

# SOMNI 2.0

## PLANNING SUBMITTAL #2

### 06.09.2023

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NO.	DATE	DESCRIPTION
06/09/2023	AP SUBMITTAL #2	
11/11/2022	AP SUBMITTAL #1	

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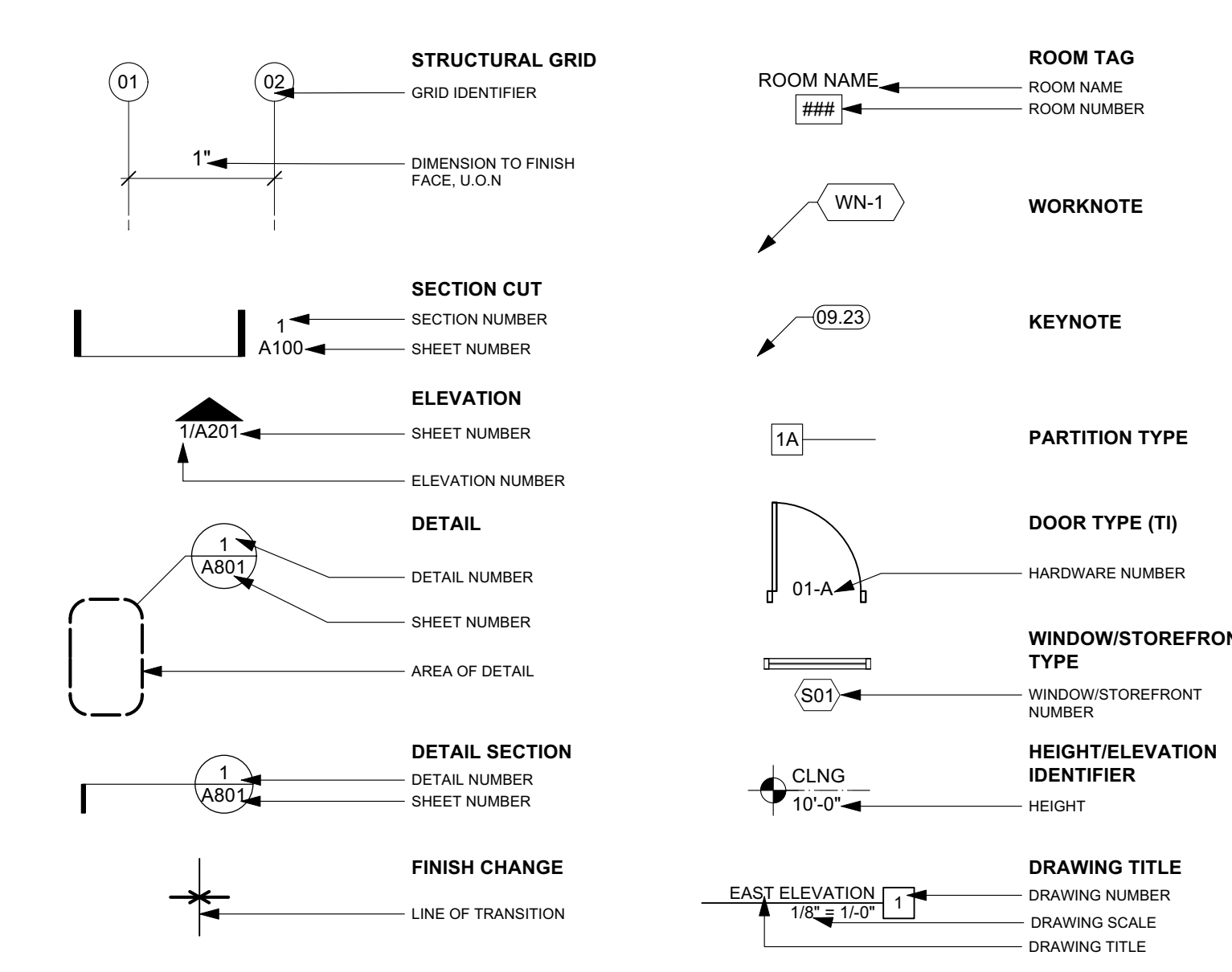
#### PROJECT DATA

<b>PROJECT DESCRIPTION / SCOPE OF WORK</b>	CHANGE USE OF AN EXISTING RETAIL TENANT SPACE TO A RESTAURANT WITH OUTDOOR DINING
<b>PROJECT ADDRESS</b>	9045 NEMO STREET, WEST HOLLYWOOD, CA 90069
<b>APN</b>	4340-013-010, 4340-013-047
<b>LEGAL DESCRIPTION</b>	LOTS 9, 10 AND 11 OF TRACT NO. 5150, IN THE CITY OF WEST HOLLYWOOD, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 53 PAGE 81 OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.
<b>ZONE</b>	CC1 W/ MIXED USE OVERLAY
<b>OCCUPANCY GROUPS</b>	EXISTING M (RETAIL) PROPOSED A-2 (RESTAURANT)
<b>CONSTRUCTION TYPE</b>	EXISTING TYPE VB
<b>LOT AREA</b>	11,088 SF AFTER LOT MERGER
<b>NO. OF STORIES</b>	EXISTING 1 PROPOSED NO CHANGE
<b>BUILDING HEIGHT</b>	EXISTING 19'-6" TO TOP OF HIGHEST ROOF
<b>BUILDING AREA</b>	EXISTING 1,734 SF PROPOSED 1,685 SF (AFTER RESTROOM DEMOLITION)** FAR 1,685 + 3163 (ADJ. TENANT) = 4,848 / 7,388 0.66 FAR
<b>OUTDOOR DINING</b>	744 SF** **SEE A11 FOR AREA BREAKDOWNS**
<b>ON-SITE PARKING</b>	REQUIRED PER WHMC §19.28.040, TABLE 3-6
<b>INTERIOR AREA</b>	1685 SF @ 3.5 SPACES / 1000 SF = 6 SPACES
<b>OUTDOOR DINING / PUBLIC / COMMERCIAL PARKING</b>	744 SF < 1000 SF = 0 SPACES NO ADDITIONAL PARKING REQUIRED FOR CHANGE OF USE IN A TENANT SPACE < 6000 SF

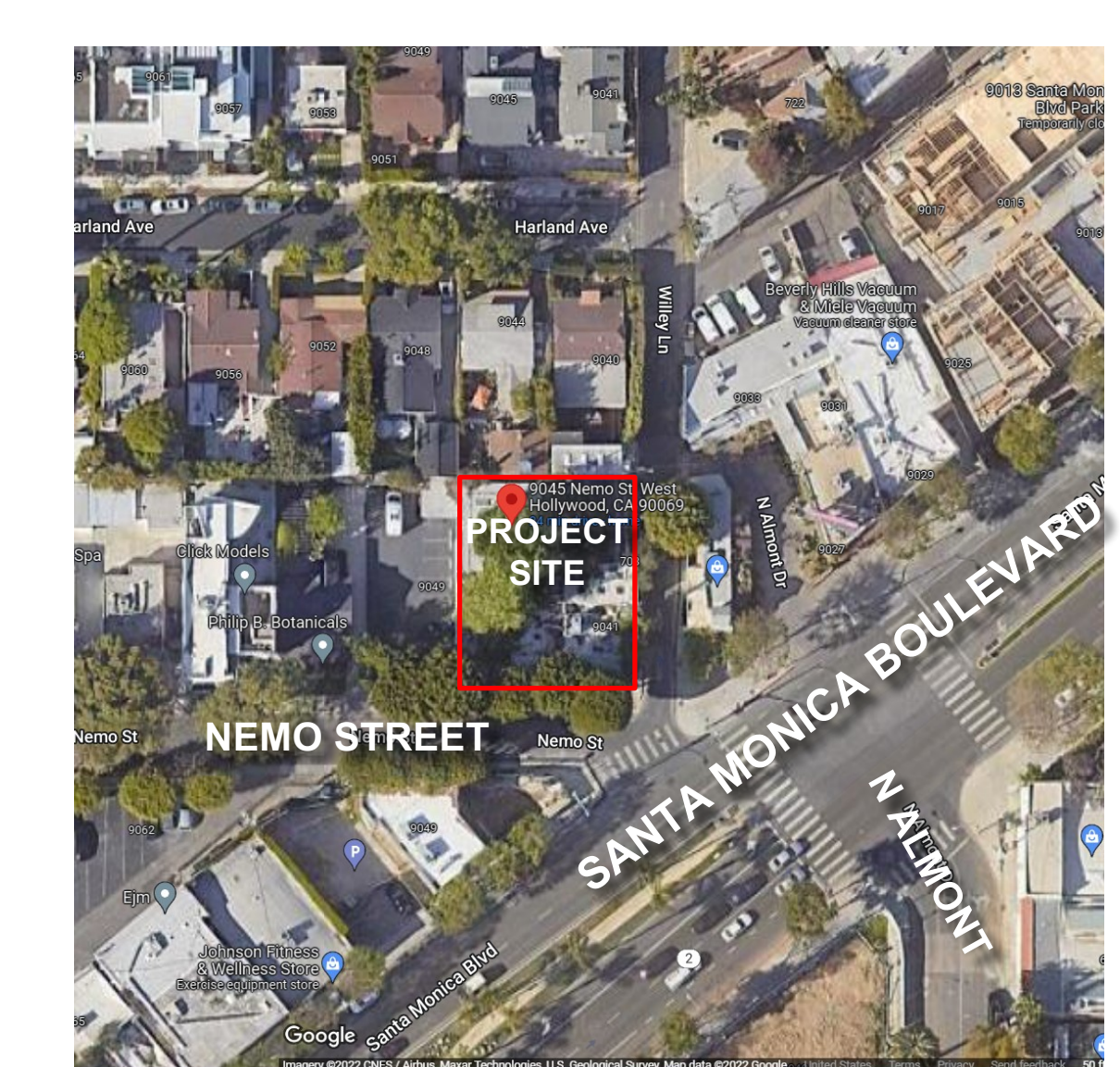
#### PROJECT TEAM

<b>OWNER</b>	9041-9045 Nemo Associates, LLC SAEED saeed@emptyvase.com	<b>DESIGNER</b>	CAPELLA GARCIA ARQUITECTURA Casp, 108 7e 08010 Barcelona, Spain JULI CAPELLA juli@capellaweb.com (+34) 932 651 369	<b>STRUCTURAL ENGINEER</b>	ASHLEY & VANCE ENGINEERING 600 Lake Avenue, Suite 308 Pasadena, CA 91106 SEAN GALBREATH sean@ashleyvance.com (323) 744-0010 x 159
<b>TENANT</b>	Nemo Madison LLC 9045 Nemo Street West Hollywood, CA 90069 AITOR LOZANO aitor@teedyourdreams.la (202) 679-6311	<b>LIGHTING DESIGNER</b>	LIGHTING DESIGN ALLIANCE 2830 Temple Avenue Long Beach, CA 90806 KELLY JONES kjones@lightingdesignalliance.com (562) 989-3843	<b>MEP ENGINEER</b>	CRO ENGINEERING 18652 Florida Street, Suite 100 Huntington Beach, CA 92648 CONRAD ORR conrad@croeng.com (714) 847-7100 x 1001
<b>ARCHITECT</b>	FINN WUJATNO ARCHITECTS 10000 Washington Boulevard Suite 600 Culver City, CA 90232 SEAN FINN sean@finnwjw.com (310) 890-0950	<b>SURVEYOR</b>	BECKER & MIYAMOTO 5601 West Washington Boulevard Los Angeles, CA 90016 ANDREW YAMASHITA bms@bmsurvey.com (323) 592-3589	<b>CIVIL ENGINEER</b>	ASHLEY & VANCE ENGINEERING 210 E. Cota Street Santa Barbara, CA 93101 MAX GENCHEL max@ashleyvance.com (805) 962-9966 x 164
<b>LANDSCAPE ARCHITECT</b>	EPT DESIGN 234 N. El Molino Avenue Suite 100 Pasadena, CA 91101 ROSS WOODLEY rwoodley@eptdesign.com (626) 795-2008	<b>LAND USE CONSULTANT</b>	MARK E. LEHMAN, ATTY AT LAW 8581 Santa Monica Blvd. # 437 West Hollywood, CA 90060 MARK LEHMAN mark@marklehanesq.com (310) 919-4180	<b>PROJECT MANAGER</b>	PROJECT CONSULTING ASSOCS. DAVE HELLMAN dhellman@pcasociatesllc.com (562) 355-4331

#### DRAWING SYMBOLS



#### VICINITY MAP



#### SOMNI 2.0

9045 Nemo Street  
 West Hollywood, CA 90069  
 2-2-0-1-1

ISSUE	DATE	DESCRIPTION
	4/7/2023	AP SUBMITTAL
	6/9/2023	AP SUBMITTAL #2

REVISION	DATE	DESCRIPTION
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#### G000

COVER SHEET / PROJECT DATA

SCALE: 1/4" = 1'-0"  
 DATE: 06.09.2023



**Door Schedule**

ID	Nominal Size			Door Style		Material		Data		Comments
	Width (W)	Height (H)	Thick	Configuration	Type	Frame	Leaf	Hardware	Manufacturer	
01	4'2"	7'8"	2"	Entry Swing Gate	I	STL	STL	A	Custom	"THIS DOOR SHALL REMAIN UNLOCKED WHEN THIS SPACE IS OCCUPIED" SIGN TO ALLOW DEADBOLT PER 1010.2.4
02	3'0"	7'8"	1 3/4"	Exit Swing Gate	II	STL	STL	B	Custom	PANIC HARDWARE
X-03	2'4"	6'8"	1 3/4"	(E) Wood Door						EXISTING DOOR TO REMAIN: REPLACE HARDWARE AS NEEDED ***ADD ALTERNATE: REPLACE W/ NEW DOOR DOOR TO MATCH
04	3'0"	6'8"	1 3/4"	Swing	III	WD	WD/GL	C	TM Cobb	FRENCH DOOR AND SIDELIGHT TO MATCH (E) TO REMAIN
05	2'8"	6'8"	1 3/4"	Sliding	IV	AL	AL/GL	D	CRL	WINE CELLAR GLASS DOOR
06	3'0"	6'8"	1 3/4"	Swing	V	WD	WD/GL	C	TM Cobb	FRENCH DOOR AND SIDELIGHT TO MATCH (E) TO REMAIN
07	3'0"	6'8"	1 3/4"	Swing	I	WD	SC WD	E	TM Cobb	SELF-CLOSING & TIGHT-FITTING RESTROOM DOOR
08	2'8"	6'8"	1 3/4"	Swing	I	WD	SC WD	F	Custom	CONCEALED, SELF-CLOSING & TIGHT-FITTING RESTROOM DOOR
09	3'0"	6'8"	1 3/4"	Exit Swing Gate	VI	STL	STL	G	Custom	PANIC HARDWARE
X-10	2'11"	8'0"	1 1/2"	(E) Steel Door		STL	STL/GL			EXISTING STEEL DOOR W/ ARCHTOP TRANSOM; REPLACE HARDWARE AS NEEDED ***ADD ALTERNATE: REPLACE W/ NEW STEEL FRAMED DOOR (TORRANCE STEEL OR EQUAL)
X-11	6'0"	8'0"	1 1/2"	(E) Steel Door		STL	STL/GL			EXISTING STEEL DOOR W/ ARCHTOP TRANSOM; REPLACE HARDWARE AS NEEDED ***ADD ALTERNATE: REPLACE W/ NEW STEEL FRAMED DOOR (TORRANCE STEEL OR EQUAL)
X-12	6'0"	8'0"	1 1/2"	(E) Steel Door		STL	STL/GL			EXISTING STEEL DOOR W/ ARCHTOP TRANSOM; REPLACE HARDWARE AS NEEDED ***ADD ALTERNATE: REPLACE W/ NEW STEEL FRAMED DOOR (TORRANCE STEEL OR EQUAL)
13	6'0"	8'0"	1 1/2"	Sliding	VII	STL	STL/GL	H		SLIDING BARN DOOR @ KITCHEN OPENING
14	3'0"	6'8"	1 3/4"	Swing	VIII	WD	WD/GL	J		SELF-CLOSING, TIGHT FITTING FRENCH DOOR TO MATCH (E) TO REMAIN
15	3'0"	6'8"	2 1/4"	Swing Gate	IX	WD	WD	K	Custom	WOOD GATE TO MATCH FENCE
16	19'10"	6'8"	2 1/4"	3-Leaf Sliding Gate	X	N/A	WD/STL	L	Custom	TOP HUNG 3-LEAF BYPASS SLIDING GATES @ TRASH ENCLOSURE; 1X6 CEDAR SIDING ON 1 1/2" STEEL FRAME
17	3'0"	6'8"	1 3/4"	Swing	I	STL	WD/STL	M	Custom	PERSON DOOR AT TRASH ENCLOSURE
18	22'4"	7'8"	2"	Sliding Gate	XI	N/A	STL	N	Custom	CANTILEVERED STEEL TUBE VEHICULAR GATE

