# 8451 MELROSE ROOF GARDEN

8451 MELROSE AVENUE WEST HOLLYWOOD, CA 90069

## PROJECT INFORMATION

8451 MELROSE PROPERTY, LLC OWNER:

1961 LA CIENEGA BLVD LOS ANGELES, CA 90034

PROJECT ADDRESS:

8451 MELROSE AVE.

WEST HOLLYWOOD, CA 90069

APN#:

TRACT: 6072

5528-017-073

LEGAL DESCRIPTION: LOT: 22 & 23, BLOCK 1

8,394 SQ. FT. LOT SIZE:

FAR:

ALLOWED: 1.0:1 = 8,394 SFPROPOSED: 1.02:1 = 8,599 SF

±25'-0" (25'-0" HEIGHT LIMIT)

FIRST FLOOR: 5,305 SQ. FT.

1ST FLR STAIR ADDITION: SECOND FLOOR:

153 SQ. FT. 3,141 SQ. FT.

TOTAL 8,599 SQ. FT.

**BUILDING HEIGHT:** ZONE:

CN-1

CONST. TYPE:

YES, NFPA 13 WITH FIRE ALARM SPRINKLERED:

THROUGH OUT INCLUDING OCCUPIED ROOF

OCCUPANCY: M (RETAIL) / A2 (RESTAURANT)/

\* A2 (ROOF TOP)

\* PER CBC SECTION 503.1.4: A ROOF LEVEL OR PORTION THEREOF SHALL BE PERMITTED TO BE USED AS AN OCCUPIED ROOF PROVIDED THE OCCUPANCY OF THE ROOF IS AN OCCUPANCY THAT IS PERMITED BY TABLE 504.4 FOR THE STORY IMMEDIATELY BELOW THE ROOF. THE AREA OF THE OCCUPIED ROOFS SHALL NOT BE INCLUDED IN THE BUILDING AREA AS REGULATED BY SECTION 506.

PARKING REQUIRED: SEE SHEET A-1.0

EXPANSION OF DINING AND ALCOHOL SERVICE, INCLUDING ROOF SUN SHADE AND LANDSCAPING.

# PROJECT DIRECTORY

NAST ENTERPRISES CORP.

LOS ANGELES, CA 90048

**HOOMAN NASTARIN** 

TELE: (310) 268-9419

554 S SAN VICENTE BLVD, #202

STRUCTURAL

CONTACT:

ARCHITECT: ASD|SKY

235 PINE STREET, SUITE 2100

SAN FRANCISCO, CA 94110

CONTACT:

JEFF SUTTON

TEL: (415) 290-8781

EMAIL: jsutton@asdnet.com

LANDSCAPE

STUDIO H20 13929 MARQUESAS WAY, #310

email: hooman@nastenterprises.com

MARINA DEL REY, CA 90292

CONTACT:

PJ BERJIS

TELE: 310-663-4385

EMAIL: pj@studio-h2o.com 

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#### **ARCHITECTURAL**

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L-108

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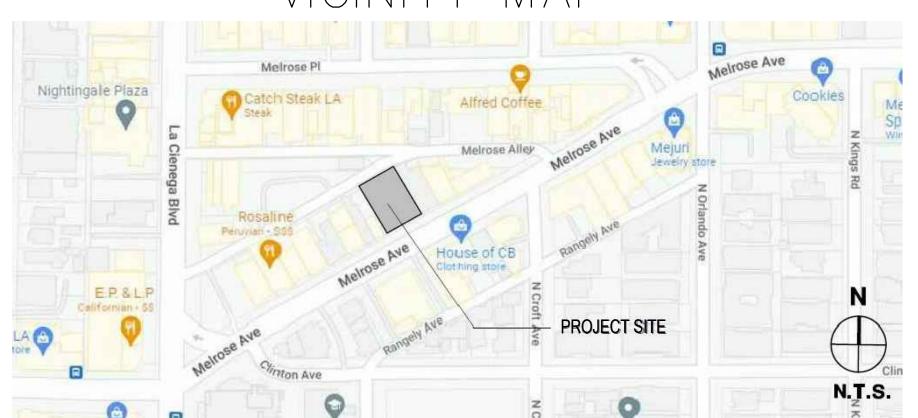
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## VICINITY MAP



# ASD SKY

235 Pine Street Suite 2100 San Francisco, CA 94104 T 415.288.8670 F 415.288.8676 www.asdsky.com

#### **8451 MELROSE AVE ROOF GARDEN**

WEST HOLLYWOOD CALIFORNIA 90069



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08/28/24 00 05/30/24 ISSUE FOR PLANNING

REMARKS:

REVISIONS: **COVER SHEET** 

NO: DATE:

28196.01 08.28.24

A0.0

ITEM 6.A. EXHIBIT F

WeHo

Green

**Building** 

Instructions: Select the nonresidential green building requirements applicable to the project and follow the compliance instructions listed in the right column. This verification form is for reference only and does not need to be submitted with the project application. Refer to the West Hollywood Green Building Program Guidance Manual, as necessary, for more detail on project requirements.

onresidential Projects and Major Remodels / New Nonresidential Landsca

New	ew Nonresidential Projects and Major Remodels / New Nonresidential Landscapes						
	Project Condition	Requirement	Compliance Schedule & Instructions				
	New nonresidential projects of any size.  (California Green Building Standards - Chapter 5 & West Hollywood Municipal Code - Section 19.20.060) <sup>1</sup>	CALGreen Mandatory Provisions w/LA County Amendments + Local Requirements	Planning Review Phase: Complete a preliminary Green Building Checklist "GB-1 NonRes" sheet and include within the Planning Review Application, along with the required supporting documentation.  Plan Check Phase: Complete Green Building Checklist "GB-1 NonRes" sheet and include within the plans for Plan Check. Ensure all measures in the GB checklist are clearly identified in the "Construction Notes".  Inspection Phase: Complete requirements as identified on "GB-1 NonRes" Sheet in the plans for Plan Check. Projects are subject to the Nonresidential Green Building Inspection Guidelines. Construction activities must be third-party verified by an ICC-certified CALGreen Building Inspector or a California licensed architect, with a final				
			green building inspection approved by a City Building Inspector.				
	Projects with new landscapes with an aggregate area <sup>2</sup> of 500 square feet or greater.  (California Green Building Standards - Section 5.304.2 & West Hollywood Municipal Code - Chapter 19.26)	Model Water Efficient Landscape Ordinance (MWELO) - See ordinance language, guidelines and MWELO Toolkit for additional details. <sup>3</sup>	Planning Review Phase: Declare the MWELO requirements on the preliminary Green Building Checklist "GB-1 NonRes" sheet and include within the Planning Review Application. Provide a preliminary landscape plan and ensure plant materials and irrigation design are consistent with requirements in MWELO Toolkit.  Plan Check Phase: Declare the MWELO requirements on the Green Building Checklist "GB-1 NonRes" sheet and include within the plans for PlanCheck. Provide final landscape plans and landscape documentation package (MWELO Toolkit) in the plans for Plan Check.  Inspection Phase: The Landscape Certification and Certificate of Completion from the MWELO Toolkit shall be attached to landscape plans at the Building Permit Final Inspection. All construction activities must be verified by a City Building Inspector.				
	All new nonresidential and mixed- use projects greater than 20,000 square feet.	EnergyStar Benchmark in Portfolio Manager	<u>Plan Check Phase:</u> Create Energy Star Portfolio Manager Project Profile. Insert an image of the project profile in the plans for Plan Check.				
	(West Hollywood Municipal Code - Section 19.20.060)		sen huilding measures applicable to each specific occupancy per CAL Green Section 302.1				

<sup>1</sup>In mixed-use occupancy buildings, each portion of a building shall comply with the specific green building measures applicable to each specific occupancy per CALGreen Section 302.1. <sup>2</sup>Landscape area consists of all the planting areas, turf areas, and water features in the landscape design plan subject to the Maximum Applied Water Allowance calculations. The landscape area does not include footprints of buildings or structures, sidewalks, driveways, parking lots, decks, patios, gravel or stone walks, other pervious or non-pervious hardscapes, and other non-irrigated areas designated for non-developments (e.g., open spaces and existing native vegetation).

<sup>3</sup>Projects are subject to the requirements outlined in WHMC Chapter 19.26. Refer to West Hollywood MWELO webpage for ordinance language and guidance materials.

#### **CAL-GREEN NOTES**

NOTE: APPLIES TO COMMERCIAL TENANT IMPROVEMENT PROJECTS WITH VALUATION OVER \$200,000

G.O.1 - CONSTRUCTION WASTE MANAGEMENT 100% OF MIXED DEBRIS MUST BE TRANSPORTED BY A REGISTERED HAULER TO A REGISTERED FACILITY AND BE PROCESSED FOR RECYCLING IN COMPLIANCE WITH THE SAN FRANCISCO CONSTRUCTION AND DEMOLITION DEBRIS OR ORDINANCE.

G.02 - RECYCLING BY OCCUPANTS PROVIDE ADEQUATE SPACE AND EQUAL ACCESS FOR STORAGE, COLLECTION AND LOADING OF COMPOSTABLE, RECYCLABLE AND LANDFILL MATERIALS. SEE ADMINSTRATIVE BULLETIN 088 G.O3 - ADHESIVES, SEALANTS AND CAULKS

COMPLY WITH VOC LIMITS IN SCAQMD RULE 1168 VOC LIMITS AND CALIFORNIA CODE OF REGULATIONS TITLE 17 FOR AEROSOL ADHESIVES (13C.5.504.4.1) G.04 - PAINTS AND COATINGS

COMPLY WITH VOC LIMITS IN THE AIR RESOURCES BOARD ARCHITECTURAL COATING SUGGESTED CONTROL MEASURE AND CALIFORNIA CODE OF REGULATION TITLE 17 FOR AEROSOL PAINTS (13C.5.504.4.1) G.05 – CARPÉT

ALL CARPET MUST MEET ONE OF THE FOLLOWING: 1. CARPET AND RUG INSTITUTE GREEN LABEL PLUS PROGRAM

2. CALIFORNIA DEPARTMENT OF PUBLIC HEALTH STANDARD PRACTICE FOR THE TESTING OF VOCS (SPECIFICATION 01350)

3. NSF/ANSI 140 AT THE GOLD LEVEL

4. SCIENTIFIC CERTIFICATION SYSTEMS SUSTAINABLE CHOICE AND CARPET CUSHION MUST MEET CRI GREEN LABEL AND CARPET ADHESIVE MUST NOT EXCEED 50 G/L VOC CONTENT (13C.5.504.4.4)

MEET CARB AIR TOXICS CONTROL MEASURE FOR COMPOSITE WOOD (13C.5.504.4.5) G.07 - RESILIENT FLOORING SYSTEMS FOR 80% OF FLOOR AREA RECEIVING RESILIENT FLOORING, INSTALL RESILIENT FLOORING

COMPLYING WITH: CERTIFIED UNDER THE RESILIENT FLOOR COVERING INSTITUTE (RFCI) FLOORSCORE PROGRAM

2. COMPLIANT WITH THE VOC-EMISSION LIMITS AND TESTING REQUIREMENTS OF CALIFORNIA DEPARTMENT OF PUBLIC HEALTH 2010 STANDARD METHOD FOR THE TESTING AND EVALUATION CHAMBERS V1.1 COMPLIANT WITH THE COLLABORATIVE FOR HIGH PERFORMANCE SCHOOLS (CHPS) EQ2.2

AND LISTED IN THE CHPS HIGH PERFORMANCE PRODUCT DATABASE. 4. CERTIFIED UNDER THE GREENGUARD CHILDREN & SCHOOLS PROGRAM TO COMPLY WITH CALIFORNIA DEPARTMENT OF PUBLIC HEALTH CRITERIA. (CALGREEN 5.504.4.4 AND 5.504.4.6) (13C.5.504.4.6)

#### **VOC AND FORMALDEHYDE LIMITS**

Maximum Formaldehyde Emission PRODUCT Hardwood plywood veneer core Hardwood plywood composite core Particleboard Medium density fiberboard Thin medium density fiberboard Thin medium density fiberboard  Values in this table are derived from those specified by rocisc Control Measure for Composite Wood as tested in additional information, see California Code of Regulation 3120.12. Thin medium density fiberboard has a maximum thickn  SEALANT COC Less Water and Less Exempt Composite Wood as tested in Additional information of SEALANT S  Architectural Marine deck Nonmembrane roof Roadway Single-ply roof membrane Other  SEALANT PRIMERS  Architectural Nonporous Porous Modified bituminous 500 Marine deck Other  ADHESIVE VOC L Less Water and Less Exempt density in the seed of the seed	CURRENT LIMIT  0.05  0.05  0.09  0.11  0.13  / the California Air Resources Boarn a accordance with ASTM E 1333. Fixs, Title 17, Sections 93120 through less of \$f_{1e} inches (8 mm).  LIMIT  CURRENT VOC LIMIT  50  760  300  250  450  420  250  775  500  760  760  776  500  776  7775  500  760  775  500  775  500  7760  775  500  7760  775  500  7760  775  MIT 1,2
Hardwood plywood veneer core Hardwood plywood composite core Particleboard Medium density fiberboard Thin medium density fiberboard  Values in this table are derived from those specified by rocise Control Measure for Composite Wood as tested in additional Information, see California Code of Regulation, 3120.12.  Thin medium density fiberboard has a maximum thickn SEALANT VOC L Less Water and Less Exempt Composite Wood as tested in Activation of the Composite Wood as tested in additional Information, see California Code of Regulation, 3120.12.  Thin medium density fiberboard has a maximum thickn SEALANT VOC L Less Water and Less Exempt Composite Wood of the Composite Wood of	0.05 0.05 0.09 0.09 0.11 0.13 0.13 7 the California Air Resources Boars a accordance with ASTM E 1333. F s, Title 17, Sections 93120 through less of \$\frac{\text{\$\gamma_{\text{i}}}}{\text{ pic}}  in the California Sin Grams per Liter CURRENT VOC LIMIT 50 300 250 300 250 450 420 250 775 500 760 760 750 760 760 750 760 760 760 750 measure the VOC content specified ti District Rule 1188.
Hardwood plywood composite core Particleboard Medium density fiberboard Thin medium density fiberboard Thin medium density fiberboard  Values in this table are derived from those specified by oxics Control Measure for Composite Wood as tested in 3120-12  Thin medium density fiberboard has a maximum thickn SEALANT VOCL Less Water and Less Exempt Composite Water and Less Exempt Composite Marine deck Nonmembrane roof Roadway Single-ply roof membrane Other SEALANT PRIMERS  Architectural Nonporous Porous Modified bituminous 500 Marine deck Other  Anchitectural Nonporous Porous Modified bituminous 500 Marine deck Other  ADHESIVE VOC LI Less Water and Less Exempt Composite Sexempt Composite Sex	0.05 0.09 0.11 0.13  / the California Air Resources Board accordance with ASTM E 1333. F s, Title 17, Sections 93/120 through less of \$\frac{\darksymbol{\sigma}{\text{inter}}}{\text{current}}\$ current Footnote (8 mm).  LIMIT ounds in Grams per Liter CURRENT VOC LIMIT 50 760 300 250 450 420 250 475 500 760 760 760 760 760 760 760 760 760 measure the VOC content specified it District Rule 1188.
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Values in this table are derived from those specified by roxics Control Measure for Composite Wood as tested in diditional Information, see California Code of Regulation 37120.12.  **Thin medium density fiberboard has a maximum thickn SEALANT VOC L Less Water and Less Exempt Composite Water and Less Exempt Composite SEALANTS  **Architectural**  Marine deck  Nonmembrane roof  Roadway  Single-ply roof membrane  Other  **SEALANT PRIMERS*  Architectural  Nonporous  Porous  Modified bituminous 500  Marine deck  Other  Note: For additional information regarding methods to these tables, see South Coast Air Quality Managemen  ADHESIVE VOC L  Less Water and Less Exempt Composite Composi	the California Air Resources Boarn a accordance with ASTM E 1333. Fix, Title 17, Sections 93120 through less of \$f_{10} inches (8 mm).  LIMIT ounds in Grams per Liter CURRENT VOC LIMIT 50 760 300 250 450 450 420  250 450 475 500 775 500 776 500 775 500 760 760 760 775 500 760 760 760 760 760 760 760 760 760 7
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**TAULUS** **Thin medium density fiberboard has a maximum thickn SEALANT VOC L  **Less Water and Less Exempt Compress SEALANTS*  **Architectural*  **Marine deck*  **Nonmembrane roof*  **Roadway*  **Single-pily roof membrane*  Other*  **SEALANT PRIMERS*  **Architectural*  **Nonporous*  **Porous*  Modified bituminous 500  **Marine deck*  Other*  Note: For additional information regarding methods to these tables, see South Coast Air Quality Managemen*  **ADHESIVE VOC LI  **Less Water and Less Exempt Compress*  **ARCHITECTURAL APPLICATIONS**	less of <sup>6</sup> / <sub>10</sub> inches (8 mm).  LIMIT  OUNTS in Grams per Liter  CURRENT VOC LIMIT  50  760  300  250  450  420  250  775  500  760  760  750  measure the VOC content specified tt District Rule 1188.
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Thin medium density fiberboard has a maximum thickn  SEALANT VOC L  Less Water and Less Exempt Compo SEALANTS  Architectural  Marine deck  Nonmembrane roof  Roadway  Single-ply roof membrane  Other  SEALANT PRIMERS  Architectural  Nonporous Porous  Modified bituminous 500  Marine deck  Other  Note: For additional information regarding methods to these tables, see South Coast Air Quality Managemen  ADHESIVE VOC LI  Less Water and Less Exempt Compo ARCHITECTURAL APPLICATIONS	LIMIT ounds in Grams per Liter CURRENT VOC LIMIT 50 760 300 250 450 420  250 775 500 760 760 750 measure the VOC content specified to District Rule 1188.
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Nonmembrane roof Roadway Single-ply roof membrane Other SEALANT PRIMERS Architectural Nonporous Porous Modified bituminous 500 Marine deck Other Note: For additional information regarding methods to these tables, see South Coast Air Quality Managemen ADHESIVE VOC LI Less Water and Less Exempt Comp ARCHITECTURAL APPLICATIONS	300 250 450 420 250 775 500 760 750 measure the VOC content specified it District Rule 1188.
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ADHESIVE VOC LI Less Water and Less Exempt Comp ARCHITECTURAL APPLICATIONS	IMIT 1,2
Less Water and Less Exempt Compo	
ARCHITECTURAL APPLICATIONS	ounds in Grams per Liter
	CURRENT VOC LIMIT
Indoor carpet adhesives	50
Carpet pad adhesives	50
Outdoor carpet adhesives	150
Wood flooring adhesive	100
Rubber floor adhesives	60
Subfloor adhesives	50
Ceramic tile adhesives	65
VCT and asphalt tile adhesives	50
Drywall and panel adhesives	50
Cove base adhesives	50
Multipurpose construction adhesives	70
Structural glazing adhesives	100
Single-ply roof membrane adhesives	250
Other adhesives not specifically listed	50
SPECIALTY APPLICATIONS	
PVC welding	510
	490
ABS welding	325
	100
	550
	80
	250
	140
	250
	200
	30
	50
	50
	30
1. If an adhesive is used to hand dissimilar substrates to	80
VOC content shall be allowed	
	PVC welding CPVC welding

**Green Building for Nonresidential Projects** 

Compliance Verification - Version 1.0



Instructions: Select the nonresidential green building requirements applicable to the project and follow the compliance instructions listed in the right column. This verification form is for reference only and does not need to be submitted with the project application. Refer to the West Hollywood Green Building Program Guidance Manual, as necessary, for more detail on project requirements.

Nonresidential Alterations, Additions, and Tenant Improvement Projects / Rehabilitated Landscapes

Project Condition	Requirement	Compliance Schedule & Instructions
Additions of nonresidential	CALGreen Mandatory Provisions	Planning Review Phase: Complete a preliminary Green Building Checklist "GB-2
construction projects of 1,000	w/LA County Amendments +	NonRes" sheet and include within the Planning Review Application, along with the
square feet or greater, alterations	Local Requirements	required supporting documentation.
with a permit valuation of \$200,000		<u>Plan Check Phase:</u> Complete Green Building Checklist "GB-2 NonRes" sheet and
or more, and any initial tenant		include within the plans for PlanCheck. Ensure all measures in the GB checklist are
improvements <sup>1,2</sup>		clearly identified in the "Construction Notes".
		<u>Inspection Phase:</u> Complete requirements as identified on "GB-2 NonRes" sheet in the
(California Green Building Standards	4	plans for Plan Check. Projects are subject to the Nonresidential Green Building
Chapter 5 & West Hollywood		Inspection Guidelines. Construction activities must be third-party verified by an ICC-
Municipal Code - Section 19.20.060)		certified CALGreen Building Inspector or California licensed architect, with a final
3, 4		green building inspection approved by a City Building Inspector.
Rehabilitated landscapes with an	Model Water Efficient Landscape	Planning Review Phase: Declare the MWELO requirements on the preliminary Green
aggregate area⁴ of 2,500 square	Ordinance (MWELO) - See	Building Checklist "GB-1 NonRes" sheet and include within the Planning Review
feet or greater.	ordinance language, guidelines and	Application. Provide a preliminary landscaping plan and ensure plant materials and
	MWELO Toolkit for additional	irrigation design are consistent with requirements in MWELO Toolkit.
(California Green Building Standards	details. <sup>5</sup>	<u>Plan Check Phase:</u> Declare the MWELO requirements on the Green Building Checklist
Section 5.304.3 & West Hollywood		"GB-1 NonRes" sheet and include within the plans for PlanCheck. Provide final
Municipal Code - Chapter 19.26)		landscaping plans and landscape documentation package (MWELO Toolkit) in the plans
		for Plan Check.
		<u>Inspection Phase:</u> The Landscape Certification and Certificate of Completion from the
		MWELO Toolkit shall be attached to landscape plans at the Building Permit Final
		Inspection. All construction activities must be verified by a City Building Inspector.

<sup>1</sup>Code sections relevant to additions and alterations shall only apply to the portions of the building being added or altered within the scope of the permitted work per CALGreen Section 301.3.

<sup>2</sup>CALGreen mandatory provisions apply only to a project's initial tenant improvements. Subsequent tenant improvements shall comply with the scoping provisions in CALGreen Section 301.3 Nonresidential

<sup>3</sup>In mixed-use occupancy buildings, each portion of a building shall comply with the specific green building measures applicable to each specific occupancy per CALGreen Section 302.1. <sup>4</sup>Landscape area consists of all the planting areas, turf areas, and water features in the landscape design plan subject to the Maximum Applied Water Allowance calculations. The landscape area does not include footprints of buildings or structures, sidewalks, driveways, parking lots, decks, patios, gravel or stone walks, other pervious or non-pervious hardscapes, and other non-irrigated areas designated for non-developments (e.g., open spaces and existing native vegetation).

<sup>5</sup>Projects are subject to the requirements outlined in WHMC Chapter 19.26. Refer to the West Hollywood MWELO webpage for ordinance language and guidance materials.

**Green Building for Nonresidential Projects** 

Compliance Verification - Version 1.0



Instructions: Select the nonresidential green building requirements applicable to the project and follow the compliance instructions listed in the right column. This verification form is for reference only and does not need to be submitted with the project application. Refer to the West Hollywood Green Building Program Guidance Manual, as necessary, for more detail on project requirements.

New Nonresidential Projects - Electric Vehicle Supply Equipment (EVSE) Requirements

Project Condition	Requirement	Compliance Schedule & Instructions
New Nonresidential Projects CALGreen Mandatory Provisions		<u>Planning Review Phase:</u> Declare the EV requirements on the preliminary Green
	w/LA County Amendments +	Building Checklist "GB-1 NonRes" sheet and include in the Planning Review
(California Green Building Standards	Local Requirements	Application. Show EVSE calculations within the parking analysis. Show "EV Capable" 1
- Section 5.106.5.3)		and "EV Ready" spaces on parking plans.
		Plan Check Phase: Declare the EV requirements on the Green Building Checklist "GB-1
		NonRes" sheet and include in the plans for Plan Check. Label and show applicable "EV
		Capable" and "EV Ready" spaces on parking plan.
		Inspection Phase: Complete requirements as identified on "GB-1 NonRes" Sheet in the
		plans for Plan Check. Projects are subject to the Nonresidential Green Building
		Inspection Guidelines. EV infrastructure installations must be third-party verified by an
		ICC-certified CALGreen Building Inspector or California licensed architect, with a final
		green building inspection approved by a City Building Inspector.

<sup>1</sup>EV Capable. "EV Capable" or "Inaccessible Raceway" shall mean conduit that will be difficult to access or alter after construction (e.g., enclosed within walls or pavement, etc.). Conduit must be installed during new construction to avoid expensive and intrusive retrofits when additional EV charging capacity is needed in the future <sup>2</sup> EV Ready. "EV-Ready" or "Full Circuit" shall mean access points "ready to go" with the addition of an EV charging station. Full circuit installations include 208/240V 40-amp panel capacity, conduit, wiring, and overprotection devices. The endpoint of the system must be near the planned EV charger location.

