMITTED PRIOR TO ISSUANCE OF A CERTIFICATE OF USE AND OCCUPANCY (SECTION 1704.1.2).

THE OWNER RECOGNIZES HIS OR HER OBLIGATION TO ENSURE THAT THE CONSTRUCTION COMPLIES WITH THE APPROVED PERMIT DOCUMENTS AND TO IMPLEMENT THIS PROGRAM OF SPECIAL INSPECTIONS. IN PARTIAL FULFILLMENT OF THESE OBLIGATIONS, THE OWNER SHALL RETAIN AND DIRECTLY PAY FOR THE SPECIAL INSPECTIONS AS REQUIRED IN CBC SECTION 1704.1. THE CONTRACTOR SHALL SUBMIT A WRITTEN STATEMENT OF RESPONSIBILITY TO THE LADBS INSPECTORS AND TO THE OWNER PRIOR TO COMMENCEMENT OF WORK PER SECTION 1709.1

SCHEDULE OF INSPECTION, TESTING AGENCIES, AND INSPECTORS:

THE FOLLOWING ARE THE TESTING AGENCIES AND SPECIAL INSPECTORS THAT WILL BE RETAINED TO CONDUCT TESTS AND INSPECTION ON THIS PROJECT. PROVIDE FIRM NAME, RESPONSIBILITY, ADDRESS, TELEPHONE, AND E-MAIL OF THE RESPONSIBLE PERSON (S) FOR THE FOLLOWING FIELDS:

- WELDING FIELD WELDED STRUCTURAL STEEL CONNECTIONS. REINFORCING STEEL.
- HIGH STRENGTH BOLTING
- COMPACTED FILL
- CAST-IN-PLACE ANCHOR BOLTS
- EXPANSION TYPE ANCHOR BOLTS AND EPOXY GROUTED BOLTS
- SIMPSON STRONG WALL SHEAR WALL COMPONENTS
- SPRAY ON FIRE PROOFING
- CONCRETE STRENGTH f'c>2500 PSI
- SHEAR WALL NAILING WHERE NAILS ARE SPACED LESS THAN 4"

ITEMS SUBJECT TO THE REQUIREMENTS: SEISMIC REQUIREMENTS (SECTION 1705.3.1), WIND REQUIREMENTS (SECTION 1705.4.1):

1707.3 - STRUCTURAL WOOD: FINAL INSPECTION OF ALL NEW AND EXISTING NAILS, SCREWS & BOLTS.

CONTINUOUS INSPECTION

CONTINUOUS INSPECTIONS BY A REGISTERED DEPUTY BUILDING INSPECTOR, APPROVED BY THE ARCHITECT AND THE AUTHORITY HAVING JURISDICTION, SHALL BE REQUIRED FOR THE FOLLOWING TYPES OF WORK. SEE PROJECT SPECIFICATIONS FOR SPECIFIC REQUIREMENTS. SPECIAL INSPECTIONS SHALL NOT BE REQUIRED WHEN THE WORK IS DONE ON THE PREMISES OF A FABRICATOR REGISTERED AND APPROVED BY THE BUILDING OFFICIAL TO PERFORM SUCH WORK WITHOUT SPECIAL INSPECTION.

- WELDING FIELD WELDED STRUCTURAL STEEL CONNECTIONS. REINFORCING STEEL.
- HIGH STRENGTH BOLTING
- COMPACTED FILL
- CAST-IN-PLACE ANCHOR BOLTS
- EXPANSION TYPE ANCHOR BOLTS AND EPOXY GROUTED BOLTS
- SIMPSON STRONG WALL SHEAR WALL COMPONENTS
- REINF. FOR CONC. WITH STRENGTH GREATER THAN F'c = 2500 PSI

GENERAL NOTES FOR STRUCTURAL OBSERVATION

- STRUCTURAL OBSERVATION IS REQUIRED FOR THE STRUCTURAL SYSTEM IN ACCORDANCE WITH THE INFORMATION BULLETIN NO. P/BC 2002-024. STRUCTURAL OBSERVATION IS THE VISUAL OBSERVATION AT THE CONSTRUCTION SITE OF THE ELEMENTS AND CONNECTIONS OF THE STRUCTURAL SYSTEM AT SIGNIFICANT CONSTRUCTION STAGES AND THE COMPLETE STRUCTURE FOR GENERAL CONFORMANCE TO THE APPROVED PLANS AND SPECIFICATIONS. STRUCTURAL OBSERVATION DOES NOT WAIVE THE RESPONSIBILITY FOR THE INSPECTIONS REQUIRED OF THE BUILDING INSPECTOR OR THE DEPUTY INSPECTOR.
- THE OWNER SHALL EMPLOY A STATE OF CALIFORNIA REGISTERED CIVIL OR STRUCTURAL ENGINEER OR LICENSED ARCHITECT TO PERFORM THE STRUCTURAL OBSERVATION. THE DEPARTMENT OF BUILDING AND SAFETY (LADBS) RECOMMENDS THE USE OF THE ENGINEER OR ARCHITECT RESPONSIBLE FOR THE STRUCTURAL DESIGN WHO ARE INDEPENDENT OF THE CONTRACTOR.
- THE STRUCTURAL OBSERVER SHALL PROVIDE EVIDENCE OF EMPLOYMENT BY THE OWNER OR THE OWNER'S REPRESENTATIVE. A LETTER FROM THE OWNER, THE OWNER'S REPRESENTATIVE, OR A COPY OF THE AGREEMENT FOR SERVICES SHALL BE SENT TO THE BUILDING INSPECTOR BEFORE THE FIRST SITE VISIT.
- THE OWNER OR OWNER'S REPRESENTATIVE SHALL COORDINATE AND CALL FOR A MEETING BETWEEN THE ENGINEER OR ARCHITECT RESPONSIBLE FOR THE STRUCTURAL DESIGN, STRUCTURAL OBSERVER, CONTRACTOR, AFFECTED SUBCONTRACTORS AND DEPUTY INSPECTORS. THE PURPOSE OF THE MEETING SHALL BE TO IDENTIFY THE MAJOR STRUCTURAL ELEMENTS AND CONNECTIONS THAT AFFECT THE VERTICAL AND LATERAL LOAD SYSTEMS OF THE STRUCTURE AND TO REVIEW SCHEDULING OF THE REQUIRED OBSERVATIONS. A RECORD OF THE MEETING SHALL BE INCLUDED IN THE FIRST OBSERVATION REPORT SUBMITTED TO THE BUILDING INSPECTOR.
- THE STRUCTURAL OBSERVER SHALL PERFORM SITE VISITS AT THOSE STEPS IN THE PROGRESS OF THE WORK THAT ALLOW FOR CORRECTION OF DEFICIENCIES WITHOUT SUBSTANTIAL EFFORT OR UNCOVERING OF THE WORK INVOLVED. AT A MINIMUM, THE LISTED SIGNIFICANT CONSTRUCTION STAGES ON THE FOLLOWING STRUCTURAL OBSERVATION/SIGNIFICANT CONSTRUCTION STAGES TABLE REQUIRE A SITE VISIT AND AN OBSERVATION REPORT FROM THE STRUCTURAL OBSERVER.
- THE STRUCTURAL OBSERVER SHALL PREPARE A REPORT OF THE STRUCTURAL OBSERVATION REPORT FORM IN/FORM.08 (PART 1) FOR EACH SIGNIFICANT STAGE OF CONSTRUCTION OBSERVED. THE ORIGINAL OF THE STRUCTURAL OBSERVATION REPORT SHALL BE SENT TO THE BUILDING INSPECTOR'S OFFICE AND SHALL BE SIGNED AND SEALED (WET STAMP) BY THE RESPONSIBLE STRUCTURAL OBSERVER. ONE COPY OF THE OBSERVATION REPORT SHALL BE ATTACHED TO THE APPROVED PLANS. THE COPY ATTACHED TO THE PLANS SHALL BE SIGNED AND SEALED (WET STAMP) BY THE RESPONSIBLE STRUCTURAL OBSERVER OR THEIR DESIGNEE. COPIES OF THE REPORT SHALL ALSO BE GIVEN TO THE OWNER, CONTRACTOR, AND DEPUTY INSPECTOR. ANY DEFICIENCY NOTED ON THE OBSERVATION REPORT WILL BECOME THE RESPONSIBILITY OF THE STRUCTURAL ENGINEER OF RECORD TO VERIFY ITS COMPLETION BY HIM (HER), OR BY A REGISTERED DEPUTY INSPECTOR AT THE DISCRETION OF THE STRUCTURAL OBSERVER.
- A FINAL OBSERVATION REPORT AND THAT OF THE REGISTERED DEPUTY INSPECTOR MUST BE SUBMITTED WHICH SHOWS THAT ALL OBSERVED DEFICIENCIES WERE RESOLVED AND STRUCTURAL SYSTEM GENERALLY CONFORMS WITH THE APPROVED PLANS AND SPECIFICATIONS. THE DEPARTMENT OF BUILDING AND SAFETY (LADBS) WILL NOT ACCEPT THE STRUCTURAL WORK WITHOUT THIS FINAL OBSERVATION REPORT AND THAT OF THE REGISTERED DEPUTY INSPECTOR (WHEN PROVIDED) AND THE CORRECTION OF SPECIFIC DEFICIENCIES NOTED DURING NORMAL BUILDING INSPECTION.
- THE STRUCTURAL OBSERVER SHALL PROVIDE THE ORIGINAL STAMPED AND SIGNED STRUCTURAL OBSERVATION REPORT TO THE CITY OF LOS ANGELES DEPARTMENT OF BUILDING AND SAFETY BUILDING INSPECTOR.
- WHEN THE OWNER ELECTS TO CHANGE THE STRUCTURAL OBSERVER OF RECORD, THE OWNER SHALL:
 - NOTIFY THE BUILDING INSPECTOR IN WRITING BEFORE THE NEXT INSPECTION BY SUBMITTING COMPLETED "STRUCTURAL OBSERVATION PROGRAM AND DESIGNATION OF THE STRUCTURAL OBSERVER" FORM IN/FORM.08 (PART 2)
 - CALL AN ADDITIONAL PRECONSTRUCTION MEETING, AND
 - FURNISH THE REPLACEMENT STRUCTURAL OBSERVER WITH A COPY OF ALL PREVIOUS OBSERVATION REPORTS. THE REPLACEMENT STRUCTURAL OBSERVER SHALL APPROVE THE CORRECTION OF THE ORIGINAL OBSERVED DEFICIENCIES UNLESS OTHERWISE APPROVED BY PLAN CHECK SUPERVISION. THE POLICY OF THE DEPARTMENT SHALL BE TO CORRECT ANY PROPERTY NOTED DEFICIENCIES WITHOUT CONSIDERATION OF THEIR SOURCE.
- THE ENGINEER OR ARCHITECT OF RECORD SHALL DEVELOP ALL CHANGES RELATING TO THE STRUCTURAL SYSTEMS. THE BUILDING DEPARTMENT SHALL REVIEW AND APPROVE ALL CHANGES TO THE APPROVED PLANS AND SPECIFICATIONS.