**DOOR AND HARDWARE NOTES**

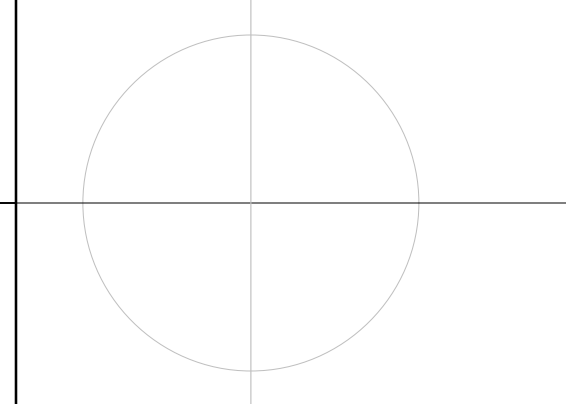
- AT FRONT OF HOUSE AREAS, ALL FINISHES SHALL BE BLACK SUEDE POWDER COAT (BSP) MATTE BLACK OR SIMILAR FINISH; SUBMIT DOOR HARDWARE SCHEDULES AND CUT SHEETS FOR REVIEW AND APPROVAL
- VERIFY ALL DIMENSIONS IN FIELD, INCLUDING THROAT DIMENSIONS PRIOR TO FABRICATING DOORS AND FRAMES
- DOOR AND HARDWARE SUPPLIER SHALL VERIFY FUNCTIONS OF ALL SPECIFIED HARDWARE BEFORE ORDERING AND BRING ANY DISCREPANCIES TO THE ATTENTION OF THE ARCHITECT; SUPPLIER SHALL ALSO VERIFY THAT ALL ACCESSORIES REQUIRED FOR THE PROPER INSTALLATION AND OPERATION OF THE DOOR ARE ORDERED; SUPPLIER SHALL VERIFY HANDING OF ALL DOORS AND HARDWARE BEFORE ORDERING; SUPPLIER SHALL COORDINATE DOOR LEAF PREPARATION FOR ALL HARDWARE AND ACCESSORIES REQUIRED FOR PROPER INSTALLATION AND OPERATION OF THE DOOR; SUBMIT COMPLETE DOOR AND HARDWARE SCHEDULES AND CUT SHEET FOR REVIEW AND APPROVAL PRIOR TO ORDERING
- EXIT DOORS SHALL BE OPENABLE FROM THE INSIDE WITHOUT THE USE OF A KEY; SPECIAL KNOWLEDGE OR EFFORT; SURFACE-MOUNTED FLUSH OR SURFACE BOLTS ARE PROHIBITED; AUTOMATIC FLUSH BOLTS ARE ALLOWED ON PAIRS OF DOORS, PROVIDED THE DOOR WITH THE FLUSH BOLT HAS NO KNIBBS OR SURFACE MOUNTED HARDWARE AND THE UNLATCHING OF ANY LEAF REQUIRES ONLY A SINGLE OPERATION. (CBC 1010.1.9.3)
- FLOOR OR LANDINGS ON EACH SIDE OF DOORS SHALL NOT BE MORE THAN 1/2" LOWER THAN THE THRESHOLD OF THE DOORWAY. (CBC 1010.1.7)
- ALL EXISTING EXIT DOORS SERVING AN ASSEMBLY OCCUPANT LOAD GREATER THAN 50 SHALL BE EQUIPPED WITH PANIC HARDWARE APPROVED AND LISTED BY THE STATE FIRE MARSHAL
- PROVIDE AND INSTALL DAMP THRESHOLDS (PEMCO OR APPR. EQ.) AS REQUIRED TO MAKE UP FINISH FLOOR HEIGHT DIFFERENTIAL AT DOORS.
- ALL DOORS SHALL BE PROVIDED WITH SILENCERS.
- HOLLOW METAL DOORS AND FRAMES SHALL COMPLY WITH THE REQUIREMENTS OF ANSI STANDARD A250.8-03 LEVEL 2-HEAVY DUTY.
- CONFORM TO REQUIREMENTS OF NFPA 80 FOR LABELED FIRE DOORS AND NFPA 101 FOR EXIT DOORS; PROVIDE UL LISTED HARDWARE UNLESS OTHERWISE SPECIFIED OR SCHEDULED.
- SAFETY GLAZING IS REQUIRED WHERE THE NEAREST EDGE OF GLAZING IS WITHIN A 24-INCH ARC OF EITHER SIDE OF A DOOR IN A CLOSED POSITION PER CBC 2406.4 AND ALL SAFETY GLAZING SHALL BE IDENTIFIED PER CBC 2406.3

**Storefront / Window Schedule**

ID	Nominal Size		Window Style	Material		Window Data		Comments	
	Unit Width (W)	Unit Height (H)		Configuration	Type	Exterior	Interior		Manufacturer
RW- 01	5'0"	8'0"	Skylight		FG	N/A	Kalwall		WALKABLE TRANSLUCENT SKYLIGHT
RW- 02	5'0"	8'0"	Skylight		FG	N/A	Kalwall		WALKABLE TRANSLUCENT SKYLIGHT
W- 01	9'8"	5'6"	Art Showcase Picture Window		AL	AL	CRL		
W- 02	2'9"	5'6"	Art Showcase Picture Window		AL	AL	CRL		
W- 03	4'2"	1'3"	(N) Wood Window		WD	WD	TM Cobb		CLERESTORY
W- 03	4'2"	1'3"	(N) Wood Window		WD	WD	TM Cobb		CLERESTORY
XW- 04	3'8"	3'8"	(E) Wood Window						***ADD ALTERNATE: REPLACE W/ TM COBB WOOD WINDOW TO MATCH EXISTING
XW- 05	5'0"	2'0"	(E) Wood Window						***ADD ALTERNATE: REPLACE W/ TM COBB WOOD WINDOW TO MATCH EXISTING
XW- 06	3'8"	3'8"	(E) Wood Window						***ADD ALTERNATE: REPLACE W/ TM COBB WOOD WINDOW TO MATCH EXISTING



10000 Washington Boulevard  
Suite 600  
Culver City, CA 90232



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9045 Nemo Street  
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22-011

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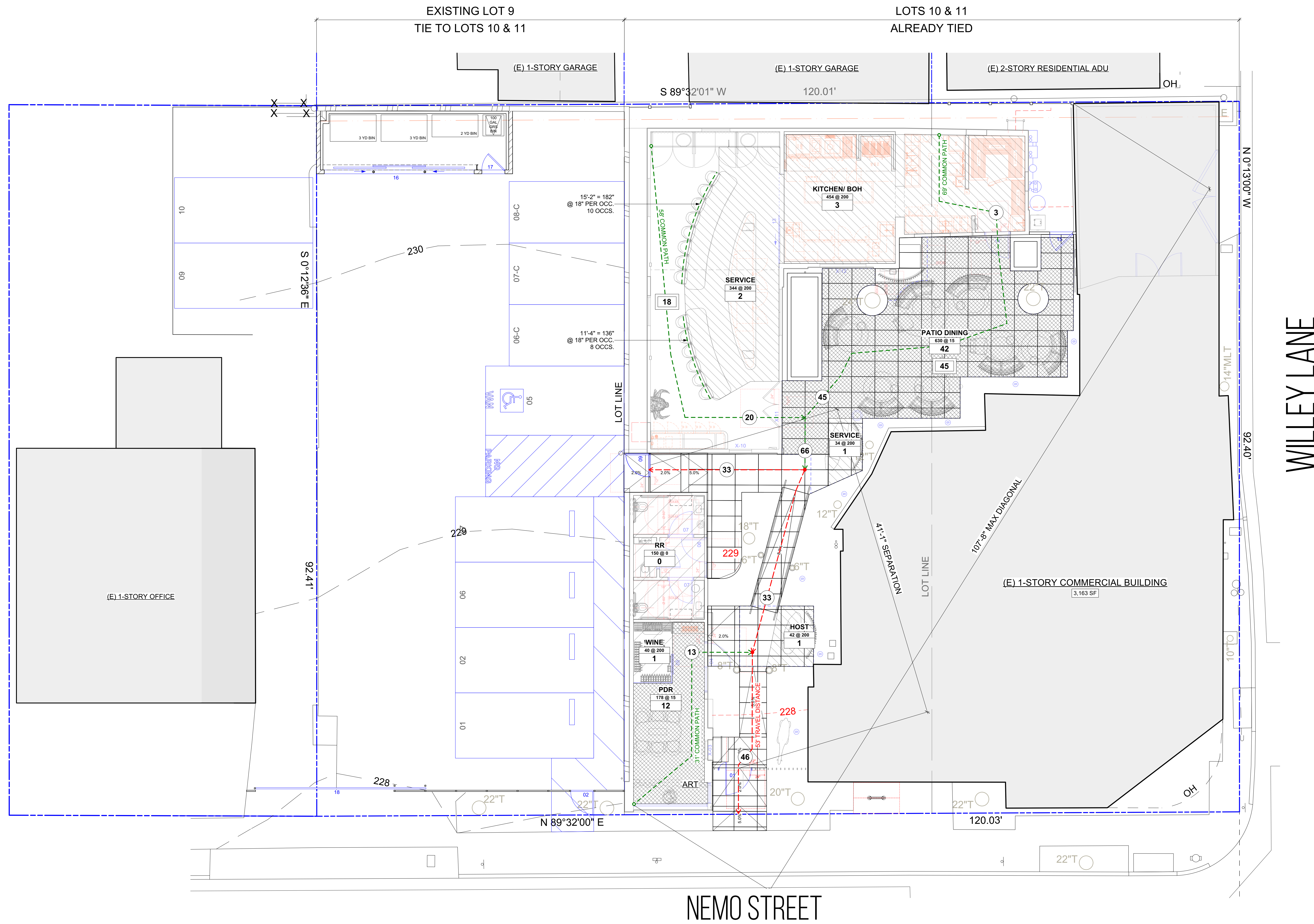
REVISION	DATE	DESCRIPTION
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**G003**  
DOOR / STOREFRONT  
SCHEDULES

SCALE: NA  
DATE: 06.09.2023







**SOMNI 2.0**  
 9045 Nemo Street  
 West Hollywood, CA 90069  
 22-011

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**EGRESS GENERAL NOTES**

- ALL PATHS ALONG THE MEANS OF EGRESS SHALL BE CONTINUOUS, UNOBSTRUCTED, AND UNDIMINISHED TO THE PUBLIC WAY.
- AISSLES LEADING TO REQUIRED CORRIDORS AND EXITS SHALL HAVE A MINIMUM WIDTH OF 44 INCHES IF SERVING AN OCCUPANT LOAD IS GREATER THAN 50, AND A MINIMUM WIDTH OF 36 INCHES IF SERVING AN OCCUPANT LOAD IS LESS THAN 50.
- ALL REQUIRED EXITS SHALL BE MAINTAINED UNTIL ARRIVAL AT GRADE OR A PUBLIC WAY (1005.4)
- Exit signs shall be internally or externally illuminated
- Exit signs illuminated by an external source shall have an intensity of not less than 5 foot candles (54 lux).
- Internally illuminated signs shall be listed and labeled and shall be installed in accordance with the manufacturer instructions and Section 2702. (1013.5)
- Exit signs shall be illuminated at all times. (1013.3)
- Exit signs shall be connected to an emergency power system that will provide an illumination of not less than 90 min. in case of primary power loss (1013.6.3)
- Egress doors shall be readily openable from the egress side without the use of a key or special knowledge or effort. See 1010.1.9.3 for exceptions.
- Door handles, lock and other operating devices shall be installed at a min. 34" and a max. 48" above the finished floor
- THIS DOOR TO REMAIN UNLOCKED WHEN BUILDING IS OCCUPIED
- All egress door operation shall also comply with Section 1010.1.9 & 1010.1.9.12
- The means of egress, including the exit discharge, shall be illuminated at all times the building space served by the means of egress is occupied.
- The means of egress illumination level shall not be less than 1 foot-candle at the

- walking surface
- The power supply for means of egress illumination shall normally be provided by the premises electrical supply. In the event of power supply failure, an emergency electrical system shall automatically illuminate the following areas:
  - Aisles and unenclosed egress stairways in rooms and spaces that require two or more means of egress
  - Corridors, exit enclosures and exit passageways in buildings required to have two or more exits;
  - Exterior egress components at other than the level of exit discharge until exit discharge is accomplished for buildings required to have two or more exits.
  - Interior exit discharge elements, as permitted in Section 1028.1, in buildings required to have two or more exits.
  - Exterior landings, as required by Section 1010.1.6, for exit discharge doorways in buildings required to have two or more exits.
- The emergency power system shall provide power for a duration of not less than 90 minutes and shall consist of storage batteries, unit equipment or an on-site generator. The installation of the emergency power system shall be in accordance with Section 2702.
- Emergency lighting facilities shall be arranged to provide initial illumination that is at least an average of 1 foot-candle (11 lux) and a minimum at any point of 0.1 foot-candle (1 lux) measured along the path of egress at floor level. Illumination levels shall be permitted to decline to 0.6 foot-candle (6 lux) average and a minimum at any point of 0.06 foot-candle (0.6 lux) at the end of the emergency lighting time duration. A maximum-to-minimum illumination uniformity ratio of 40 to 1 shall not be exceeded.