235 Pine Street Suite 2100 San Francisco, CA 94104 T 415.288.8670 F 415.288.8676 www.asdsky.com

#### 8451 MELROSE AVE **ROOF GARDEN**

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Associated Space Design, Inc. 2016

ISSUE FOR PERMIT

ISSUE FOR PLANNING

REMARKS:

ISSUE DATE:

CHECKED BY:

08.28.24

MN

REVISIONS:

GREEN BUILDING FORMS

WEST HOLLYWOOD CALIFORNIA 90069

		Plan Sheet, Spec or	Compliance Path Verification Planning Review Plan Check Field Verification			Plan Sheet, Spec or	Compliance Path Verification Planning Review Plan Check Field Verification	CALGreen Building Inspector Acknowledgement
.1 Planning and Design	State and/or Local Code Section	Attachment Reference	Y N Y N Increm Final	ois Environmental Quanty		tachment Reference	Y N Y N Increm Final	
Stormwater Pollution Prevention	WHMC 19.20.190 & Chapter 15.56		+ + + + + + + + + + + + + + + + + + + +	Fireplaces	CGBS 5.503.1 N/A			
Construction debris control  Low-impact development	WHMC 19.20.060 WHMC 19.20.190 & Chapter 15.56			Woodstoves Temporary ventilation	CGBS 5.503.1.1 N/A CGBS 5.504.1 N/A			The project will be verified by a qualified CALGreen Building
	N/A						Inspector or California licensed Architect.	
Grading & Paving	WHMC 19.20.190 & CGBS 5.106.10	NO. 107		Covering of duct openings and protection of mechanical equipment during construction	CGBS 5.504.3 N/A			
Storm Drain Labeling	WHMC 19.20.190 & Chapter 15.56			Finish material pollutant control	CGBS 5.404.4 N/A			
Bicycle parking	CGBS 5.106.4 CGBS 5.106.5.3			Adhesives, sealants and caulks: Comply with VOC limits (Table 5.504.4.1 and 5.504.4.2)	CGBS 5.504.4.1 N/A			I have reviewed the project plans and specifications
Electric vehicle (EV) charging EV: EV Capable Spaces	CGBS 5.106.5.3.1			Paints and Coatings: Comply with VOC Limits (Table 5.504.4.3)  Aerosol paints and coatings	CGBS 5.504.4.3 N/A CGBS 5.504.4.3.1 N/A			and they are in conformance with the CALGreen and
EV: Electric Vehicl Charging Stations (EVCS)	CGBS 5.106.5.3.1	7/2/0		Verification, for paints and coatings	CGBS 5.504.4.3.2 N/A			West Hollywood mandatory provisions claimed. I
EV: Use of automatic load management systems (ALMS)	CGBS 5.106.5.3.3			Carpet systems	CGBS 5.504.4.4 N/A			have reviewed and understand the post-construction
EV: Accessible EVCS	CGBS 5.106.5.3.4	N/A		Carpet systems: Carpet cushion	CGBS 5.504.4.4.1 N/A			requirements below.
EV: Electric vehicle (EV) charging: Medium-duty and Heavy-duty	CGBS 5.106.5.4	N/A		Carpet systems: Carpet adhesive	CGBS 5.504.4.4.2 N/A			
EV: New multifamily dwellings, hotels and motels and new residential parking facilities	CGBS 4.106.4.2			Composite wood products: Formaldehyde limits (Table 5.504.4.5)	CGBS 5.504.4.5 N/A			
EV Charging for Additions and Alterations of Parking Facilities Serving Existing Multifamily Buildings	CGBS 4.106.4.3			Composite wood products: Documentation	CGBS 5.504.4.5.3 N/A			
Alternative transportation (bicycle parking & facilities)	WHMC 19.28.150			Resilient flooring system, 80%	CGBS 5.504.4.6 N/A			Date Date
Transportation demand management	WHMC Chapter 10.16			Resilient flooring system: Verification of Compliance	CGBS 5.504.4.6.1 N/A			Signature Date
Landscaping for surface parking areas  Sustainable roof measures (choose one of three)	WHMC 19.28.100(B) WHMC 19.20.060			Filters Filters: Labeling	CGBS 5.504.5.3 N/A CGBS 5.504.5.3.1 N/A			
,	WHMC 19.20.100 & CGBS Section 5.106.8			Environmental tobacco smoke (ETS) control	CGBS 5.504.5.3.1 N/A			
2. Energy Efficiency	771 INTO 10.20.100 & OCBO OCCION C. 100.0			Indoor moisture control	CGBS 5.505.1 N/A			Print Full Name
Energy efficiency	WHMC 19.20.060 & 2022 Title 24, Part 6	ELECTRICAL		Outside air delivery (For Indoor Air Quality)	CGBS 5.506.1 N/A			
Energy star appliances	WHMC 19.20.060			Carbon dioxide (CO2) monitoring (For Indoor Air Quality)	CGBS 5.506.2 N/A			
Energy-efficient outdoor lighting (also see Light Pollution Reduction - CALGreen Section 5.106.8)	WHMC 19.20.060			Acoustical control (STC Values per ASTM E90 and ASTM E413)	CGBS 5.507.4 N/A			Black Service
Energy benchmarking readiness - Buildings over 20,000 square feet	WHMC 19.20.060	N/A		Exterior noise transmission, prescriptive method	CGBS 5.507.4.1 N/A			Phone or Email
.3 Water Efficiency and Conservation  Meters	CGBS 5.303.1	N/A		Noise exposure where noise contours are not readily available  Exterior noise transmission, performance method	CGBS 5.507.4.1.1 N/A			
*******								
Meters: New buildings or additions in excess of 50,000 square feet	CGBS 5.303.1.1			Site features	CGBS 5.507.4.2.1 N/A			SCHEDULE A GREEN BUILDING INCREMENTAL
Meters: Excess consumption (Submeters for additions that consume over 1,000 gal/ day)	CGBS 5.303.1.2			Documentation of compliance	CGBS 5.507.4.2.2 N/A			VERFICATION DURING ROUGH INSPECTION
Water conserving plumbing fixtures and fittings  Indoor water use: Water closets (shall not exceed 1.1 gallons per flush)	WHMC 19.20.060 & CGBS 5.303.3 WHMC 13.24.015 & CGBS 5.303.3.1			Interior sound transmission  Ozone depletion and greenhouse gas reductions	CGBS 5.507.4.3 N/A CGBS 5.508.1 N/A			VERFICATION DURING ROUGH INSPECTION
Indoor water use: Wall-mounted urinals (0.125qpf)	CGBS 5.303.3.2.1			Chlorofluorocarbons	CGBS 5.508.1.1 N/A			
Indoor water use: Floor-mounted urinals ( 0.125gpf)	CGBS 5.303.3.2.2			Halons	CGBS 5.508.1.2 N/A			   Schedule a Green Building Incremental Verification if any of the
Indoor water use: Single showerhead ( 1.5 gpm at 80 psi)	CGBS 5.303.3.3.1			Supermarket refrigerant leak reduction	CGBS 5.508.2 N/A			following CALGreen or WHMC provisions are marked with an
Indoor water use: Multiple showerheads serving one shower ( flow rate of 1.5 gpm at 80 psi)	WHMC 13.24.015 & CGBS 5.303.3.3.2	N/A		Additional Requirements for Projects Seeking Approval of A Specific Plan or Development Agreer	ment (Select one of three)	1		"X" under the "Y" column of this sheet.
Indoor water use: Nonresidential lavatory faucets (0.5 gpm at 60 psi)	WHMC 13.24.015 & CGBS 5.303.3.4.1	N/A		Highly Energy Efficient Building: Performance approach specified within the 2022 California Energy Code shall				
Indoor water use: Kitchen faucets (1.5 gpm at 60 psi)	WHMC 13.24.015 & CGBS 5.303.3.4.2	N/A		be used to demonstrate that the TDV Energy of proposed new nonresidential and mixed-use projects is at least: 50 percent less than TDV energy of the Standard Design.	WHMC 19.20.060/ Title 24, Part 6			-WHMC 19.28.150 Bicycle Parking & Facilities
Indoor water use: Wash fountains (1.8 gpm at 60 psi)	CGBS 5.303.3.4.3	N/A		to	Title 24, Part 0			-5.106.8 Light Pollution Reduction / WHMC 19.20.100
Indoor water use: Metering faucets (0.2 gallons/ cycle)	CGBS 5.303.3.4.4	N/A		Graywater system installation (Indoor, Outdoor, or Combination)	WHMC 19.20.060			-5.303.1.1 Meters -5.303.1.2 Excess Consumption
Indoor water use: Metering faucets for wash fountains (0.2 gallons/ cycle)	CGBS 5.303.3.4.5	N/A		Third-Party rating system certification (LEED Platinum or Living Building Challenge)	WHMC 19.20.060			-5.410.2 Commissioning
Indoor water use: Pre-Rinse Spray Valves	CGBS 5.303.3.4.6	N/A			-	Ч.		-5.410.4 Testing and Adjusting
Commercial kitchen equipment - Food waste disposers	CGBS 5.303.4.1	N/A						-5.504.3 Covering of duct openings and protection of
Indoor water use: Standards for plumbing fixtures and fittings (2022 Cal Plumbing Code)	CGBS 5.303.6			Legend:				mechanical equipment during construction
Outdoor water use in landscape areas (MWELO) (Include MWELO Toolkit)	WHMC 13.24.015 & CGBS 5.304.1			Y - Yes, the measure selected is applicable to my project and in the scope of work				-5.504.4 Finish Material Pollutant Control
Outdoor water use: Landscape water meters (when landscaping is in the scope) (locally amended)	WHMC 13.24.015 & CGBS 5.304.2	V/A		N - No, the measure is not applicable to my project and not in the scope of work WHMC - West Hollywood Municipal Code				
4. Material Conservation and Resource Efficiency  Weather protection	CGBS 5.407.1	N/Δ		CGBS - California Green Building Standards (CALGreen)				
Moisture control: Sprinklers	CGBS 5.407.2.1			OSEO Gamorina Groom Banding Glandards (Gr. 12510011)				SECTION TO BE COMPLETED POST-CONSTRUCTION
Moisture control: Entries + Openings	CGBS 5.407.2.2			Planning Review and Plan Check Instructions:				
Moisture control: Exterior door protection	CGBS 5.407.2.2.1			This Green Building Checklist is intended to simplify the project approval process for nonresiden				
Moisture control: Flashing	CGBS 5.407.2.2.2			the project's scope. References to State and local code sections are provided. Applicants shall s	submit this checklist along with	supporting documentation	n onto the submittal plans as part of	Schedule a two-part Final Green Building Inpection in
Enhanced construction waste management- 80% Diversion	WHMC 19.20.060 & CGBS 5.408.1	N/A		their application for a development permit and a building permit, as applicable (see West Hollywo	ood Green Building Program Ma	anual for information). Mix	xed-use projects should use this	accordance with the Nonresidential Green Building
Environmental Protection, Pollution, and Solid Waste	WHMC 19.20.060			checklist for the nonresidential portions of the project.				Guidelines.
Universal Waste	CGBS 5.408.2							
Excavated Soil and Land Clearing Debris	CGBS 5.408.3			The <b>Energy Star Benchmark Portfolio profile</b> is a required project submittal. C				For Part 1, prepare all submittals & supporting
Recyclable Materials Storage	WHMC 19.20.060 & CGBS 5.410.1			using following link. A screenshot of the project profile shall be included on a s	separate page in this plar	n set during the Plan (	Check Phase.	documentation for the items identified with an "X" under the "Y" column of this sheet.
Commissioning (buildings 10,000 square feet or more [N])	CGBS 5.410.2			Please indicate the reference page here				the T Columnol this sheet.
Owner's or Owner's representative's project requirements (OPP) [N]	CCBC E 440 0 4	NI/A						I .
Owner's or Owner's representative's project requirements (OPR) [N]  Basis of Design (BOD) [NI	CGBS 5.410.2.1							
Basis of Design (BOD) [N]	CGBS 5.410.2.2	N/A		Green Building Inspection Instructions:				For Part 2, prepare a field inspection for the items
		N/A N/A		Green Building Inspection Instructions:  1. It is the requirement of the ICC-certifed CALGreen Building Inspector to review and understan	nd the City of West Hallowaad's	s Green Buildina Program	Manual.	For Part 2, prepare a field inspection for the items identified with an "X" under the "Y" column of this sheet.
Basis of Design (BOD) [N]  Commissioning plan [N]	CGBS 5.410.2.2 CGBS 5.410.2.3	N/A N/A N/A		Green Building Inspection Instructions:  1. It is the requirement of the ICC-certifed CALGreen Building Inspector to review and understand	nd the City of West Hollywood's	s Green Building Program	Manual.	identified with an "X" under the "Y" column of this sheet.
Basis of Design (BOD) [N]  Commissioning plan [N]  Functional performance testing [N]	CGBS 5.410.2.2 CGBS 5.410.2.3 CGBS 5.410.2.4	n/a n/a n/a n/a			•		Manual.	identified with an "X" under the "Y" column of this sheet.  I certify that:
Basis of Design (BOD) [N]  Commissioning plan [N]  Functional performance testing [N]  Documentation and training [N]  Documentation and training: Systems manual [N]  Documentation and training: Systems operations training [N]	CGBS 5.410.2.2 CGBS 5.410.2.3 CGBS 5.410.2.4 CGBS 5.410.2.5 CGBS 5.410.2.5.1 CGBS 5.410.2.5.2	n/A n/A n/A n/A n/A		It is the requirement of the ICC-certifed CALGreen Building Inspector to review and understan     After the building permit has been issued, an ICC-certified CALGreen Building Inspector shall	l field verify all applicable requir	rements.		identified with an "X" under the "Y" column of this sheet.  I certify that:  There have been no alterations that have impacted the
Basis of Design (BOD) [N]  Commissioning plan [N]  Functional performance testing [N]  Documentation and training [N]  Documentation and training: Systems manual [N]  Documentation and training: Systems operations training [N]  Commissioning report [N]	CGBS 5.410.2.2 CGBS 5.410.2.3 CGBS 5.410.2.4 CGBS 5.410.2.5 CGBS 5.410.2.5.1 CGBS 5.410.2.5.2 CGBS 5.410.2.5.2	n/A N/A N/A N/A N/A N/A		<ol> <li>It is the requirement of the ICC-certifed CALGreen Building Inspector to review and understand.</li> <li>After the building permit has been issued, an ICC-certified CALGreen Building Inspector shall.</li> <li>Prior to the installation of drywall, the general contractor or approved agent shall use an ICC-certified.</li> </ol>	I field verify all applicable requir	rements. spector to verify compliance	ce with the Green Building Incremental Verification	identified with an "X" under the "Y" column of this sheet.  I certify that:
Basis of Design (BOD) [N]  Commissioning plan [N]  Functional performance testing [N]  Documentation and training [N]  Documentation and training: Systems manual [N]  Documentation and training: Systems operations training [N]  Commissioning report [N]  Testing and adjusting [N] (buildings less than 10,000SF or new systems to serve additions and alterations [AA])	CGBS 5.410.2.2 CGBS 5.410.2.3 CGBS 5.410.2.4 CGBS 5.410.2.5 CGBS 5.410.2.5.1 CGBS 5.410.2.5.2 CGBS 5.410.2.5.2 CGBS 5.410.2.6 CGBS 5.410.4	nia Nia Nia Nia Nia Nia Nia		It is the requirement of the ICC-certifed CALGreen Building Inspector to review and understan     After the building permit has been issued, an ICC-certified CALGreen Building Inspector shall     Prior to the installation of drywall, the general contractor or approved agent shall use an ICC-certified CALGreen Building & Safety D	I field verify all applicable requir certified CALGreen Building Ins Divsion at 323.984.7321 to scho	rements. spector to verify compliance	ce with the Green Building Incremental Verification	identified with an "X" under the "Y" column of this sheet.  I certify that:  There have been no alterations that have impacted the energy report for the project.
Basis of Design (BOD) [N]  Commissioning plan [N]  Functional performance testing [N]  Documentation and training [N]  Documentation and training: Systems manual [N]  Documentation and training: Systems operations training [N]  Commissioning report [N]  Testing and adjusting [N] (buildings less than 10,000SF or new systems to serve additions and alterations [AA])  Testing and adjusting for systems: HVAC, lighting, water heating, renewable energy, landscape irrigation, and water reuse	CGBS 5.410.2.2 CGBS 5.410.2.3 CGBS 5.410.2.4 CGBS 5.410.2.5 CGBS 5.410.2.5.1 CGBS 5.410.2.5.2 CGBS 5.410.2.6 CGBS 5.410.4 CGBS 5.410.4	N/A N/A N/A N/A N/A N/A N/A		It is the requirement of the ICC-certifed CALGreen Building Inspector to review and understan     After the building permit has been issued, an ICC-certified CALGreen Building Inspector shall     Prior to the installation of drywall, the general contractor or approved agent shall use an ICC-cequirements. The general contractor shall then contact the West Hollywood Building & Safety D CALGreen Building Inspector shall have confirmed all applicable items and present all required described.	I field verify all applicable requirectified CALGreen Building Inspiration at 323.984.7321 to schedocumentation.	rements. spector to verify compliancedule a Green Building Inc	ce with the Green Building Incremental Verification cremental Verification with a City Building Inspector. The	identified with an "X" under the "Y" column of this sheet.  I certify that:  There have been no alterations that have impacted the energy report for the project.  All mandatoiry CALGreen measures and required
Basis of Design (BOD) [N]  Commissioning plan [N]  Functional performance testing [N]  Documentation and training [N]  Documentation and training: Systems manual [N]  Documentation and training: Systems operations training [N]  Commissioning report [N]  Testing and adjusting [N] (buildings less than 10,000SF or new systems to serve additions and alterations [AA])  Testing and adjusting for systems: HVAC, lighting, water heating, renewable energy, landscape irrigation, and water reuse  Testing and adjusting: Procedures	CGBS 5.410.2.2 CGBS 5.410.2.3 CGBS 5.410.2.4 CGBS 5.410.2.5 CGBS 5.410.2.5.1 CGBS 5.410.2.5.2 CGBS 5.410.2.6 CGBS 5.410.4 CGBS 5.410.4 CGBS 5.410.4.3	N/A		1. It is the requirement of the ICC-certifed CALGreen Building Inspector to review and understand 2. After the building permit has been issued, an ICC-certified CALGreen Building Inspector shall 3. Prior to the installation of drywall, the general contractor or approved agent shall use an ICC-certified captropy.  The general contractor shall then contact the West Hollywood Building & Safety D CALGreen Building Inspector shall have confirmed all applicable items and present all required d 4. Prior to final building approval, the general contractor or approved agent shall use an ICC-certified CALGreen Building approval.	I field verify all applicable requirectified CALGreen Building Inspiration at 323.984.7321 to schedocumentation.	rements.  spector to verify compliance of the co	ce with the Green Building Incremental Verification cremental Verification with a City Building Inspector. The with the Green Building Final Inspection requirements. The	identified with an "X" under the "Y" column of this sheet.  I certify that:  There have been no alterations that have impacted the energy report for the project.  All mandatoiry CALGreen measures and required electives noted in the checklist have been implemented,
Basis of Design (BOD) [N]  Commissioning plan [N]  Functional performance testing [N]  Documentation and training [N]  Documentation and training: Systems manual [N]  Documentation and training: Systems operations training [N]  Commissioning report [N]  Testing and adjusting [N] (buildings less than 10,000SF or new systems to serve additions and alterations [AA])  Testing and adjusting for systems: HVAC, lighting, water heating, renewable energy, landscape irrigation, and water reuse	CGBS 5.410.2.2 CGBS 5.410.2.3 CGBS 5.410.2.4 CGBS 5.410.2.5 CGBS 5.410.2.5.1 CGBS 5.410.2.5.2 CGBS 5.410.2.6 CGBS 5.410.4 CGBS 5.410.4	N/A		1. It is the requirement of the ICC-certifed CALGreen Building Inspector to review and understand. 2. After the building permit has been issued, an ICC-certified CALGreen Building Inspector shall. 3. Prior to the installation of drywall, the general contractor or approved agent shall use an ICC-certified calculation. 3. Prior to the installation of drywall, the general contract the West Hollywood Building & Safety Discounting CALGreen Building Inspector shall have confirmed all applicable items and present all required described. Prior to final building approval, the general contractor or approved agent shall use an ICC-certified CALGreen Building & Safety Disson at 323.984.7	I field verify all applicable requirectified CALGreen Building Inspiration at 323.984.7321 to schedocumentation.	rements.  spector to verify compliance of the co	ce with the Green Building Incremental Verification cremental Verification with a City Building Inspector. The with the Green Building Final Inspection requirements. The	identified with an "X" under the "Y" column of this sheet.  I certify that:  There have been no alterations that have impacted the energy report for the project.
Basis of Design (BOD) [N]  Commissioning plan [N]  Functional performance testing [N]  Documentation and training: Systems manual [N]  Documentation and training: Systems manual [N]  Documentation and training: Systems operations training [N]  Commissioning report [N]  Testing and adjusting [N] (buildings less than 10,000SF or new systems to serve additions and alterations [AA])  Testing and adjusting for systems: HVAC, lighting, water heating, renewable energy, landscape irrigation, and water reuse  Testing and adjusting: Procedures  Testing and adjusting: HVAC balancing	CGBS 5.410.2.2 CGBS 5.410.2.3 CGBS 5.410.2.4 CGBS 5.410.2.5 CGBS 5.410.2.5.1 CGBS 5.410.2.5.2 CGBS 5.410.2.6 CGBS 5.410.4 CGBS 5.410.4 CGBS 5.410.4 CGBS 5.410.4.3 CGBS 5.410.4.3.1	N/A		1. It is the requirement of the ICC-certifed CALGreen Building Inspector to review and understand 2. After the building permit has been issued, an ICC-certified CALGreen Building Inspector shall 3. Prior to the installation of drywall, the general contractor or approved agent shall use an ICC-certified captropy.  The general contractor shall then contact the West Hollywood Building & Safety D CALGreen Building Inspector shall have confirmed all applicable items and present all required d 4. Prior to final building approval, the general contractor or approved agent shall use an ICC-certified CALGreen Building approval.	I field verify all applicable requirectified CALGreen Building Inspiration at 323.984.7321 to schedocumentation.	rements.  spector to verify compliance of the co	ce with the Green Building Incremental Verification cremental Verification with a City Building Inspector. The with the Green Building Final Inspection requirements. The	I certify that:  There have been no alterations that have impacted the energy report for the project.  All mandatoiry CALGreen measures and required electives noted in the checklist have been implemented, unless a new checklist is provided along with supporting

ESIDENTIA NONR ect Address: No: CALIFORNIA

EMENTS

ALGREEN

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CHECKLIST

Projec Case 2022

28196.01

GB-1

**NonRes** 

2022 NONRESIDENTIAL GREEN BUILDING CHECKLIST CALGREEN + LOCAL REQUIREMENTS

Application: This plan sheet is for use by new

nonresidential projects and major remodels.

08/28/24

00 05/30/24 NO: DATE:

Title 24, Part 11, California Green Building Code (CALGreen) w/2023 LA County Amendments City of West Hollywood Green Building Program and Resources

## **ACCESSIBLE PATH OF TRAVEL**

A

B

(C)