STRUCTURAL OBSERVER DESIGNATION

STRUCTURAL OBSERVATION PROGRAM
AND DESIGNATION OF THE
STRUCTURAL OBSERVER

PROJECT ADDRESS: 8451 MELROSE PERMIT APPL. NO.: _____

DESCRIPTION OF WORK: COURTYARD RENOVATION

OWNER: _____

ARCHITECT: _____

ENGINEER: HOOMAN NASTARIN, P.E.

STRUCTURAL OBSERVATION (ONLY CHECKED ITEMS ARE REQUIRED)			
FIRM OR INDIVIDUAL TO BE RESPONSIBLE FOR THE STRUCTURAL OBSERVATION:			
NAME: HOOMAN NASTARIN	PHONE: 310-268-9419	CALIF. REGISTRATION: C62199	
FOUNDATION	WALL	FRAME	DIAPHRAGM
<input type="checkbox"/> FOOTING, STEM WALLS, PIERS	<input type="checkbox"/> CONCRETE <input checked="" type="checkbox"/> STEEL MOMENT FRAME	<input type="checkbox"/> CONCRETE	
<input type="checkbox"/> MAT FOUNDATION	<input type="checkbox"/> MASONRY <input type="checkbox"/> STEEL BRACED FRAME	<input type="checkbox"/> STEEL DECK	
<input type="checkbox"/> CAISSON, PILES, GRADE BEAMS	<input type="checkbox"/> WOOD <input type="checkbox"/> CONC. MOMENT FRAME	<input type="checkbox"/> WOOD	
<input type="checkbox"/> STEPP'G/RETAIN'G FOUNDATION, HILLSIDE SPECIAL ANCHORS	<input type="checkbox"/> OTHERS: <input type="checkbox"/> MASONRY WALL FRAME	<input checked="" type="checkbox"/> OTHERS: FLEXIBLE GANCY INSTALLATION	
<input checked="" type="checkbox"/> OTHERS: CONN. TO EXIST.	<input type="checkbox"/> OTHERS:		

DECLARATION BY OWNER

I, THE OWNER OF THE PROJECT, DECLARE THAT THE ABOVE LISTED FIRM OR INDIVIDUAL IS HIRED BY ME TO BE THE STRUCTURAL OBSERVER.

SIGNATURE _____ DATE _____

DECLARATION BY ARCHITECT OR ENGINEER OF RECORD (REQ'D. IF THE STRUCTURAL OBSERVER IS DIFFERENT FROM THE ARCHITECT OR ENGINEER OF RECORD)

I, THE ARCHITECT OR ENGINEER OF RECORD FOR THE PROJECT, DECLARE THAT THE ABOVE LISTED FIRM OR INDIVIDUAL IS DESIGNATED BY ME TO BE RESPONSIBLE FOR THE STRUCTURAL OBSERVATION.

SIGNATURE _____ LICENSE NO. _____ DATE _____

ASD | SKY

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San Francisco, CA 94104
T 415.288.8670
F 415.288.8676
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ROOF GARDEN
WEST HOLLYWOOD
CALIFORNIA 90069

CONSULTANT

NAST
ENTERPRISES
CORP.

Consulting Structural Engineering Services
554 S San Vicente Blvd, Suite 202
Los Angeles, CA 90048
Tel. (310) 268 - 9419

STAMP



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NAST & Associated Space Design, Inc. 2024

NO. DATE: REMARKS:

REVISIONS:

DRAWING TITLE:

GENERAL AND
STRUCTURAL NOTES
AND DETAILS

PROJECT NO.: N-2377

ISSUE DATE: 2024-06-10

DRAWN BY:

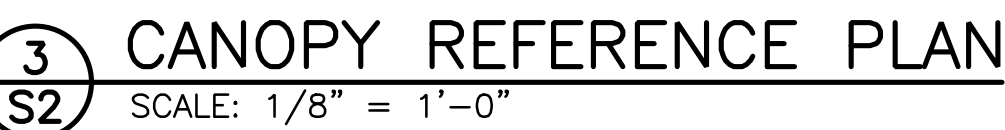
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SHEET NUMBER:

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S2

MELROSE TERRACE

IRRIGATION
8451 MELROSE AVE.
WEST HOLLYWOOD, CA 90069 APN 5528-017-073

TOTAL LANDSCAPED AREA: 464.3 SQ FT
WATER SUPPLY: POTABLE

STUDIO H2O
13929 MARQUESAS WAY,
MARINA DEL REY, CA 90292
310-663-4385

GENERAL CONSTRUCTION NOTES

- (THE LANDSCAPE ARCHITECT HAD BEEN PAID TO MEET WITH THE CONTRACTORS TO REVIEW THE PLANS, ANSWER ANY QUESTIONS, AND REVIEW WORK TO ASSURE COMPLIANCE WITH THE PLANS. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO CALL THE LANDSCAPE ARCHITECT AND SET AN APPOINTMENT FOR MEETINGS. ALLOW AT LEAST A 24 HOUR NOTICE FOR SUCH MEETINGS. SEE LIST ON CONSTRUCTION PLAN OF ITEMS THE LANDSCAPE ARCHITECT AND OWNER MUST APPROVE AS WORK PROGRESSES.
- CITY STREETS, SIDEWALKS, AND ADJACENT PROPERTY SHALL BE PROTECTED THROUGHOUT CONSTRUCTION.
 - THE CONTRACTORS ARE RESPONSIBLE FOR REPLACEMENT, AT THEIR COST, OF ANY EXISTING ITEMS THAT ARE TO REMAIN AND ARE DAMAGED DURING CONSTRUCTION. THESE ITEMS MAY INCLUDE PLANT MATERIAL, PAVING, WALLS, UTILITIES SUCH AS SEWER, ELECTRICAL, WATER SUPPLY, ETC. SEE LANDSCAPE ARCHITECT FOR LIST OF THESE ITEMS BEFORE START OF CONSTRUCTION THERE WILL BE A SITE VISIT WITH OWNER & LANDSCAPE ARCHITECT TO SPECIFY & DETERMINE THOSE ITEMS COVERED.
 - ALL LIMITS OF WORK, PROPERTY LINES, AND LOCATIONS OF EXISTING UTILITIES, ETC. AS SHOWN ON PLANS, SHALL BE VERIFIED PRIOR TO COMMENCING WORK. ALERT THE LANDSCAPE ARCHITECT AND OWNER IF THERE ARE DISCREPANCIES.
 - CONSULT GRADING AND CONSTRUCTION PLANS, FOR LOCATION OF DRAIN LINES, AREA AND DECK DRAINS AND CATCH BASINS.
 - THE LANDSCAPE ARCHITECT AND OWNER SHALL APPROVE ALL FORM WORK PRIOR TO POURING OF CONCRETE PAVING AND POOL STEEL PRIOR TO APPLICATION OF GUNITE. ALL CONCRETE SHALL BE POURED ON UNDISTURBED NATIVE SOIL OR SOIL WITH A MINIMUM MOISTURE DENSITY COMPACTION OF 90%, UNLESS NOTED OTHERWISE ON PLANS. SOIL ENGINEER'S PLANS & SPECS ON SOIL COMPACTION SHALL TAKE PRECEDENCE OVER THIS REQUIREMENT IF SUCH SPECS ARE MORE STRINGENT. SEE SOIL ENGINEER'S PLANS TO BE SUPPLIED TO YOU BY OWNER.
 - ANY DISCREPANCIES IN THE PLANS SHALL BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT AND OWNER BEFORE THE START OF WORK. ANY DEVIATIONS FROM THE PLANS SHALL BE APPROVED BY THE LANDSCAPE ARCHITECT AND OWNER. IF THE OWNER REQUESTS CHANGES TO THE PLANS, THE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT PRIOR TO MAKING THOSE CHANGES.
 - PAY ATTENTION TO THE LOCATION OF SLEEVES THAT MUST BE INSTALLED PRIOR TO POURING CONCRETE. SLEEVE LOCATIONS ARE SHOWN ON THE CONSTRUCTION PLAN. DO NOT INSTALL PAVING UNLESS SLEEVES ARE IN PLACE.
 - CONTRACTORS SHALL PULL ALL PERMITS AND HANDLE ALL INSPECTIONS.
 - CONTRACTORS SHALL BE RESPONSIBLE FOR ANY COORDINATION WITH OTHER TRADES AS REQUIRED TO ACCOMPLISH ALL CONSTRUCTION OPERATIONS.
 - THE LOCATION OF FEATURES TO BE CONSTRUCTED NOT SPECIFICALLY DIMENSIONED MAY BE DETERMINED BY SCALE. IF CONFLICTS ARISE IN THE FIELD, CONTACT LANDSCAPE ARCHITECT FOR RESOLUTION.
 - CONTRACTOR SHALL SUBMIT SAMPLES OF SUFFICIENT SIZE (MINIMUM 12" SQUARE), OF ALL PAVING FINISHES AND COLORS, FOR THE APPROVAL OF THE CLIENT AND / OR LANDSCAPE ARCHITECT PRIOR TO CONSTRUCTION.
 - SEE PLANTING PLANS, FOR ANY BOXED TREES TO BE INSTALLED PRIOR TO PAVING.
 - UNLESS NOTED OTHERWISE, ALL LUMBER SHALL BE S4S DOUGLAS FIR. ALL WEATHER EXPOSED WOOD SURFACES SHALL BE PAINTED OR STAINED AS CALLED OUT ON PLANS. IF FINISH IS NOT SPECIFIED ON PLANS, CONTACT LANDSCAPE ARCHITECT. PAY ATTENTION TO THOSE PIECES OF LUMBER THAT ARE TO BE PRESSURE TREATED, WOLMANIZED MATERIAL, AS CALLED OUT ON PLANS.
 - ALL HARDWARE, NAILS, LAG BOLTS, MACHINE BOLTS, WASHERS, ETC., SHALL BE GALVANIZED.
 - ALL DIMENSIONS ARE TAKEN FROM THE FACE OF THE WALLS, EDGE OF PAVING, OR CENTER LINE, UNLESS NOTED OTHERWISE ON PLAN. ALL RADII AND CURVES SHALL HAVE SMOOTH CONTINUOUS TRANSITIONS WITHOUT ABRUPT CHANGES OR BENDS AS THEY ARE DRAWN ON THE PLANS.
 - THE CONTRACTORS SHALL GUARANTEE HIS / HER WORK FOR A PERIOD OF FIVE YEARS.

NOTICE TO OWNER

!!WARNING!! YOU SHOULD REVIEW THESE PLANS AND UNDERSTAND THEM. THE PLANS DETAIL HOW THE JOB IS TO BE INSTALLED. THE PLANS PROTECT YOU AND THE CONTRACTOR, AND ARE LEGAL DOCUMENTS THAT PLACE SPECIFIC REQUIREMENTS ON THE CONTRACTOR AND THE WORK PERFORMED.

FAILURE TO UNDERSTAND THE PLANS WILL NOT RELIEVE YOU OF EXTRA CHARGES BY THE CONTRACTOR IF YOU WANT CHANGES MADE TO COMPLETED WORK.

THE OWNER SHOULD TELL THE CONTRACTOR TO INSTALL THE JOB AS DIRECTED BY THE PLANS AND THE LANDSCAPE ARCHITECT. DO NOT DIRECT THE CONTRACTOR TO MAKE CHANGES WITHOUT FIRST REVIEWING THEM WITH THE LANDSCAPE ARCHITECT FOR HIS APPROVAL. PROBLEMS THAT ARISE AS A RESULT OF CHANGES MADE BY THE OWNER THAT ARE NOT APPROVED BY THE LANDSCAPE ARCHITECT RELIEVE THE LANDSCAPE ARCHITECT OF RESPONSIBILITIES FOR THOSE PROBLEMS.

NOTICE TO CONTRACTOR *

!!WARNING!! WHEN THERE ARE QUESTIONS OR UNCERTAIN CONDITIONS, CONTACT THE LANDSCAPE ARCHITECT **BEFORE** PROCEEDING. FAILURE TO CONTACT THE LANDSCAPE ARCHITECT AND OWNER AND PROCEEDING ON YOUR OWN MAY REQUIRE THAT WORK BE DONE OVER AGAIN AT THE CONTRACTORS EXPENSE.

ANY DISCREPANCIES IN THE PLANS SHALL BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT AND OWNER BEFORE THE START OF THE WORK THAT MAY BE EFFECTED BY THE DISCREPANCIES. ANY DEVIATIONS FROM THE PLANS SHALL BE APPROVED BY THE LANDSCAPE ARCHITECT AND OWNER BEFORE THE START OF WORK.

IF THE OWNER REQUESTS CHANGES, THE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT PRIOR TO MAKING THOSE CHANGES. FAILURE TO NOTIFY THE LANDSCAPE ARCHITECT MAY RESULT IN THE CONTRACTOR TAKING FULL RESPONSIBILITY FOR ANY REVISIONS NECESSARY, AT NO COST TO THE OWNER. CONTRACTOR TO VERIFY ALL DIMENSIONS WITH LANDSCAPE ARCHITECT & OWNER BEFORE COMMENCING CONSTRUCTION. ALL WORK IN AREA OF BASEMENT THAT MAY EFFECT WATERPROOFING OF BASEMENT SHALL BE COORDINATED WITH AND APPROVED BY SPECTRA GROUP, TH OWNER'S WATERPROOFING CONTRACTOR. SPECTRA SHALL PERFORM PLACEMENT OF BACKFILL & COMPACTING OF BACKFILL AT BASEMENT WALLS.

THE JOB SUPERINTENDANT, GENERAL CONTRACTOR, OWNER, OR OWNERS AGENT SHALL NOTIFY THE LANDSCAPE ARCHITECT AT LEAST ONE WORKING DAY IN ADVANCE OF REQUIRED SITE INSPECTIONS AT THE FOLLOWING STAGES OF THE WORK:

REQUIRED SITE INSPECTIONS BY LANDSCAPE ARCHITECT*

- AT COMPLETION OF ROUGH GRADING AFTER ALL UTILITY TRENCHES HAVE BEEN FILLED PRIOR TO THE START OF PAVING FORM WORK.
 - AT COMPLETION OF FORM WORK FOR PAVING AREAS PRIOR TO POURING OF CONCRETE, AND TO APPROVE PAVING SAMPLES.
 - AT COMPLETION OF THE IRRIGATION SYSTEM BEFORE BACKFILL OF TRENCHES FOR THE PURPOSE OF PERFORMING A COVERAGE TEST.
 - AT THE SPOTTING OF ALL PLANT MATERIAL INCLUDING TREES.
 - AT THE TIME OF INSTALLATION OF ALL OUTDOOR LIGHTING FIXTURES AND EQUIPMENT.
 - AT THE COMPLETION OF THE JOB FOR THE PURPOSE OF CONDUCTING A FINAL WALKTHROUGH WITH THE OWNER PRIOR TO FINAL ACCEPTANCE OF THE JOB BY THE LANDSCAPE ARCHITECT.
- * THE LANDSCAPE ARCHITECT MAY DETERMINE THAT CERTAIN SITE VISITS ARE NOT NEEDED AND WILL AUTHORIZE WORK TO PROCEED WITHOUT THE SITE VISIT. ALERT CLIENT TO ALL QUESTIONS OR VERIFICATIONS NEEDED BEFORE PROCEEDING WITH WORK.
- * TEST MAINLINE AT 150 PSI FOR 3 HR MINIMUM
- * ALL IMPROVEMENTS SHALL COMPLY WITH STANDARD UNIFORM BUILDING CODE

PLANTING NOTES AND SPECIFICATIONS

GENERAL NOTES

- All work shall comply with the City of Los Angeles Standards for Landscape Development.
- The plant material supplier and/ or landscape contractor shall provide guaranteed evidence to the City Landscape Inspector that all plant material is consistent with the approved plant legend considering genus, species, cultivars, and size specified. All plant material not consistent with the plant legend may be rejected.
- All trees shall equal or surpass "Valley Crest Tree Company" standards for size and quality (www.vctree.com)
- All shrubs and groundcover shall equal or surpass Monrovia Nursery standards for size and quality (www.monrovia.com).
- All revisions and change orders to the approved landscape architectural plans and specifications are subject to the review and approval of the City Landscape Architect before work can continue. Minor changes are to be emailed to the City Landscape Architect and the City Landscape Inspector. Major changes are to be done with two revised bond copies being sent to the City with notification given to the City Landscape Inspector.
- Contractor shall notify Underground Service Alert (USA) before start of construction at (800) 422-4133. An encroachment permit is required for potholing to verify existing location of utilities.
- The California Public Utilities Code mandates that the gas company is notified a minimum of two days prior to start of construction.