**EGRESS PLAN LEGEND**

FUNCTION OF SPACE	OCCUPANT LOAD FACTOR
ASSEMBLY CONCENTRATED (LOOSE CHAIRS ONLY)	7 NET
ASSEMBLY UNCONCENTRATED (CHAIRS)	15 NET
KITCHEN (COMMERCIAL)	200 GROSS
BUSINESS AREA	100 GROSS
ACCESSORY STORAGE	300 GROSS

AREA	AREA NAME
1000 @ 100	SO. FT. @ OLF
1	OCCUPANT LOAD PER OLF
1	TOTAL OCCUPANT LOAD

MEANS OF EGRESS SIZING (2022 CBC 1005.3)
STAIRWAYS: OCCUPANT LOAD x 0.3" -OR- 44" MIN >50 OCCS. / 36" MIN <50 OCCS. PER § 1011.2
OTHER EXIT COMPONENTS: OCCUPANT LOAD x 0.2" -OR- 32" MIN. CLR @ DOORS PER 1010.1.1 / 44" MIN >50 OCCS. / 36" MIN <50 OCCS. @ CORRIDORS PER § 1020.2
STAIR: EXIT COMPONENT OCCUPANT LOAD
0" EGRESS WIDTH REQ'D
0" EGRESS WIDTH PROVIDED
1 TOTAL OCCUPANT LOAD @ EXIT COMPONENT

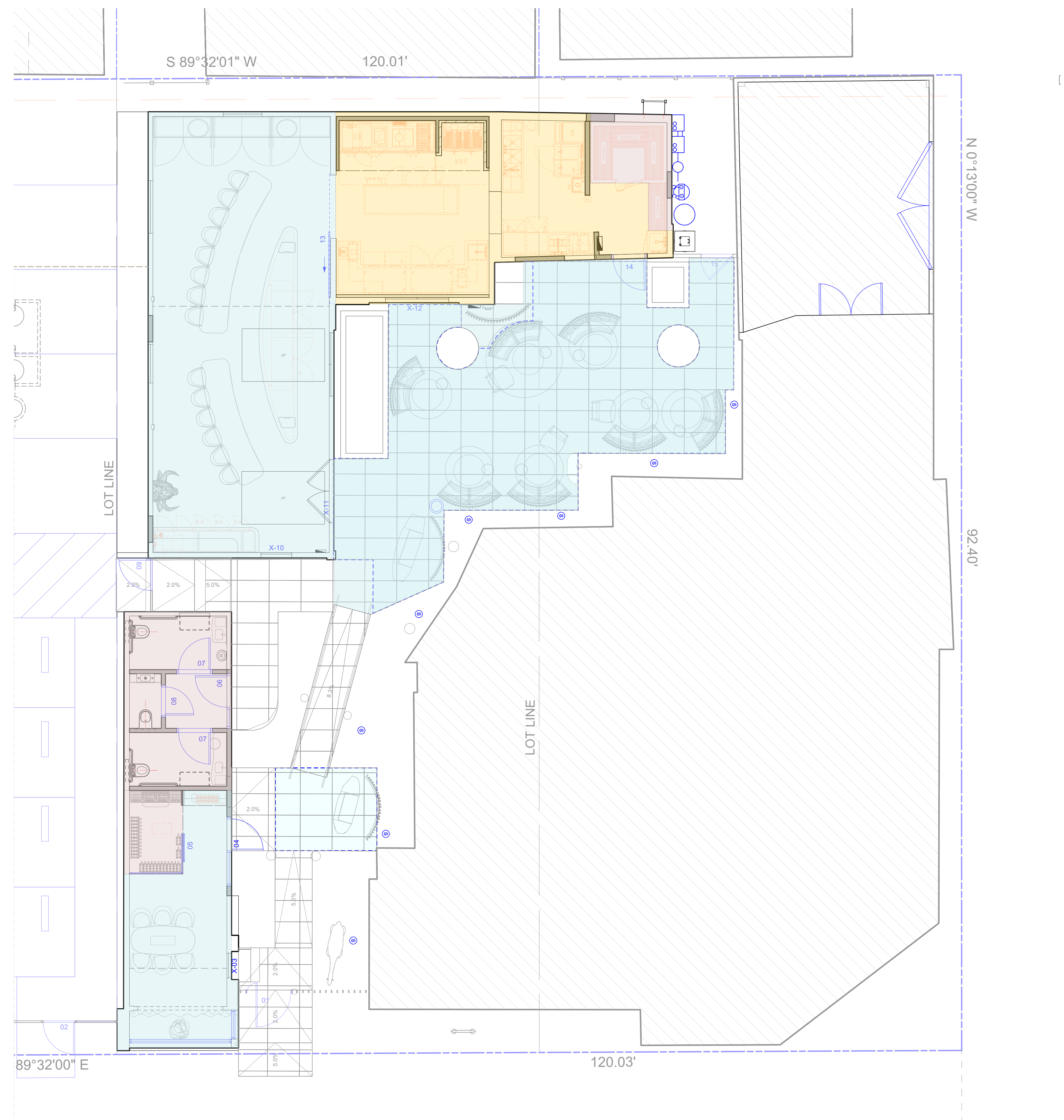
  

EXIT ACCESS TRAVEL DISTANCE (2019 CBC TABLE 1017.2)	
OCCUPANCY	MAX TRAVEL DISTANCE
A	250 FT (SPRINKLER SYSTEM)

COMMON PATH OF TRAVEL (2019 CBC TABLE 1006.2.1)		
OCCUPANCY	MAX OCC LOAD	MAX COMMON PATH OF TRAVEL
A	49	75' (SPRINKLER SYSTEM)





**PLUMBING CODE OCCUPANT LOAD CALCULATION (2022 CPC TABLE 4-1)**

OCCUPANCY	SQUARE FOOTAGE	OCCUPANT LOAD FACTOR	OCCUPANTS
DINING ROOM	747 sf	30 sf/occ	25
PATIO 1	703 sf	30 sf/occ	23
PRIVATE DINING	212 sf	30 sf/occ	7
KITCHEN	448 sf	30 sf/occ	15
<b>TOTAL GROUP A GROSS SQUARE FOOTAGE</b>	<b>2,110 sf</b>		<b>70</b>
KITCHEN STORAGE	24 sf		
RESTROOMS	172 sf		
WINE STORAGE	44 sf		
<b>EXCLUDED ACCESSORY AREAS **</b>	<b>240 sf</b>	<b>0 sf/occ</b>	<b>0</b>

\*\* Per Table 4-1 Footnote: "Accessory areas such as, but not limited to hallways/corridors, stairways, ramps, toilet rooms, mechanical rooms, closets and fixed equipment, may be excluded"

**MINIMUM PLUMBING FACILITIES (TABLE 422.1)**

FIXTURES REQUIRED (GROUP A-2)	OCCUPANTS	WCS/ PERSON	WCS REQ'D	URINALS/ PERSON	URINALS REQ'D	LAVS/ PERSON	LAVS REQ'D	DRINK'G FNS/ PERSON
TOTAL	70							N/A ††
MALE	35	1: 1-50	1	1:200	1	1:150	1	
FEMALE	35	2: 26-50	2	N/A	N/A	1:150	1	
<b>FIXTURES PROVIDED</b>			<b>WCS PROVIDED</b>		<b>URINALS PROVIDED</b>		<b>LAVS PROVIDED</b>	
MALE			1		1		1	
FEMALE			2		N/A		2	
			OK!		OK!		OK!	

†† Per Section 415.2: "Where food is consumed indoors, water stations shall be permitted to be substituted for drinking fountains."

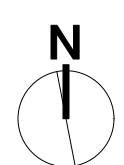
**CA GREEN BUILDING CODE NOTES**

- 5.303.3.1 WATER CLOSETS  
THE EFFECTIVE FLUSH VOLUME OF ALL WATER CLOSETS SHALL NOT EXCEED 1.28 GALLONS PER FLUSH. TANK-TYPE WATER CLOSETS SHALL BE CERTIFIED TO THE PERFORMANCE CRITERIA OF THE U.S. EPA WATERSENSE SPECIFICATION FOR TANK-TYPE TOILETS.
- 5.303.3.2.1 WALL-MOUNTED URINALS  
THE EFFECTIVE FLUSH VOLUME OF WALL-MOUNTED URINALS SHALL NOT EXCEED 0.125 GALLONS PER FLUSH

- 5.303.3.4.1 NONRESIDENTIAL LAVATORY FAUCETS  
LAVATORY FAUCETS SHALL HAVE A MAXIMUM FLOW RATE OF NOT MORE THAN 0.5 GALLONS PER MINUTE AT 60 PSI.
- 5.303.3.4.4 METERING FAUCETS  
METERING FAUCETS SHALL NOT DELIVER MORE THAN 0.20 GALLONS PER CYCLE.

**LEGEND**

- FRONT OF HOUSE AREA
- BACK OF HOUSE AREA
- ACCESSORY AREA



**SOMNI 2.0**

9045 Nemo Street  
 West Hollywood, CA 90069  
 22-011

ISSUE	DATE	DESCRIPTION
	4/7/2023	AP SUBMITTAL
	6/9/2023	AP SUBMITTAL #2

REVISION	DATE	DESCRIPTION
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**G012**  
**PLUMBING FIXTURE**  
**CALCS**

SCALE: 3/16" = 1'-0"  
 DATE: 06.09.2023



5.1 Planning and Design	State and/or Local Code Section	Y	N	Plan Sheet, Spec or Attachment Reference	Compliance Path Verification					
					Planning Review		Plan Check		Field Verification	
		Y	N		Y	N	Y	N	Increment	Final
Stormwater Pollution Prevention	WHMC 19.20.190 & Chapter 15.56	X		BY GENERAL CONTRACTOR						
Construction debris control	WHMC 19.20.080	X		BY GENERAL CONTRACTOR						
Low-impact development	WHMC 19.20.190 & Chapter 15.56	X		BY GENERAL CONTRACTOR						
Grading & Paving	WHMC 19.20.190 & CGBS 5.106.10	X		BY GENERAL CONTRACTOR						
Storm Drain Labeling	WHMC 19.20.190 & Chapter 15.56	X		BY GENERAL CONTRACTOR						
Designated parking for clean air vehicles	CGBS 5.106.5.2	X		NOT APPLICABLE						
Alternative transportation (bicycle parking & facilities)	WHMC 19.28.150	X		SEE SITE PLAN SHEET A01						
Transportation demand management	WHMC Chapter 10.16	X		NOT APPLICABLE PER 10.16.040						
Landscaping for surface parking areas	WHMC 19.28.100(B)	X		NOT APPLICABLE						
<b>5.2 Energy Efficiency</b>										
Energy efficiency	WHMC 19.20.060 & 2019 Title 24, Part 6	X								
<b>5.3 Water Efficiency and Conservation</b>										
Meters	CGBS 5.303.1	X		NOT APPLICABLE						
Meters: New buildings or additions in excess of 50,000 square feet	CGBS 5.303.1.1	X		NOT APPLICABLE						
Meters: Excess consumption (Submeters for additions that consume over 1,000 gal/ day)	CGBS 5.303.1.2	X		NOT APPLICABLE						
Water conserving plumbing fixtures and fittings	WHMC 19.20.060 & CGBS 5.303.3	X		SEE SHEET G12						
Indoor water use: Water closets (shall not exceed 1.1 gallons per flush)	WHMC 13.24.015 & CGBS 5.303.3.1	X		SEE SHEET G12						
Indoor water use: Wall-mounted urinals (0.125gpf)	CGBS 5.303.3.2.1	X		SEE SHEET G12						
Indoor water use: Floor-mounted urinals (1.05 gpd)	CGBS 5.303.3.2.2	X		NOT APPLICABLE						
Indoor water use: Single showerhead (1.5 gpm at 80 psi)	CGBS 5.303.3.3.1	X		NOT APPLICABLE						
Indoor water use: Multiple showerheads serving one shower (flow rate of 1.5 gpm at 80 psi)	WHMC 13.24.015 & CGBS 5.303.3.3.2	X		NOT APPLICABLE						
Indoor water use: Nonresidential lavatory faucets (0.5 gpm at 60 psi)	WHMC 13.24.015 & CGBS 5.303.3.4	X		SEE SHEET G12						
Indoor water use: Kitchen faucets (1.5 gpm at 60 psi)	WHMC 13.24.015 & CGBS 5.303.3.4.2	X		SEE KITCHEN DESIGN DRAWINGS						
Indoor water use: Wash fountains (1.8 gpm at 43 psi)	CGBS 5.303.3.4.3	X		NOT APPLICABLE						
Indoor water use: Metering faucets (0.2 gallons/ cycle)	CGBS 5.303.3.4.4	X		SEE SHEET G12						
Indoor water use: Metering faucets for wash fountains (0.2 gallons/ cycle)	CGBS 5.303.3.4.5	X		NOT APPLICABLE						
Commercial kitchen equipment - Food waste disposers	CGBS 5.303.4.1	X		SEE KITCHEN DESIGN DRAWINGS						
Areas of Addition and Alteration	CGBS 5.303.5	X		SEE SHEET G12						
Indoor water use: Standards for plumbing fixtures and fittings (2016 Cal Plumbing Code)	CGBS 5.303.6	X		SEE SHEET G12						
Outdoor water use in landscape areas (MWELD) (include MWELD Toolkit)	WHMC 13.24.015 & CGBS 5.304.1	X		SEE LANDSCAPE SHEETS						
Outdoor water use: Landscape water meters (when landscaping is in the scope) (locally amended)	WHMC 13.24.015 & CGBS 5.304.2	X		SEE LANDSCAPE SHEETS						
<b>5.4 Material Conservation and Resource Efficiency</b>										
Weather protection	CGBS 5.407.1	X		DETAILS TBD						
Moisture control: Sprinklers	CGBS 5.407.2.1	X								
Moisture control: Entries + Openings	CGBS 5.407.2.2	X		SEE A011						
Moisture control: Exterior door protection	CGBS 5.407.2.2.1	X		SEE A011						
Moisture control: Flashing	CGBS 5.407.2.2.2	X		DETAILS TBD						
Enhanced construction waste management- 80% Diversion	WHMC 19.20.060 & CGBS 5.408.1	X		BY GENERAL CONTRACTOR						
Environmental Protection, Pollution, and Solid Waste	WHMC 19.20.060	X		BY GENERAL CONTRACTOR						
Universal Waste	CGBS 5.408.2	X		BY GENERAL CONTRACTOR						
Excavated Soil and Land Clearing Debris	CGBS 5.408.3	X		BY GENERAL CONTRACTOR						
Recyclable Materials Storage	WHMC 19.20.060 & CGBS 5.410.1	X		BY GENERAL CONTRACTOR						
Testing and adjusting [N] (buildings less than 10,000SF or new systems to serve additions and alterations [AA])	CGBS 5.410.4	X		BY GENERAL CONTRACTOR						
Testing and adjusting for systems: HVAC, lighting, water heating, renewable energy, landscape irrigation, and water reuse	CGBS 5.410.4.2	X		BY GENERAL CONTRACTOR						
Testing and adjusting: Procedures	CGBS 5.410.4.3	X		BY GENERAL CONTRACTOR						
Testing and adjusting: HVAC balancing	CGBS 5.410.4.3.1	X		BY GENERAL CONTRACTOR						
Testing, adjusting and balancing: Repairing for HVAC balancing	CGBS 5.410.4.4	X		BY GENERAL CONTRACTOR						
Operation and maintenance (O&M) manual	CGBS 5.410.4.5	X		BY GENERAL CONTRACTOR						
O&M: Inspection and reports [AA] + [N] less than 10,000 square feet	CGBS 5.410.4.5.1	X		BY GENERAL CONTRACTOR						