D

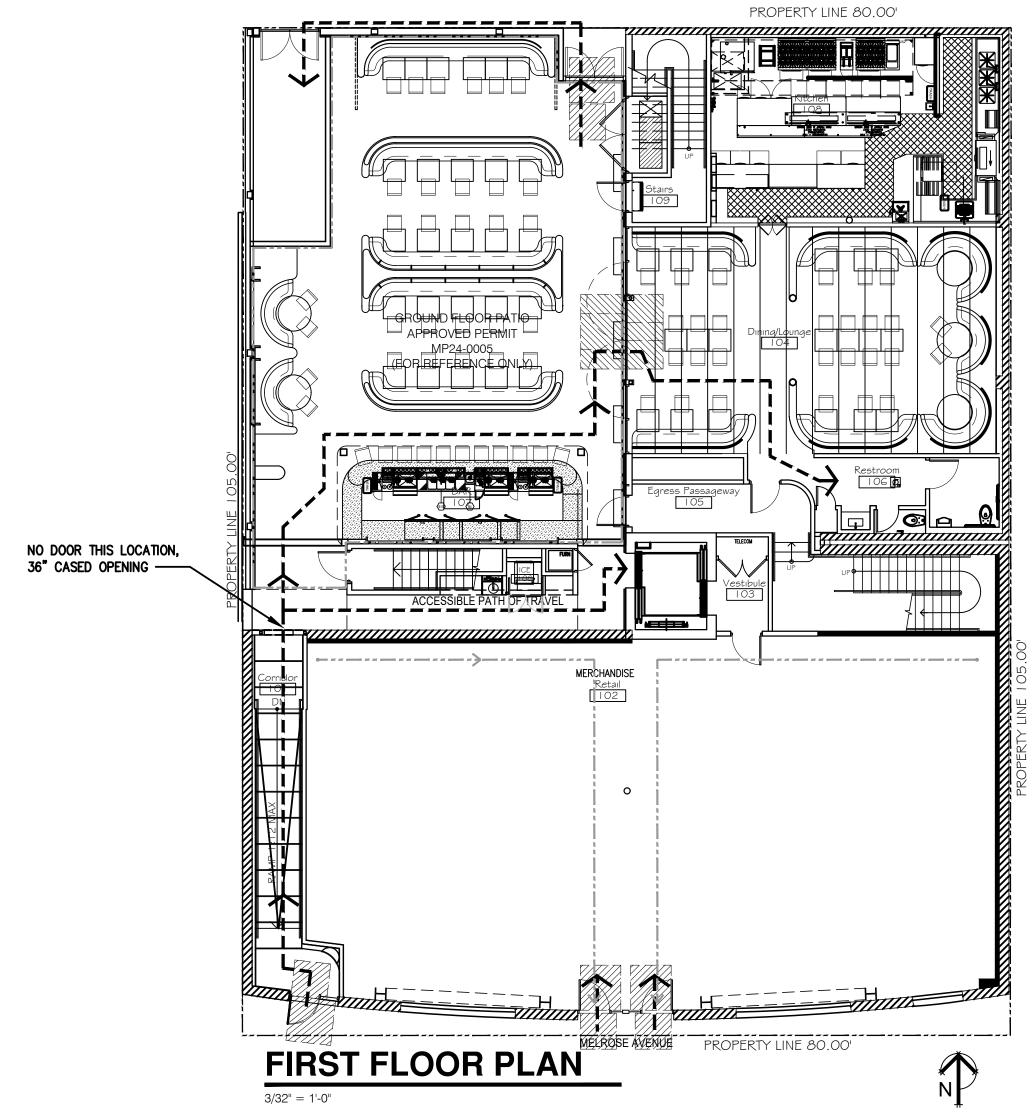
E

Rev. 07/23

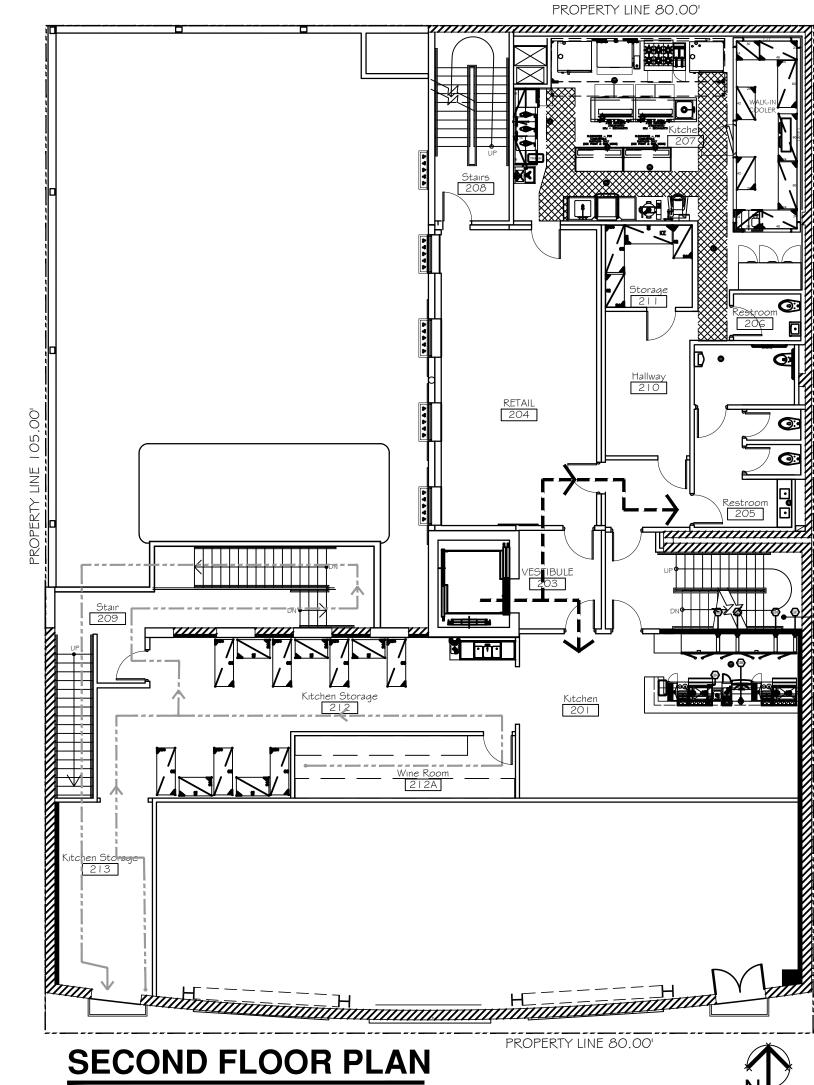


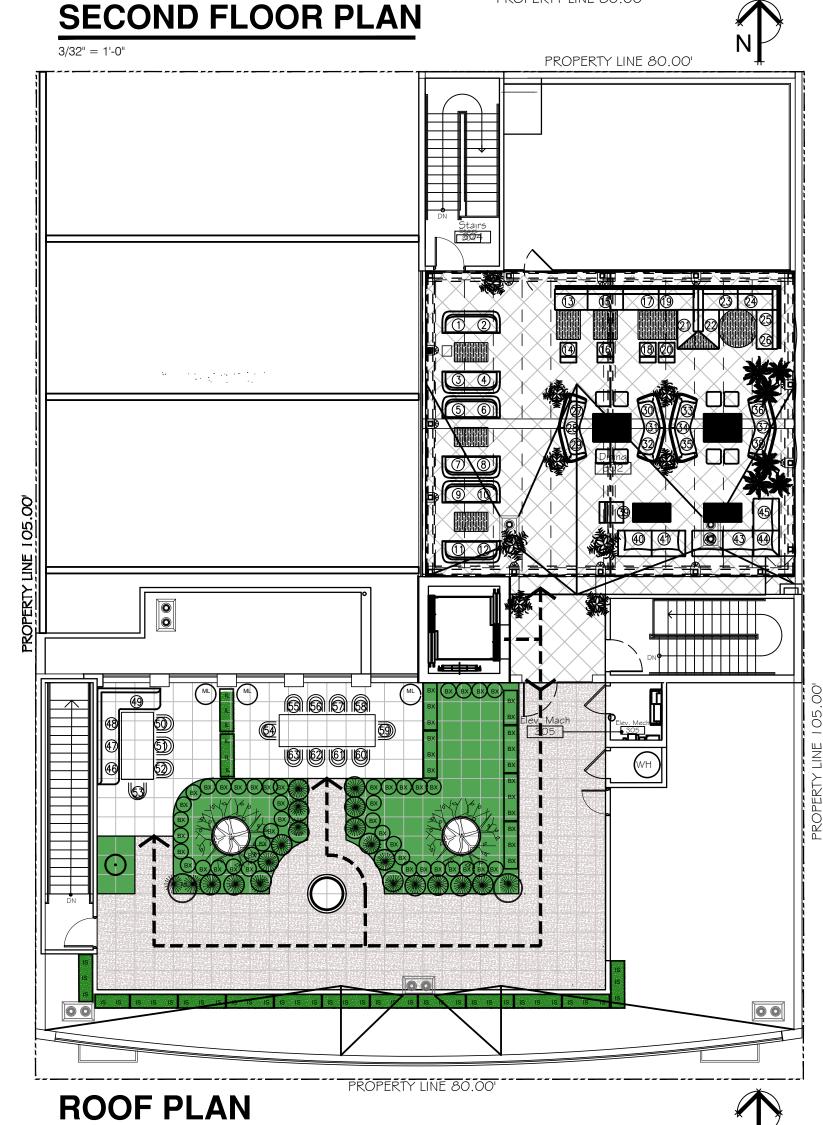
# Summary of Accessibility Upgrades

Project Address: 4451 Melrose Avenue		Permit No.				
Project Description/Location:		Proposed Total Construction Cost (A) : \$				
Two floors + roof		Type: ■ Alteration □ Structural Repair □ Addition				
PRIMARY ACCESSIBLE PATH OF TRAVE	EL REQUIREMENTS FOR A	AREA OF ALTERATION,	STRUCTURAL REPAIR	OR ADDITION		
Accessible Features	Does existing feature meet the accessibility standards of the 2022 CBC?	If not, what is the cost of construction to make this feature fully accessible?	Will this feature be replaced or altered to meet the accessibility standards of the 2022 CBC?	If so, how much will be spent to make this feature accessible?		
Accessible entrance to the building or facility	☐ Yes ■ No	\$ N/A	■ Yes □ No	\$ N/A		
Accessible route to the altered area	☐ Yes ■ No	\$ N/A	■ Yes □ No	\$ N/A		
Accessible restroom for each sex or one accessible unisex restroom	☐ Yes ■ No	\$ N/A	■ Yes □ No	\$ N/A		
Accessible telephones	☐ Yes ☐ No ■ NA	\$ N/A		\$ N/A		
Accessible drinking fountains	☐ Yes ☐ No ■ NA	\$ N/A		\$ N/A		
6. Signs	☐ Yes ■ No ☐ NA	\$ N/A		\$ N/A		
7. Accessible parking spaces	☐ Yes ☐ No ■ NA	\$ N/A		\$ N/A		
8. Alarms	☐ Yes ■ No ☐ NA	\$ N/A		\$ N/A		
9. Other:	☐ Yes ☐ No ☐ NA	\$	☐ Yes ☐ No ☐ NA	\$		
Cost of All Features Provided (Items 1-9) B	Sum total of costs of Acce	essible Features Nos. 1-9	provided above.	\$		
Adjusted Construction Cost C	Construction cost for all proposed work (A) on this permit application except Accessible Features Nos. 1-9 provided above. (A-B)			N/A		
Cost of Preceding Alterations D	Construction cost of all alt same path of travel if such travel to that area of altera	N/A \$ N/A				
Total Cost on Same Path of Travel (C + D)	Adjusted Construction Co	\$				
Twenty Percent Value of Upgrades Provided [0.2 * (C + D)]	Twenty percent accessibil features provided.	wenty percent accessibility compliance cost of the total cost of all eatures provided.				
Description of Access Features Provided:				N/A		
Full Compliance provide	ed with this permit, in	ncluding new eleva	ator, ramp, restrooi	ms.		
	of individual items f	or 20% rule not ap	plicable.			
Applicant Certification  I have reviewed the above-described features	and their cost and they are	an accurate description o	f the work being provided	l.		
Signature:	· · · · · · · · · · · · · · · · · · ·	Phone No.:				
Name:(print)		Date:				
Title:						
For Building Official Use Only		1				
Approved by:	Title:		Date: /	1		



Xref .\8451Melrose Plans.dwg





# ASD SKY

#### 8451 MELROSE AVE ROOF GARDEN

WEST HOLLYWOOD CALIFORNIA 90069

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ACCESSIBLE
PATH OF TRAVEL

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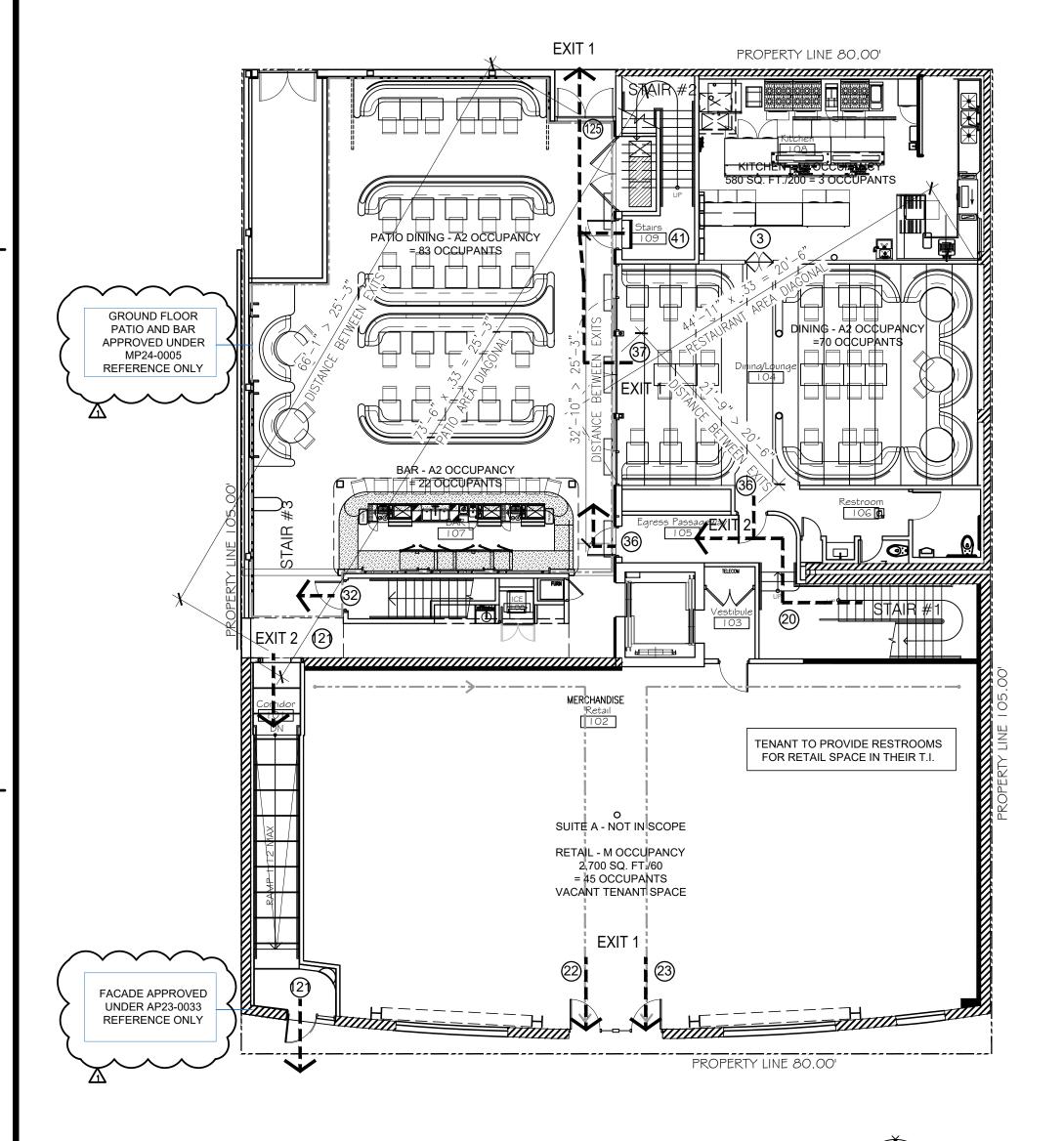
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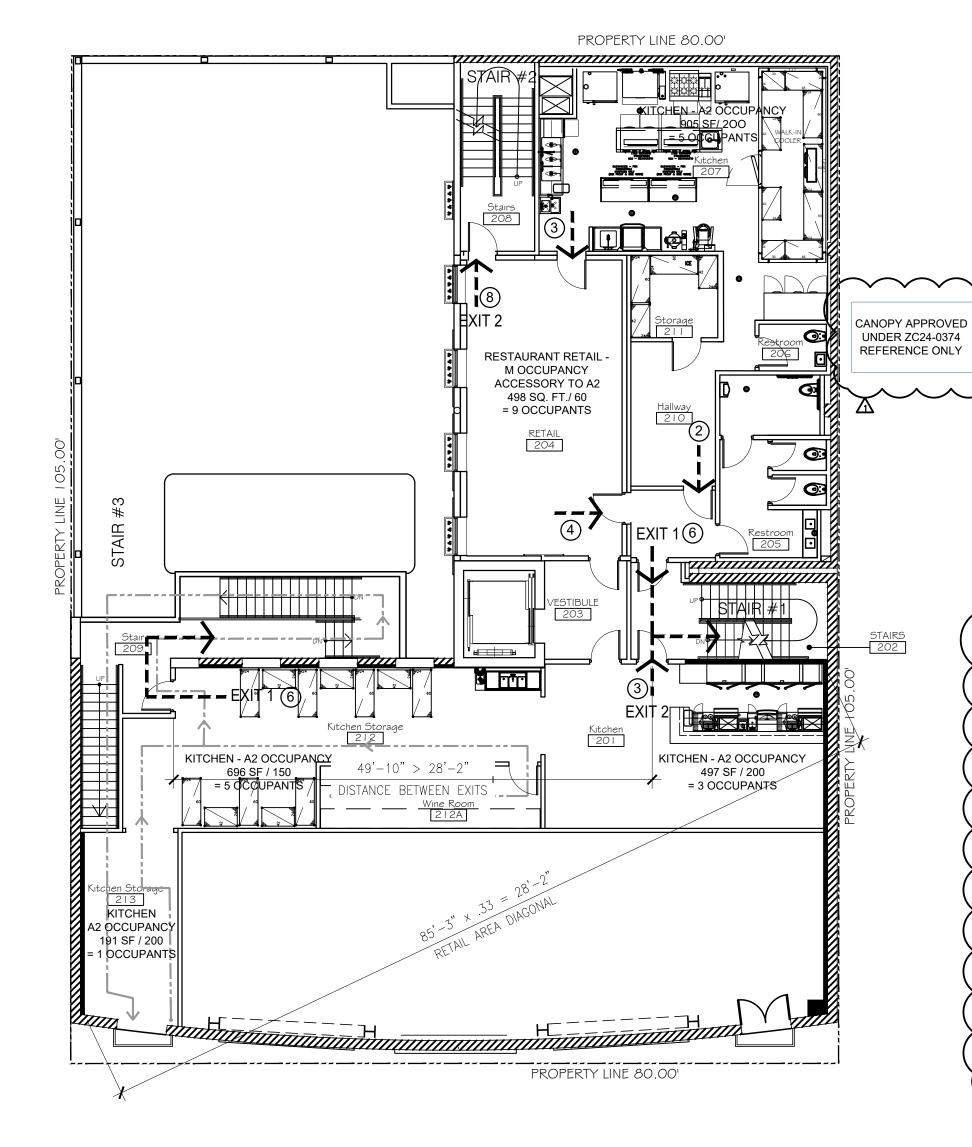
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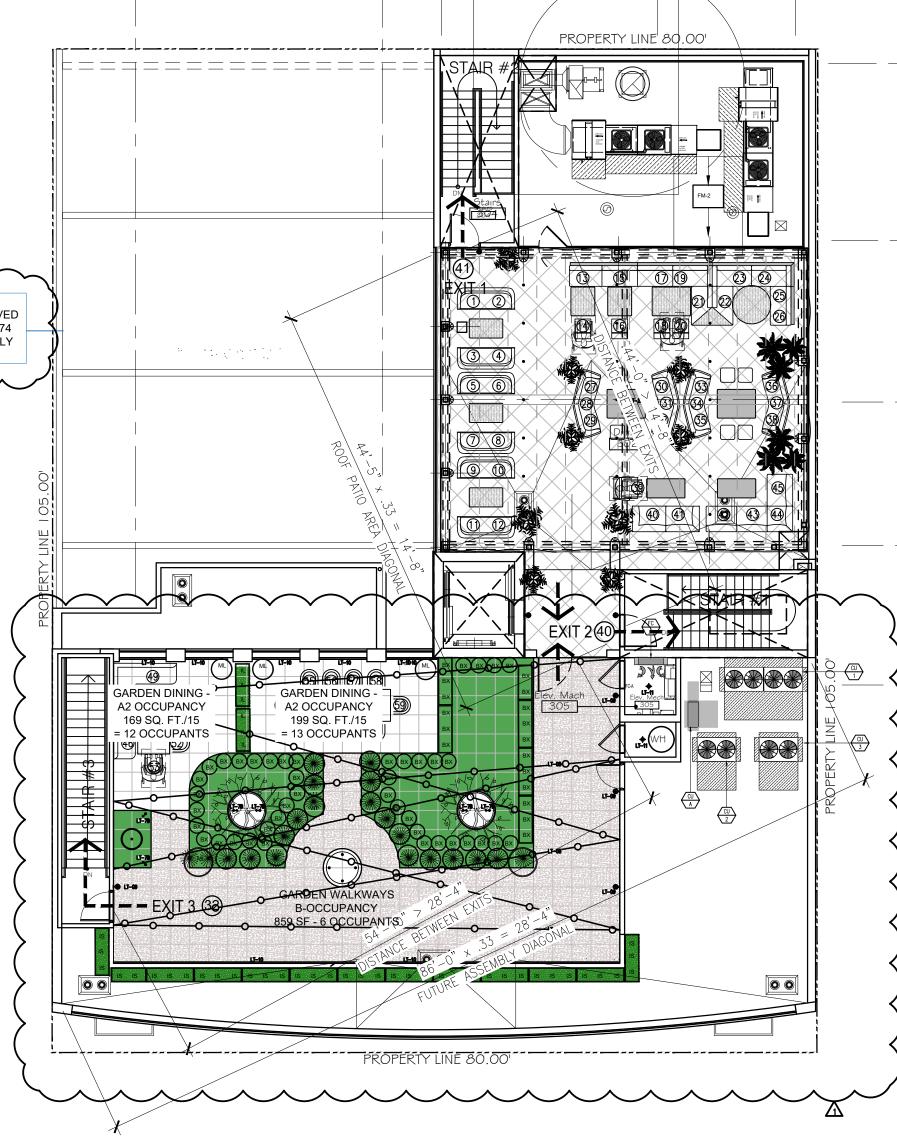
HEET NUMBER:

**AU.4** 

## **EGRESS ANALYSIS**







# FIRST FLOOR PLAN

SITE OCC TOTAL

REFERENCE ONLY - NO WORK ON FIRST FLOOR



253 358

## SECOND FLOOR PLAN

= 10'-0" REFERENCE ONLY - NO WORK ON SECOND FLOOR



### **ROOF PLAN**

1" = 10'-0"



PLUMBING FIXTURE CALC.

| COUPANT LOAD CALC. | PLUMBING FIXTURE CALC. | Number of exits required: 2

USE	AREA	OCCUPANCY LOAD (CPC)	# OCC.
1ST FLR RETAIL AREA	2700 SF	1 : 60	45
1ST FLR KITCHEN	580 SF	1 : 200	3
ST FLR INSIDE DINING TABLES	436 SF	1 : 15	29
NSIDE DINING BANQUETTE LF	81 LF	1 : 2 LF	41
ST FLR INSIDE DINING TOTAL	1562 SF		70
TOTAL 1ST FLOOR INTERIOR	4923 SF		118
ST FLR PATIO DINING TABLES	389 SF	1 : 15	28
PATIO DINING BANQUETTE LF	108.6 LF	1 : 2 LF	55
1ST FLR PATIO DINING TOTAL			83
1ST FLR BAR	33 LF	1 : 1.5 LF	22
1ST FLR PATIO TOTAL			105
2ND FLR RETAIL	498 SF	1 : 60	9
2ND FLR KITCHEN	1402 SF	1 : 200	8
2ND FLR KITCHEN STORAGE	887 SF	1 : 200	5
TOTAL 2ND FLR	2,787 SF		23
ROOF PATIO	1208 SF	1 : 15	81
ROOF GARDEN DINING	366 SF	1 : 15	26
ROOF GARDEN WALKS	859 SF	1 : 150	6

PLUMBING FIXTURE CALC.						
USE	AREA	OCCUPANCY LOAD (CPC)	# OCC.	50% MEN	50% WOMEN	
FIRST FLR RETAIL AREA	2,700 SF	1 : 100	27 (1 RR PER RETAIL TI)	_	-	
1ST FLR KITCHEN & STOR.	580 SF	1 : 50	11.6	5.8	5.8	
FIRST FLOOR DINING INT.	698 SF	1 : 30	23.3	11.7	11.7	
FIRST FLR PATIO	864 SF	1 : 30	28.8	14.4	14.4	
SECOND FLR RETAIL AREA	498 SF	1 : 100	5	2.5	2.5	
2ND FLR KITCHEN	1402 SF	1 : 50	28	14	14	
2ND FLR KITCHEN STORAGE	887 SF	1 : 200	4.4	2.2	2.2	
ROOF TOP PATIO	1208 SF	1 : 30	40	20	20	
ROOF GARDEN DINING	366 SF	1 : 30	12.2	6.1	6.1	
ROOF GARDEN WALKWAYS	859 SF	1 : 200	4.3	2.2	2.2	
	TOTAL (W/O FIRST FLR RETAIL)	TOTAL	158	79	79	
WATER CLOSETS REQUIRED 2 : 50-150 3 : 51-100						
WATER CLOSETS PROVIDED 3 4						
LAVATORIES REQUIRED 1 : 1-150 1 : 1-150						
LAVATORIES PROVIDED 2 2						
URINALS REQUIRED 1:1-200 -						
URINALS PROVIDED				2	-	

MAXIMUM DISTANCE COMMON PATH OF TRAVEL = 30'-0"

FIRE DEPARTMENT NOTE

1. PROVIDE A FIRE SAFETY, EVACUATION, AND LOCKDOWN PLAN ON SITE DURING FINAL INSPECTION.

SEPARATION REQUIRED BETWEEN EXITS: 1/3 THE DIAGONAL DISTANCE (FIRE SPRINKLERS)

EXIT WIDTH REQUIRED (REAR) = 176 OCC.  $\times$  0.15" = 26.4 / 2 = 13.2 (44" MIN.)

EXIT STAIR WIDTH REQUIRED = 40 OCC. X 0.2" = 8 / 2 = 4.0 (44" MIN.) (FIRE SPRINKLERS)

2. EVERY ROOM OR SPACE THAT IS AN ASSEMBLY OCCUPANCY SHALL HAVE THE OCCUPANT LOAD OF THE ROOM OR SPACE POSTED IN A CONSPICUOUS PLACE, NEAR THE MAIN EXIT OR EXIT ACCESS DOORWAY FROM THE ROOM OR SPACE. POSTED SIGNS SHALL BE OF AN APPROVED LEGIBLE PERMANENT DESIGN AND SHALL BE MAINTAINED BY THE OWNER OR AUTHORIZED AGENT. BUILDING CODE 1004.9. FIRE

3. COMPLY WITH LA COUNTY FIRE CODE SECTIONS 317 AND 905.8.3

# ASD SKY

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#### 8451 MELROSE AVE ROOF GARDEN

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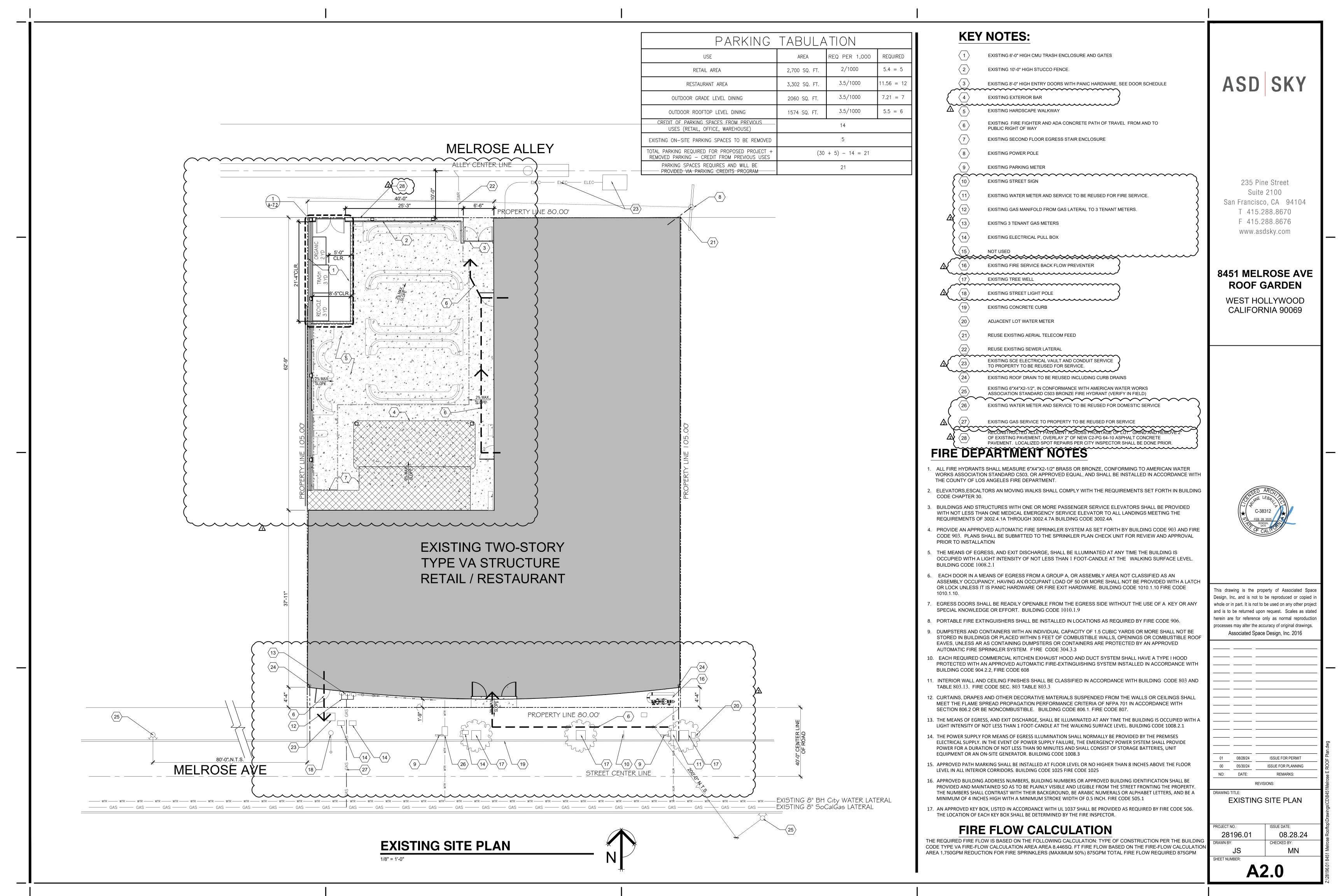
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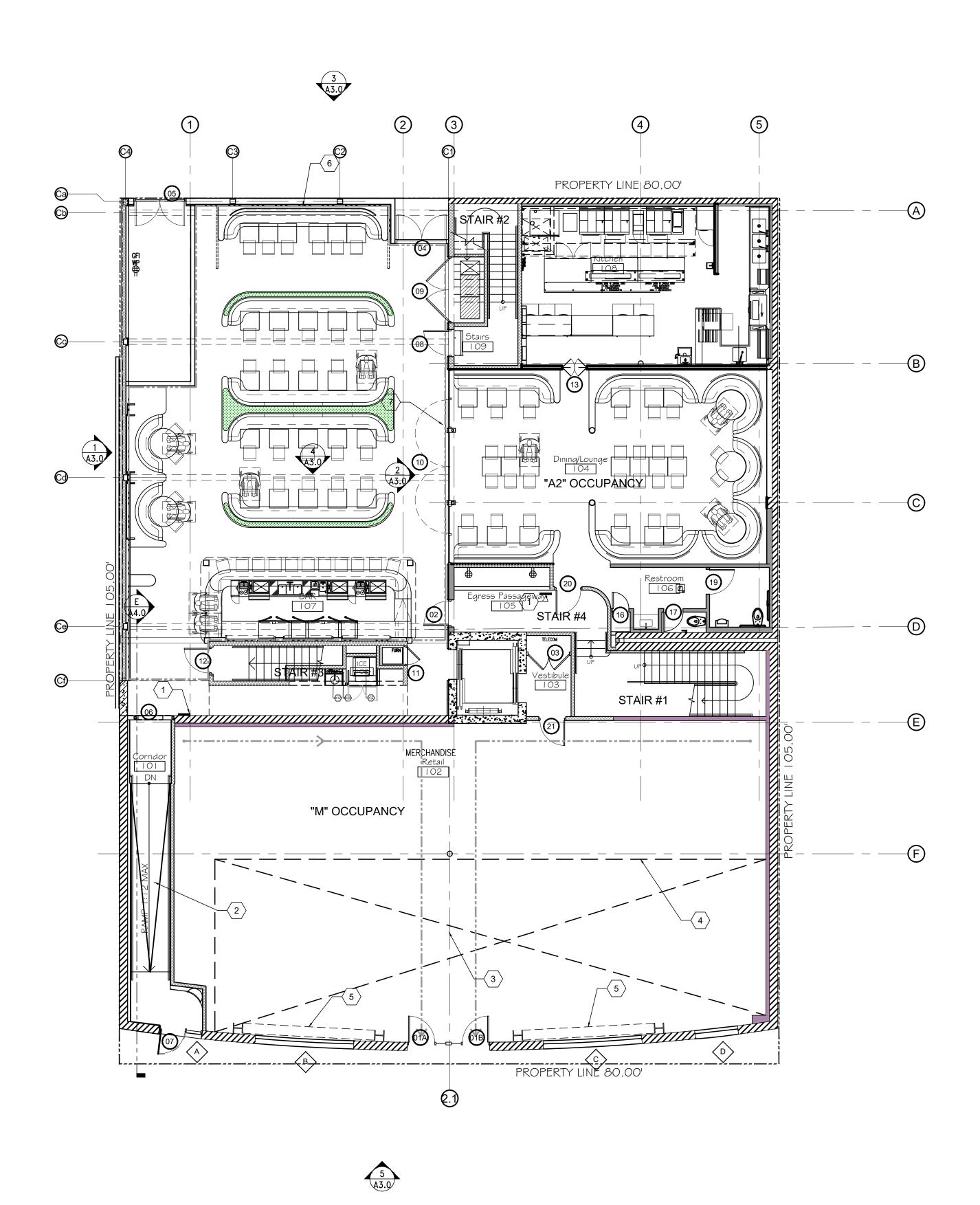
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40.5





**EXISTING FIRST LEVEL** 

## **LEGEND**

EXISTING STUD WALL

EXISTING 8" CONCRETE MASONRY UNIT (CMU) WALL - MINIMUM 1-HOUR RATED

2X4 STUDS @ 16" O.C. -U.O.N.