MATERIALS

- PLANTS SHALL COMPLY WITH THE STATE AND FEDERAL LAWS FOR DISEASE INSPECTION. PLANTS SHALL BE FULLY LIVE, VIGOROUS, WELL FORMED, WITH WELL DEVELOPED FIBROUS ROOT SYSTEMS. ROOT BALLS OF PLANTS SHALL BE SOLID AND FIRMLY HELD TOGETHER, SECURELY CONTAINED AND PROTECTED FROM INJURY AND DESICCATION. PLANTS DETERMINED BY LANDSCAPE ARCHITECT TO HAVE BEEN DAMAGED, PRUNED, HAVE DEFORMED STEMS, BRANCHES, OR ROOTS, LACK SYMMETRY, HAVE MULTIPLE LEADERS OR "Y" CROTCHES LESS THAN 30 DEGREES IN TREES, OR DO NOT MEET SIZE OR ANSI STANDARDS SHALL BE REJECTED. PLANTS SHALL BE FROM A SINGLE NURSERY SOURCE FOR EACH SPECIFIED SPECIES/HYBRID. NURSERY SOURCES SHALL BE LICENSED AND LOCATED IN THE SAME REGION AS THE JOB SITE. PLANTS SHALL, AT MINIMUM, MEET AMERICAN STANDARDS FOR NURSERY STOCK (ANSI Z60.1)
- TOPSOIL (EITHER STOCKPILED OR IMPORTED) SHALL BE NATURAL, FRIABLE, FERTILE, LOOSE, LOAM TEXTURE FREE OF DELETERIOUS MATERIALS, NOXIOUS WEEDS AND ROCKS LARGER THAN 1 INCH IN ANY DIMENSION. AMENDED TOPSOIL SHALL HAVE A PH RANGE OF 5.5-7.0 AND ORGANIC CONTENT OF 5%-25%.
- NATIVE SURFACE SOILS INCLUDING STOCKPILED TOPSOILED MAY BE USED AS TOPSOIL ONLY IF IT MEETS ALL REQUIREMENTS DESCRIBED ABOVE, IS AMENDED PER THE SPECIFICATIONS, AND IS BLENDED TO THE SPECIFIED DEPTH.
- SOIL AMENDMENTS SHALL INCLUDE THE FOLLOWING: GRO-POWER 5-3-1 WITH 1.0% SOIL PENETRANT AND NITROGEN STABILIZED FIR BARK COMPOST (NOT SAWDUST) WITH A NON-TOXIC WETTING AGENT
- PLANT BACKFILL SHALL CONSIST OF 1 PART AMENDED TOPSOIL AND 1 PART NATIVE SOIL WITH NO ROCKS OR ROOTS LARGER THAN 2"
- MULCH SHALL BE RED DYED 1/4" TO 1" AND BROWN DYED 1/4" TO 1"
- TREE STAKES SHALL BE 2" DIAMETER BY 8-FOOT TREATED LODGE POLE PINE OR EQUIVALENT.
- TIE MATERIAL SHALL BE V.I.T. TWIST BRACE. NO WIRE TIES SHALL BE USED.

EXECUTION

DO NOT DAMAGE OR BREAK ROOT SYSTEM, BARK, OR BRANCHES. REPAIR AND/OR REPLACE ITEMS DAMAGED AS A RESULT OF WORK, OR WORK NOT IN COMPLIANCE WITH PLANS AND SPECIFICATIONS, AS DIRECTED BY OWNER AT NO ADDITIONAL COST.

TOPSOIL AMENDMENTS ARE AS FOLLOWS: GRO-POWER PLUS 100 LBS PER 1000 SF, 3 CY NITROGEN STABILIZED FIR BARK COMPOST PER 1,000 SF.

PLANT BACKFILL SHALL CONSIST OF 1 PART AMENDED TOPSOIL, 1 PART NATIVE SOIL AND 1 PART NITROGEN STABILIZED FIR BARK COMPOST (NOT SAWDUST) WITH A NON-TOXIC WETTING AGENT. BACKFILL SHALL BE EVENLY BLENDED THROUGHOUT.

PLANTING AREAS SHALL HAVE 8 INCHES OF AMENDED TOPSOIL. CONTRACTOR SHALL ADJUST GRADES AND SUPPLY TOPSOIL AS NECESSARY TO ASSURE THE MINIMUM DEPTH. TOPSOIL SHALL BE WORKED INTO SUB-BASE/SUBSOIL FOR ROUGH TRANSITION. SOIL DEPTH SPECIFIED IS FINISHED, COMPACTED DEPTH.

FINISHED GRADE SHALL BE CROWNED OR SLOPED TOWARDS THE CURB WITH A 3% MINIMUM SLOPE UNLESS OTHERWISE NOTED ON THE PLAN.

*WILT-PROOF- CONTAINER PLANTS MAY 1 TO OCTOBER 15. THOROUGHLY ROOT WATER PLANTS PRIOR TO DELIVERY. PLANT MATERIAL DELIVERED TO SITE SHALL BE KEPT CONTINUALLY MOIST THROUGH INSTALLATION.

PRUNE PLANTS RECEIVED FROM THE NURSERY ONLY UPON AUTHORIZATION BY THE LANDSCAPE ARCHITECT.

ARRANGE PLANTS ON -SITE IN PROPOSED LOCATIONS PER DRAWINGS. FIELD ADJUST PLANT LOCATIONS FOR 10-FOOT OF TREES/SHRUBS AND 2-FOOT SEPARATION FOR GROUNDCOVER FROM FIRE HYDRANTS AND UTILITY VAULTS.

EXCAVATE TREE AND SHRUB PIT; PRIOR TO PLANTING FILL HOLE WITH WATER AND VERIFY THAT WATER DRAINS WITHIN 2 HOURS. IF WATER DOES NOT DRAIN DO NOT PLANT TREE OR SHRUB AND INFORM LANDSCAPE ARCHITECT.

STAKE TREES AS CALLED OUT AND DETAILED. STAKE SHALL BE DRIVEN FIRMLY INTO THE PLANTING HOLE BASE SOIL (MIN. 16"). STAKES SHALL BE INSTALLED SO THE ROOTBALL IS NOT PIERCED. ALL TREES SHALL BE PLACED AS SHOWN ON THE PLANTING PLAN, LOCATED AS DETAILED AND AS CALLED OUT ON PLANT LIST.

SETTLE BACKFILL USING WATER ONLY. NO MECHANICAL COMPACTION.

MULCH ALL LANDSCAPE AREAS THAT ARE NOT HARDSCAPE WITH A 3-INCH LAYER OF SPECIFIED BARK MULCH.

A MINIMUM 3-INCH LAYER OF MULCH SHALL BE APPLIED ON ALL EXPOSED SOIL SURFACES OF PLANTING AREAS EXCEPT TURF AREAS, CREEPING OR ROOTING GROUNDCOVERS, OR DIRECT SEEDING APPLICATIONS WHERE MULCH IS CONTRAINDICATED.

FOR SOILS LESS THAN 6% ORGANIC MATTER IN THE TOP 6 INCHES OF SOIL, COMPOST AT A RATE OF A MINIMUM OF FOUR CUBIC YARDS PER 1,000 SQUARE FEET OF PERMEABLE AREA SHALL BE INCORPORATED TO A DEPTH OF SIX INCHES INTO THE SOIL.