5.5 Environmental Quality	State and/or Local Code Section	Y	N	Plan Sheet, Spec or Attachment Reference	Compliance Path Verification					
					Planning Review		Plan Check		Field Verification	
		Y	N		Y	N	Y	N	Increment	Final
Fireplaces	CGBS 5.503.1	X		NOT APPLICABLE						
Woodstoves	CGBS 5.503.1.1	X		NOT APPLICABLE						
Temporary ventilation	CGBS 5.504.1	X		BY GENERAL CONTRACTOR						
Covering of duct openings and protection of mechanical equipment during construction	CGBS 5.504.3	X		BY GENERAL CONTRACTOR						
Finish material pollutant control	CGBS 5.504.4	X		BY GENERAL CONTRACTOR						
Adhesives, sealants and caulks: Comply with VOC limits (Table 5.504.4.1 and 5.504.4.2)	CGBS 5.504.4.1	X		BY GENERAL CONTRACTOR						
Plants and Coatings: Comply with VOC Limits (Table 5.504.4.3)	CGBS 5.504.4.3	X		BY GENERAL CONTRACTOR						
Aerosol paints and coatings	CGBS 5.504.4.3.1	X		NOT APPLICABLE						
Verification, for paints and coatings	CGBS 5.504.4.3.2	X		BY GENERAL CONTRACTOR						
Carpet systems	CGBS 5.504.4.4	X		NOT APPLICABLE						
Carpet systems: Carpet cushion	CGBS 5.504.4.4.1	X		NOT APPLICABLE						
Carpet systems: Carpet adhesive	CGBS 5.504.4.4.2	X		NOT APPLICABLE						
Composite wood products: Formaldehyde limits (Table 5.504.4.5)	CGBS 5.504.4.5	X		NOT APPLICABLE						
Composite wood products: Documentation	CGBS 5.504.4.5.3	X		NOT APPLICABLE						
Resilient flooring system, 80%	CGBS 5.504.4.6	X		NOT APPLICABLE						
Resilient flooring system: Verification of Compliance	CGBS 5.504.4.6.1	X		NOT APPLICABLE						
Filters	CGBS 5.504.5.3	X		NOT APPLICABLE						
Filters: Labeling	CGBS 5.504.5.3.1	X		NOT APPLICABLE						
Environmental tobacco smoke (ETS) control	CGBS 5.504.7	X		NOT APPLICABLE						
Indoor moisture control	CGBS 5.505.1	X		NOT APPLICABLE						
Outside air delivery (For Indoor Air Quality)	CGBS 5.506.1	X		NOT APPLICABLE						
Carbon dioxide (CO2) monitoring (For Indoor Air Quality)	CGBS 5.506.2	X		NOT APPLICABLE						
Acoustical control (STC Values per ASTM E90 and ASTM E413)	CGBS 5.507.4	X		NOT APPLICABLE						
Exterior noise transmission, prescriptive method	CGBS 5.507.4.1	X		NOT APPLICABLE						
Noise exposure where noise contours are not readily available	CGBS 5.507.4.1.1	X		NOT APPLICABLE						
Exterior noise transmission, performance method	CGBS 5.507.4.2	X		NOT APPLICABLE						
Site features	CGBS 5.507.4.2.1	X		NOT APPLICABLE						
Documentation of compliance	CGBS 5.507.4.2.2	X		NOT APPLICABLE						
Interior sound transmission	CGBS 5.507.4.3	X		NOT APPLICABLE						
Ozone depletion and greenhouse gas reductions	CGBS 5.508.1	X		NOT APPLICABLE						
Chlorofluorocarbons	CGBS 5.508.1.1	X		NOT APPLICABLE						
Halons	CGBS 5.508.1.2	X		NOT APPLICABLE						
Supermarket refrigerant leak reduction	CGBS 5.508.2	X		NOT APPLICABLE						

**Legend:**  
 Y - Yes, the measure selected is applicable to my project and in the scope of  
 N - No, the measure is not applicable to my project and not in the scope of work  
 WHMC - West Hollywood Municipal Code  
 CGBS - California Green Building Standards

**Planning Review and Plan Check Instructions:**  
 This Green Building Checklist is intended to simplify the project approval process for nonresidential project additions, alterations, and initial tenant improvements, where applicable, in West Hollywood. Each of the items on this checklist is mandatory, depending on the project's scope. References to State and local code sections are provided. Applicants shall submit this checklist along with supporting documentation on the submittal plans as part of their application for a development permit and a building permit, as applicable (see West Hollywood Green Building Program Manual for information). Mixed-use projects should use this checklist for the nonresidential portions of the project.

**Green Building Inspection Instructions:**  
 1. It is the requirement of the ICC-certified CALGreen Building Inspector to review and understand the City of West Hollywood's Green Building Program Manual.  
 2. After the building permit has been issued, an ICC-certified CALGreen Building Inspector shall field verify all applicable requirements.  
 3. Prior to the installation of drywall, the general contractor or approved agent shall use an ICC-certified CALGreen Building Inspector to verify compliance with the Green Building Incremental Verification requirements. The general contractor shall then contact the West Hollywood Building & Safety Division at 323.984.7321 to schedule a Green Building Incremental Verification with a City Building Inspector. The CALGreen Building Inspector shall have confirmed all applicable items and present all required documentation.  
 4. Prior to final building approval, the general contractor or approved agent shall use an ICC-certified CALGreen Building Inspector to verify compliance with the Green Building Final Inspection requirements. The general contractor shall then contact the West Hollywood Building & Safety Division at 323.984.7321 to schedule a Green Building Final Inspection with a City Building Inspector. The CALGreen Building Inspector shall have confirmed all applicable items and present all required documentation.  
 5. The CALGreen Building Inspector shall also sign and complete the acknowledgement box in the upper right hand corner and post-construction verification.

**CALGreen Building Inspector Acknowledgement**

The project will be verified by a qualified CALGreen Building Inspector.

I have reviewed the project plans and specifications, and they are in conformance with the CALGreen and West Hollywood mandatory provisions claimed. I have reviewed and understand the post-construction requirements below.

Signature \_\_\_\_\_ Date \_\_\_\_\_

Print Full Name \_\_\_\_\_

Phone or Email \_\_\_\_\_

**SCHEDULE A GREEN BUILDING INCREMENTAL VERIFICATION DURING ROUGH INSPECTION**

Schedule a Green Building Incremental Verification if any of the following CALGreen or WHMC provisions are marked with an "X" under the "Y" column of this sheet.

- WHMC 19.28.150 Bicycle Parking & Facilities
- 5.106.8 Light Pollution Reduction / WHMC 19.20.100
- 5.303.1.1 Meters
- 5.303.1.2 Excess Consumption
- 5.410.2 Commissioning
- 5.410.4 Testing and Adjusting
- 5.504.3 Covering of duct openings and protection of mechanical equipment during construction
- 5.504.4 Finish Material Pollutant Control

**SECTION TO BE COMPLETED POST-CONSTRUCTION**

Schedule a two-part Final Green Building Inspection in accordance with the Nonresidential Green Building Guidelines.

For Part 1, prepare all submittals & supporting documentation for the items identified with an "X" under the "Y" column of this sheet.

For Part 2, prepare a field inspection for the items identified with an "X" under the "Y" column of this sheet.

I certify that:

There have been no alterations that have impacted the energy report for the project.

All mandatory CALGreen measures and required electives noted in the checklist have been implemented, unless a new checklist is provided along with supporting documentation.

Signature \_\_\_\_\_ Date \_\_\_\_\_

Project Address:  
 Case No:  
**2019 CALIFORNIA NONRESIDENTIAL CHECKLIST - CALGREEN + LOCAL REQUIREMENTS**

ISSUE	DATE	DESCRIPTION
	4/7/2023	AP SUBMITTAL
	6/9/2023	AP SUBMITTAL #2
REVISION	DATE	DESCRIPTION

**2019 NONRESIDENTIAL GREEN BUILDING CHECKLIST CALGREEN + LOCAL REQUIREMENTS**  
 Version 1.0

Title 24, Part 11, California Green Building Code (CALGreen) <http://www.bsc.ca.gov/Home/CALGreen.aspx>  
 City of West Hollywood Green Building Program and Resources <http://www.weho.org/greenbuilding>

Application: This plan sheet is for use by nonresidential additions (1,000 SF or greater), alterations with a permit valuation of \$200,000 or more, and any initial tenant improvements.

**GB-2**  
 NonRes

**G041**  
 GREEN BUILDING CHECKLIST

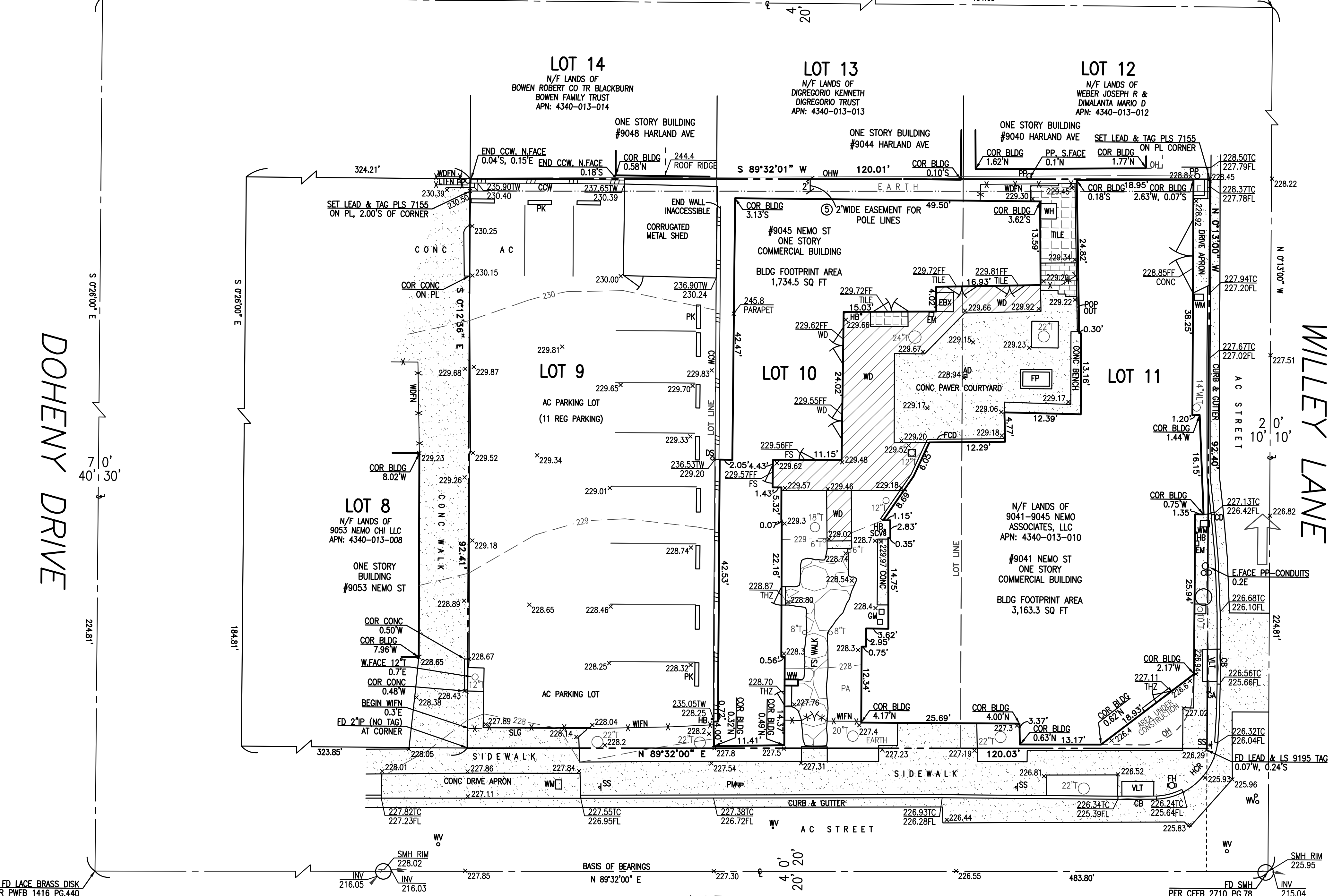




**LEGEND**

AC	ASPHALTIC CONCRETE
AD	AREA DRAIN
BLDG	BUILDING
CB	CATCH BASIN
CCW	CONCRETE WALL
CD	CURB DRAIN
CONC	CONCRETE
COR	CORNER
DS	DOWN SPOUT
E	EARTH
EBX	ELECTRIC PANEL BOX
EM	ELECTRIC METER
FC	FACADE
FD	FOUND
FF	FINISHED FLOOR
FH	FIRE HYDRANT
FL	FLOW LINE
FP	FIRE PIT/PLACE
FS	FLAGSTONE
GM	GAS METER
HB	HOSEBIB
HCR	HANDICAP RAMP
IP	IRON PIPE
LTFN	LATTICE FENCE
MLT	MULTI-STEM TREE
OH	OVERHEAD, OVERHANG
OHW	OVERHEAD WIRE
PA	PLANTED AREA
PK	PARKING BLOCK
PL	PROPERTY LINE
PM	PARKING METER
PP	POWER POLE
SCV	SPRINKLER CONTROL VALVE
SLG	SLIDING GATE
SMH	SEWER MANHOLE
SS	STREET SIGN
T	TREE
TC	TOP OF CURB
THZ	THRESHOLD
TW	TOP OF WALL
VL	VAULT
WD	WOOD
WDFN	WOOD FENCE
WIFN	WROUGHT IRON FENCE
WH	WATER HEATER
WM	WATER METER
WV	WATER VALVE
WW	WING WALL
N	NORTH OF PROPERTY LINE
S	SOUTH OF PROPERTY LINE
E	EAST OF PROPERTY LINE
W	WEST OF PROPERTY LINE

FD LACE BRASS DISK  
 PER R0FB 1416 PG.24



FD LACE BRASS DISK  
 PER PWF 1416 PG.440

**NOTES:**

- THIS SURVEY WAS PERFORMED IN ACCORDANCE WITH NORTH AMERICAN TITLE INSURANCE COMPANY TITLE REPORT POLICY NO. 147379, DATED NOVEMBER 22, 1994.
- APN: 4340-013-010  
 ADDRESS: 9041-9045 NEMO STREET  
 WEST HOLLYWOOD, CA 90069
- PROPERTY IS LOCATED IN FLOOD ZONE X (AREAS DETERMINED TO BE OUTSIDE OF THE 0.2% ANNUAL CHANCE FLOODPLAIN) PER FEMA FIRM MAP NUMBER 06037C1585F, EFFECTIVE DATE SEPTEMBER, 26 2008. FLOOD INSURANCE IS NOT REQUIRED.
- GROSS LAND AREA: LOT 9 = 3,696.8  
 LOT 10 = 3,696.8  
 LOT 11 = 3,696.8  
 TOTAL = 11,090 SQ FT (0.25 ACRES)
- THERE IS EVIDENCE OF RECENT EARTH MOVING WORK, BUILDING CONSTRUCTION, OR BUILDING ADDITIONS OBSERVED IN THE PROCESS OF CONDUCTING FIELD WORK.
- THERE IS EVIDENCE OF RECENT STREET OR SIDEWALK CONSTRUCTION OR REPAIRS OBSERVED IN THE PROCESS OF CONDUCTING FIELD WORK.
- SUBJECT PROPERTY CONTAINS 11 REGULAR MARKED PARKING SPACES.
- THERE ARE NO OFFSITE EASEMENTS ASSOCIATED WITH THE SUBJECT PARCEL.

**BASIS OF BEARINGS:**

THE BEARING OF NORTH 89° 32' 00" EAST FOR THE NORTH LINE OF NEMO STREET AS SHOWN ON THE MAP OF TRACT NO. 5150 M.B. 53-81, AND TRANSFERRED TO CENTERLINE, WAS USED AS THE BASIS OF BEARINGS SHOWN HEREON.