1 HOUR RATED INTERIOR FIRE BARRIER

12" CONCRETE WALL

8" CONCRETE MASONRY UNIT (CMU) WALL

NOTE: ALL PENETRATIONS TO RATED FIRE BARRIER ASSEMBLIES SHALL FIRE STOPPED AND CAULKED PER DETAIL 1, INCLUDING HVAC DUCTS TO INCLUDE FIRE DAMPERS AT EACH PENETRATION.

### **KEY NOTES:**

1 MAXIMUM OCCUPANCY SIGN

1:12 MAXIMUM SLOPE CONCRETE RAMP WITH METAL HANDRAILS

(3) OPEN TO ABOVE

4 EDGE OF SECOND FLOOR

5 STEEL MOMENT FRAME W/ 1-HOUR RATED INTUMESCENT PAINT

 $\langle 6 \rangle$  10'-0" HIGH STUCCO FENCE.

 $\langle 7 \rangle$  NOT US

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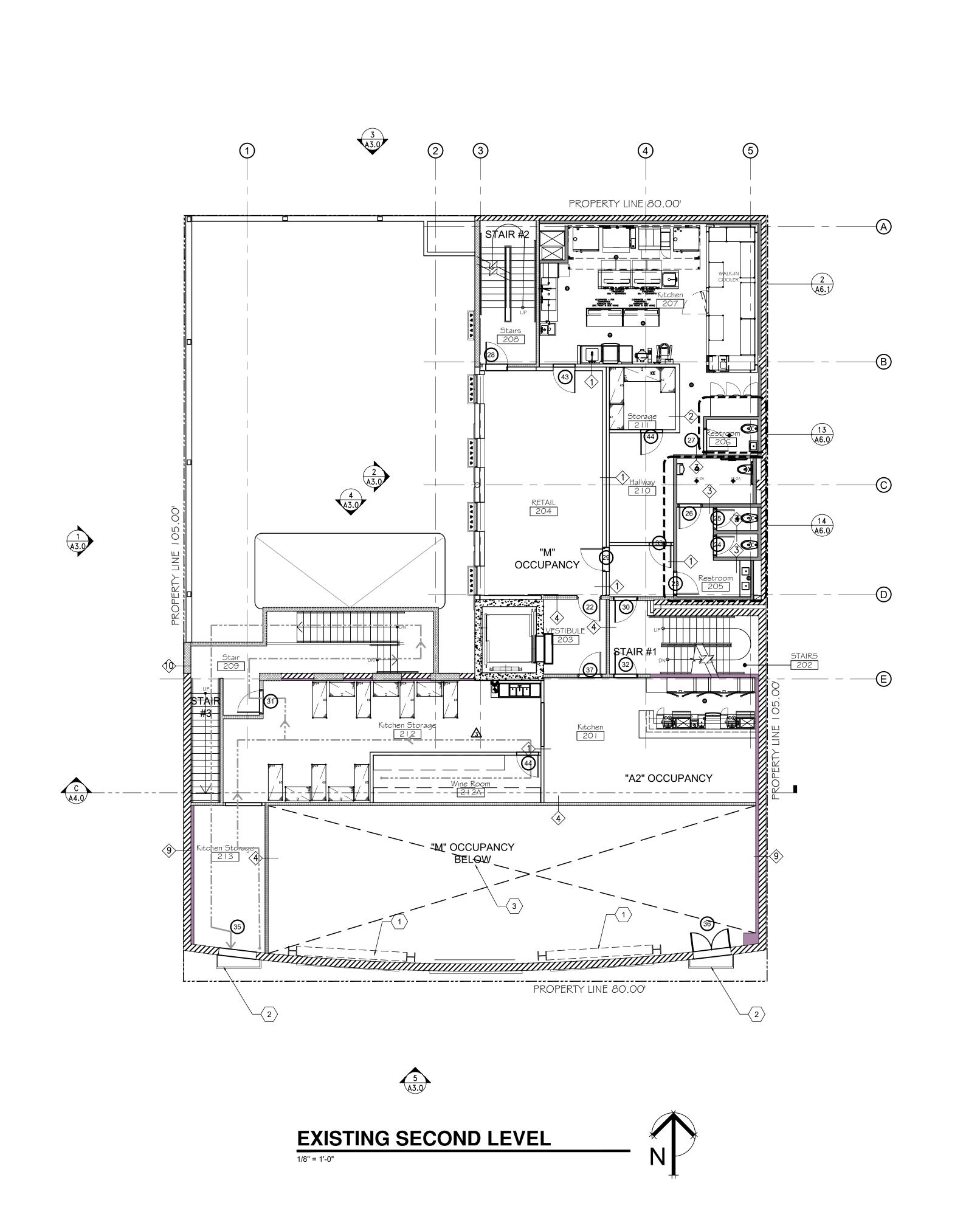
FIRST FLOOR PLAN

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**A2.1** 



## **LEGEND**

EXISTING STUD WALL

EXISTING 8" CONCRETE MASONRY UNIT (CMU) WALL - MINIMUM 1-HOUR RATED

2X4 STUDS @ 16" O.C. -U.O.N.

1 HOUR RATED INTERIOR FIRE BARRIER TO ROOF SHEATHING

1 HOUR RATED EXTERIOR FIRE BARRIER

12" CONCRETE WALL,

8" CONCRETE MASONRY UNIT (CMU) WALL,

NOTE: ALL PENETRATIONS TO RATED FIRE BARRIER ASSEMBLIES SHALL FIRE STOPPED AND CAULKED PER DETAIL 1, INCLUDING HVAC DUCTS TO INCLUDE FIRE DAMPERS AT EACH PENETRATION.

## **KEY NOTES:**

STEEL MOMENT FRAME W/ 1-HOUR RATED INTUMESCENT PAINT , SEE SHEET A-8.5 FOR SPEC AND SEE STRUCTURAL

EXISTING JULIET BALCONIES

OPEN TO BELOW

MAXIMUM OCCUPANCY SIGN

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#### 8451 MELROSE AVE **ROOF GARDEN**

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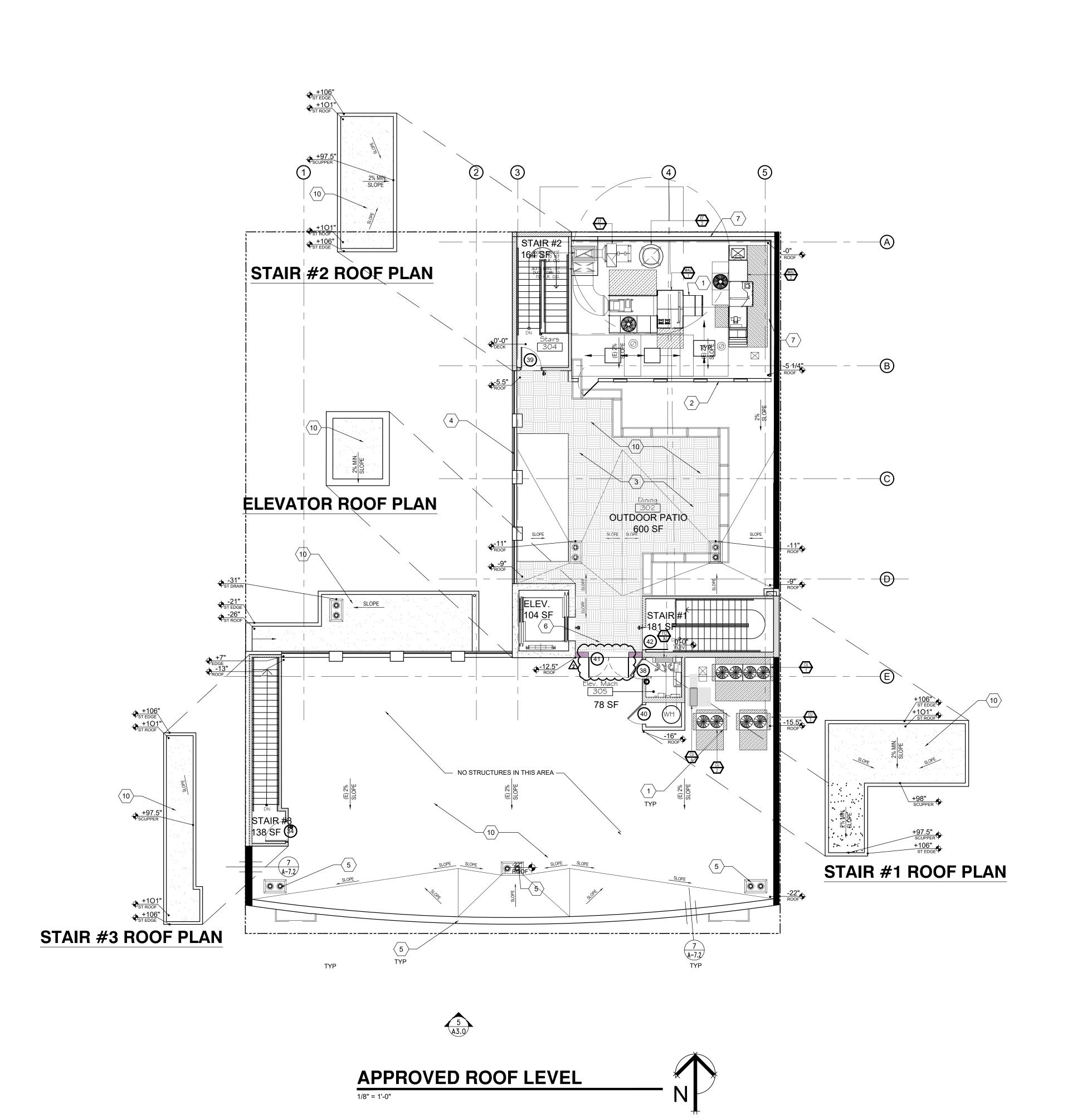
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28196.01 08.28.24

**A2.2** 



### **LEGEND**

NEW 1 HOUR RATED EXTERIOR FIRE BARRIER, SEE

EXISTING EXTERIOR PARAPET WALL

### **KEY NOTES:**

- 1 NEW ROOF TOP HVAC EQUIPMENT, SEE MECHANICAL DRAWINGS
- 7'-0" HIGH STUCCO WALL
- NEW BISON PEDESTAL FLOOR SYSTEM
- 4 WROUGHT IRON GUARD RAIL, 42" ABOVE ROOF DECK
- 5 EXISTING ROOF DRAIN
- 6 NEW SIGN ON GATE RESTRICTED ACCESS TO EMPLOYEE USE ONLY FOR SERVICE TO THE BUILDING
- 7 4'-0" HIGH METAL PANEL MECHANICAL SCREEN, PER 5/A7.01
- 8 PARAPET FILL-IN FROM REMOVAL OF ARCHITECTURAL FEATURE
- 9 EXISTING ROOF CRICKET WITH NEW CLASS 'A' BUILT -UP ROOF SYSTEM
- CLASS 'A' BUILT -UP ROOF SYSTEM AS MANUFACTURED BY CERTAINTEED, ICC #ESR-1388

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#### 8451 MELROSE AVE ROOF GARDEN

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EXISTING APPROVED
ROOF LEVEL PLAN

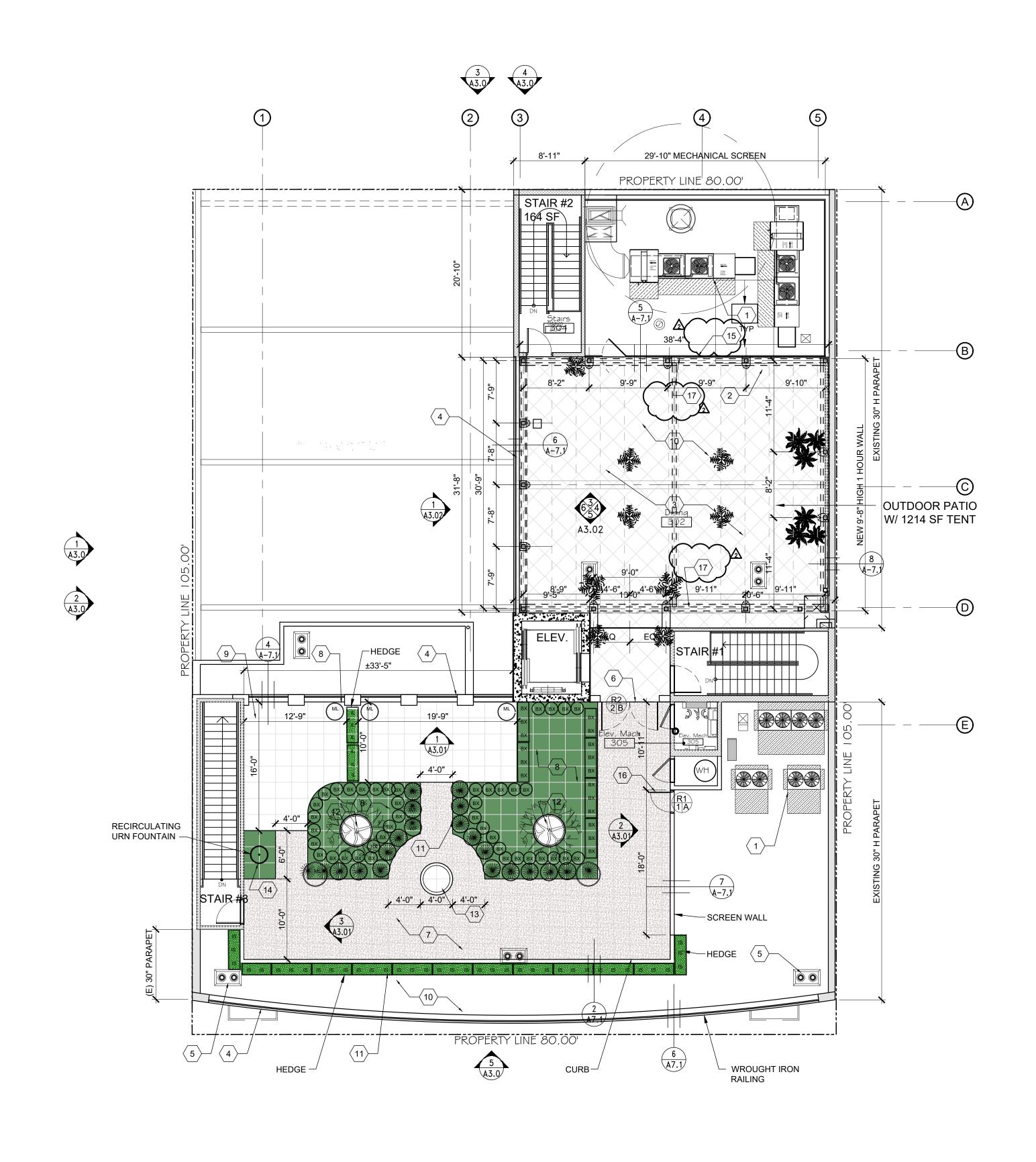
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JS MN

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A2.3.0



PROPOSED ROOF LEVEL



EXISTING EXTERIOR PARAPET WALL

EXISTING 12" CONCRETE WALL

EXISTING 1 HOUR RATED EXTERIOR FIRE BARRIER

ASD SKY

## **KEY NOTES:**

- 1 EXISTING ROOF TOP HVAC EQUIPMENT
- 2 NEW 8'-0" HIGH STUCCO WALL W/ VINES
- NEW BISON PEDESTAL FLOOR SYSTEM
- (N) WROUGHT IRON GUARD RAIL, 42" HIGH ABOVE ROOF DECK
- 5 EXISTING ROOF DRAIN

6 NEW 8'-2" H WROUGHT IRON GATE ACCESS TO ROOF GARDEN

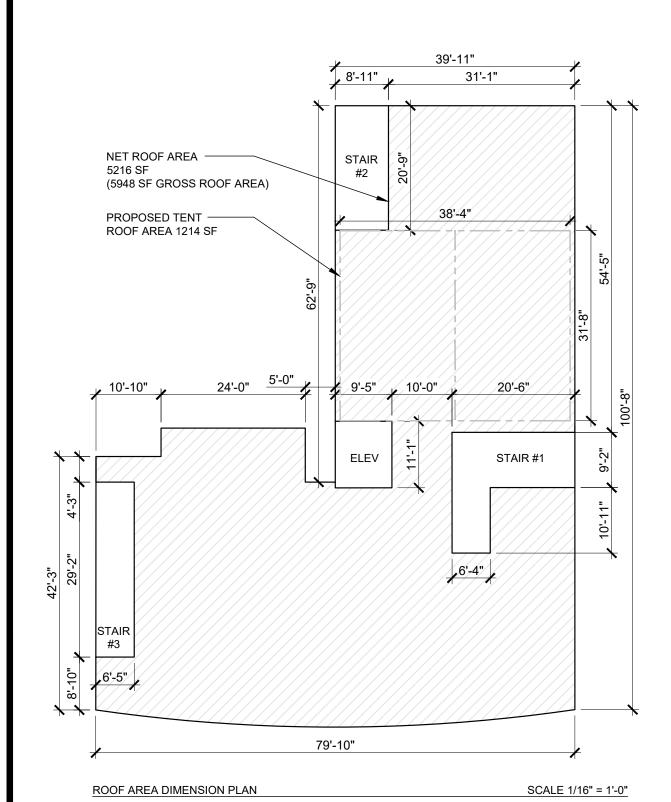
- TILE TECH PLANTING TRAY PAVER W/ COMPACTED GRAVEL PATHWAY
- 8 TILE TECH TURF PAVER W/ ARTIFICIAL GRASS
- 9 PORCELAIN TILE PAVER
- EXISTING CLASS 'A' BUILT -UP ROOF SYSTEM AS MANUFACTURED BY CERTAINTEED, ICC #ESR-1388, UNDER PAVERS
- 11 PLANTED AREA W/ PLANTS IN POTS. SEE LANDSCAPE PLANS
- \$\langle 12 \rangle TREE IN POT SEE LANDSCAPE PLANS
- \$\langle 13 \rangle STATUE ON CONCRETE PEDESTAL
- 14 FREE STANDING RECIRCULATING URN FOUNTAIN
- NEW 48" HIGH MECHANICAL SCREEN, TO MATCH EXISTING SEE 5/A7.01



#### ALLOWABLE SUN SCREEN CALC.

PER TABLE 'A' ZONING CODE SECTION 19.20.080.C:

BUILDING ROOF AREA = 5,216 S.F. X 25% = 1304 SF MAXIMUM SUNSHADE/ OPEN TRELLIS COVERAGE PROPOSED SUNSHADE = 1214 SF.



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PROPOSED ROOF PLAN

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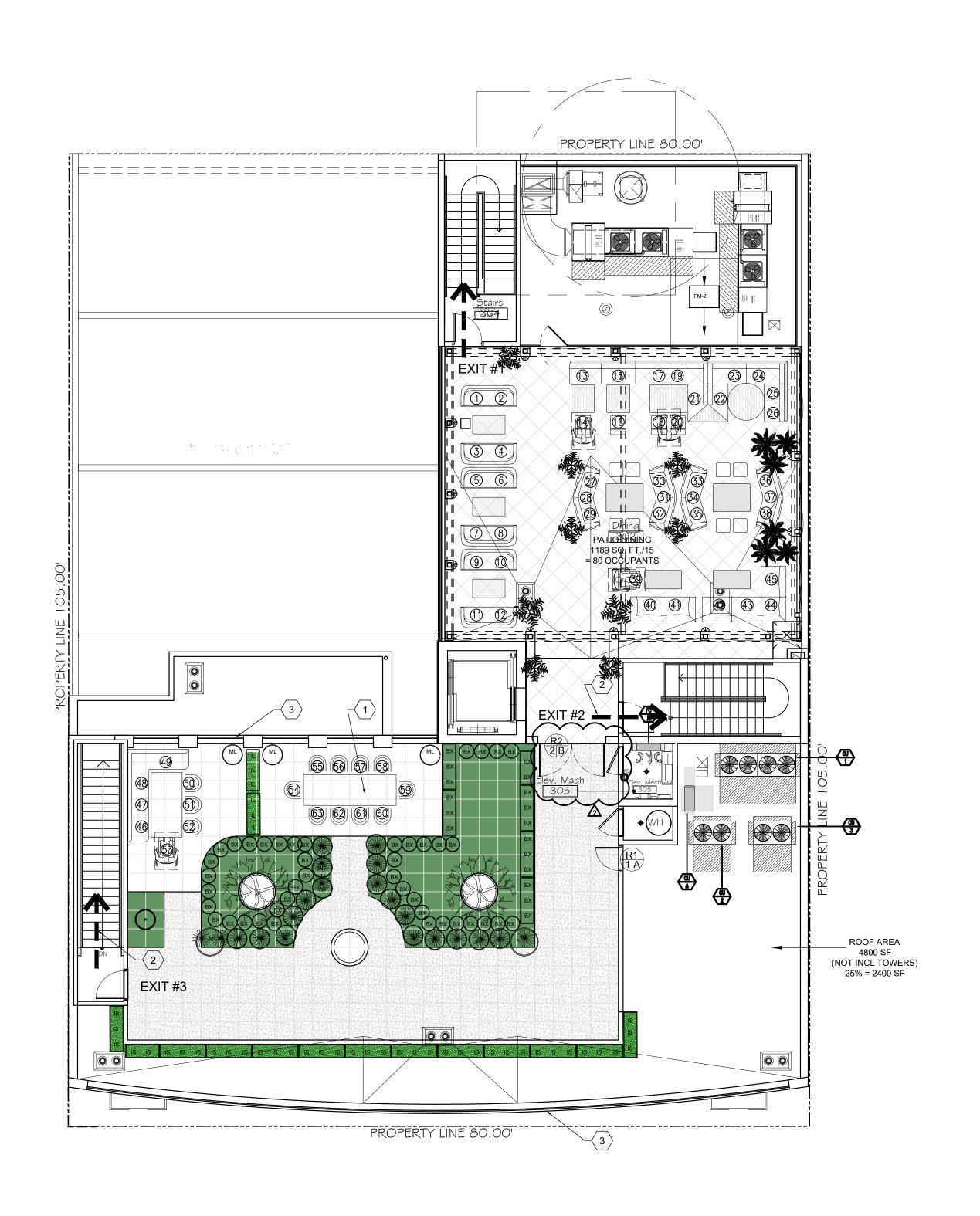
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# PROPOSED ROOF LEVEL SEATING

**SEAT COUNT** 

ROOFTOP DINING 63 (x 5% ADA = 3.15, 4 PROVIDED)

## **KEY NOTES**

- 30" X 48" ADA COMPLIANT SEATING, SEE (4-0.3)
- EXIT PATH OF TRAVEL
- WROUGHT IRON RAILING

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#### 8451 MELROSE AVE **ROOF GARDEN**

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## DOORS:

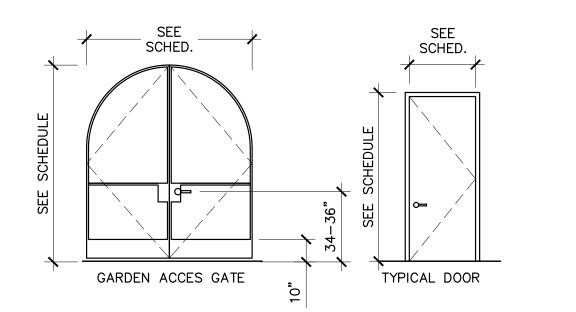
DOOR/ FRAME TYPE	DOOR / FRAME DESCRIPTION	DOOR_SIZE
1	NEW PAINTED HOLLOW METAL DOOR IN PAINTED HOLLOW METAL FRAME	$\frac{2'-6" \times 7'-0" \times 1-3/4"}{MATCH (E) HEIGHT & COLOR$
2	NEW CUSTOM WROUGHT IRON GATE	7'-8" X 8'-2" H

- A. CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING ALL DOOR ASSEMBLIES
- MEET ALL APPLICABLE CODES.

  B. STANDARD FINISH FOR DOORS SHALL MATCH EXISTING. C. DOORS AT BASE BUILDING AREAS ARE EXISTING TO REMAIN U.N.O.
  D. GENERAL CONTRACTOR AND HARDWARE SUPPLIER SHALL BE RESPONSIBLE FOR COORDINATING THE LOCKING, LATCHING AND KEYING REQUIREMENTS WITH THE OWNER'S REPRESENTATIVE PRIOR TO PURCHASE AND INSTALLATION.
- E. INTERIOR DOORS SHALL NOT EXCEED 5# OF FORCE TO OPERATE. EXTERIOR DOORS SHALL NOT EXCEED 5# OF FORCE TO OPERATE.
- F. ALL OPERABLE DOORS SHALL BE FURNISHED WITH ACCESSIBLE, LEVER TYPE HARDWARE NOT TO EXCEED 15# AT FIRE RATED DOORS.