IRRIGATION

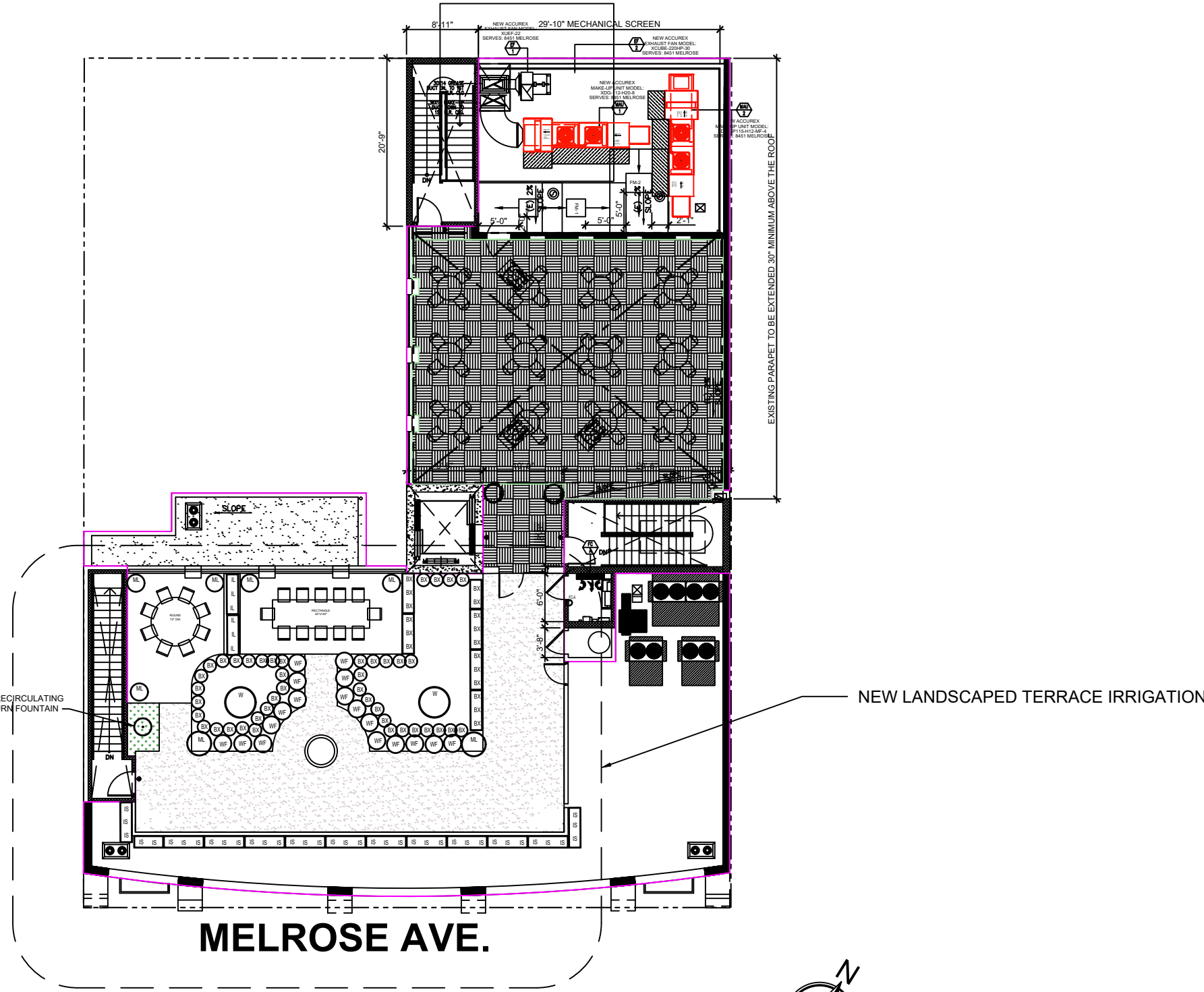
PRESSURE REGULATING DEVICES ARE REQUIRED IF WATER PRESSURE IS BELOW OR EXCEEDS THE RECOMMENDED PRESSURE OF THE SPECIFIED IRRIGATION DEVICES.

CHECK VALVES OR ANTI-DRAIN VALVES ARE REQUIRED ON ALL SPRINKLER HEADS WHERE LOW POINT DRAINAGE COULD OCCUR.

A DIAGRAM OF THE IRRIGATION PLAN SHOWING HYDROZONES SHALL BE KEPT WITH THE IRRIGATION CONTROLLER FOR SUBSEQUENT MANAGEMENT PURPOSES.

FINAL INSPECTION, MAINTANANCE AND GUARANTEEE

THE CONTRACTOR SHALL REQUEST AN INSPECTION WHEN ALL REQUIRED LANDSCAPE WORK HAS BEEN COMPLETED. THE MEETING WILL BE HELD AT THE PROJECT SITE AND SHALL BE ATTENDED BY THE CITY CONSTRUCTION INSPECTOR, DEVELOPER, LANDSCAPE CONTRACTOR, SUB-CONTRACTOR(S), AND AGENCY REPRESENTATIVES AS APPROPRIATE.



2 SITE PLAN

SCALE: N.T.S.

WATER FEATURES

RECIRCULATING WATER SYSTEMS SHALL BE USED FOR WATER FEATURES.

FOR PROJECTS THAT INCLUDE LANDSCAPE WORK, THE LANDSCAPE CERTIFICATION, FORM GRN 12, SHALL BE COMPLETED PRIOR TO FINAL INSPECTION APPROVAL.

A CERTIFICATE OF COMPLETION SHALL BE FILLED OUT AND CERTIFIED BY EITHER THE SIGNER OF THE LANDSCAPE PLANS, THE SIGNER OF THE IRRIGATION PLANS, OR THE LICENSED LANDSCAPE CONTRACTOR FOR THE PROJECT.

AN IRRIGATION AUDIT REPORT SHALL BE COMPLETED AT THE TIME OF FINAL INSPECTION.

I HAVE COMPLIED WITH THE CRITERIA OF THE ORDINANCE AND APPLIED THEM FOR THE EFFICIENT USE OF WATER IN THE LANDSCAPE DESIGN PLANS.

I AGREE TO COMPLY WITH THE REQUIREMENTS OF THE WATER EFFICIENT LANDSCAPE ORDINANCE AND SUBMIT A COMPLETE LANDSCAPE DOCUMENTATION PACKAGE.

DRAWING LIST

- L-100 TITLE SHEET
- L-101 PLANTING PLAN
- L-104 IRRIGATION PLAN
- L-105 IRRIGATION DETAILS
- L-108 HYDROZONE PLAN
- L-109 WATER BUDGET CALCULATIONS

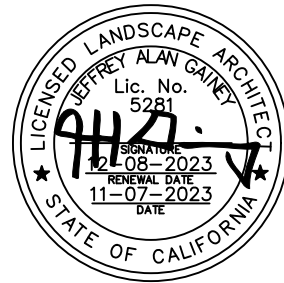


13929 Marquesas Way, #310
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T 310.663.4385

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GENERAL NOTES:

- CONTRACTOR TO CHECK AND VERIFY ALL DIMENSIONS ON THE JOB SITE AND REPORT ANY DISCREPANCIES BEFORE COMMENCING WITH THE WORK.
- DIMENSIONS TO TAKE PRECEDENCE OVER SCALE.
- ALL DRAWINGS ARE OF ORIGINAL DESIGN OWNED BY STUDIO H2O AND MAY NOT BE USED OR REPRODUCED WITHOUT WRITTEN CONSENT.
- ALL DIMENSIONS SHOWN ARE IN INCHES UNLESS OTHERWISE NOTED.



MELROSE TERRACE

8451 Melrose Ave.
West Hollywood, CA 90069

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DATE	GENERAL REVISION	DESCRIPTION
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SUBMISSIONS:

DATE	CD	DESCRIPTION
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SHEET TITLE

TITLE SHEET

SCALE: AS SHOWN

DRAWING No.

L-100

JOB No.

- GENERAL NOTES:
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Δ	08/26/2024	GENERAL REVISION
	DATE	DESCRIPTION

SUBMISSIONS:

11/07/2023	CD
DATE	DESCRIPTION

SHEET TITLE

PLANTING PLAN

SCALE: AS SHOWN

DRAWING No.

L-101

JOB No.

RECIRCULATING
URN FOUNTAIN

SYMBOL	PLANT NAME	PLANT COMMON NAME	WATER USAGE	SIZE
W 	CITRUS LIMON EUREKA	EUREKA LEMON TREE	L	24" BOX
IL 	FICUS NITIDA	INDIAN LAUREL	M	15 G
IS 	CUPRESSUS SEMPERVIRENS 'MONSIEUR'	TINY TOWERS ITALIAN CYPRESS	M	15 G
WF 	LEUCADENDRON FRUTICOSA 'GREY BOX'	COAST ROSEMARY 'GREY BOX'	L	5 G
EX 	BUXUS SEMPERVIRENS GLOBE	ENGLISH BOXWOOD GLOBE	M	5 G
ML 	CITRUS SPP.	MEYER LEMON	M	15 G