**SURVEYOR'S COMMENTS TO SCHEDULE B EXCEPTIONS**

- AN EASEMENT OR LESSER RIGHTS AFFECTING THE PORTION OF SAID LAND, AND FOR THE PURPOSES HEREIN STATED, AS DISCLOSED BY AN INSPECTION OF SAID LAND.  
 LOCATED ON SUBJECT PARCEL, SHOWN ON SURVEY.

**BENCH MARK:**

CITY OF LOS ANGELES PUBLIC WORKS BENCH MARK NO. 6Y11601  
 LA CITY BM DISK IN NW COR CB 10' W/O BCR 51' N/O C/L SANTA MONICA BLVD & 36' W/O C/L NEMO ST MKD (13-15931 2003)  
 ELEVATION = 226.548 (QUAD YEAR 2012)

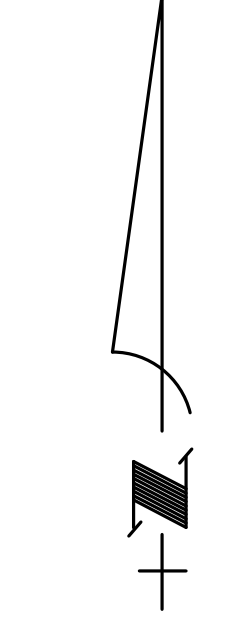
**CERTIFICATION**

TO: 9041-9045 NEMO ASSOCIATES, LLC  
 & NORTH AMERICAN TITLE INSURANCE COMPANY

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2021 MINIMUM STANDARDS DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY THE ALTA AND NSPS, AND INCLUDES ITEMS 1, 2, 3, 4, 5, 6(b), 7, 8, 9, 10, 13, 14, 16, 17, 18 & 19 OF TABLE A THEREOF. THE FIELDWORK WAS COMPLETED ON SEPTEMBER 23, 2022.



MARK YAMASHITA, PLS 7155 DATE OF PLAT OR MAP



SCALE: 1" = 10'

<b>BECKER AND MIYAMOTO, INC.</b>		JOB NO.	13610
LICENSED LAND SURVEYORS		DRAWN BY:	H
5601 W. WASHINGTON BLVD. LOS ANGELES, CA. 90016 (323) 592-3589		CHECKED BY:	MY
ALTA/NSPS LAND TITLE SURVEY		DATE OF SURVEY:	9-23-22
LOT 9, LOT 10 & LOT 11 OF TRACT NO. 5150, M.B. 53-81		SHEET	1
MARK YAMASHITA PLS 7155		OF	1

**SOMNI 2.0**

9045 Nemo Street  
 West Hollywood, CA 90069  
 22-011

ISSUE	DATE	DESCRIPTION
	4/7/2023	AP SUBMITTAL
	6/9/2023	AP SUBMITTAL #2

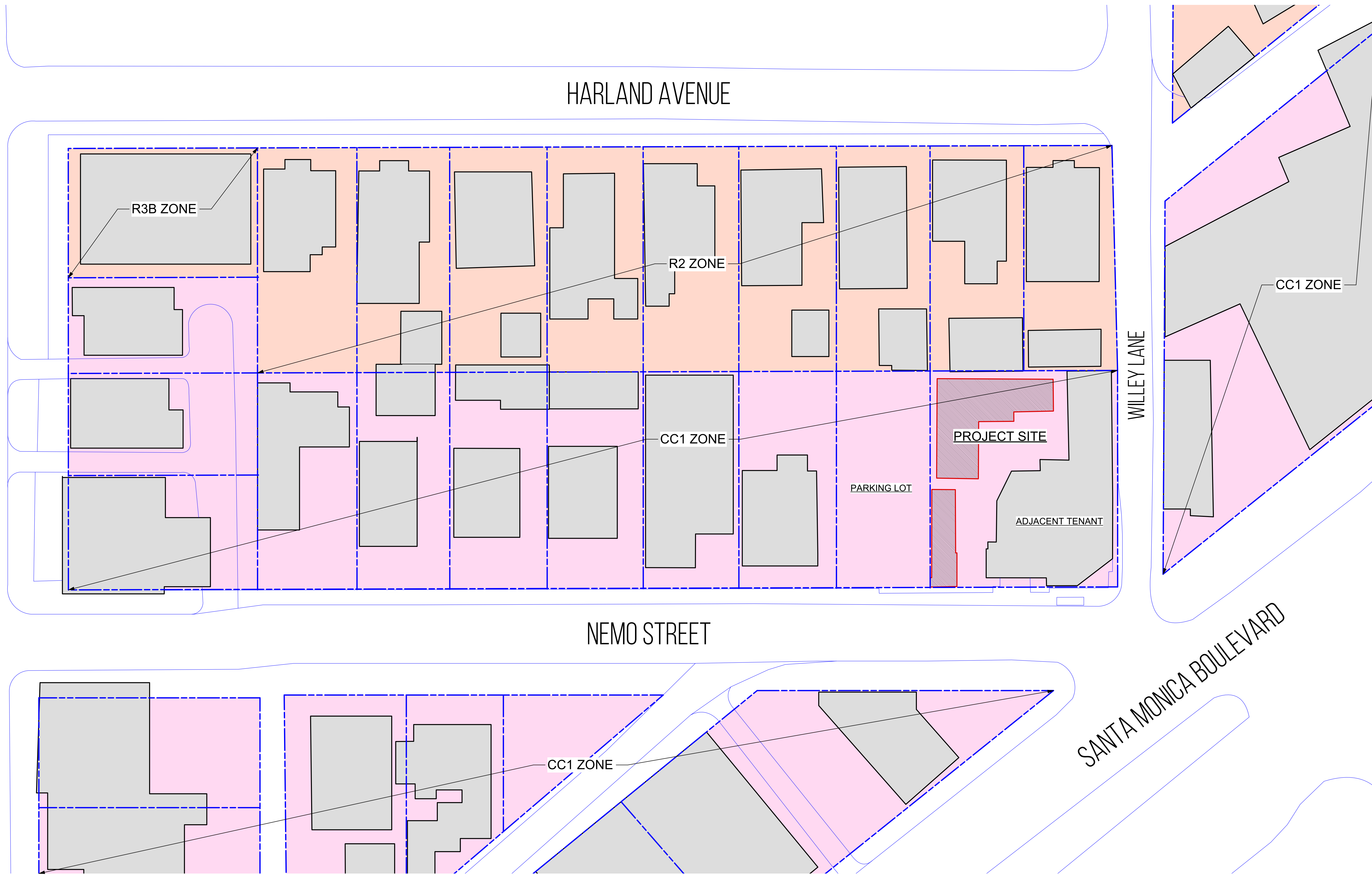
REVISION	DATE	DESCRIPTION
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**G051**  
 SITE SURVEY

SCALE: 1/4" = 1'-0"  
 DATE: 06.09.2023



N. DOHENY DRIVE



HARLAND AVENUE

NEMO STREET

WILLEY LANE

SANTA MONICA BOULEVARD

R3B ZONE

R2 ZONE

CC1 ZONE

CC1 ZONE

PROJECT SITE

PARKING LOT

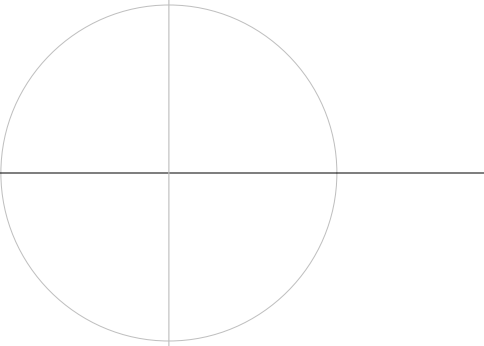
ADJACENT TENANT

CC1 ZONE

ISSUE	DATE	DESCRIPTION
	4/7/2023	AP SUBMITTAL
	6/9/2023	AP SUBMITTAL #2

REVISION	DATE	DESCRIPTION
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 9045 Nemo Street  
 West Hollywood, CA 90069  
 22-011

ISSUE	DATE	DESCRIPTION
	4/7/2023	AP SUBMITTAL
	6/9/2023	AP SUBMITTAL #2

REVISION	DATE	DESCRIPTION
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**G053**  
 AERIAL PHOTO





9045 NEMO  
 PROPOSED PHOTOMONTAGE



NORTH SIDE COMPOSITE BLOCK PHOTOGRAPH

# NEMO STREET



SOUTH SIDE COMPOSITE BLOCK PHOTOGRAPH

## SOMNI 2.0

9045 Nemo Street  
 West Hollywood, CA 90069  
 22-011

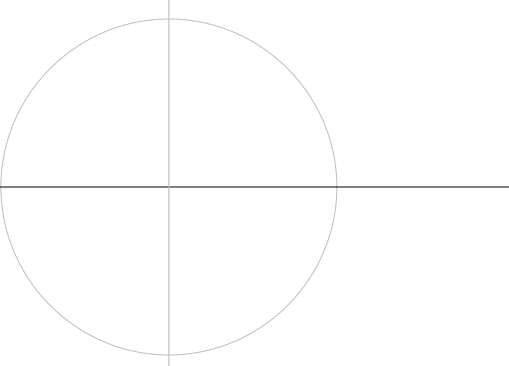
ISSUE	DATE	DESCRIPTION
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	6/9/2023	AP SUBMITTAL #2

REVISION	DATE	DESCRIPTION
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## G054 BLOCK FRONTAGE PHOTOS

SCALE: 1/4" = 1'-0"  
 DATE: 06.09.2023





**SOMNI 2.0**

9045 Nemo Street  
 West Hollywood, CA 90069  
 22-011

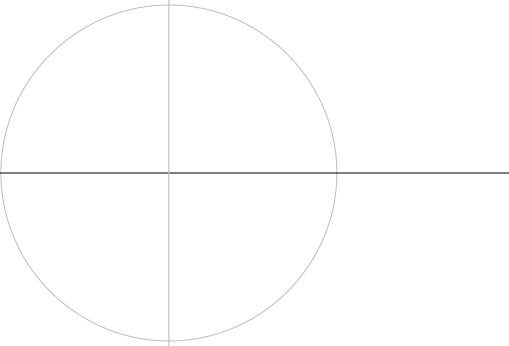
ISSUE	DATE	DESCRIPTION
	4/7/2023	AP SUBMITTAL
	6/9/2023	AP SUBMITTAL #2

REVISION	DATE	DESCRIPTION
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**G055**  
 PROPOSED  
 RENDERING:

SCALE: N/A  
 DATE: 06.09.2023





**SOMNI 2.0**

9045 Nemo Street  
West Hollywood, CA 90069  
22-011

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REVISION	DATE	DESCRIPTION
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**G056**  
PROPOSED  
RENDERING:  
COURTYARD

SCALE: N/A  
DATE: 06.09.2023

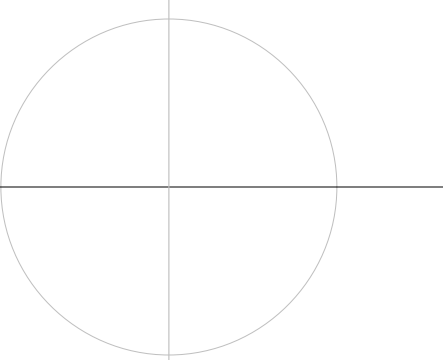




MAIN DINING ROOM



PRIVATE DINING ROOM



**SOMNI 2.0**

9045 Nemo Street  
 West Hollywood, CA 90069  
 22-011

ISSUE	DATE	DESCRIPTION
	4/7/2023	AP SUBMITTAL
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REVISION	DATE	DESCRIPTION
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**G057**  
 PROPOSED  
 RENDERING:  
 INTERIOR