  G. TEST AND ADJUST DOOR FOR SMOOTH, QUIET OPERATION.

	ARDWARE COUP/ DESCRIPTION
A	EXTERIOR STORAGE LOCKSET,
	2 PR. BUTT HINGES, SILENCER,
	CLOSER WALL STOP.
В	GATE ENTRY LEVER LOCKSET,
	MORTISE ON ACTIVE LEAF,
	MANUAL FLUSH BOLTS ON INACTIVE LEAF
	GATE HINGES





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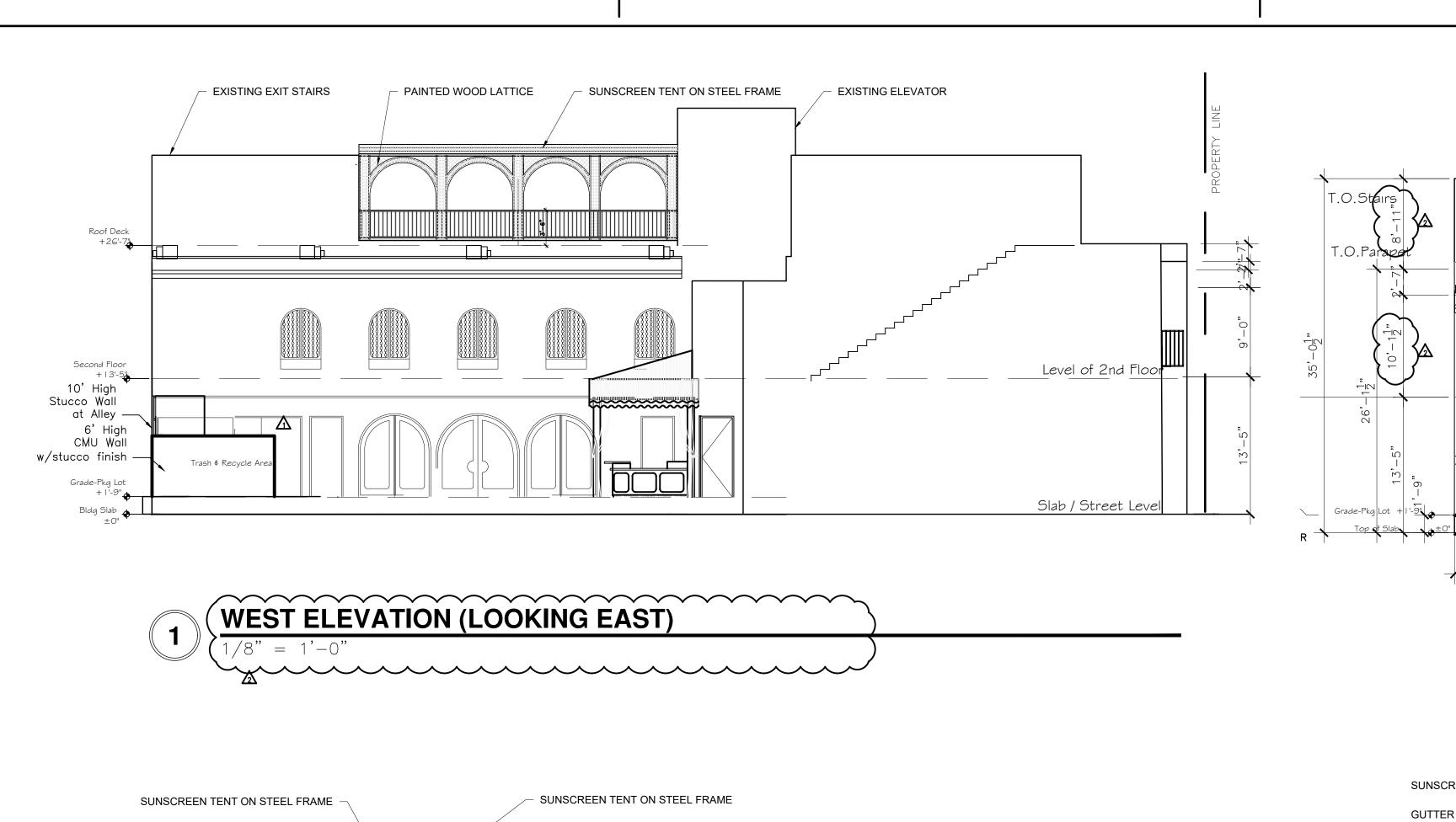
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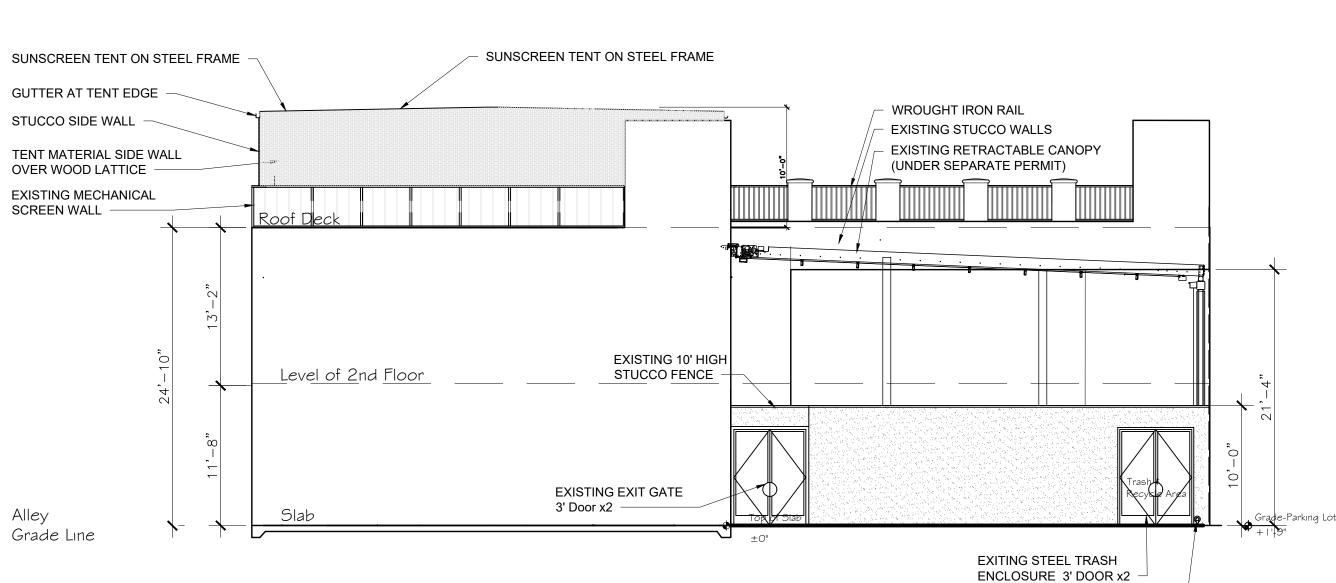
PROPOSED ROOF LEVEL SEATING PLAN

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SHEET NUMBER:	

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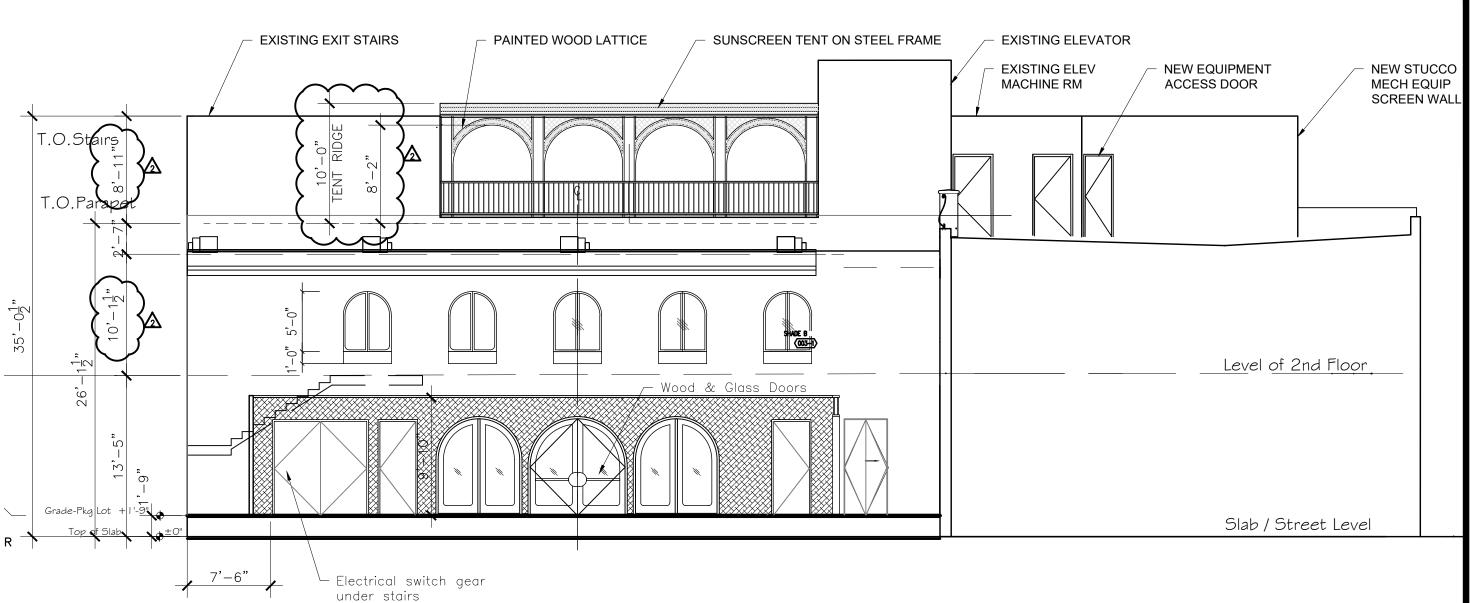


EXIST 4" COW'S TOUNGE

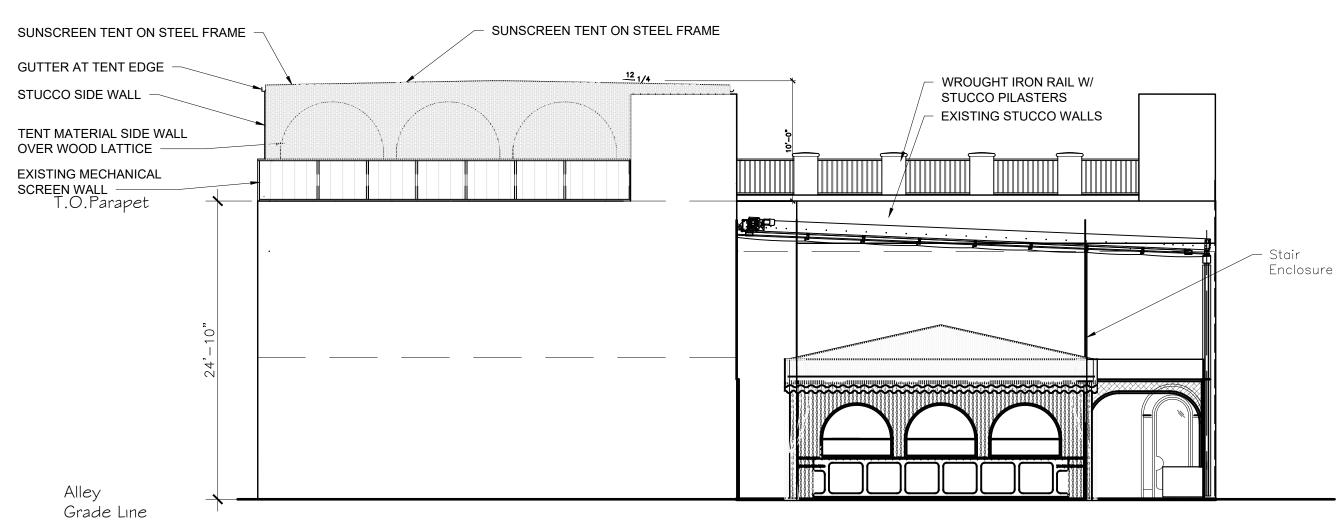
OUTLET TO ALLEY ———

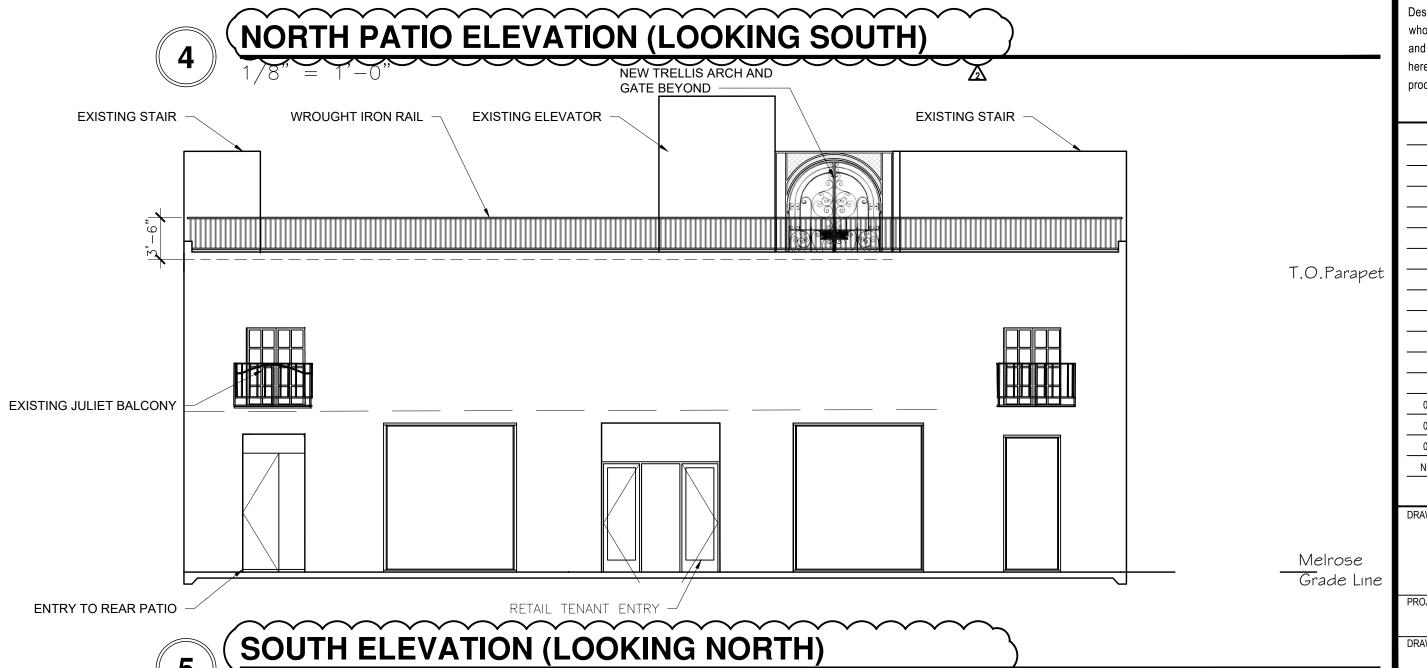
NORTH ELEVATION (FROM ALLEY LOOKING SOUTH)

1/8" = 1'-0"



WEST PATIO ELEVATION (LOOKING EAST)





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PROPOSED

EXTERIOR ELEVATIONS

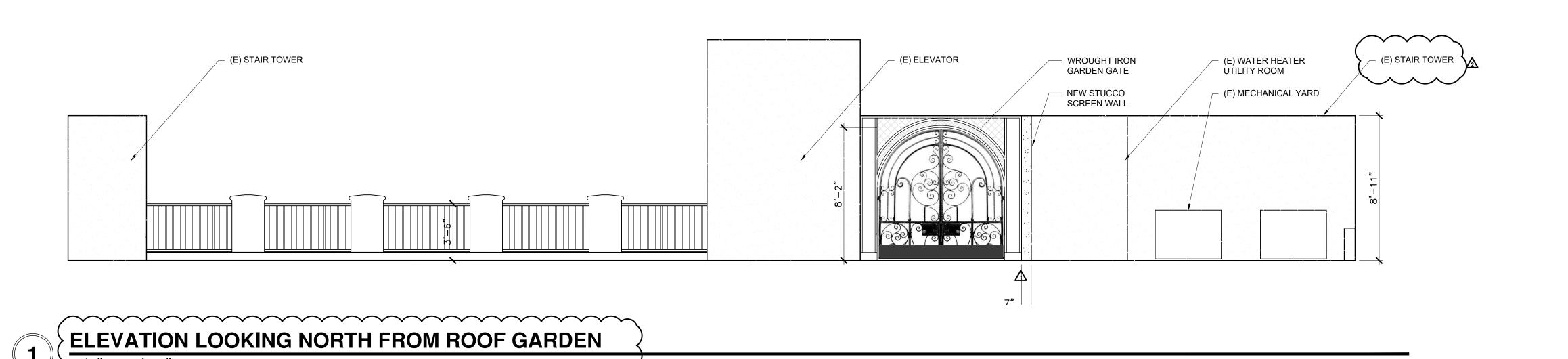
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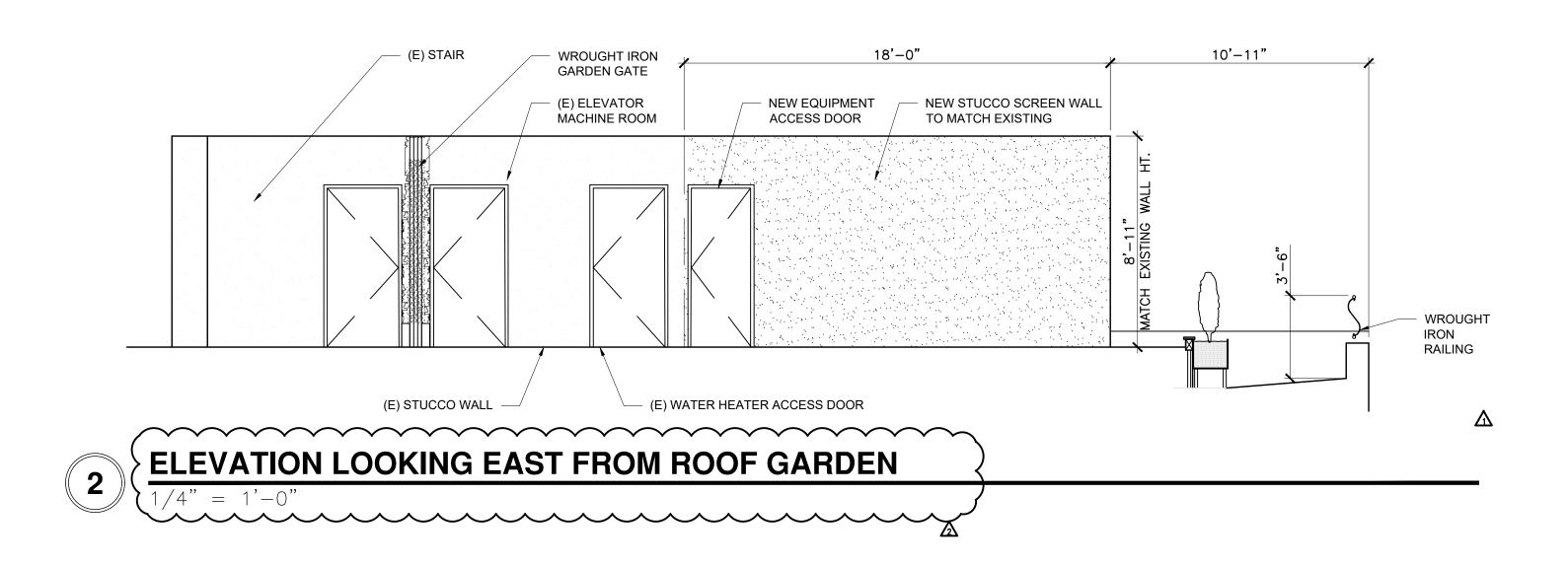
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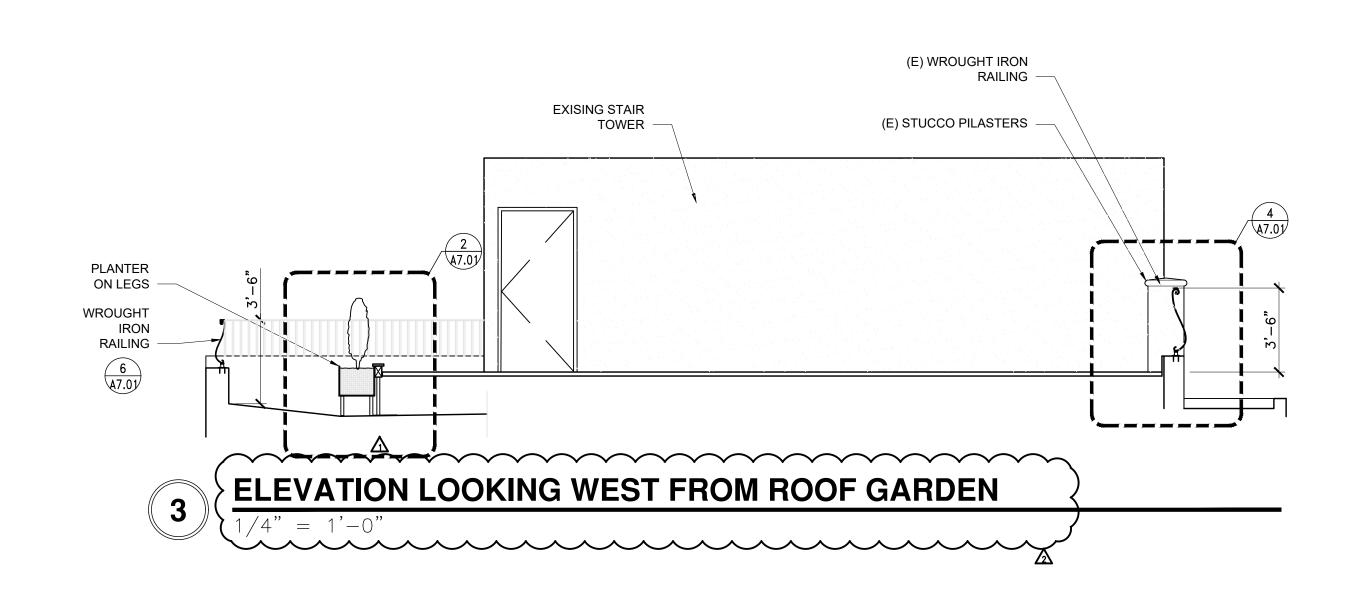
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A3.00







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EXTERIOR ELEVATIONS
ROOF GARDEN

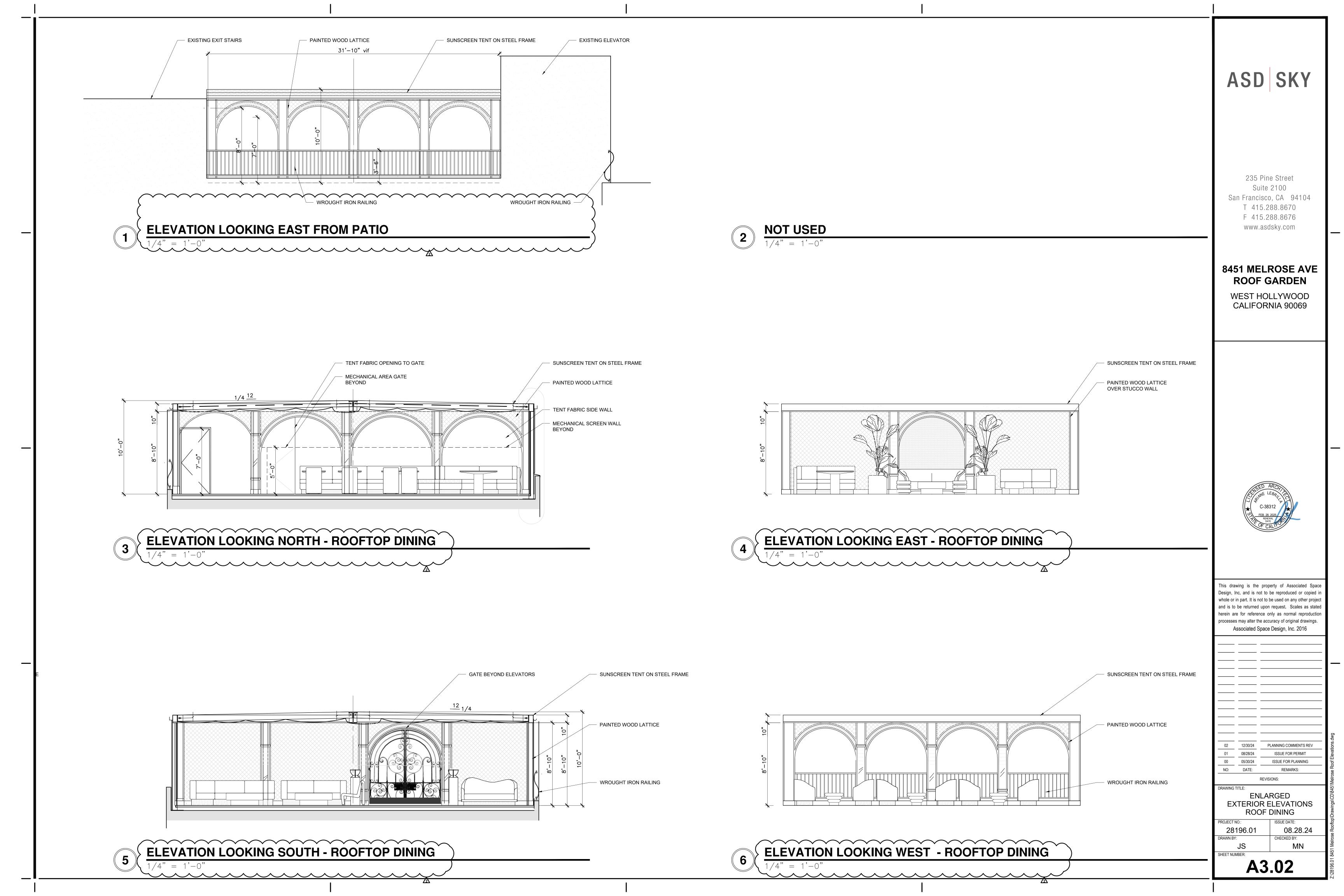
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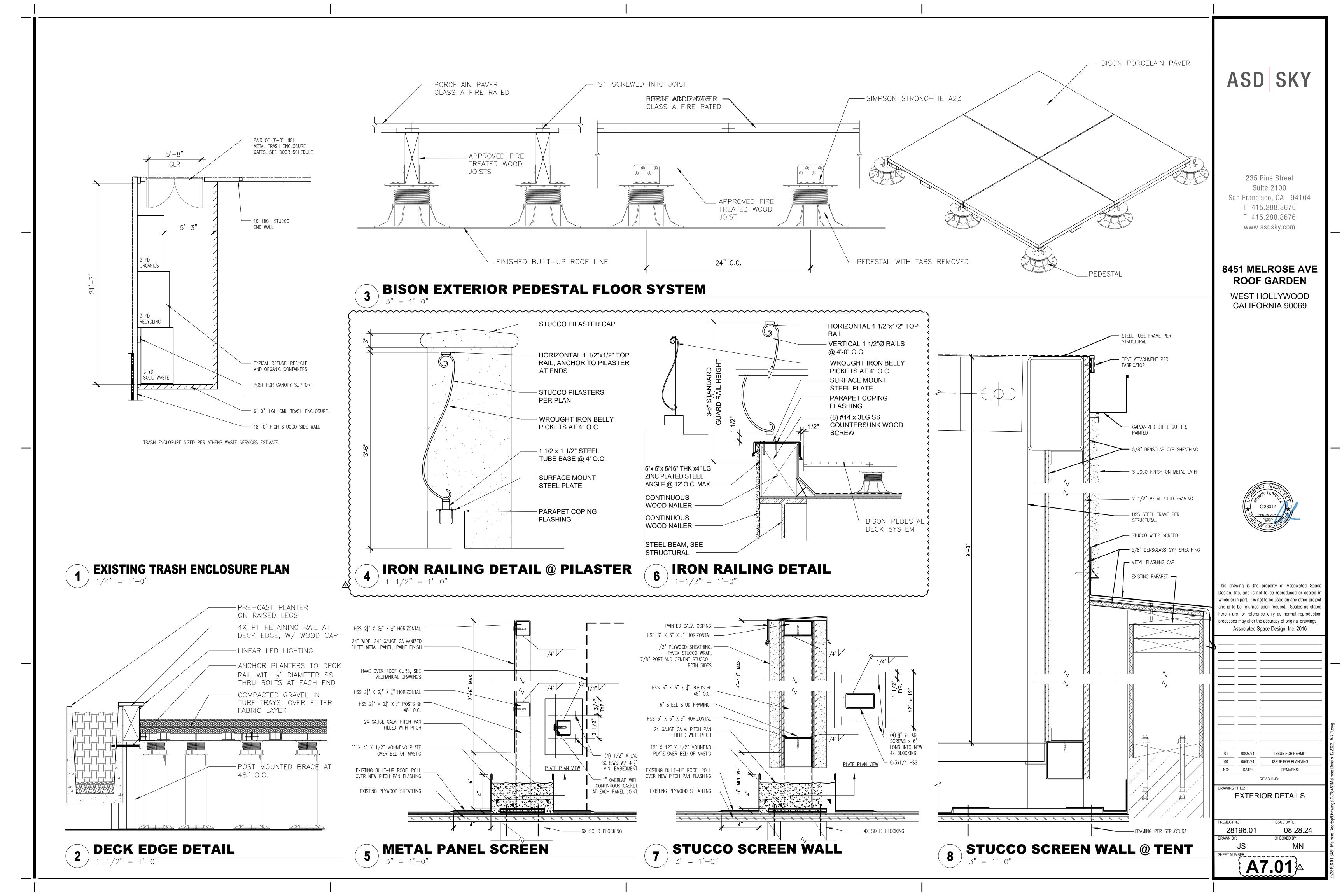
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#### <u>ABBREVIATIONS</u> ANCHOR BOL LONG LEG HORIZONTAL LONG LEG OUTSTANDING LONG LEG VERTICAL ALTERNATE **APPROXIMAT ARCHITECTURAL** MACHINE BOLTS ASSEMBLY MANUFACTURER BOTTOM LAYE **MECHANICAL** мемв. BLKG. MEMBRAN **BLOCKING** MEZZANINE BOUNDAR' MINIMUM BOTH SIDES NOT IN CONTRACT BTWN. BETWEEN NORTH-SOUTH CEILING JOIST COMPLETE PENETRATION NOT TO SCALE CONCRETE OUTSIDE DIAMETER OUTSIDE FACE OPPOSITE HAND SUOUNITAC COUNTERSIN CTRS. OPP. **OPPOSITE** CENTERS PLN. DEPRESSIO PLYWD. PLYWOOD DIAMETER PRESSURE TREATED DITTO **RADIUS** DOUBLE STIRRUPS REINF. REINFORCEMENT **DOWELS** REQD. **ROOF JOIST** ROOF RAFTERS SCHED. SECT. SHTG. **SCHEDULE** SECTION QUIPMEN SHEATHING SIM. SLO EAST-WES SHORT LEG OUTSTANDING **EXTERIOR SPACING** SQ. STAG. STD. STIRR. STAGGERED FOUNDATION **STANDARD** STIRRUPS FLOOR JOIST STEEL STRUCT. STRUCTURAL FACE OF STUD FULL PENETRATION SYM. SYMMETRICAL T & B TOP AND BOTTOM FACE OF WALL TOP OF CURB GALVANIZED TAPERED STEEL GIRDER GALV. GLUED LAMINATED BEAM GRD. THREADED GRADE TOP OF STEEL TOP OF WALL HEADER TYPICAL HANGER HOOK UNLESS NOTED OTHERWISE **HORIZONTAL** VERT. HIGH STRENGTH VERTICAL WOOD INSIDE FACE INTERIOR WITH WITHOUT WORKING POINT JOIST WELDED WIRE FABRIC

- 1. ALL WORK SHALL COMPLY WITH THE MINIMUM PROVISIONS OF THE CALIFORNIA BUILDING CODE, 2019 EDITION, AS MODIFIED BY THE CITY OF WEST HOLLYWOOD.
- 2. SPECIFIC NOTES AND DETAILS SHALL TAKE PRECEDENCE OVER GENERAL NOTES AND DETAILS.
- 3. THE CONTRACTOR SHALL VERIFY ALL CONTRACT DOCUMENTS, SITE DIMENSIONS AND CONDITIONS PRIOR TO STARTING WORK AND SHALL NOTIFY THE ARCHITECT OF ANY DISCREPANCIES OR INCONSISTENCIES.
- REFER TO ARCHITECTURAL DRAWINGS FOR ALL WALL DIMENSIONS, WALL OPENINGS AND ALL OTHER DIMENSIONS NOT SHOWN ON THE STRUCTURAL DRAWINGS. DO NOT SCALE DRAWINGS.
- 5. CONTRACTORS RESPONSIBLE FOR THE CONSTRUCTION OF A WIND OR SEISMIC FORCE RESISTING SYSTEM/COMPONENT LISTED IN THE "STATEMENT OF SPEICAL INSPECTION" SHALL SUBMIT A WRITTEN STATEMENT OF RESPONSIBILITY TO THE LADBS INSPECTORS AND THE OWNER PRIOR TO THE COMMENCEMENT OF WORK ON SUCH SYSTEM OR COMPONENT PER SEC 1709.1.