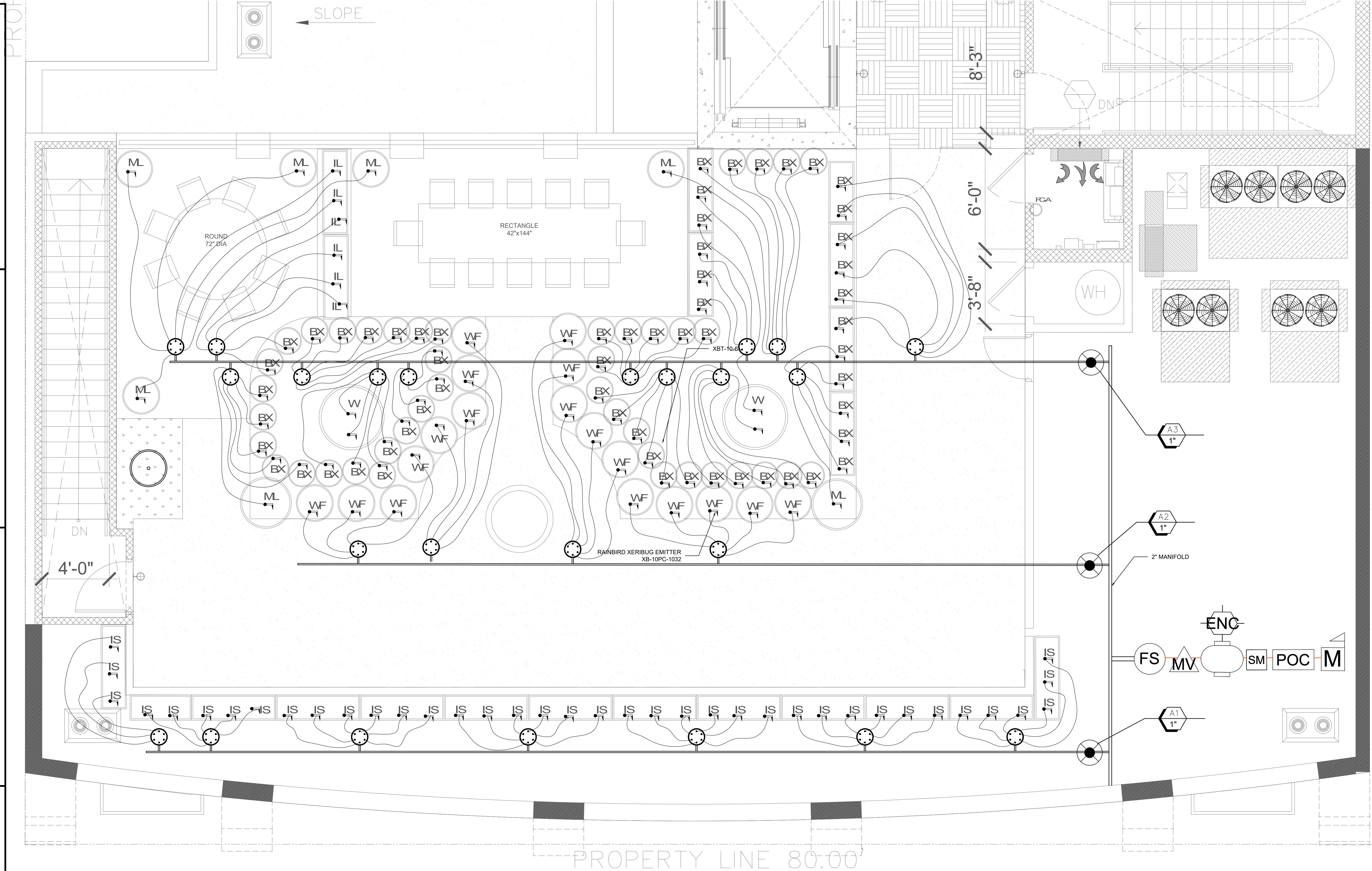
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PLANTING PLAN

SCALE: 3/16" = 1' - 0"



PROF



NOTE: ALL IRRIGATION LINES SHALL BE
INSTALLED WITHIN PRIVATE PROPERTY

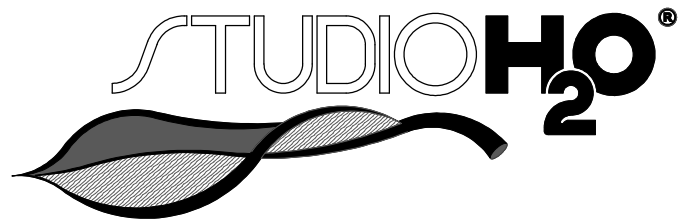
1. ALL IRRIGATION ASSEMBLIES, VALVES, CONTROLLERS, QUICK-COUPERS,
BACKFLOWS, ETC. SHALL NOT BE PLACED WITHIN THE PUBLIC RIGHT-OF-WAY.
THEY SHALL BE INSTALLED WITHIN THE PARCEL PROPERTY.

2. ALL IRRIGATION PIPING SHALL BE COMPLETELY BURIED

3. IRRIGATION MINIMUM DEPTH OF COVER SHALL BE 24" FOR ELECTRICAL
CONDUIT AND CONTINUALLY PRESSURIZED WATERLINES AND SHALL BE 12" FOR
LATERAL SPRINKLER LINES. IRRIGATION LINES WITHIN THE SIDEWALK AREA
SHALL BE PERPENDICULAR ONLY, AND SHALL NOT RUN PARALLEL WITH THE
STREET WHEN UNDER THE SIDEWALK.

1 IRRIGATION PLAN

SCALE: 3/8" = 1' - 0"



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1	08/26/2024	GENERAL REVISION
	DATE	DESCRIPTION

SUBMISSIONS:

11/07/2023	CD	
DATE		DESCRIPTION

SHEET TITLE

IRRIGATION PLAN

SCALE: AS SHOWN

DRAWING No.

L-104

JOB No.

GENERAL LEGEND

	DESCRIPTION	MANUFACTURER & PART NUMBER	REFERENCE
	PRESSURE SUPPLY LINES & SIZE (1" AND SMALLER)	SCHEDULE 40 P.V.C.	SPECIFICATIONS
	NON-PRESSURE LATERAL LINE & SIZE	SCHEDULE 40 P.V.C.	SPECIFICATIONS
	SLEEVE & SIZE (2" AND LARGER)	CLASS 200 P.V.C.	DET. 7, SHT. L-106
	CONTROLLER SEQUENCE		
	GALLONS PER MINUTE (GPM)		
	REMOTE CONTROL VALVE SIZE		
	AUTOMATIC CONTROLLER	RAINBIRD ESP-12LX BASIC/ESPLXMSM12 & ESPLXMSM4 (24 STATION CONTROLLER)	SPECIFICATIONS
	REMOTE CONTROL VALVE	RAINBIRD PEB SERIES	DET. 9, SHT. L-107
	REMOTE CONTROL VALVE (DRIP)	RAINBIRD XACZ-100-PRF & XACZ-075-PRF	DET. 8, SHT. L-107
	POINT OF CONNECTION	SPECIFICATIONS	
	BALL VALVES/GATE VALVES (LINE SIZE)	HAMMOND 8901 BRASS SERIES	DET. 6, SHT. L-106
	WATER SUB-METER FOR IRRIGATION USE ONLY		
	RAIN/FREEZE SENSOR	RAINBIRD WR2-RFC	
	BACKFLOW DEVICE	FEBCO 825Y 1" REDUCED PRESSURE BACKFLOW PREVENTER WITH WATTS 1" LFS777S BRONZE WYE STRAINER	
	FLOW SENSOR	CREATIVE SENSOR TECHNOLOGY - 1" FLOW SENSOR	
	BACKFLOW ENCLOSURE	V.I.T. PRODUCTS SBBC-30CR LOW PROFILE, TUBE AND WIRE CONSTRUCTION SMOOTH TOUCH SURFACE, COLD ROLLED STEEL, BACKFLOW ENCLOSURE. 31.5" L, 28" H, 17.75W	
	MASTER VALVE	SUPERIOR-3100-100-PRS (WITH PRESSURE REGULATING SYSTEM)	