SCALE: N/A  
 DATE: 06.09.2023



WHITE PAINT: STONE CLADDING

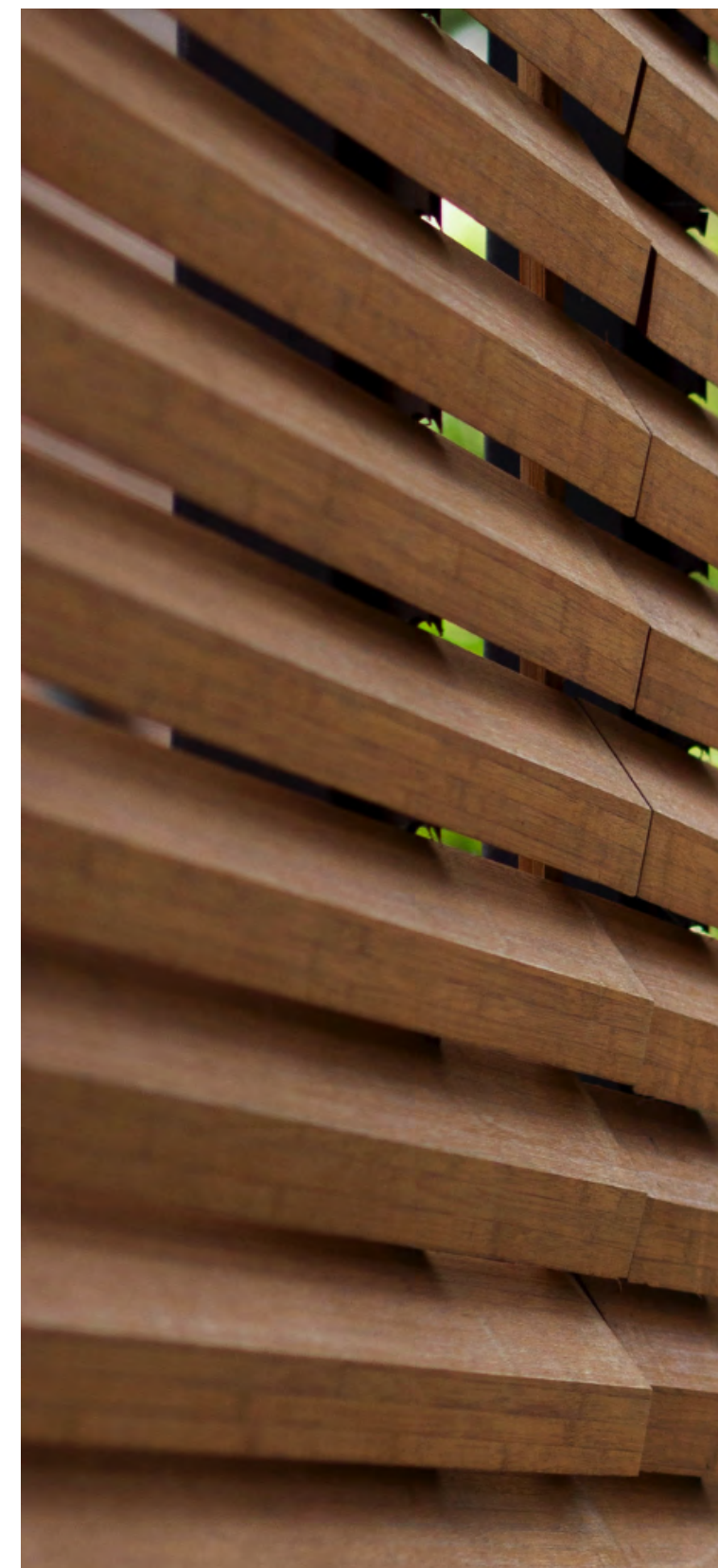


RAL 9010 PURE WHITE

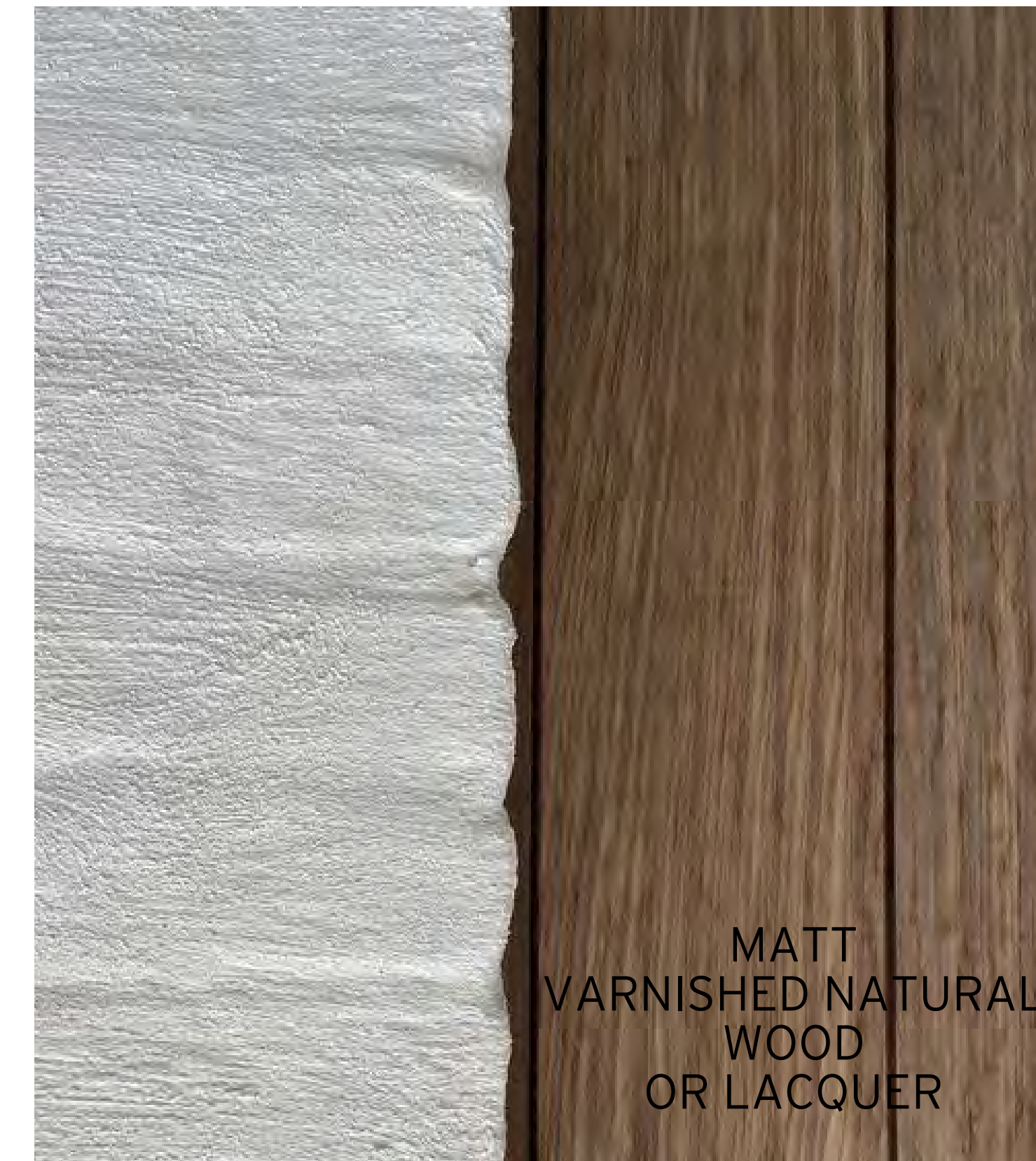
WHITE PAINT: WOOD CLADDING & SCREENING SLATS



RAL 9010 PURE WHITE



DOOR & WINDOW FRAMES



MATT  
VARNISHED NATURAL  
WOOD  
OR LACQUER

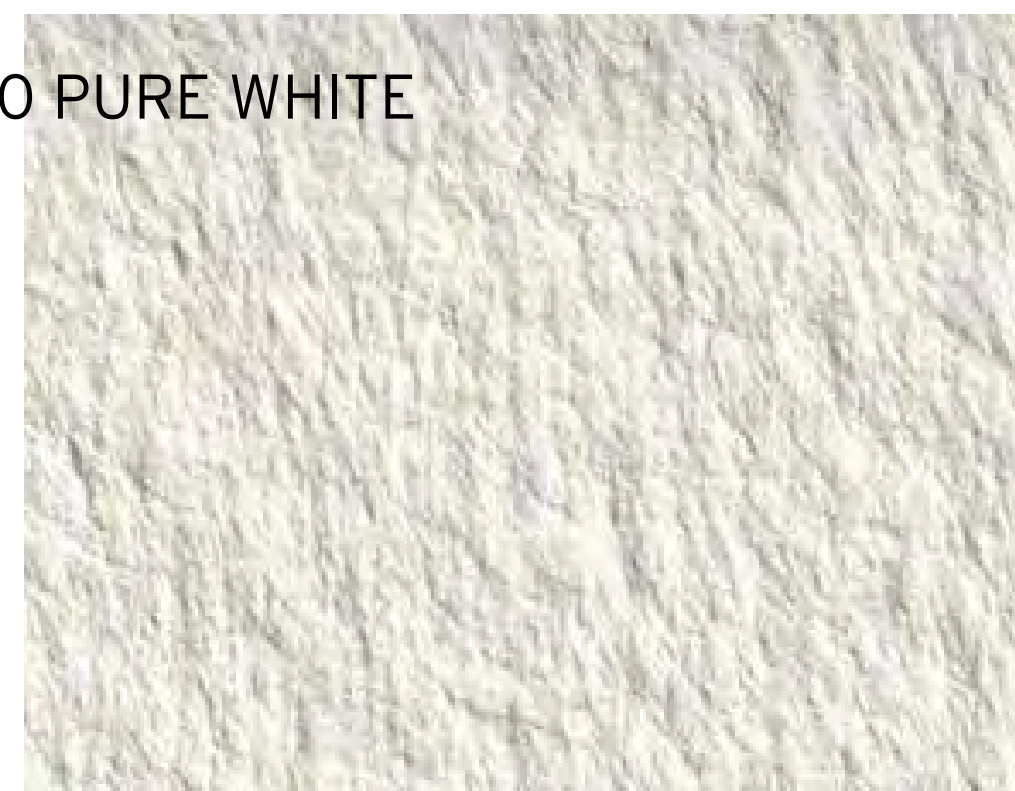
LIMESTONE FLOORING



SMOOTH WHITE STUCCO FACADE



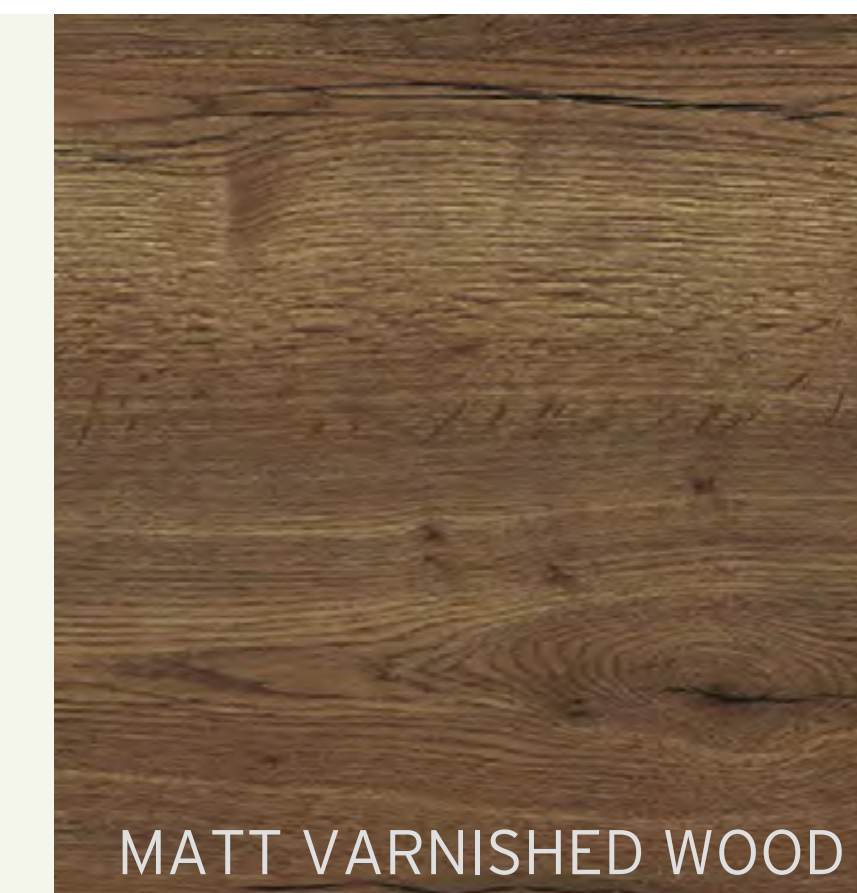
RAL 9010 PURE WHITE



LACQUER COLORS

LACQUER ON  
METAL ELEMENTS  
GATES & FENCES

RAL 9010 PURE WHITE



MATT VARNISHED WOOD

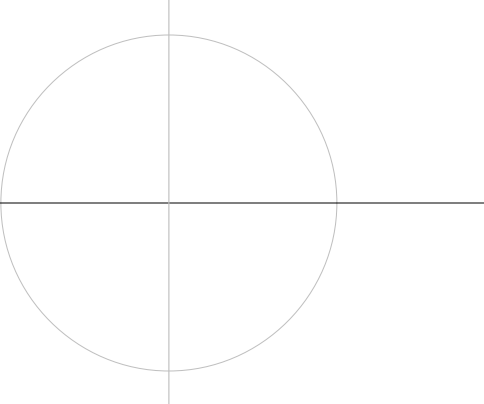
MATT BRASS "SOMNI" SIGNAGE



DOOR & WINDOW FRAME LACQUER:  
NATURAL WOOD MATCHING RAL COLOR

RAL 8028 TERRA BROWN

RAL 8025 PALE BROWN



SOMNI 2.0

9045 Nemo Street  
West Hollywood, CA 90069  
22-011

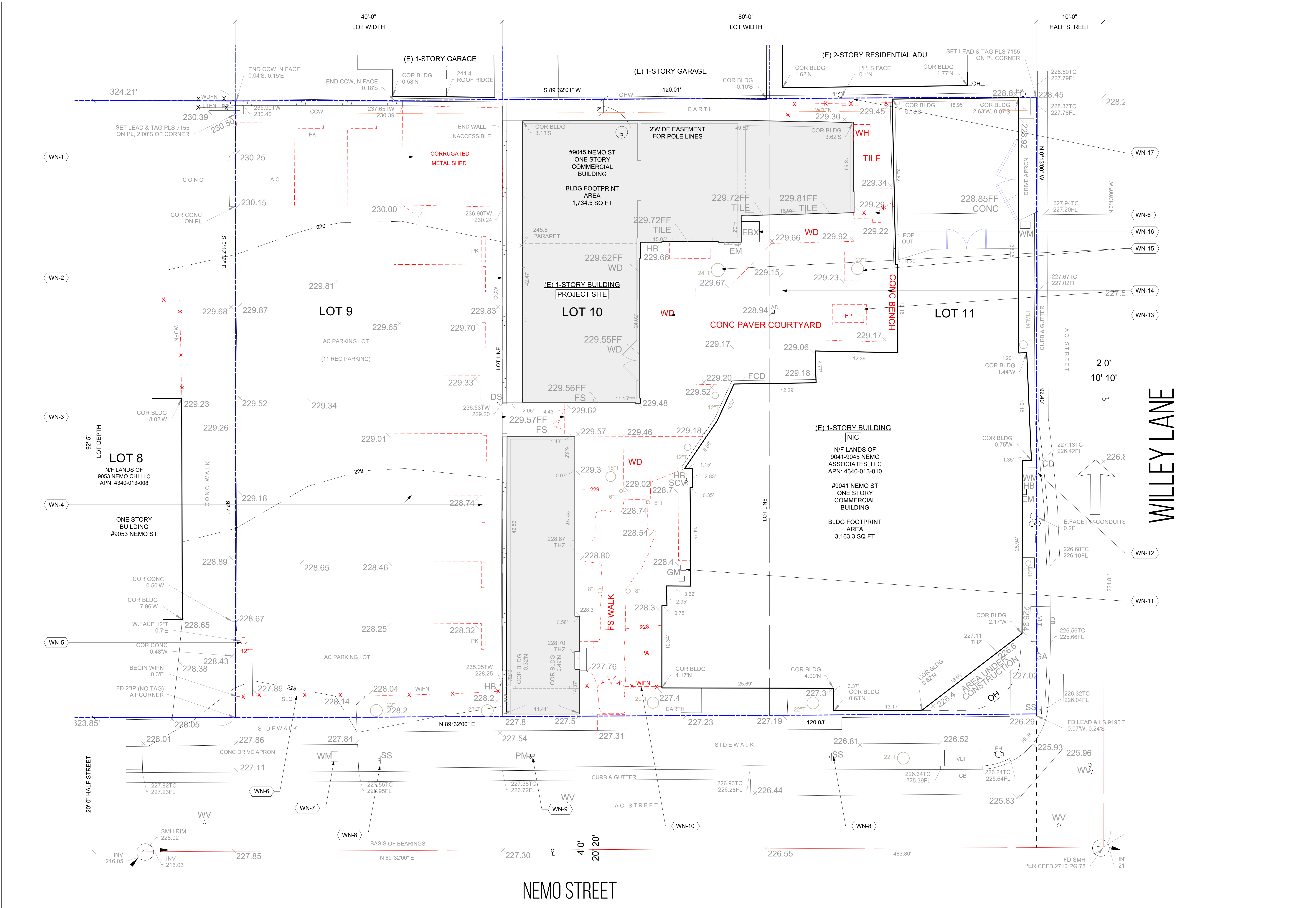
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	4/7/2023	AP SUBMITTAL
	6/9/2023	AP SUBMITTAL #2

REVISION	DATE	DESCRIPTION
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G058  
MATERIAL BOARD

SCALE: N/A  
DATE: 06.09.2023





**SITE PLAN WORK NOTES**

- WN-1. REMOVE (E) CORRUGATED METAL SHED
- WN-2. (E) 7' HIGH CMU SITE WALL TO REMAIN
- WN-3. REMOVE RESTROOM AND PORTION OF SITE WALL FOR NEW EGRESS OPENING
- WN-4. REMOVE (E) STRIPING & RELOCATE (E) WHEELSTOPS
- WN-5. REMOVE (E) TREE
- WN-6. REMOVE (E) GATE AND FENCE
- WN-7. (E) WATER METER UPGRADE TO 1 1/2" - 2" SERVICE FOR NEW USE
- WN-8. (E) STREET SIGN TO REMAIN
- WN-9. (E) PARKING METER TO REMAIN
- WN-10. REMOVE (E) WROUGHT IRON FENCE AND GATE
- WN-11. (E) GAS SERVICE ENTRANCE UPGRADE METER AND TENANT PIPING
- WN-12. (E) WATER SERVICE ENTRANCE: INADEQUATE, ABANDON
- WN-13. REMOVE (E) WOOD DECKING
- WN-14. REMOVE (E) COURTYARD PAVERS, FIREPIT, BENCHES
- WN-15. PROTECT & MAINTAIN (E) TREES PER ARBORIST REPORT, TYPICAL
- WN-16. (E) ELEC. METER & SERVICE ENTRANCE
- WN-17. REPLACE (E) 6' WOOD FENCE