#### DESIGN LOADS

1. LIVE LOADS: ROOF LOAD:
FLAT - 20 PSF.

FLOORS:
TYPICAL - 50 PSF.
DECK - 60 PSF.
STAIR/RAMP -100 PSF.

	OAD & FACTO	12		E 20 1871			
ASCE 7	<u> 16 Ch. 29 - MWF</u>	RS Wind L	<u>oa</u>	ds for Al	Othe	er Structures	
Method:							
Step 1-	IMPORTANCE FA	CTOR, Iw	=	1.00		Section 11.5.1 Table 1.5-2	
Step 2-	BASIC WIND LOA	AD, V	=	110	mph	Figure 26.5-1A for Risk Category II	
Step 3-	Wind Load Param	eters:				Sections 26.6, 26.7, 26.8, 26.9	
	Wind directionality	factor, Kd,	=	0.85		Table 26.6-1 Lattice Framework	
	Exposure categor	y	=	В		Section 26.7 Urban areas	
	Topo. Expos. Fac	tor, Kzt	=	1.00		Section 26.8.2 (Not Section 26.8-1, use 1.0)	
	Gust Effect Facto	r, <b>G</b> :	=	0.85		Section 26.9	
Step 4-	Velocity Pressure	Exposure C	oeff	icient: Kz	or Kh	Table 29.2-1	
	HEIGHT, h ft.	25	=	0.66	psf		
Step 5-	Velocity pressure	qz or qh				Equation 29.3-1	
	qz = 0.00256 Kz	Kzt Kd V^2	=	17.38	psf		
Step 6-	Force Coefficient,	Cf	=	1.10		Fig. 29.5-2 Open signs, lattice frameworks	
						Ratio of Solid to Gross: e = 0.3 to 0.7	
Step 7-	Calculate wind for	ce. F:	Н				
	F = qz G Cf Af =	Af	X	16.25	psf	Eq. 29.5-1 for other structures	
				SCOT STATE			
		USE:	=	17.00	XW		

EIS	SMIC FAC	TORS	<u>S:</u>	Based of	on C	h. 15: N	onbuil	ding Structures:	
Se	ection 15.4.1	Requ	ıires mi	n. force pe	er Se	c 12.8			
Ch	n. 12.8: Min	imum	requir	ements o	f Eq	uivalent	Lateral	Procedure	
								Note:	
	Short	term S	Spec. A	cc., Ss	=	1.958		USGS-Earthquake Ground Motion Paramete	
	Long t	erm S	Spec. A	cc., S1	=	0.700		USGS-Earthquake Ground Motion Paramete	
	Seis. Site	Туре (	assume	<del>)</del> )	=	D		Section 20.1	
	Site Coef.,				=	1.200		Table 11.4-1	
	Site Coef.,	Fv			=	1.000		Table 11.4-2	
	Sms =		Fa	X Ss	=	2.350		Section 11.4.3 - Equation (11.4-1)	
	Sm1 =		Fv	X S1	=	0.700		Section 11.4.3 - Equation (11.4-2)	
	Sds =		2/3	Sms	=	1.566		Section 11.4.4 - Equation (11.4-3)	
	Sd1 =		2/3	Sm1	=	0.467		Section 11.4.4 - Equation (11.4-4)	
	SDC:			E	=	Е		Section 11.6 - T11.6-1 & T11.6-2	
	IMPORTAN	ICE F	ACTOR	, le	=	1.00		Section 11.5.1 Table 1.5-2	
	Resp. Modi	ify., R			=	1.25		T. 15.4-2 All other Self Supporting Structure	
	Defl. Amp.,	Cd			=	2.5		T. 15.4-2 All other Self Supporting Structure	
	Sys. Overs	treng.	omga0		=	2		T. 15.4-2 All other Self Supporting Structure	
	STRUCTU	RE PE	RIOD:		$\exists \exists$			Section 12.8.2.1	
	Ct				=	0.020		Table 12.8-2 All other Structural systems	
	X				=	0.800		Table 12.8-2 All other Structural systems	
	h <sub>n</sub>				=	26.00	ft	Field Measurements	
	T= Ct	* (h <sub>n</sub> )	(		=	0.271	sec.	Equation (12.8-7)	
	BASE SHE	AR:						Section 12.8: Equivalent Lateral Procedure	
	V =		W Sds	/ (R/I)	=	1.253	XW	Equation (12.8-2)	
	Vmax	= '	W Sd1	/ T(R/I)	=	1.377	XW	Equation (12.8-3)	
	Vmin	= '	W 0.01		=	0.010	XW	Equation (12.8-5)	
	Vmin	= '	W 0.44	Sds	=	0.689	XW	Equation (12.8-5) or (15.4-1)	
	Vmin	=	W 0.03		=	0.030	XW	Equation (15.4-1)	
	Vmin	= '	W 0.8S	1 / (R/I)	=	0.448	XW	Equation (12.8-6( replaced w/ (15.4-2)	

GOVERNING BASE SHEAR = 1.253 XW

STRUCTURAL STEEL

- 1. STRUCTURAL STEEL SHALL CONFORM TO ASTM A992, Fy = 50 ksi, U.N.O.
- 2. TUBE MEMBERS SHALL CONFORM TO ASTM A500, GRADE B OR A1085.
- 3. PIPE MEMBERS SHALL CONFORM TO ASTM A53, GRADE B OR A1085.
- 4. BOLTS SHALL CONFORM TO ASTM A307, U.N.O.
- 5. ANCHOR BOLTS SHALL CONFORM TO ASTM A307, U.N.O.
- 6. WELDING ELECTRODES SHALL CONFORM TO AWS D1.1, E70XX.
- 7. FABRICATION AND ERECTION SHALL BE IN COMPLIANCE WITH CURRENT A.I.S.C. SPECIFICATIONS FOR BUILDINGS. SHOP DRAWINGS SHALL BE SUBMITTED TO THE ENGINEER FOR REVIEW PRIOR TO FABRICATION.
- 8. ALL WELDING SHALL BE DONE BY WELDERS CERTIFIED BY THE L.A. CITY BUILDING DEPARTMENT.
- ALL WELDS SHALL BE PREQUALIFIED IN CONFORMITY WITH THE CODE FOR WELDING IN BUILDING CONSTRUCTION AWS D1.1.
- 10. FABRICATION SHALL BE DONE IN SHOPS WHICH COMPLY WITH THE REQUIREMENTS OF THE BUILDING CODE. FABRICATOR SHALL BE L.A. CITY LICENSED.

#### STATEMENT OF SPECIAL INSPECTIONS:

THIS STATEMENT OF SPECIAL INSPECTIONS IS SUBMITTED IN FULFILLMENT OF THE REQUIREMENTS OF CBC SECTIONS 1704 AND 1705. SPECIAL INSPECTIONS AND TESTING SHALL BE PERFORMED IN ACCORDANCE WITH THE APPROVED PLANS AND SPECIFICATIONS, THIS STATEMENT AND CBC SECTIONS 1704, 1705, 1707, AND 1708. THE SCHEDULE OF SPECIAL INSPECTIONS SUMMARIZES THE SPECIAL INSPECTIONS AND TESTS REQUIRED. SPECIAL INSPECTIONS SHALL REFER TO THE APPROVED PLANS AND SPECIFICATIONS FOR DETAILED SPECIAL INSPECTION REQUIREMENTS. ANY ADDITIONAL TESTS AND INSPECTIONS REQUIRED BY THE APPROVED PLANS AND SPECIFICATIONS SHALL ALSO BE PERFORMED. INTERIM REPORTS SHALL BE SUBMITTED TO THE BUILDING OFFICIAL AND THE REGISTERED DESIGN PROFESSIONAL IN RESPONSIBLE CHARGE IN ACCORDANCE WITH CBC SECTION 1704.1.2. A FINAL REPORT OF SPECIAL INSPECTIONS DOCUMENTING REQUIRED SPECIAL INSPECTIONS, TESTING AND CORRECTION OF ANY DISCREPANCIES NOTED IN THE INSPECTIONS SHALL BE SUBMITTED PRIOR TO ISSUANCE OF A CERTIFICATE OF USE AND OCCUPANCY (SECTION 1704.1.2).

THE OWNER RECOGNIZES HIS OR HER OBLIGATION TO ENSURE THAT THE CONSTRUCTION COMPLIES WITH THE APPROVED PERMIT DOCUMENTS AND TO IMPLEMENT THIS PROGRAM OF SPECIAL INSPECTIONS. IN PARTIAL FULFILLMENT OF THESE OBLIGATIONS, THE OWNER SHALL RETAIN AND DIRECTLY PAY FOR THE SPECIAL INSPECTIONS AS REQUIRED IN CBC SECTION 1704.1. THE CONTRACTOR SHALL SUBMIT A WRITTEN STATEMENT OF RESPONSIBILITY TO THE LADBS INSPECTORS AND TO THE OWNER PRIOR TO COMMENCEMENT OF WORK PER SECTION 1709.1

SCHEDULE OF INSPECTION, TESTING AGENCIES, AND INSPECTORS:
THE FOLLOWING ARE THE TESTING AGENCIES AND SPECIAL INSPECTORS THAT WILL BE
RETAINED TO CONDUCT TESTS AND INSPECTION ON THIS PROJECT. PROVIDE FIRM NAME,
RESPONSIBILITY, ADDRESS, TELEPHONE, AND E-MAIL OF THE RESPONSIBLE PERSON (S) FOR

#### ...=. =....

THE FOLLOWING FIELDS:

ing Field Welded Structural Steel Connections.

- HIGH STRENGTH BOLTING
- 3. <u>COMPACTED FILL</u>
- 4. CAST-IN-PLACE ANCHOR BOLTS
- 5. <u>EXPANSION TYPE ANCHOR BOLTS AND EPOXY GROUTED BOLTS</u>6. <u>SIMPSON STRONG WALL SHEAR WALL COMPONENTS</u>

REINFORCING STEEL.

- 7. SPRAY ON FIRE PROOFING
- 8. <u>CONCRETE STRENGTH f'c>2500 PSI</u>

9. SHEAR WALL NAILING WHERE NAILS ARE SPACED LESS THAN 4"

ITEMS SUBJECT TO THE REQUIREMENTS: SEISMIC REQUIREMENTS (SECTION 1705.3.1), WIND

REQUIREMENTS (SECTION 1705.4.1):

1707.3 — STRUCTURAL WOOD: FINAL INSPECTION OF ALL NEW AND EXISTING NAILS, SCREWS

#### CONTINUOUS INSPECTION

CONTINUOUS INSPECTIONS BY A REGISTERED DEPUTY BUILDING INSPECTOR, APPROVED BY THE ARCHITECT AND THE AUTHORITY HAVING JURISDICTION, SHALL BE REQUIRED FOR THE FOLLOWING TYPES OF WORK. SEE PROJECT SPECIFICATIONS FOR SPECIFIC REQUIREMENTS. SPECIAL INSPECTIONS SHALL NOT BE REQUIRED WHEN THE WORK IS DONE ON THE PREMISES OF A FABRICATOR REGISTERED AND APPROVED BY THE BUILDING OFFICIAL TO PERFORM SUCH WORK WITHOUT SPECIAL INSPECTION.

## WELDING FIELD WELDED STRUCTURAL STEEL CONNECTIONS.

- REINFORCING STEEL.

  2. <u>HIGH STRENGTH BOLTING</u>
- 3. <u>COMPACTED FILL</u>
- 4. CAST—IN—PLACE ANCHOR BOLTS
- 5. EXPANSION TYPE ANCHOR BOLTS AND EPOXY GROUTED BOLTS
- SIMPSON STRONG WALL SHEAR WALL COMPONENTS
- 7. REINF. FOR CONC. WITH STRENGTH GREATER THAN F'C = 2500 PSI

GENERAL NOTES FOR STRUCTURAL OBSERVATION

- (1) STRUCTURAL OBSERVATION IS REQUIRED FOR THE STRUCTURAL SYSTEM IN ACCORDANCE WITH THE INFORMATION BULLETIN NO. P/BC 2002-024 STRUCTURAL OBSERVATION IS THE VISUAL OBSERVATION AT THE CONSTRUCTION SITE OF THE ELEMENTS AND CONNECTIONS OF THE STRUCTURAL SYSTEM AT SIGNIFICANT CONSTRUCTION STAGES AND THE COMPLETE STRUCTURE FOR GENERAL CONFORMANCE TO THE APPROVED PLANS AND SPECIFICATIONS. STRUCTURAL OBSERVATION DOES NOT WAIVE THE RESPONSIBILITY FOR THE INSPECTIONS REQUIRED OF THE BUILDING INSPECTOR OR THE DEPUTY INSPECTOR.
- (2) THE OWNER SHALL EMPLOY A STATE OF CALIFORNIA REGISTERED CIVIL OR STRUCTURAL ENGINEER OR LICENSED ARCHITECT TO PERFORM THE STRUCTURAL OBSERVATION. THE DEPARTMENT OF BUILDING AND SAFETY (LADBS) RECOMMENDS THE USE OF THE ENGINEER OR ARCHITECT RESPONSIBLE FOR THE STRUCTURAL DESIGN WHO ARE INDEPENDENT OF THE CONTRACTOR.
- (3) THE STRUCTURAL OBSERVER SHALL PROVIDE EVIDENCE OF EMPLOYMENT BY THE OWNER OR THE OWNER'S REPRESENTATIVE. A LETTER FROM THE OWNER, THE OWNER'S REPRESENTATIVE, OR A COPY OF THE AGREEMENT FOR SERVICES SHALL BE SENT TO THE BUILDING INSPECTOR BEFORE THE FIRST SITE VISIT.
- (4) THE OWNER OR OWNER'S REPRESENTATIVE SHALL COORDINATE AND CALL FOR A MEETING BETWEEN THE ENGINEER OR ARCHITECT RESPONSIBLE FOR THE STRUCTURAL DESIGN, STRUCTURAL OBSERVER, CONTRACTOR, AFFECTED SUBCONTRACTORS AND DEPUTY INSPECTORS. THE PURPOSE OF THE MEETING SHALL BE TO IDENTIFY THE MAJOR STRUCTURAL ELEMENTS AND CONNECTIONS THAT AFFECT THE VERTICAL AND LATERAL LOAD SYSTEMS OF THE STRUCTURE AND TO REVIEW SCHEDULING OF THE REQUIRED OBSERVATIONS. A RECORD OF THE MEETING SHALL BE INCLUDED IN THE FIRST OBSERVATION REPORT SUBMITTED TO THE BUILDING INSPECTOR.
- (5) THE STRUCTURAL OBSERVER SHALL PERFORM SITE VISITS AT THOSE STEPS IN THE PROGRESS OF THE WORK THAT ALLOW FOR CORRECTION OF DEFICIENCIES WITHOUT SUBSTANTIAL EFFORT OR UNCOVERING OF THE WORK INVOLVED. AT A MINIMUM, THE LISTED SIGNIFICANT CONSTRUCTION STAGES ON THE FOLLOWING STRUCTURAL OBSERVATION/SIGNIFICANT CONSTRUCTION STAGES TABLE REQUIRE A SITE VISIT AND AN OBSERVATION REPORT FROM THE STRUCTURAL OBSERVER.
- (6) THE STRUCTURAL OBSERVER SHALL PREPARE A REPORT OF THE STRUCTURAL OBSERVATION REPORT FORM IN/FORM.08 (PART 1) FOR EACH SIGNIFICANT STAGE OF CONSTRUCTION OBSERVED. THE ORIGINAL OF THE STRUCTURAL OBSERVATION REPORT SHALL BE SENT TO THE BUILDING INSPECTOR'S OFFICE AND SHALL BE SIGNED AND SEALED (WET STAMP) BY THE RESPONSIBLE STRUCTURAL OBSERVER. ONE COPY OF THE OBSERVATION REPORT SHALL BE ATTACHED TO THE APPROVED PLANS. THE COPY ATTACHED TO THE PLANS SHALL BE SIGNED AND SEALED (WET STAMP) BY THE RESPONSIBLE STRUCTURAL OBSERVER OR THEIR DESIGNEE COPIES OF THE REPORT SHALL ALSO BE GIVEN TO THE OWNER, CONTRACTOR, AND DEPUTY INSPECTOR. ANY DEFICIENCY NOTED ON THE OBSERVATION REPORT WILL BECOME THE RESPONSIBILITY OF THE STRUCTURAL ENGINEER OF RECORD TO VERIFY ITS COMPLETION BY HIM (HER), OR BY A REGISTERED DEPUTY INSPECTOR AT THE DISCRETION OF THE STRUCTURAL OBSERVER.
- (7) A FINAL OBSERVATION REPORT AND THAT OF THE REGISTERED DEPUTY INSPECTOR MUST BE SUBMITTED WHICH SHOWS THAT ALL OBSERVED DEFICIENCIES WERE RESOLVED AND STRUCTURAL SYSTEM GENERALLY CONFORMS WITH THE APPROVED PLANS AND SPECIFICATIONS. THE DEPARTMENT OF BUILDING AND SAFETY (LADBS) WILL NOT ACCEPT THE STRUCTURAL WORK WITHOUT THIS FINAL OBSERVATION REPORT AND THAT OF THE REGISTERED DEPUTY INSPECTOR (WHEN PROVIDED) AND THE CORRECTION OF SPECIFIC DEFICIENCIES NOTED DURING NORMAL BUILDING INSPECTION.
- (8) THE STRUCTURAL OBSERVER SHALL PROVIDE THE ORIGINAL STAMPED AND SIGNED STRUCTURAL OBSERVATION REPORT TO THE CITY OF LOS ANGELES DEPARTMENT OF BUILDING AND SAFETY BUILDING INSPECTOR.
- (9) WHEN THE OWNER ELECTS TO CHANGE THE STRUCTURAL OBSERVER OF RECORD, THE OWNER SHALL:
- NOTIFY THE BUILDING INSPECTOR IN WRITING BEFORE THE NEXT INSPECTION BY SUBMITTING COMPLETED "STRUCTURAL OBSERVATION PROGRAM AND DESIGNATION OF THE STRUCTURAL OBSERVER" FORM IN/FORM.08 (PART 2)
- B) CALL AN ADDITIONAL PRECONSTRUCTION MEETING, AND
- C) FURNISH THE REPLACEMENT STRUCTURAL OBSERVER WITH A COPY OF ALL PREVIOUS OBSERVATION REPORTS. THE REPLACEMENT STRUCTURAL OBSERVER SHALL APPROVE THE CORRECTION OF THE ORIGINAL OBSERVED DEFICIENCIES UNLESS OTHERWISE APPROVED BY PLAN CHECK SUPERVISION. THE POLICY OF THE DEPARTMENT SHALL BE TO CORRECT ANY PROPERTY NOTED DEFICIENCIES WITHOUT CONSIDERATION OF THEIR SOURCE.
- (1) THE ENGINEER OR ARCHITECT OF RECORD SHALL DEVELOP ALL CHANGES RELATING TO THE STRUCTURAL SYSTEMS. THE BUILDING DEPARTMENT SHALL REVIEW AND APPROVE ALL CHANGES TO THE APPROVED PLANS AND SPECIFICATIONS.

#### STRUCTURAL OBSERVER DESIGNATION

STRUCTURAL OBSERVATION PROGRAM AND DESIGNATION OF THE STRUCTURAL OBSERVER

PROJECT ADDRESS: 8451 MELROSE PERMIT APPL. NO.:	
DESCRIPTION OF WORK: COURTYARD RENOVATION	
OWNER:	
ARCHITECT:	
ENGINEER: HOOMAN NASTARIN, P.E.	

STRUCTURAL OBSERVATION

(ONLY CHECKED ITEMS ARE REQUIRED)						
FIRM OR INDIVIDUAL TO BE RESPONSIBLE FOR THE STRUCTURAL OBSERVATION:						
NAME: HOOMAN NASTARIN PH	IONE: 310-2	68-9419 CALIF. REGISTRAT	ION: C62199			
FOUNDATION	WALL	FRAME	DIAPHRAGM			
□ FOOTING, STEM WALLS, PIERS	□ CONCRETE	☑ STEEL MOMENT FRAME	□ CONCRETE			
□ MAT FOUNDATION	☐ MASONRY	□ STEEL BRACED FRAME	☐ STEEL DECK			
□ CAISSON, PILES, GRADE BEAMS	□ WOOD	□ CONC. MOMENT FRAME	□ WOOD			
□ STEPP'G/RETAIN'G FOUNDATION, HILLSIDE SPECIAL ANCHORS	□ OTHERS:	□ MASONRY WALL FRAME	☑ OTHERS: FLEXIBLE			
☑ OTHERS: CONN. TO EXIST.		□ OTHERS:	CANOPY INSTALLATION			
		<u> </u>				

DECLARATION BY OWNER

I, THE OWNER OF THE PROJECT, DECLARE THAT THE ABOVE LISTED FIRM OR INDIVIDUAL IS HIRED BY ME TO BE THE STRUCTURAL OBSERVER.

#### GNATURE DATE

DECLARATION BY ARCHITECT OR ENGINEER OF RECORD (REQ'D. IF THE STRUCTURAL OBSERVER IS DIFFERENT FROM THE ARCHITECT OR ENGINEER OF RECORD)

Cillagra haama 000 Dagumanta NIACT Filad NIACT Drai Coma OAE1 Nalvasa Ava Daaffan Canany Mamharshin OAE1 II C/CAD/C1 C2 OAE1 Malraca Daaffan Canany dwa C1 C/10/2024 No 24:EE DNA ADCII awaand D/24/00 y 26/00 Inshail

I, THE ARCHITECT OR ENGINEER OF RECORD FOR THE PROJECT, DECLARE THAT THE ABOVE LISTED FIRM OR INDIVIDUAL IS DESIGNATED BY ME TO BE RESPOSIBLE FOR THE STRUCTURAL OBSERVATION.