POINT OF CONNECTION (P.O.C.) SYSTEM A

- M

WATER METER

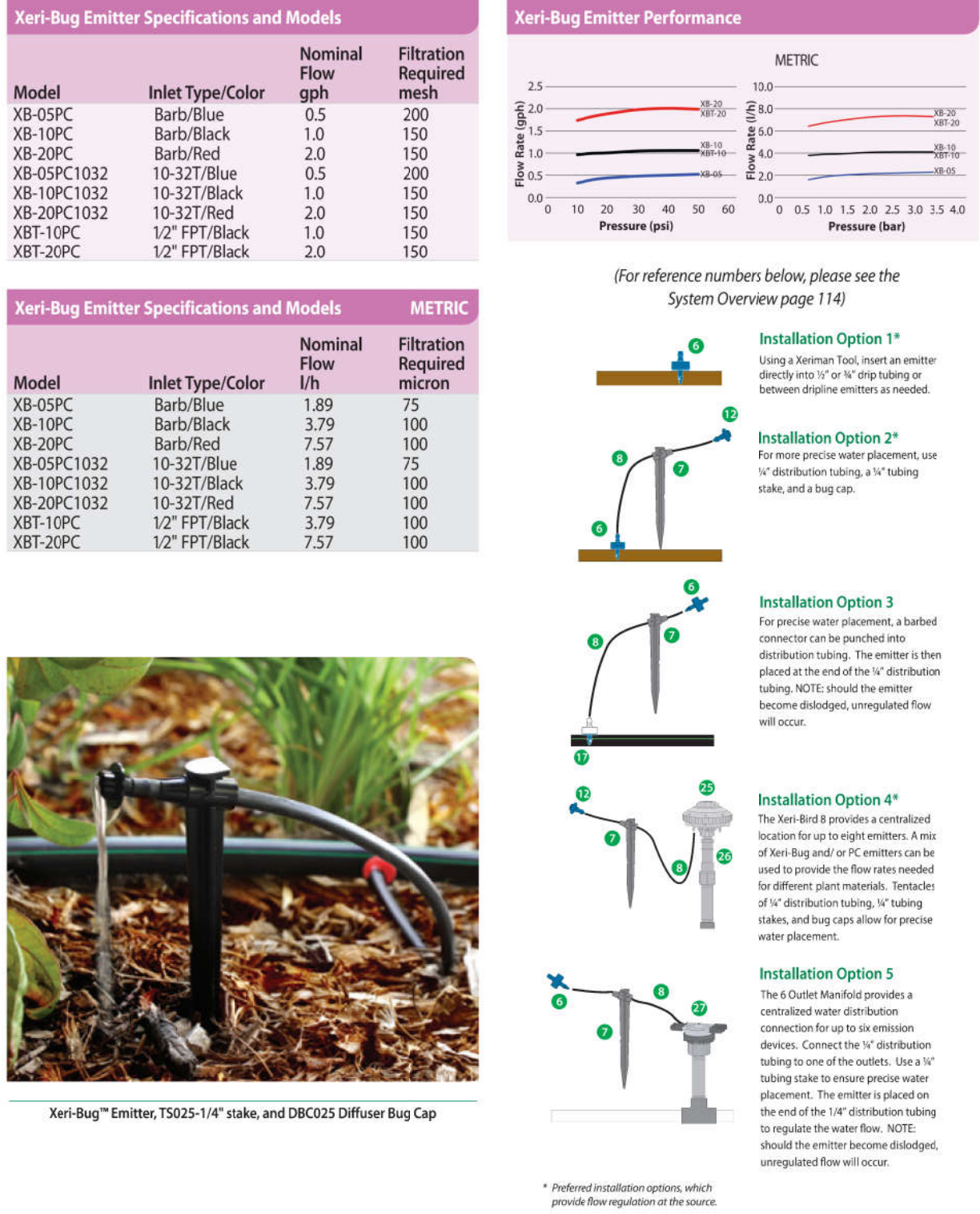
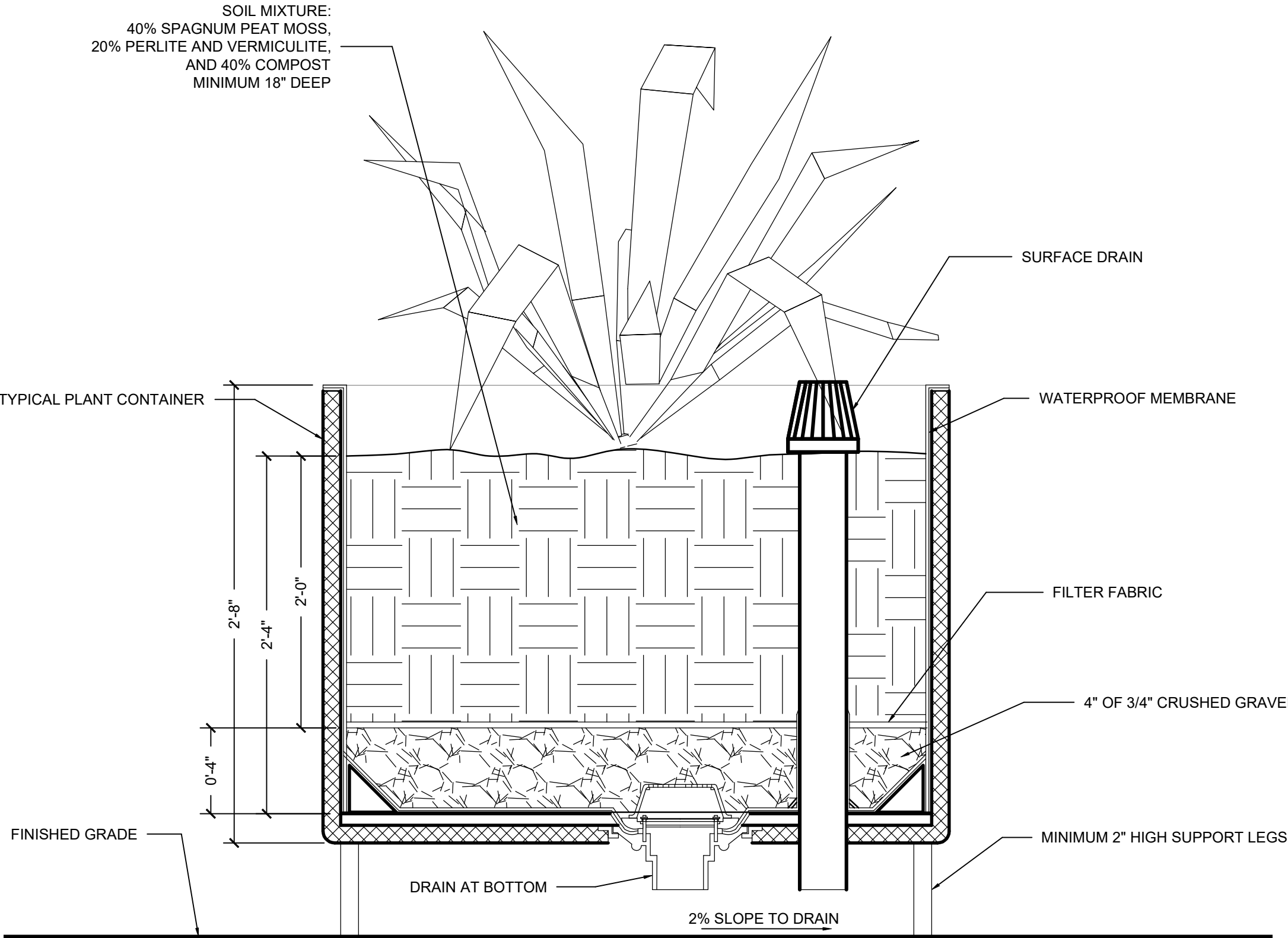
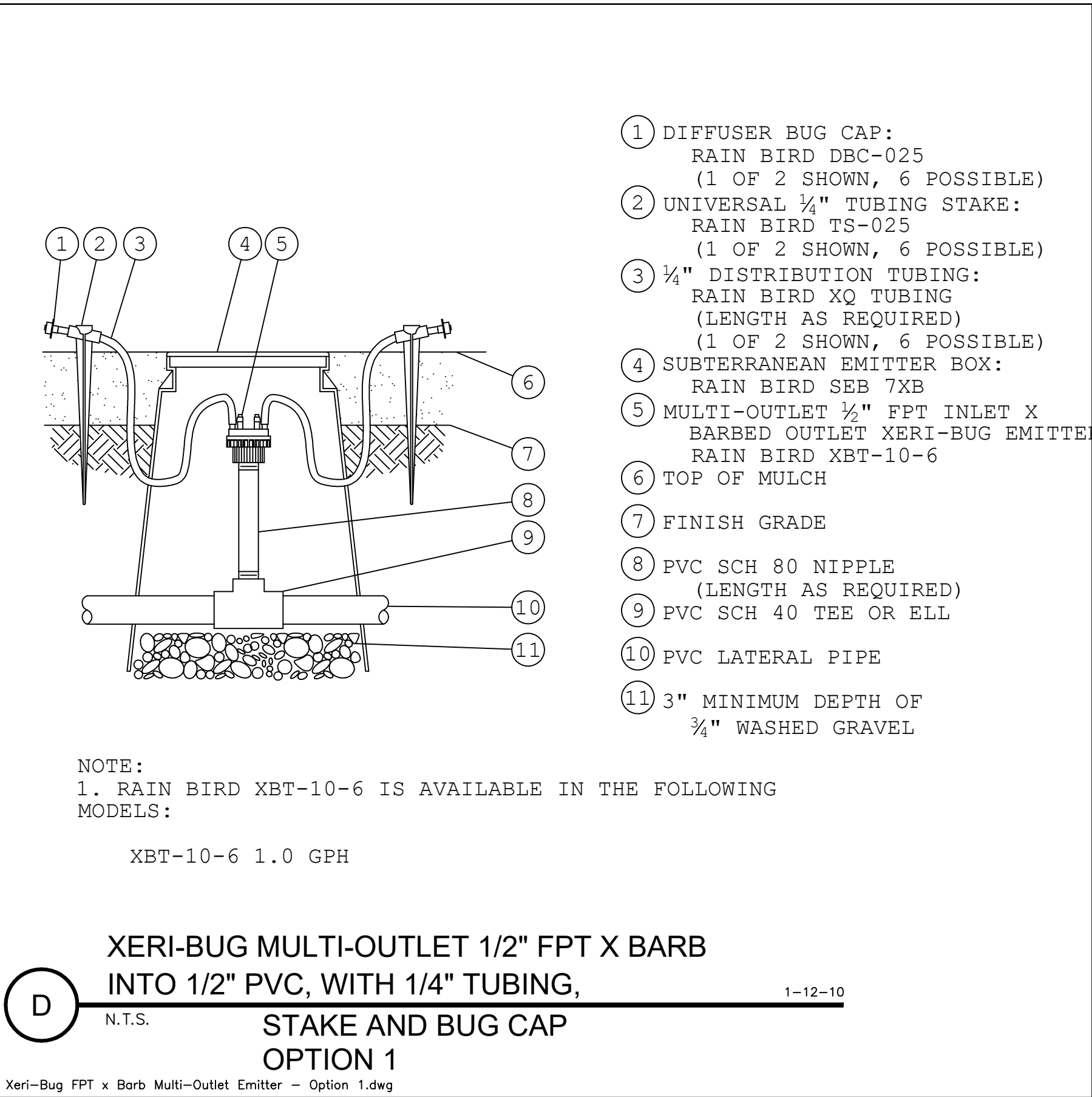
POINT OF CONNECTION TO DEDICATED IRRIGATION WATER METER PROVIDED BY THE GENERAL CONTRACTOR.
- POC

POINT OF CONNECTION

NEW POINT OF CONNECTION. SEE EQUIPMENT LEGEND FOR SPECIFICATION. BACKFLOW PREVENTER MUST CONFORM TO ALL LOCAL CODE REQUIREMENTS.
- A

AUTOMATIC CONTROLLER

2 INDEPENDENT 120V/60CYC/20AMP ELECTRICAL CIRCUIT TO BE PROVIDED BY THE GENERAL CONTRACTOR. ONE CIRCUIT FOR THE CONTROLLER AND THE SECOND CIRCUIT FOR THE AUXILIARY OUTLET. THE IRRIGATION CONTRACTOR SHALL VERIFY EXACT LOCATION OF THE ELECTRICAL P.O.C.(S) AND STAKE THE EXACT CONTROLLER LOCATION FOR APPROVAL IN THE FIELD BY THE OWNER OR DESIGNATED OWNER REPRESENTATIVE.