**LEGEND**

- ACCESSIBLE ROUTE
- (E) BUILDING TO REMAIN
- (E) CONSTRUCTION TO BE DEMOLISHED
- SANITARY SEWER LATERAL
- DOMESTIC WATER LINE
- PROPERTY LINE
- SETBACK LINE
- EASEMENT LINE
- CENTERLINE OF ROAD

**SOMNI 2.0**  
 9045 Nemo Street  
 West Hollywood, CA 90069  
 22-011

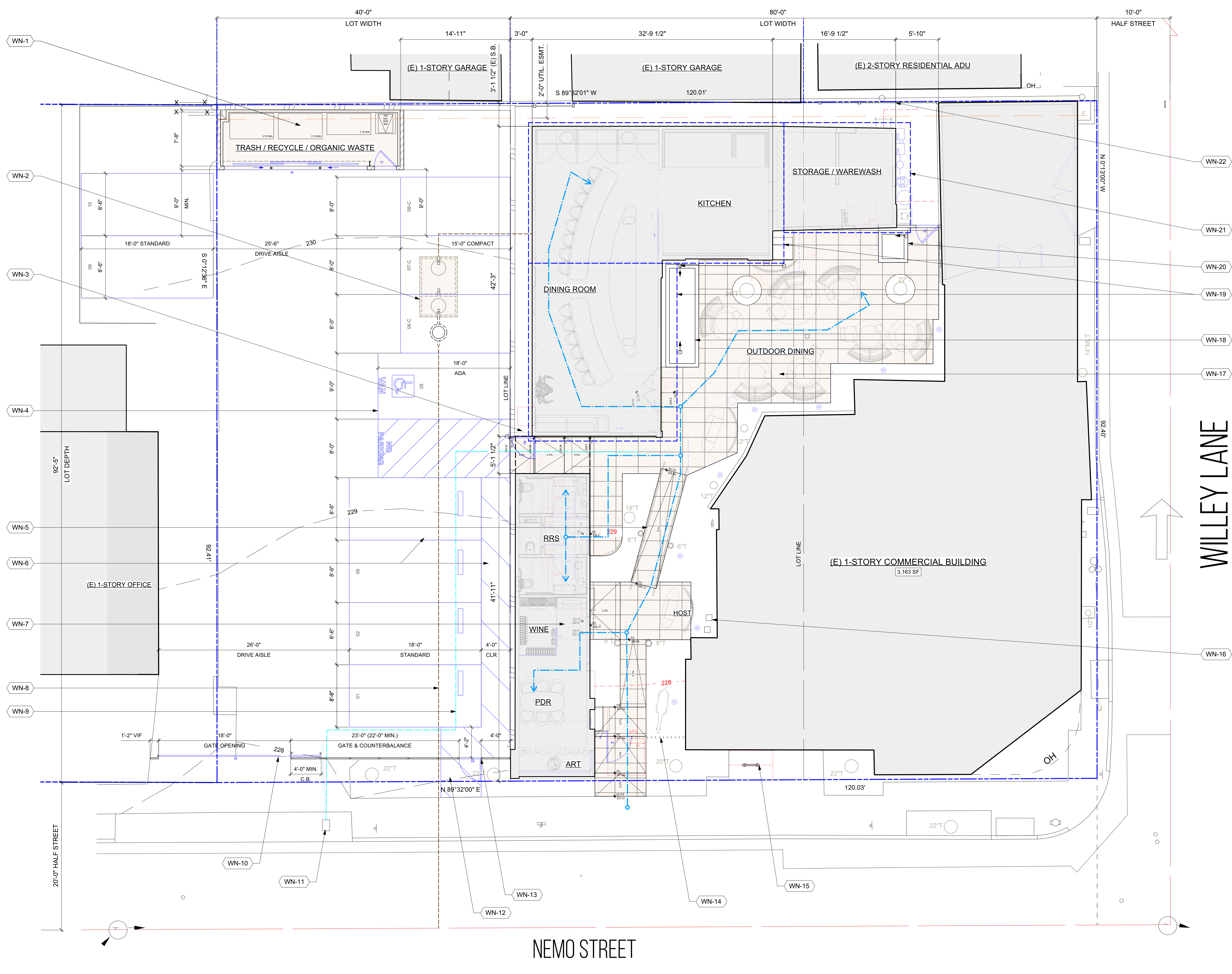
ISSUE	DATE	DESCRIPTION
	4/7/2023	AP SUBMITTAL
	6/9/2023	AP SUBMITTAL #2

REVISION	DATE	DESCRIPTION
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**A000**  
 EXISTING SITE PLAN

SCALE: 3/16" = 1'-0"  
 DATE: 06.09.2023





**WILLEY LANE**

**NEMO STREET**

**SOMNI 2.0**  
 9045 Nemo Street  
 West Hollywood, CA 90069  
 22-011

ISSUE	DATE	DESCRIPTION
	4/7/2023	AP SUBMITTAL
	6/9/2023	AP SUBMITTAL #2

REVISION DATE DESCRIPTION

**LID CALCULATIONS**

IMPERVIOUS SURFACE REPLACED OR DISTURBED	AREA
COURTYARD PAVING	1,135 SF
REFUSE AREA	208 SF
GREASE INTERCEPTOR	41 SF
<b>TOTAL</b>	<b>1,384 SF</b>

TREATED TO OFFSET REPLACED / DISTURBED IMPERVIOUS AREA	AREA
ROOF TRIBUTARY AREA 1	1,159 SF
ROOF TRIBUTARY AREA 2	259 SF
<b>TOTAL</b>	<b>1,418 SF</b>

**1,418 SF TREATED > 1,384 SF DISTURBED — OK!!**

**SITE PLAN WORK NOTES**

- WN-1. NEW TRASH / RECYCLING / ORGANICS ENCLOSURE 208 SF IMPERVIOUS
- WN-2. NEW GREASE INTERCEPTOR 41 SF IMPERVIOUS
- WN-3. (N) 7' HIGH CMU SITE WALL TO MATCH EXISTING ADJACENT
- WN-4. ACCESSIBLE VAN STALL
- WN-5. RAMPED CIRCULATION AT COURTYARD
- WN-6. REMOVE (E) STRIPING & RELOCATE (E) WHEELSTOPS

- WN-7. REMOVE SLAB AND POUR NEW SLAB ON GRADE 8" LOWER TO CREATE ACCESSIBLE ROUTE TO THIS SPACE
- WN-8. NEW SANITARY SEWER LATERAL
- WN-9. NEW UPGRADED DOMESTIC WATER LINE
- WN-10.(N) CANTILEVERED SLIDING STEEL GATE AND FENCE
- WN-11.(E) WATER METER UPGRADE TO 1 1/2" - 2" SERVICE FOR NEW USE
- WN-12. NEW CONCRETE PAVING AT PEDESTRIAN GATE

- WN-13.(N) STEEL GATE AND FENCE @ PARKING
- WN-14.(N) STEEL GATE AND FENCE @ ENTRY
- WN-15.(2) NEW SHORT TERM BIKE SPACES PER WHMC
- WN-16.(E) GAS SERVICE ENTRANCE UPGRADE METER AND TENANT PIPING
- WN-17. COURTYARD PAVING 1135 SF IMPERVIOUS
- WN-18. LID PLANTER 1— 46 SF | T.O.W. ±30" AFG

- WN-19. ROOF TRIBUTARY AREA 1— 668 + 491 = 1159 SF @ 4% = 46 SF LID PLANTER REQ'D
- WN-20. LID PLANTER 2— 10 SF | T.O.W. ±50" AFG
- WN-21. ROOF TRIBUTARY AREA 2— 259 SF @ 4% = 10 SF LID PLANTER REQ'D
- WN-22. REPLACE (E) 6" WOOD FENCE

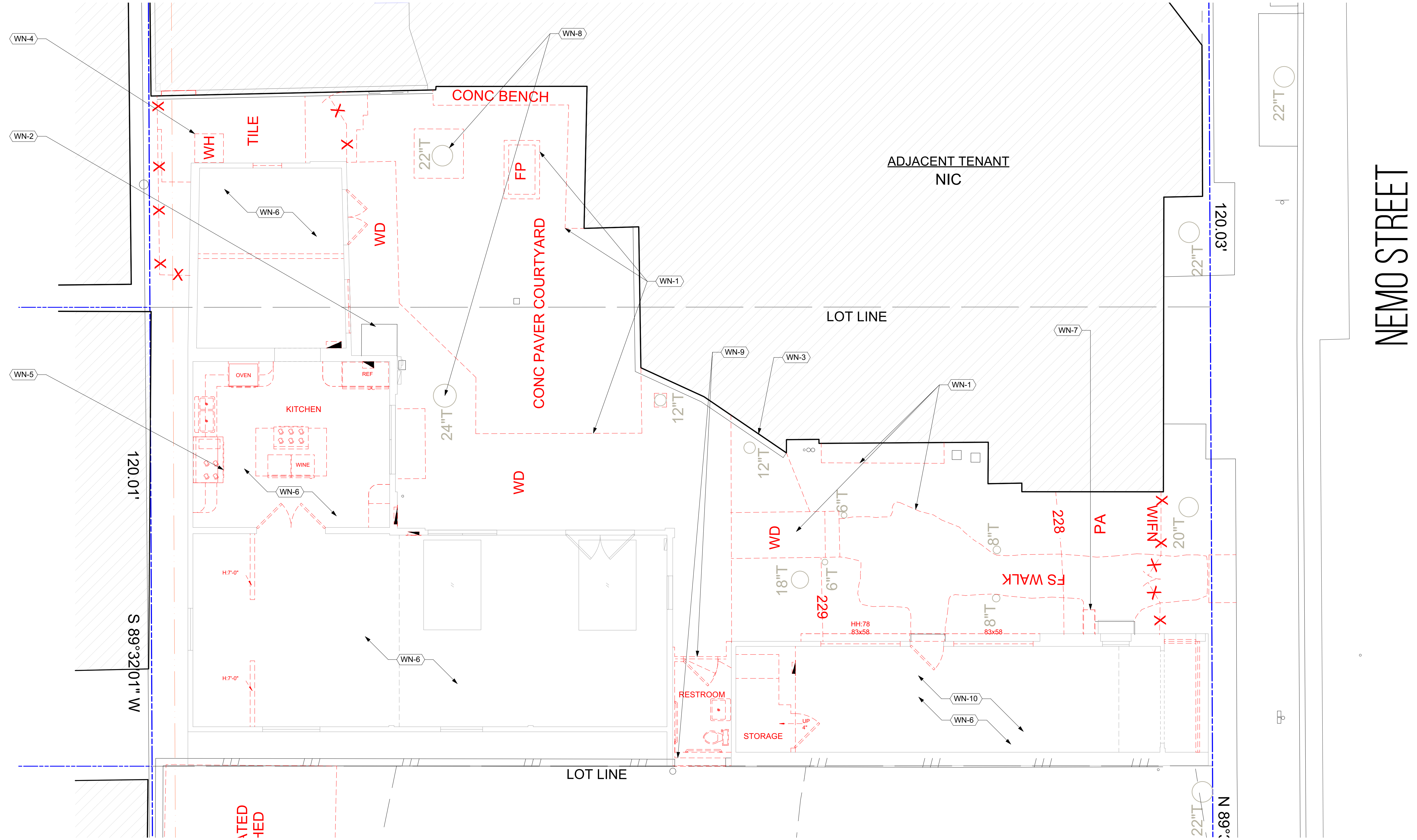
**LEGEND**

- ACCESSIBLE ROUTE
- (E) BUILDING TO REMAIN
- (E) CONSTRUCTION TO BE DEMOLISHED
- SANITARY SEWER LATERAL
- DOMESTIC WATER LINE
- PROPERTY LINE
- SETBACK LINE
- EASEMENT LINE
- CENTERLINE OF ROAD

**A001**  
**PROPOSED SITE PLAN**

SCALE: 3/16" = 1'-0"  
 DATE: 06.09.2023





**SOMNI 2.0**  
 9045 Nemo Street  
 West Hollywood, CA 90069  
 22-011

ISSUE	DATE	DESCRIPTION
	4/7/2023	AP SUBMITTAL
	6/9/2023	AP SUBMITTAL #2

REVISION	DATE	DESCRIPTION
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**DEMOLITION GENERAL NOTES**

- PROPOSED UTILITY CONNECTIONS ARE SHOWN SCHEMATICALLY TO ILLUSTRATE DESIGN INTENT. THE GENERAL CONTRACTOR SHALL COORDINATE DIRECTLY WITH EACH UTILITY COMPANY AND FULLY COORDINATE THEIR RESPECTIVE REQUIREMENTS TO AVOID CONFLICTS. WHERE ISSUES ARISE WHICH CONFLICT WITH DESIGN INTENT, GC SHALL BRING THESE TO THE ARCHITECT'S ATTENTION FOR FURTHER DIRECTION.
- ALL DEBRIS SHALL BE REMOVED FROM THE SITE ON A DAILY BASIS IN ACCORDANCE WITH ALL MUNICIPAL, STATE AND FEDERAL REQUIREMENTS FOR WASTE DISPOSAL. AREA OF WORK SHALL BE CLEANED THOROUGHLY EACH DAY.
- WHERE SELECTIVE DEMOLITION IS INDICATED, GENERAL CONTRACTOR SHALL TAKE PRECAUTIONS TO MINIMIZE DAMAGE TO ADJACENT FINISHES. WHERE DAMAGE IS UNAVOIDABLE, PATCH AND REPAIR TO MATCH EXISTING.
- GENERAL CONTRACTOR SHALL CONSULT WITH OWNER REGARDING WHETHER ITEMS TO BE REMOVED SHALL BE PROTECTED AND STORED FOR REUSE.
- ALL PROPOSED DEMOLITION IS NON-STRUCTURAL U.O.N. GENERAL CONTRACTOR SHALL PERFORM EXPLORATORY DEMOLITION TO CONFIRM PROPOSED DEMOLITION WILL NOT AFFECT STRUCTURAL ELEMENTS, EXISTING TO REMAIN MEP SYSTEMS OR OTHER HIDDEN CONDITIONS. CONSULT WITH ARCHITECT AND OWNER BEFORE PROCEEDING WITH WORK IF EXPLORATORY DEMOLITION IS INCONCLUSIVE.
- WHERE EXISTING FLOOR FINISHES ARE SCHEDULED TO BE REMOVED, CONFIRM THAT EXISTING ATTACHMENT METHOD (CARPET OR TILE ADHESIVE, E.G.) CAN BE ADEQUATELY REMOVED AND SURFACE CAN BE PREPARED FOR NEW FINISH PRIOR TO PROCEEDING WITH FULL DEMOLITION OF MATERIAL.
- THE CONTRACTOR SHALL PROTECT EXISTING ACTIVE SERVICES AND UTILITY LINES ENCOUNTERED. DO NOT INTERRUPT SERVICES TO OTHER PARTS OF THE SITE. TEMPORARY SHUTDOWN OF SERVICES, IF REQUESTED, SHALL BE DONE ONLY WITH APPROVAL OF THE OWNER.
- THE CONTRACTOR SHALL NOTIFY THE ARCHITECT OF ANY DISCREPANCIES / FIELD CONDITIONS OR OTHERWISE THAT MAY ALTER THE OUTLINED DESIGN INTENT.
- ALL EXISTING POWER RECEPTACLES, SWITCHES, CONTROL DEVICES SHALL BE REMOVED FROM DEMOLISHED WALLS AND CEILINGS BACK TO FIRST JUNCTION BOX. RELOCATE CONTROL DEVICES AS NECESSARY.
- REMOVE ALL ABANDONED COMMUNICATION AND TELEPHONE CABLING AND EQUIPMENT FROM THE SPACE WHEREVER ENCOUNTERED.
- THE CONTRACTOR SHALL PROVIDE SHORING, BRACING AND OTHER SIMILAR MEANS AND METHODS TO TEMPORARILY SUPPORT EXISTING CONSTRUCTION WHERE DEMOLITION CREATES INSTABILITY.