SIGNATURE LICENSE NO. DATE

# ASD SKY

235 Pine Street
Suite 2100
San Francisco, CA 94104
T 415.288.8670
F 415.288.8676

www.asdsky.com

#### 8451 MELROSE AVE ROOF GARDEN

WEST HOLLYWOOD CALIFORNIA 90069

CONSULTANT
NAST
ENTERPRISES

Consulting Structural Engineering Services 554 S San Vicente Blvd. Suite 202 Los Angeles, CA 90048 Tel. (310) 268 - 9419

STAMP



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NAST & Associated Space Design, Inc. 2024


NO: DATE: REMARKS:

DRAWING TITLE:

GENERAL AND

AND DETAILS

PROJECT NO.: ISSUE DATE:

N-2377 2024-06-10

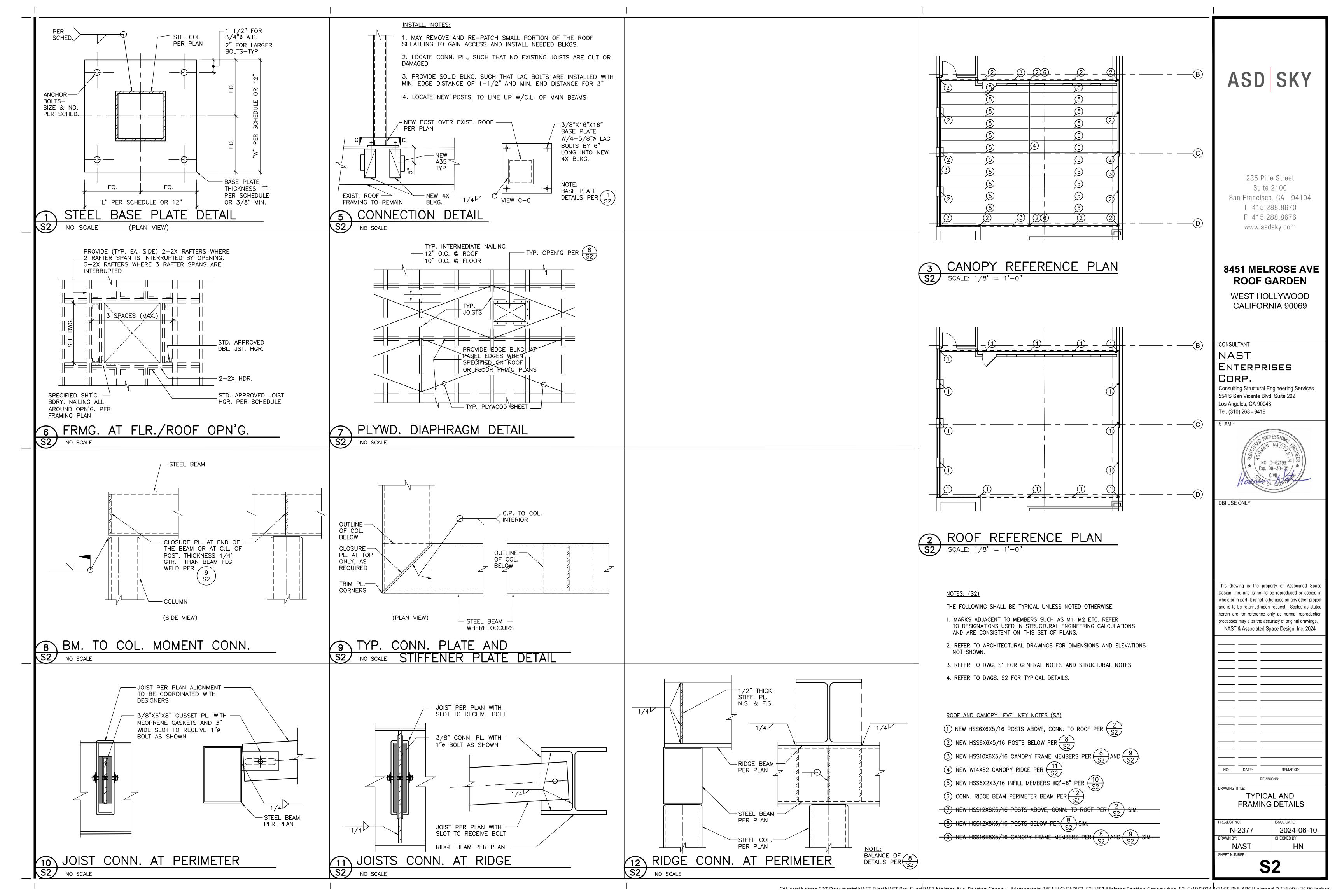
DRAWN BY: CHECKED BY:

NAST HN

STRUCTURAL NOTES

S1

SHEET NUMBER:



# MELROSE TERRACE

**IRRIGATION** 8451 MELROSE AVE. WEST HOLLYWOOD, CA 90069

APN 5528-017-073

TOTAL LANDSCAPED AREA: 464.3 SQ FT WATER SUPPLY: POTABLE

SCOPE OF WORK: NEW IRRIGATION

STUDIO H2O 13929 MARQUESAS WAY, MARINA DEL REY, CA 90292 310-663-4385

#### **GENERAL CONSTRUCTION NOTES**

(THE LANDSCAPE ARCHITECT HAD BEEN PAID TO MEET WITH THE CONTRACTORS TO REVIEW THE PLANS, ANSWER ANY QUESTIONS, AND REVIEW WORK TO ASSURE COMPLIANCE WITH THE PLANS. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO CALL THE LANDSCAPE ARCHITECT AND SET AN APPOINTMENT FOR MEETINGS ALLOW AT LEAST A 24 HOUR NOTICE FOR SUCH MEETINGS. SEE LIST ON CONSTRUCTION PLAN OF ITEMS THE LANDSCAPE ARCHITECT AND OWNER MUST APPROVE

- CITY STREETS, SIDEWALKS, AND ADJACENT PROPERTY SHALL BE PROTECTED THROUGHOUT CONSTRUCTION
- THE CONTRACTORS ARE RESPONSIBLE FOR REPLACEMENT, AT THEIR COST, OF ANY EXISTING ITEMS THAT ARE TO REMAIN AND ARE DAMAGED DURING CONSTRUCTION. THESE ITEMS MAY INCLUDE PLANT MATERIAL, PAVING, WALLS, UTILITIES SUCH AS SEWER, ELECTRICAL, WATER SUPPLY, ETC. SEE LANDSCAPE ARCHITECT FOR LIST OF THESE ITEMS BEFORE START OF CONSTRUCTION THERE WILL BE A SITE VISIT WITH OWNER & LANDSCAPE ARCHITECT TO SPECIFY & DETERMINE THOSE ITEMS COVERED.
- ALL LIMITS OF WORK, PROPERTY LINES, AND LOCATIONS OF EXISTING UTILITIES, ETC. AS SHOWN ON PLANS, SHALL BE VERIFIED PRIOR TO COMMENCING WORK. ALERT THE LANDSCAPE ARCHITECT AND OWNER IF THERE ARE DISCREPANCIES.
- 4. CONSULT GRADING AND CONSTRUCTION PLANS, FOR LOCATION OF DRAIN LINES, AREA AND DECK DRAINS AND CATCH BASINS.
- THE LANDSCAPE ARCHITECT AND OWNER SHALL APPROVE ALL FORM WORK PRIOR TO POURING OF CONCRETE PAVING AND POOL STEEL PRIOR TO APPLICATION OF GUNITE. ALL CONCRETE SHALL BE POURED ON UNDISTURBED NATIVE SOIL OR SOIL WITH A MINIMUM MOISTURE DENSITY COMPACTION OF 90%, UNLESS NOTED OTHERWISE ON PLANS. SOIL ENGINEER'S PLANS & SPECS ON SOIL COMPACTION SHALL TAKE PRECIDENCE OVER THIS REQUIREMENT IF SUCH SPECS ARE MORE STRINGENT. SEE SOIL ENGINEER'S PLANS TO BE SUPPLIED TO YOU BY OWNER
- ANY DISCREPANCIES IN THE PLANS SHALL BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT AND OWNER BEFORE THE START OF WORK. ANY DEVIATIONS FROM THE PLANS SHALL BE APPROVED BY THE LANDSCAPE ARCHITECT AND OWNER. IF THE OWNER REQUESTS CHANGES TO THE PLANS, THE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT PRIOR TO MAKING THOSE CHANGES
- PAY ATTENTION TO THE LOCATION OF SLEEVES THAT MUST BE INSTALLED PRIOR TO POURING CONCRETE. SLEEVE LOCATIONS ARE SHOWN ON THE CONSTRUCTION PLAN. DO NOT INSTALL PAVING UNLESS SLEEVES ARE IN PLACE
- CONTRACTORS SHALL PULL ALL PERMITS AND HANDLE ALL INSPECTIONS
- 9. CONTRACTORS SHALL BE RESPONSIBLE FOR ANY COORDINATION WITH OTHER TRADES AS REQUIRED TO ACCOMPLISH ALL CONSTRUCTION OPERATIONS.
- 10. THE LOCATION OF FEATURES TO BE CONSTRUCTED NOT SPECIFICALLY DIMENSIONED MAY BE DETERMINED BY SCALE. IF CONFLICTS ARISE IN THE FIELD, CONTACT LANDSCAPE ARCHITECT
- 11. CONTRACTOR SHALL SUBMIT SAMPLES OF SUFFICIENT SIZE (MINIMUM 12" SQUARE), OF ALL PAVING FINISHES AND COLORS. FOR THE APPROVAL OF THE CLIENT AND / OR LANDSCAPE
- ARCHITECT PRIOR TO CONSTRUCTION. 12. SEE PLANTING PLANS, FOR ANY BOXED TREES TO BE INSTALLED PRIOR TO PAVING.
- 13. UNLESS NOTED OTHERWISE, ALL LUMBER SHALL BE S45 DOUGLAS FIR. ALL WEATHER EXPOSED WOOD SURFACES SHALL BE PAINTED OR STAINED AS CALLED OUT ON PLANS. IF FINISH IS NOT SPECIFIED ON PLANS, CONTACT LANDSCAPE ARCHITECT. PAY ATTENTION TO THOSE PIECES OF LUMBER THAT ARE TO BE PRESSURE TREATED, WOLMANIZED MATERIAL, AS CALLED OUT ON
- 14. ALL HARDWARE, NAILS, LAG BOLTS, MACHINE BOLTS, WASHERS, ETC., SHALL BE GALVANIZED. 15. ALL DIMENSIONS ARE TAKEN FROM THE FACE OF THE WALLS. EDGE OF PAVING. OR CENTER LINE. UNLESS NOTED OTHERWISE ON PLAN. ALL RADII AND CURVES SHALL HAVE SMOOTH CONTINUOUS TRANSITIONS WITHOUT ABRUPT CHANGES OR BENDS AS THEY ARE DRAWN ON THE
- 16. THE CONTRACTORS SHALL GUARANTEE HIS / HER WORK FOR A PERIOD OF FIVE YEARS. **NOTICE TO OWNER**

!!WARNING!! YOU SHOULD REVIEW THESE PLANS AND

UNDERSTAND THEM. THE PLANS DETAIL HOW THE JOB IS TO BE INSTALLED THE PLANS PROTECT YOU AND THE CONTRACTOR, AND ARE LEGAL DOCUMENTS THAT PLACE SPECIFIC REQUIREMENTS ON THE CONTRACTOR AND THE WORK PERFORMED.

FAILURE TO UNDERSTAND THE PLANS WILL NOT RELIEVE YOU OF EXTRA CHARGES BY THE CONTRACTOR IF YOU WANT CHANGES MADE TO COMPLETED WORK.

THE OWNER SHOULD TELL THE CONTRACTOR TO INSTALL THE JOB AS DIRECTED BY THE PLANS AND THE LANDSCAPE ARCHITECT. DO NOT DIRECT THE CONTRACTOR TO MAKE CHANGES WITHOUT FIRST REVIEWING THEM WITH THE LANDSCAPE ARCHITECT FOR HIS APPROVAL. PROBLEMS THAT ARISE AS A RESULT OF CHANGES MADE BY THE OWNER THAT ARE NOT APPROVED BY THE LANDSCAPE ARCHITECT RELIEVE THE LANDSCAPE ARCHITECT OF RESPONSIBILITIES FOR THOSE PROBLEMS.

#### NOTICE TO CONTRACTOR

AT BASEMENT WALLS.

!!WARNING!! WHEN THERE ARE QUESTIONS OR UNCERTAIN CONDITIONS. CONTACT THE LANDSCAPE ARCHITECT **BEFORE** PROCEEDING. FAILURE TO CONTACT THE LANDSCAPE ARCHITECT AND OWNER AND PROCEEDING ON YOUR OWN MAY REQUIRE THAT WORK BE DONE OVER AGAIN AT THE CONTRACTORS EXPENSE. ANY DISCREPANCIES IN THE PLANS SHALL BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT AND OWNER BEFORE THE START OF THE WORK THAT MAY BE EFFECTED BY THE DISCREPANCIES. ANY DEVIATIONS FROM THE PLANS SHALL BE

APPROVED BY THE LANDSCAPE ARCHITECT AND OWNER BEFORE THE START OF WORK. IF THE OWNER REQUESTS CHANGES. THE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT PRIOR TO MAKING THOSE CHANGES. FAILURE TO NOTIFY THE LANDSCAPE ARCHITECT MAY RESULT IN THE CONTRACTOR TAKING FULL RESPONSIBILITY FOR ANY REVISIONS NECESSARY, AT NO COST TO THE OWNER. CONTRACTOR TO VERIFY ALL DIMENSIONS WITH LANDSCAPE ARCHITECT & OWNER BEFORE COMMENCING CONSTRUCTION. ALL WORK IN AREA OF BASEMENT THAT MAY EFFECT WATERPROOFING OF BASEMENT SHALL BE COORDINATED WITH AND APPROVED BY SPECTRA GROUP, TH OWNER'S WATERPROOFING CONTRACTOR. SPECTRA SHALL PERFORM PLACEMENT OF BACKFILL & COMPACTING OF BACKFILL

THE JOB SUPERINTENDANT, GENERAL CONTRACTOR, OWNER, OR OWNERS AGENT SHALL NOTIFY THE LANDSCAPE ARCHTECT AT LEAST ONE WORKING DAY IN ADVANCE OF REQUIRED SITE INSPECTIONS AT THE FOLLOWING STAGES OF THE WORK:

#### REQUIRED SITE INSPECTIONS BY LANDSCAPE ARCHITECT\*

- 1. AT COMPLETION OF ROUGH GRADING AFTER ALL UTILITY TRENCHES HAVE BEEN FILLED PRIOR TO THE START OF PAVIING FORM WORK.
- 2. AT COMPLETION OF FORM WORK FOR PAVING AREAS PRIOR TO
- POURING OF CONCRETE, AND TO APPROVE PAVING SAMPLES. 3. AT COMPLETION OF THE IRRIGATION SYSTEM BEFORE BACKFILL
- OF TRENCHES FOR THE PURPOSE OF PERFORMING A COVERAGE TEST.
- 4. AT THE SPOTTING OF ALL PLANT MATERIAL INCLUDING TREES. 5. AT THE TIME OF INSTALLATION OF ALL OUTDOOR LIGHTING FIXTURES
- AND EQUIPMENT 6. AT THE COMPLETION OF THE JOB FOR THE PURPOSE OF CONDUCTING A FINAL WALKTHROUGH WITH THE OWNER PRIOR TO FINAL ACCEPTANCE
- OF THE JOB BY THE LANDSCAPE ARCHITECT. \* THE LANDSCAPE ARCHITECT MAY DETERMINE THAT CERTAIN SITE VISITS ARE NOT NEEDED AND WILL AUTHORIZE WORK TO PROCEED WITHOUT
- BEFORE PROCEEDING WITH WORK.
- \* TEST MAINLINE AT 150 PSI FOR 3 HR MINIMUM \* ALL IMPROVEMENTS SHALL COMPLY WITH STANDARD UNIFORM BUILDING CODE

THE SITE VISIT. ALERT CLIENT TO ALL QUESTIONS OR VERIFICATIONS NEEDED

#### PLANTING NOTES AND SPECIFICATIONS

#### **GENERAL NOTES**

- a. All work shall comply with the City of Los Angeles Standards for Landscape Development. b. The plant material supplier and/ or landscape contractor shall provide guaranteed evidence to the City Landscape Inspector that all plant material is consistent with the approved plant legend considering genus, species, cultivars, and size specified. All plant material not consistent with the plant legend may be rejected.
- c. All trees shall equal or surpass "Valley Crest Tree Company" standards for size and
- d. All shrubs and groundcover shall equal or surpass Monrovia Nursery standards for size and quality (www.monrovia.com).
- e. All revisions and change orders to the approved landscape architectural plans and specifications are subject to the review and approval of the City Landscape Architect before work can continue. Minor changes are to be emailed to the City Landscape Architect and the City Landscape Inspector. Major changes are to be done with two revised bond copies being sent to the City with notification given to the City Landscape
- f. Contractor shall notify Underground Service Alert (USA) before start of construction at (800) 422-4133. An encroachment permit is required for potholing to verify existing location
- g. The California Public Utilities Code mandates that the gas company is notified a minimum of two days prior to start of construction.

#### **MATERIALS**

- 1. PLANTS SHALL COMPLY WITH THE STATE AND FEDERAL LAWS FOR DISEASE INSPECTION. PLANTS SHALL BE FULLY LIVE, VIGOROUS, WELL FORMED, WITH WELL DEVELOPED FIBROUS ROOT SYSTEMS, ROOT BALLS OF PLANTS SHALL BE SOLID AND FIRMLY HELD TOGETHER, SECURELY CONTAINED AND PROTECTED FROM INJURY AND DESICCATION. PLANTS DETERMINED BY LANDSCAPE ARCHITECT TO HAVE BEEN DAMAGED, PRUNED, HAVE DEFORMED STEMS, BRANCHES, OR ROOTS, LACK SYMMETRY, HAVE MULTIPLE LEADERS OR "Y" CROTCHES LESS THAN 30 DEGREES IN TREES, OR DO NOT MEET SIZE OR ANSI STANDARDS SHALL BE REJECTED. PLANTS SHALL BE FROM A SINGLE NURSERY SOURCE FOR EACH SPECIFIED. SPECIES/HYBRID. NURSERY SOURCES SHALL BE LICENSED AND LOCATED IN THE SAME REGION AS THE JOB SITE. PLANTS SHALL, AT MINIMUM, MEET AMERICAN STANDARDS FOR NURSERY STOCK (ANSI Z60.1)
- 2. TOPSOIL (EITHER STOCKPILED OR IMPORTED) SHALL BE NATURAL, FRIABLE, FERTILE, LOOSE, LOAM TEXTURE FREE OF DELETERIOUS MATERIALS, NOXIOUS WEEDS AND ROCKS LARGER THAN 1 INCH IN ANY DIMENSION. AMENDED TOPSOIL SHALL HAVE A PH RANGE OF 5.5-7.0 AND ORGANIC CONTENT OF 5%-25%.
- 3. NATIVE SURFACE SOILS INCLUDING STOCKPILED TOPSOILED MAY BE USED AS TOPSOIL ONLY IF IT MEETS ALL REQUIREMENTS DESCRIBED ABOVE, IS AMENDED PER THE SPECIFICATIONS, AND IS BLENDED TO THE SPECIFIED DEPTH.
- 4. SOIL AMENDMENTS SHALL INCLUDE THE FOLLOWING: GRO-POWER 5-3-1 WITH 1.0% SOIL PENETRANT AND NITROGEN STABILIZED FIR BARK COMPOST (NOT SAWDUST) WITH A NON-TOXIC WETTING AGENT
- 5. PLANT BACKFILL SHALL CONSIST OF 1 PART AMENDED TOPSOIL AND 1 PART NATIVE SOIL WITH NO **ROCKS OR ROOTS LARGER THAN 2"**

6. MULCH SHALL BE RED DYED 1/4" TO 1" AND BROWN DYED 1/4" TO 1"

- 7. TREE STAKES SHALL BE 2" DIAMETER BY 8-FOOT TREATED LODGE POLE PINE OR EQUIVALENT
- 8. TIE MATERIAL SHALL BE V.I.T. TWIST BRACE. NO WIRE TIES SHALL BE USED.

#### **EXECUTION**

DO NOT DAMAGE OR BREAK ROOT SYSTEM, BARK, OR BRANCHES. REPAIR AND/OR REPLACE ITEMS DAMAGED AS A RESULT OF WORK, OR WORK NOT IN COMPLIANCE WITH PLANS AND SPECIFICATIONS, AS DIRECTED BY OWNER AT NO ADDITIONAL COST.

TOPSOIL AMENDMENTS ARE AS FOLLOWS:GRO-POWER PLUS 100 LBS PER 1000 SF, 3 CY NITROGEN STABILIZED FIR BARK COMPOST PER 1,000 SF.

PLANT BACKFILL SHALL CONSIST OF 1 PART AMENDED TOPSOIL, 1 PART NATIVE SOIL AND 1 PART NITROGEN STABILIZED FIR BARK COMPOST (NOT SAWDUST) WITH A NON-TOXIC WETTING AGENT BACKFILL SHALL BE EVENLY BLENDED THROUGHOUT.

PLANTING AREAS SHALL HAVE 8 INCHES OF AMENDED TOPSOIL. CONTRACTOR SHALL ADJUST GRADES AND SUPPLY TOPSOIL AS NECESSARY TO ASSURE THE MINIMUM DEPTH. TOPSOIL SHALL BE WORKED INTO SUB-BASE/SUBSOIL FOR ROUGH TRANSITION. SOIL DEPTH SPECIFIED IS FINISHED. COMPACTED

FINISHED GRADE SHALL BE CROWNED OR SLOPED TOWARDS THE CURB WITH A 3% MINIMUM SLOPE UNLESS OTHERWISE NOTED ON THE PLAN.

'WILT-PROOF- CONTAINER PLANTS MAY 1 TO OCTOBER 15. THOROUGHLY ROOT WATER PLANTS PRIOR TO DELIVERY. PLANT MATERIAL DELIVERED TO SITE SHALL BE KEPT CONTINUALLY MOIST THROUGH INSTALLATION.

PRUNE PLANTS RECEIVED FROM THE NURSERY ONLY UPON AUTHORIZATION BY THE LANDSCAPE **ARCHITECT** 

ARRANGE PLANTS ON -SITE IN PROPOSED LOCATIONS PER DRAWINGS. FIELD ADJUST PLANT LOCATIONS FOR 10-FOOT OF TREES/SHRUBS AND 2-FOOT SEPARATION FOR GROUNDCOVER FROM FIRE HYDRANTS AND UTILITY VAULTS.

EXCAVATE TREE AND SHRUB PIT; PRIOR TO PLANTING FILL HOLE WITH WATER AND VERIFY THAT WATER DRAINS WITHIN 2 HOURS. IF WATER DOES NOT DRAIN DO NOT PLANT TREE OR SHRUB AND INFORM LANDSCAPE ARCHITECT.

STAKE TREES AS CALLED OUT AND DETAILED. STAKE SHALL BE DRIVEN FIRMLY INTO THE PLANTING HOLE BASE SOIL (MIN. 16"). STAKES SHALL BE INSTALLED SO THE ROOTBALL IS NOT PIERCED. ALL TREES SHALL BE PLACED AS SHOWN ON THE PLANTING PLAN, LOCATED AS DETAILED AND AS CALLED OUT ON PLANT LIST.

SETTLE BACKFILL USING WATER ONLY. NO MECHANICAL COMPACTION.

MULCH ALL LANDSCAPE AREAS THAT ARE NOT HARDSCAPE WITH A 3-INCH LAYER OF SPECIFIED BARK MULCH.

A MINIMUM 3-INCH LAYER OF MULCH SHALL BE APPLIED ON ALL EXPOSED SOIL SURFACES OF PLANTING AREAS EXCEPT TURF AREAS, CREEPING OR ROOTING GROUNDCOVERS, OR DIRECT SEEDING APPLICATIONS WHERE MULCH IS CONTRAINDICATED.

FOR SOILS LESS THAN 6% ORGANIC MATTER IN THE TOP 6 INCHES OF SOIL, COMPOST AT A RATE OF A MINIMUM OF FOUR CUBIC YARDS PER 1.000 SQUARE FEET OF PERMEABLE AREA SHALL BE INCORPORATED TO A DEPTH OF SIX INCHES INTO THE SOIL.

PRESSURE REGULATING DEVICES ARE REQUIRED IF WATER PRESSURE IS BELOW OR EXCEEDS THE RECOMMENDED PRESSURE OF THE SPECIFIED IRRIGATION DEVICES.

CHECK VALVES OR ANTI-DRAIN VALVES ARE REQUIRED ON ALL SPRINKLER HEADS WHERE LOW POINT DRAINAGE COULD OCCUR.

A DIAGRAM OF THE IRRIGATION PLAN SHOWING HYDROZONES SHALL BE KEPT WITH THE IRRIGATION CONTROLLER FOR SUBSEQUENT MANAGEMENT PURPOSES.

#### FINAL INSPECTION, MAINTANANCE AND GUARANTEEE

THE CONTRACTOR SHALL REQUEST AN INSPECTION WHEN ALL REQUIRED LANDSCAPE WORK HAS BEEN COMPLETED. THE MEETING WILL BE HELD AT THE PROJECT SITE AND SHALL BE ATTENDED BY THE CITY CONSTRUCTION INSPECTOR, DEVELOPER, LANDSCAPE CONTRACTOR, SUB-CONTRACTOR(S), AND AGENCY REPRESENTATIVES AS APPROPRIATE.

#### WATER FEATURES

RECIRCULATING WATER SYSTEMS SHALL BE USED FOR WATER FEATURES.

FOR PROJECTS THAT INCLUDE LANDSCAPE WORK. THE LANDSCAPE CERTIFICATION. FORM GRN 12, SHALL BE COMPLETED PRIOR TO FINAL INSPECTION APPROVAL.

LICENSED LANDSACPE CONTRACTOR FOR THE PROJECT.

AN IRRIGATION AUDIT REPORT SHALL BE COMPLETED AT THE TIME OF FINAL

I HAVE COMPLIED WITH THE CRITERIA OF THE ORDINANCE AND APPLIED THEM FOR

L-100 TITLE SHEET

L-105 IRRIGATION DETAILS

L-109 WATER BUDGET CALCULATIONS

A CERTIFICATE OF COMPLETION SHALL BE FILLED OUT AND CERTIFIED BY EITHER THE SIGNER OF THE LANDSCAPE PLANS, THE SIGNER OF THE IRRIGATION PLANS, OR THE

INSPECTION.

THE EFFICIENT USE OF WATER IN THE LANDSCAPE DESIGN PLANS.

I AGREE TO COMPLY WITH THE REQUIREMENTS OF THE WATER EFFICIENT LANDSCAPE ORDINANCE AND SUBMIT A COMPLETE LANDSCAPE DOCUMENTATION PACKAGE

DRAWING LIST

L-101 PLANTING PLAN

L-104 IRRIGATION PLAN

L-108 HYDROZONE PLAN

NEW LANDSCAPED TERRACE IRRIGATION

**GENERAL NOTES:** 

UNLESS OTHERWISE NOTED.