Tech Spec

Xeri-Bug™ with Check Valve

Point-Source Emitters for Drip Irrigation

Applications

Xeri-Bug™ with Check Valve (XBCV) is a pressure-compensating emitter that is the ideal choice for many irrigation applications that want to conserve water. XBCV prevents drainage by holding back 10 feet (3 m) of water—the highest in the industry.

This feature can be utilized in any drip installation, but becomes especially beneficial on elevated zones, slopes, raised potted plants, green roofs/walls, golf landscaping, green houses and nurseries.

Features

Efficient Water Usage

- With 10 feet (3 m) of hold-back power, XBCV eliminates low-point drainage and provides uniform irrigation throughout the zone.
- Strong check-valve protection helps conserve water by eliminating low-point drainage and flooding. In a standard 500-foot (152 m) line with 1/2" (13 mm) internal diameter, 20 gallons (76 L) of water is held in the line instead of draining out.
- In a zone that has a 10-foot (3 m) elevation change, only one zone is needed for the XBCV. Fewer zones allow you to save money on valves and time on installation.

Holds Prime in the Line

- Designed to hold prime in the line, these emitters immediately begin irrigation and reduce cycle times.
- By holding prime when the system is turned off, XBCV prevents particles from clogging the emitter—a problem when a system drains and siphons soiled water.
- Holding prime in the line reduces calcium build-up and extends the life of the emitter.

All-in-One Design

- With its comprehensive capabilities, the XBCV can be taken to any jobsite. It's the only emitter you need to stock, carry and install, simplifying point-source drip jobs.

Pressure Compensating

- A pressure-compensating design offers a consistent flow from 15 to 50 psi (1.0 to 3.5 bar).
- XBCV delivers the same amount of water from the first emitter in the line to the last.

Self-Cleaning

- A self-flushing action cleans the emitters every time the system turns on and off, reducing maintenance and extending the life of the emitter.

Self-Piercing Barb

- Self-piercing models feature barbs that eliminate the need for a hole-punching tool, making installation easier.

Risers and Adapters

- Models with 10-32 threaded ends can quickly connect to risers or adapters.

Compact Design

- With a diameter less than a dime, the emitter is unobtrusive and easily hidden.

Operating Range

- Opening Pressure: 15 psi (1.0 bar)
- Pressure: 15 to 50 psi (1.0 to 3.5 bar)
- Flow Rates: 0.5 to 2.0 gph (1.9 to 7.6 lph)
- Filtration Requirement: 150 mesh (75 micron)

Industry-Leading Check Valves

Models

Self-Piercing Barb Inlet x Barb Outlet

- XBCV-05PC: Blue, 0.5 gph (1.9 lph)
- XBCV-10PC: Black, 1.0 gph (3.8 lph)
- XBCV-20PC: Red, 2.0 gph (7.6 lph)

10-32 Threaded Inlet x Barb Outlet

- XBCV-05PC-1032: Blue, 0.5 gph (1.9 lph)
- XBCV-10PC-1032: Black, 1.0 gph (3.8 lph)
- XBCV-20PC-1032: Red, 2.0 gph (7.6 lph)

How to Specify

XBCV - 05 PC - 1032

Model Xeri-Bug Check Valve

Optional 1032 = 10-32 Threaded Inlet

Pressure Compensating

Flow Rate
05 = 0.5 gph (1.9 lph)
10 = 1.0 gph (3.8 lph)
20 = 2.0 gph (7.6 lph)

www.rainbird.com/drip

Landscaped Drip Emission Devices

www.rainbird.com/drip

Xeri-Bug Emitter Specifications and Models

Model	Inlet Type/Color	Nominal Flow l/h	Filtration Required micron
XB-05PC	Barb/Blue	1.89	75
XB-10PC	Barb/Black	3.79	100
XB-20PC	Barb/Red	7.57	100
XB-05PC1032	10-32T/Blue	1.89	75
XB-10PC1032	10-32T/Black	3.79	100
XB-20PC1032	10-32T/Red	7.57	100
XBT-10PC	1/2" FPT/Black	3.79	100
XBT-20PC	1/2" FPT/Black	7.57	100

IRRIGATION DETAILS

SCALE: AS SHOWN

DRAWING No. **L-105**

JOB No.

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GENERAL NOTES:

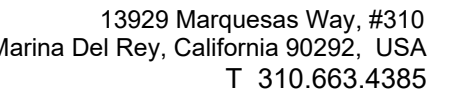
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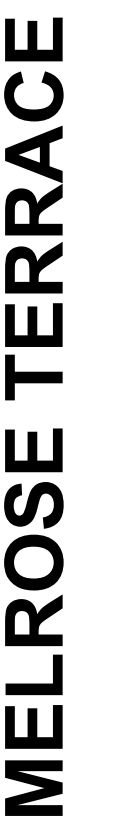
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1	08/26/2024	GENERAL REVISION
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SHEET TITLE

HYDROZONE PLAN

SCALE: AS SHOWN

DRAWING No.

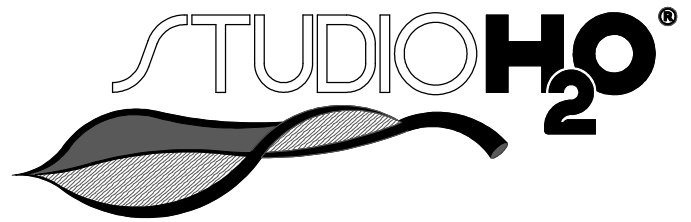
L-108

JOB No.



SCALE: 3/8" = 1' - 0"





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HYDROZONE

ZONE	SQUARE FOOTAGE	PLANT WATER USE	PLANT FACTOR	IRRIGATION METHOD	IRRIGATION EFFICIENCY	PF X HA (SQUARE FEET)	E.T.W.U. CALCULATIONS (ETo)(0.62)((PF X HA)/IE) + SLA
1	82.0 SF	L	0.3	DRIP	0.81	24.6	(48.50)(0.62)((0.3 X 82)/.81) + 0) = 913.2 GALLONS PER YEAR
2	56.7 SF	M	0.5	DRIP	0.81	28.35	(48.50)(0.62)((0.5 X 56.7)/.81) + 0) = 1,052.5 GALLONS PER YEAR
3	172.8 SF	M	0.5	DRIP	0.81	86.4	(48.50)(0.62)((0.5 X 172.8)/.81) + 0) = 3,207.5 GALLONS PER YEAR
4	3.3 SF		1.0			3.3	(48.50)(0.62)((1 X 3.3)/1) + 0) = 99.23 GALLONS PER YEAR

TOTAL LANSDESCAPED AREA: 311.5 SF

TOTAL WATER FEATURE AREA: 3.3 SF

TOTAL COMBINED AREA: 314.8 SF

TOTAL ESTIMATED APPLIED WATER USE: (ETo)(.62)((TOTAL PF X HA/IE) + SLA) = (30.07)((213.73) + 0) = 5,272.43 GALLONS PER YEAR

(M.A.W.A) MAXIMUM APPLIED WATER ALLOWANCE CALCULATIONS

(ETo)(.62)[(0.55 X LA)+(0.45 X SLA)] = MAXIMUM APPLIED WATER ALLOWANCE (GALLONS PER YEAR)

(48.5)(.62)[(0.55 X 314.8)+(0.45 X 0)] = 5,206.31 GALLONS PER YEAR

MAXIMUM APPLIED WATER ALLOWANCE: 5,206.31 GALLONS PER YEAR

REVISIONS:

8		
7		
6		
5		
4		
3		
2		
1	08/26/2024	GENERAL REVISION
	DATE	DESCRIPTION

SUBMISSIONS:

11/07/2023	CD	
DATE		DESCRIPTION

SHEET TITLE

WATER BUDGET
CALCULATIONS

SCALE: AS SHOWN
DRAWING No.

L-109

JOB No.