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. DIMENSIONS TO TAKE PRECEDENCE OVER

3. ALL DRAWINGS ARE OF ORIGINAL DESIGN OWNED BY STUDIO H2O AND MAY NOT BE

4. ALL DIMENSIONS SHOWN ARE IN INCHES

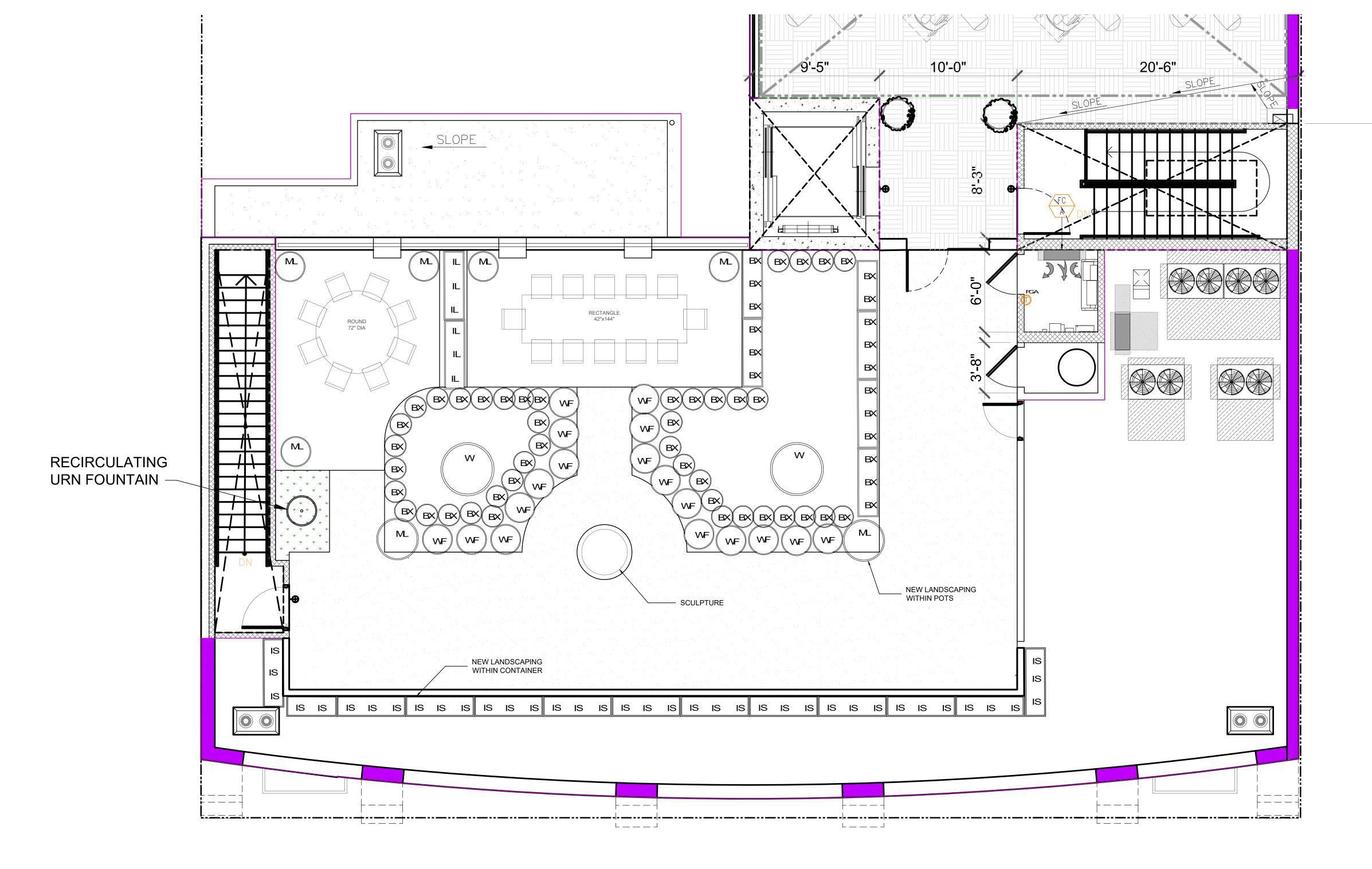
USED OR REPRODUCED WITHOUT WRITTEN

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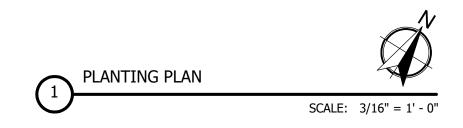
1\ 08/26/2024 GENERAL REVISION SUBMISSIONS:







SYMBOL	PLANTNAME	PLANT COMMON NAVE	WATERUSAGE	SIZE
V	CITRUS LIMON EUREKA	EUREKALEMONTREE	L	24" BOX
IL (ii)	FICUSINITIDA	INDIAN LAUREL	М	15 G
IS G	CUPRESSUS SEMPERMRENS 'MONSHEL'	TINY TOWERS ITALIAN CYPRESS	М	15 G
WF	WESTRINGIA FRUTICOSA 'GREYBOX'	COAST ROSEMARY 'GREY BOX'	L	5G
вх	BUXUS SEVPERMRENS GLOBE	ENGLISH BOXWOOD GLOBE	М	5G
ML	CITRUS SPP.	MEYERLEMON	М	15 G





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MELROSE TERRACE

REVISIONS

08/26/2024 GENERAL REVISION
DATE DESCRIPTION
SUBMISSIONS:

CODIMINATION OF

1<u>1/07/202</u>3 <u>CD</u>
DATE DESCRIPTION

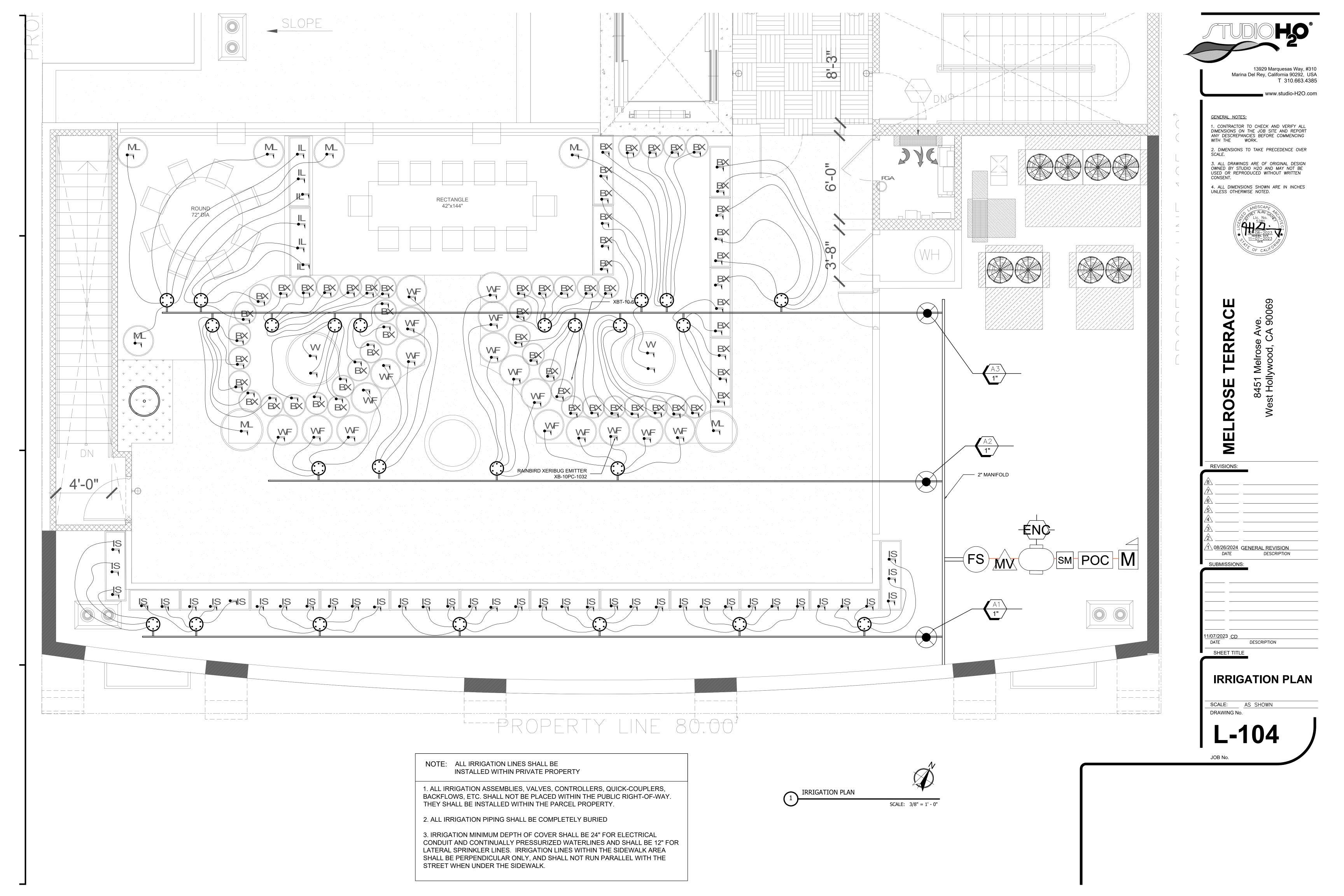
SHEET TITLE

**PLANTING PLAN** 

SCALE: AS SHOWN DRAWING No.

L-10<sup>4</sup>

JOB No



## GENERAL LEGEND

	OLINEIVAL LEGEND							
	DESCRIPTION	MANUFACTURER & PART NUMBER	REFERENCE					
1.5	PRESSURE SUPPLY LINES & SIZE (1" AND SMALLER)	SCHEDULE 40 P.V.C.	SPECIFICATIONS					
	NON-PRESSURE LATERAL LINE & SIZE	SCHEDULE 40 P.V.C.	SPECIFICATIONS					
	SLEEVE & SIZE (2" AND LARGER)	CLASS 200 P.V.C.	DET. 7, SHT. L-106					
	— CONTROLLER SEQUENCE							
1" GPM	— GALLONS PER MINUTE (GPM)							
GPM/	REMOTE CONTROL VALVE SIZE							
$\langle A \rangle$	AUTOMATIC CONTROLLER	RAINBIRD ESP-12LX BASIC/ESPLXMSM12 & ESPLXMSM4 (24 STATION CONTROLLER)	SPECIFICATIONS					
lacktriangle	REMOTE CONTROL VALVE	RAINBIRD PEB SERIES	DET. 9, SHT. L-107					
	REMOTE CONTROL VALVE (DRIP)	RAINBIRD XACZ-100-PRF & XACZ-075-PRF	DET. 8, SHT. L-107					
POC	POINT OF CONNECTION	SPECIFICATIONS						
H	BALL VALVES/GATE VALVES (LINE SIZE)	HAMMOND 8901 BRASS SERIES	DET. 6, SHT. L-106					
SM	WATER SUB-METER FOR IRRIGATION USE ONLY							
RS	RAIN/FREEZE SENSOR	RAINBIRD WR2-RFC						
BF	BACKFLOW DEVICE	FEBCO 825Y 1" REDUCED PRESSURE BACKFLOW PREVENTER WITH WATTS 1" LFS777S BRONZE WYE STRAINER						
FS	FLOW SENSOR	CREATIVE SENSOR TECHNOLOGY - 1" FLOW SENSOR						
-ENC	BACKFLOW ENCLOSURE	V.I.T. PRODUCTS SBBC-30CR LOW PROFILE, TUBE AND WIRE CONSTRUCTION SMOOTH TOUCH SURFACE, COLD ROLLED STEEL, BACKFLOW ENCLOSURE. 31.5" L, 28" H, 17.75W						
M	MASTER VALVE	SUPERIOR-3100-100-PRS (WITH PRESSURE REGULATING SYSTEM)						

# POINT OF CONNECTION (P.O.C.) SYSTEM A

WATER METER POINT OF CONNECTION TO DEDICATED IRRIGATION WATER METER PROVIDED BY THE GENERAL CONTRACTOR.

> WATER METER SIZE ——— DESIGN WATER PRESSURE ——— MAXIMUM DESIGN FLOW ————

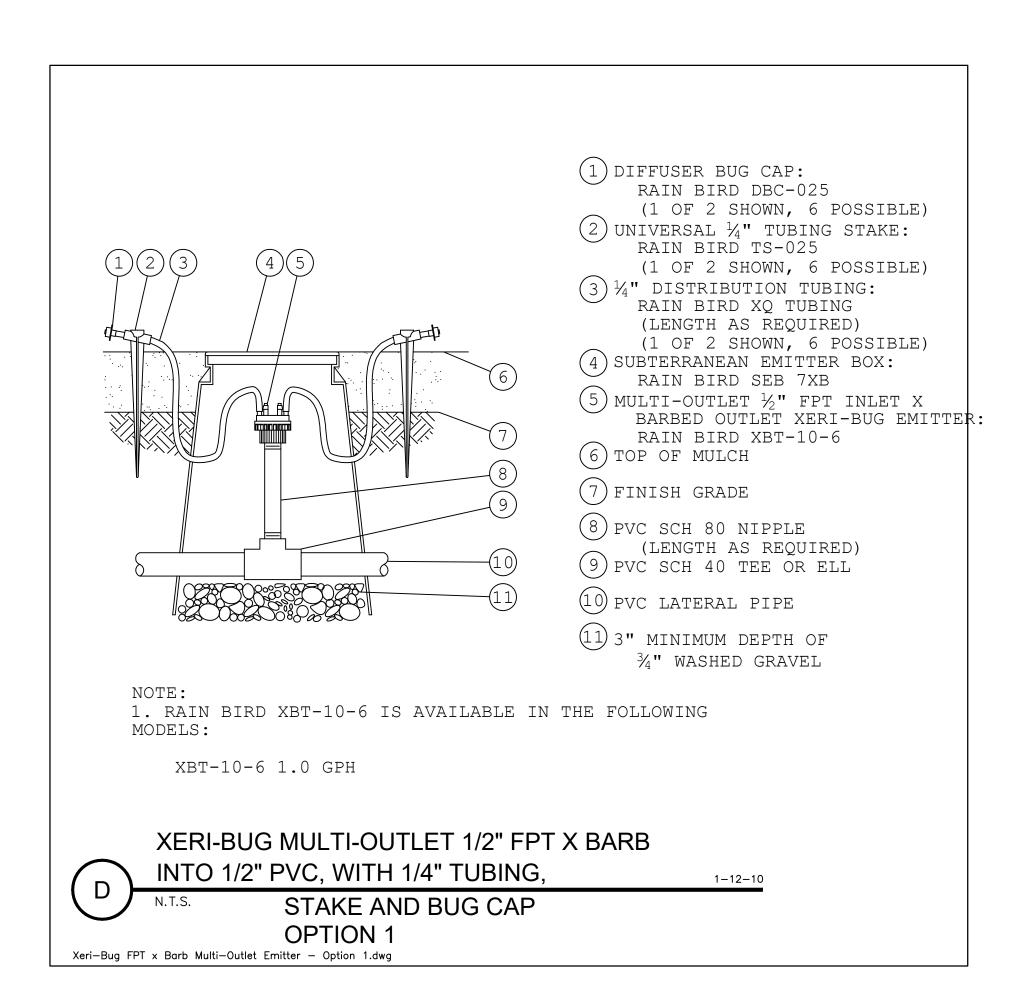
THE LANDSCAPE CONTRACTOR SHALL VERIFY THE METER SIZE, LOCATION AND STATIC WATER PRESSURE PRIOR TO PERFORMING ANY IRRIGATION WORK UNDER THIS CONTRACT.

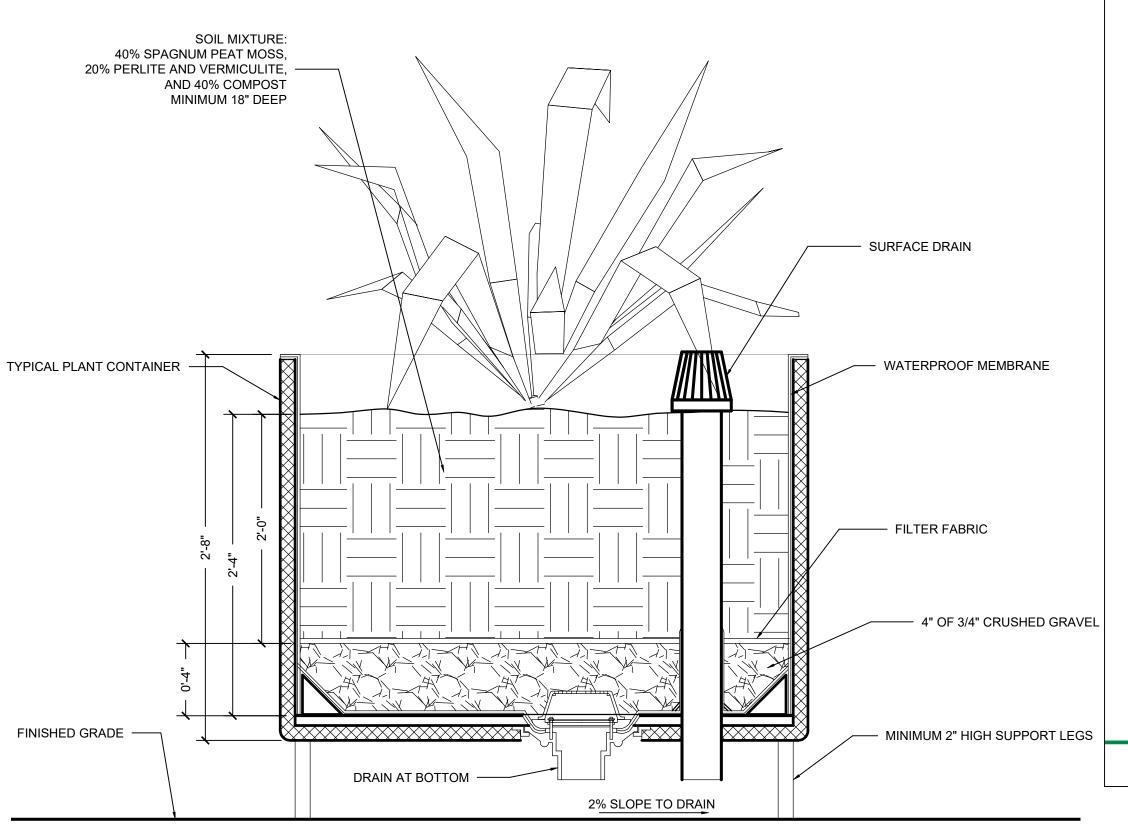
POC POINT OF CONNECTION NEW POINT OF CONNECTION. SEE EQUIPMENT LEGEND FOR SPECIFICATION. BACKFLOW PREVENTER MUST

CONFORM TO ALL LOCAL CODE REQUIREMENTS.

AUTOMATIC CONTROLLER

2 INDEPENDENT 120V/60CYC/20AMP ELECTRICAL CIRCUIT TO BE PROVIDED BY THE GENERAL CONTRACTOR. ONE CIRCUIT FOR THE CONTROLLER AND THE SECOND CIRCUIT FOR THE AUXILLARY OUTLET. THE IRRIGATION CONTRACTOR SHALL VERIFY EXACT LOCATION OF THE ELECTRICAL P.O.C.(S) AND STAKE THE EXACT CONTROLLER LOCATION FOR APPROVAL IN THE FIELD BY THE OWNER OR DESIGNATED OWNER REPRESENTATIVE.





**SCALE** TYPICAL PLANT CONTAINER SECTION DET

RAIN BIRD.

Xeri-Bug™ with Check Valve

Point-Source Emitters for Drip Irrigation

Applications

the industry.

Xeri-Bug™ with Check Valve (XBCV) is

a pressure-compensating emitter that

is the ideal choice for many irrigation

applications that want to conserve water. XBCV prevents drainage by holding back

10 feet (3 m) of water—the highest in

This feature can be utilized in any drip

beneficial on elevated zones, slopes, raised

landscaping, green houses and nurseries.

potted plants, green roofs/walls, golf

· With 10 feet (3 m) of hold-back power,

Strong check-valve protection helps

internal diameter, 20 gallons (76 L)

In a zone that has a 10-foot (3 m)

elevation change, only one zone is

you to save money on valves and time

of water is held in the line instead of

drainage and flooding. In a standard

500-foot (152 m) line with 1/3" (13 mm)

XBCV eliminates low-point drainage and

conserve water by eliminating low-point

provides uniform irrigation throughout

installation, but becomes especially

**Efficient Water Usage** 

draining out.

on installation.

Holds Prime in the Line

and reduce cycle times.

life of the emitter.

· Holding prime in the line reduces calcium build-up and extends the

**Tech Spec** 

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 XBCV-05PC-1032: Blue, 0.5 gph (1.9 lph) XBCV-10PC-1032: Black, 1.0 gph (3.8 lph) eliminate the need for a hole-punching . XBCV-20PC-1032: Red, 2.0 gph (7.6 lph)

10-32 Threaded Inlet x Barb Outlet

Self-Piercing Barb Inlet x Barb Outlet

XBCV-05PC: Blue, 0.5 gph (1.9 lph)

XBCV-10PC: Black, 1.0 gph (3.8 lph)

XBCV-20PC: Red, 2.0 gph (7.6 lph)

Check Valves

**Risers and Adapters** • Models with 10-32 threaded ends can

tool, making installation easier.

quickly connect to risers or adapters. **Compact Design** needed for the XBCV. Fewer zones allow

All-in-One Design

(1.0 to 3.5 bar).

to the last.

Self Cleaning

Self-Piercing Barb

**Pressure Compensating** 

With its comprehensive capabilities, the

XBCV can be taken to any jobsite. It's the

only emitter you need to stock, carry and

install, simplifying point-source drip jobs.

· A pressure-compensating design offers

a consistent flow from 15 to 50 psi

XBCV delivers the same amount of

water from the first emitter in the line

· A self-flushing action cleans the emitters

every time the system turns on and off,

reducing maintenance and extending

· Self-piercing models feature barbs that

**Operating Range** · Designed to hold prime in the line, these

emitters immediately begin irrigation

· By holding prime when the system is turned off, XBCV prevents particles from clogging the emitter — a problem when a system drains and siphons (75 micron) soiled water.

Xeri-Bug™ Emitter, TS025-1/4" stake, and DBC025 Diffuser Bug Cap

www.rainbird.com

emitter is unobtrusive and easily hidden.

· With a diameter less than a dime, the

 Opening Pressure: 15 psi (1.0 bar) Pressure: 15 to 50 psi (1.0 to 3.5 bar) · Flow Rates: 0.5 to 2.0 gph

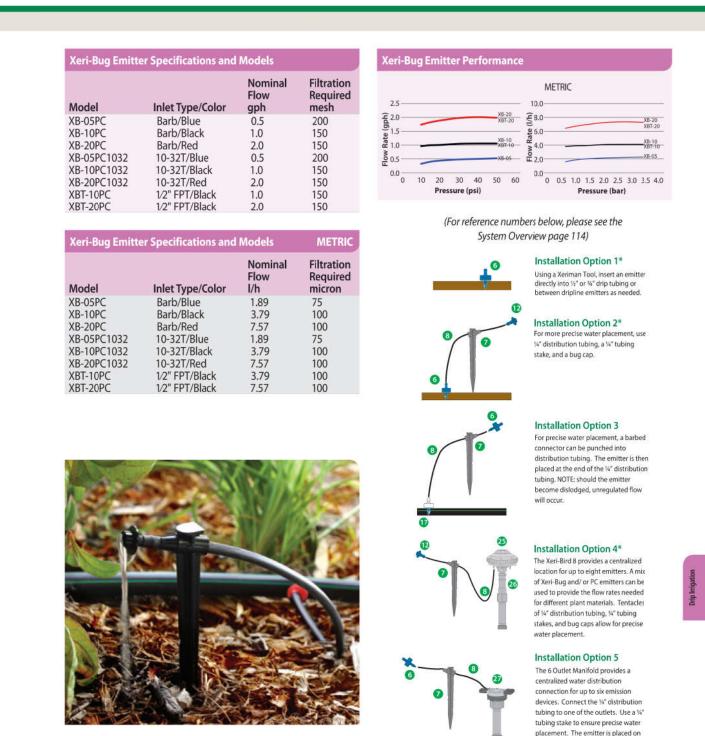
(1.9 to 7.6 lph) · Filtration Requirement: 150 mesh

How to Specify XBCV - 05 PC - 1032

05 = 0.5 gph (1.9 lph) 10 = 1.0 gph (3.8 lph) 20 = 2.0 gph (7.6 lph)

Landscape Drip **Emission Devices** 

www.rainbird.com/drip



11/07/2023 CD SHEET TITLE

the end of the 1/4" distribution tubing

to regulate the water flow. NOTE: should the emitter become dislodged

Preferred installation options, which provide flow regulation at the source.

SCALE: AS SHOWN

**TERRACE** 

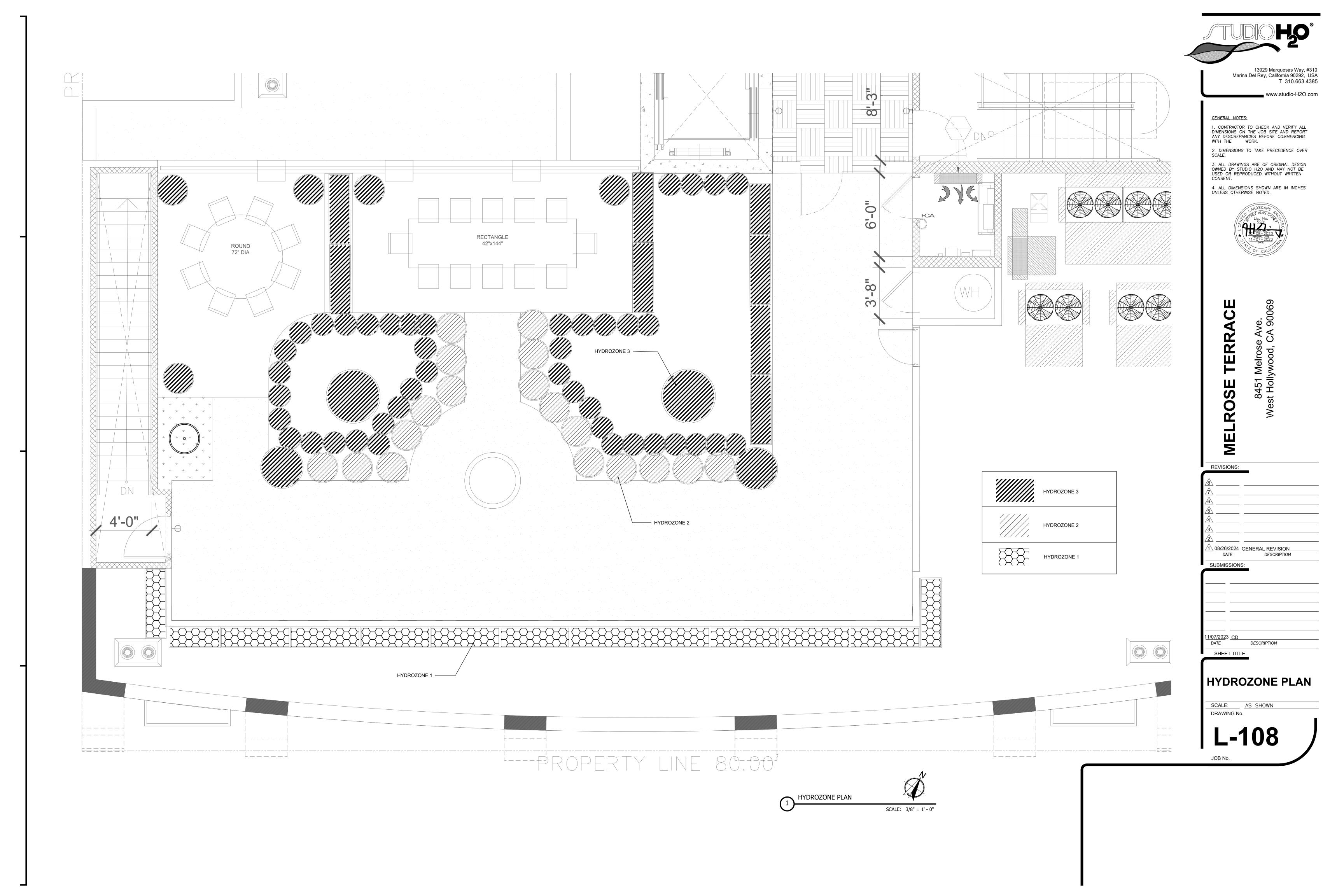
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REVISIONS: 2\ 12/26/2024 GENERAL REVISION 1\ 08/26/2024 GENERAL REVISION SUBMISSIONS:

DESCRIPTION

IRRIGATION DETAILS

DRAWING No.



## **HYDROZONE**

ZONE	SQUARE FOOTAGE	PLANT WATER USE	PLANT FACTOR	IRRIGATION METHOD	IRRIGATION EFFICIENCY	PF X HA (SQUARE FEET)	E.T.W.U. CALCULATIONS (ETo)(0.62)(((PF X HA)/IE) + SLA)
1	82.0 SF	L	0.3	DRIP	0.81	24.6	$(48.50)(0.62)(((0.3 \times 82)/.81) + 0) = 913.2 \text{ GALLONS PER YEAR}$
2	56.7 SF	M	0.5	DRIP	0.81	28.35	$(48.50)(0.62)(((0.5 \times 56.7)/.81) + 0) = 1,052.5 \text{ GALLONS PER YEAR}$
3	172.8 SF	M	0.5	DRIP	0.81	86.4	$(48.50)(0.62)(((0.5 \times 172.8)/.81) + 0) = 3,207.5 \text{ GALLONS PER YEAR}$
4	3.3 SF		1.0			3.3	$(48.50)(0.62)(((1 \times 3.3)/1) + 0) = 99.23 \text{ GALLONS PER YEAR}$

TOTAL LANSDSCAPED AREA: 311.5 SF

TOTAL WATER FEATURE AREA: 3.3 SF

TOTAL COMBINED AREA: 314.8 SF

TOTAL ESTIMATED APPLIED (ETo)(.62)((TOTAL PF X HA/IE) + SLA) = (30.07)((213.73) + 0) = 5,272.43 GALLONS PER YEAR WATER USE:

(M.A.W.A) MAXIMUM APPLIED WATER ALLOWANCE CALCULATIONS

(ETo)(.62)[(0.55 X LA)+(0.45 X SLA)] = MAXIMUM APPLIED WATER ALLOWANCE (GALLONS PER YEAR)

 $(48.5)(.62)[(0.55 \times 314.8)+(0.45 \times 0)] = 5,206.31 \text{ GALLONS PER YEAR}$ 

MAXIMUM APPLIED WATER ALLOWANCE: 5,206.31 GALLONS PER YEAR



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ELROSE TERRACE

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REVISIONS:						
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$1 \times 10^{-2}$						
DATE DESCRIPTION						
SUBMISSIONS:						

11/07/2023 CD
DATE DESCRIPTION

WATER BUDGET

CALCULATIONS

SCALE: AS SHOWN
DRAWING No.

L-109