**DEMOLITION PLAN WORK NOTES**

- WN-1. REMOVE (E) PAVING, DECKING AND SITE WORK IN COURTYARD
- WN-2. EXISTING ELEC. METER & SWITCHGEAR TO REMAIN
- WN-3. REMOVE (E) WINDOW AT NEIGHBORING WALL; INFILL TO MATCH ADJACENT
- WN-4. REMOVE (E) WATER HEATER
- WN-5. REMOVE (E) KITCHEN APPLIANCES
- WN-6. REMOVE ALL (E) GYPSUM BOARD AT INTERIOR
- WN-7. REMOVE (E) NON STRUCTURAL STACKED STONE WING WALL
- WN-8. ALL EXISTING TREES TO REMAIN; PROTECT PER ARBORIST'S REPORT
- WN-9. REMOVE RESTROOM AND PORTION OF SITE WALL FOR NEW EGRESS OPENING
- WN-10. REMOVE (E) FLOOR SLAB IN PREPARATION FOR LOWERING FLOOR LEVEL FOR ACCESSIBILITY

**DEMOLITION PLAN LEGEND**

- NOT IN SCOPE
- (E) CONSTRUCTION TO REMAIN
- (E) CONSTRUCTION TO BE REMOVED

**A101**  
 DEMOLITION PLAN

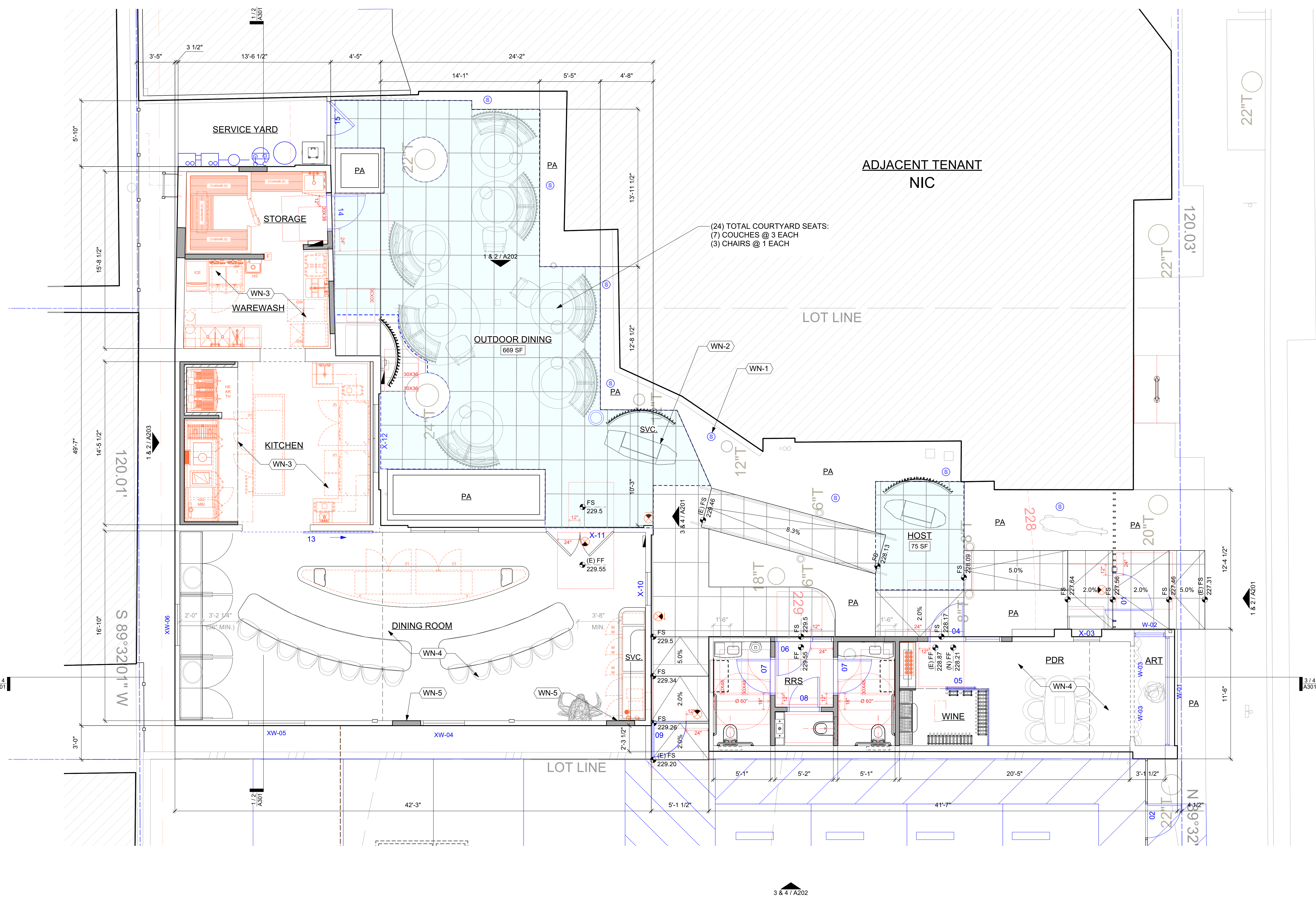
SCALE: 1/4" = 1'-0"  
 DATE: 06.09.2023











NEMO STREET

**AREA BREAKDOWN**

INTERIOR SQUARE	AREA
STORAGE & WAREWASH	234 SF
KITCHEN	273 SF
DINING ROOM	747 SF
RESTROOMS	172 SF
WINE STORAGE & PDR	259 SF
<b>TOTAL</b>	<b>1,685 SF</b>
<b>EXTERIOR</b>	
HOST	75 SF
OUTDOOR DINING	669 SF
<b>TOTAL</b>	<b>744 SF</b>

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 9045 Nemo Street  
 West Hollywood, CA 90069  
 22-011

- PARTITION NOTES**
- CLEAN AND PREPARE BASE BUILDING PARTITIONS FOR REVIEW BY ARCHITECT AND OWNER. ALL AREAS SCHEDULED WITH GYPSUM BOARD SHALL BE PAINT READY.
  - ALIGNMENT OF DOOR HEADS AND OTHER CRITICAL HORIZONTAL ELEMENTS SHALL BE MAINTAINED AT A CONSTANT LEVEL RELATIVE TO THE CEILING PLANE AND SHALL NOT FOLLOW VARIATIONS IN THE FLOOR PLANE.
  - PARTITION LAYOUT SHALL BE APPROVED BY ARCHITECT IN FIELD BEFORE FRAMING COMMENCES. G.C. TO NOTIFY ARCHITECT 5 BUSINESS DAYS PRIOR TO LAYOUT REVIEW DATE.
  - ALL DIMENSIONS SHOWN ARE TO THE FACE OF FRAMING, U.O.N.
  - ALL DIMENSIONS INDICATED AS CLEAR OR "O.N." SHALL BE MAINTAINED. ANY DISCREPANCY SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT BEFORE PROCEEDING WITH CONSTRUCTION. ANY DIMENSION INDICATED TO BE VERIFIED IN THE FIELD OR "V.F." SHALL BE REVIEWED WITH THE ARCHITECT BEFORE BEGINNING CONSTRUCTION.
  - CONTRACTOR SHALL MAINTAIN OR RESTORE THE INTEGRITY OF EXISTING SOUND AND/OR FIRE-RATED PARTITIONS ALTERED DURING THE COURSE OF CONSTRUCTION.
  - PARTITION TYPES ABOVE DOORS SHALL BE SAME AS THAT OF ADJACENT PARTITIONS (U.O.N.).
  - ALL OUTSIDE CORNERS OF GYPSUM BOARD SHALL RECEIVE METAL CORNERS BEADS, (U.O.N.). SUPPLY AND INSTALL OTHER METAL TRIM AT GYPSUM BOARD EDGES (CASING BEADS ETC.) PER MANUFACTURER'S RECOMMENDATIONS.
  - ALL OUTSIDE CORNERS OF GYPSUM BOARD SHALL RECEIVE METAL CORNERS BEADS, (U.O.N.). SUPPLY AND INSTALL OTHER METAL TRIM AT GYPSUM BOARD EDGES (CASING BEADS ETC.) PER MANUFACTURER'S RECOMMENDATIONS.
  - ALL PARTITIONS AND MILLWORK ADJUTING EXISTING CONSTRUCTION SHALL BE FABRICATED TO ALIGN WITH FINISH FACE OF CONSTRUCTION (U.O.N.).
  - PROVIDE BRACING TO DECK ABOVE AT ALL DOOR JAMBS, WINDOWS, MILLWORK AND OTHER CONSTRUCTION EXTENDING TO CEILING.
  - PROVIDE ADDITIONAL FRAMING AS REQUIRED FOR SECURE INSTALLATIONS OF OUTLET GROUPINGS. COORDINATE WITH ENGINEERING DRAWINGS.
  - ALL PARTITIONS WITHIN 6 FEET OF WET AREAS (KITCHENS, RESTROOMS, JANITOR CLOSETS, ETC.) SHALL BE MOISTURE RESISTANT GYPSUM BOARD.
  - G.C. TO PROVIDE AND INSTALL CONCEALED BLOCKING OR 16 GA STRAPPING AT ALL LOCATIONS WHERE NEW AND RECONFIGURED MILLWORK ARE TO BE FASTENED. COORDINATE WITH MILLWORKER TO ACHIEVE SECURE AND RIGID INSTALLATION OF THESE COMPONENTS.
  - PROVIDE AND INSTALL BUILDING STANDARD FIRE EXTINGUISHERS AND CABINETS WHERE REQUIRED BY APPLICABLE CODES AND AS DIRECTED BY THE ARCHITECT BEFORE BEGINNING OF CONSTRUCTION.

- MILLWORK NOTES**
- SUBMIT SHOP DRAWINGS AND CATALOG CUT SHEETS OF MILLWORK & HARDWARE FOR REVIEW BY THE ARCHITECT PRIOR TO FABRICATION. SHOP DRAWINGS SHALL SHOW THE DESIGN AND DIMENSIONS, AND CLEARLY INDICATE IN LARGE SCALE THE CONSTRUCTION, JOINERY AND FASTENING OF THE VARIOUS COMPONENTS, AND SHALL INCLUDE ALL PERTINENT DATA AND INFORMATION REQUIRED FOR CONSTRUCTION. ANY VARIATION FROM THE DESIGN DRAWING MUST BE CLEARLY NOTED. FABRICATION OF MILLWORK SHALL NOT PROCEED UNTIL SHOP DRAWINGS HAVE BEEN APPROVED BY THE ARCHITECT.
  - IF THE METHOD OF MANUFACTURING, FABRICATING, AND INSTALLING MILLWORK AND EQUIPMENT AND THEIR STRUCTURAL COMPONENTS DEFINED IN THE CONTRACT DOCUMENTS ARE AT VARIANCE WITH THE G.C.'S OR MANUFACTURER'S RECOMMENDATIONS, ALTERNATE DETAILS WILL BE CONSIDERED FOR REVIEW WHEN SHOP DRAWINGS ARE SUBMITTED IN ACCORDANCE WITH THE CONTRACT DOCUMENTS. IT SHALL BE THE RESPONSIBILITY OF THE G.C. TO GUARANTEE THAT THE MILLWORK AND EQUIPMENT WILL HAVE PROPER SUPPORT, STABILITY AND FAULT-FREE PERFORMANCE.
  - MILLWORK COVERED IN WOOD VENEER OR PLASTIC LAMINATE SHALL BE SHOP-FABRICATED AND ASSEMBLED ON SITE BY SKILLED WORKMEN TO THE COMPLETE SATISFACTION OF THE ARCHITECT. REINFORCING AS REQUIRED TO ENSURE A RIGID AND SECURE ASSEMBLY SHALL BE PROVIDED, EVEN IF NOT DETAILED ON THE DESIGN DRAWINGS. EXPOSED SURFACES SHALL BE FREE FROM DENTS, TOOL MARKS, WARPING, BUCKLING, GLUE AND OPEN JOINTS. ALL JOINTS, CORNERS AND MITERED CONNECTIONS SHALL BE MADE TIGHTLY SO THAT FASTENINGS IS ENTIRELY CONCEALED. ALL EXPOSED LAMINATE JOINTS SHALL BE SHOWN ON SHOP DRAWINGS AND APPROVED BY THE ARCHITECT.
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  - BEFORE PROCEEDING WITH FABRICATION, THE MILLWORKER SHALL VISIT THE SITE TO OBTAIN FIELD MEASUREMENTS AND VERIFY DIMENSIONS. PROVIDE SHOP DRAWINGS INCLUDING INSTALLATION DETAILS TO ENSURE AN ACCURATE FIT. ANY DISCREPANCY FOUND IN THE FIELD SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT FOR DIRECTION.
  - IT IS THE INTENT OF THE ARCHITECT THAT THE HARDWARE SHALL REPRESENT THE HIGHEST QUALITY AND LASTING DURABILITY FOR ITS SPECIFIC FUNCTION. IF, IN THE OPINION OF THE G.C. OR FABRICATOR, THE HARDWARE INDICATED ON THE DRAWINGS DOES NOT REPRESENT THE ABOVE STATED INTENT, THEY SHALL NOTIFY THE ARCHITECT IN WRITING WITH STATED REASONS AND PROPOSED SUBSTITUTIONS.
  - MILLWORK SHALL BE INSTALLED PLUMB, LEVEL, TRUE AND STRAIGHT WITH NO VISIBLE DISTORTIONS. USE CONCEALED BLOCKING, SHIMS, SCRIBES AND OTHER MEANS AND METHODS AS REQUIRED TO MEET THIS CRITERION.
  - SCRIBE MILLWORK TO FIT ADJOINING CONSTRUCTION. EXISTING TO REMAIN AND NEW REFINISH CUT SURFACES AND REPAIR DAMAGED FINISH AT CUTS. PROVIDE AND INSTALL MATCHING SEALANT AT ALL JOINTS.
  - MILLWORK SHALL BE SECURELY ANCHORED TO CONCEALED BLOCKING OR DIRECTLY ATTACHED TO SUBSTRATE. SECURE TO GROUND, STRAPPING AND BLOCKING WITH COUNTER-SUNK FASTENERS CONCEALED WITH MATCHING PLUGS OR CAPS, U.O.N.
  - ALL ENGINEERED WOOD PANELS SHALL CONFORM TO US PRODUCT STANDARD PS1 FOR CONSTRUCTION AND INDUSTRIAL PLYWOOD AS WELL AS APA SPECIFICATIONS.
  - ALL MILLWORK CONSTRUCTION IN WET AREA SHALL BE OF MARINE GRADE MATERIALS AND JOINED WITH WATERPROOF GLUE.

- CONSTRUCTION PLAN WORK NOTES**
- WN-1. SPEAKER IN LANDSCAPE AREA FOR AMBIENT MUSIC ONLY
  - WN-2. SERVICE COUNTER ONLY; NO STORAGE; SUBJECT TO HEALTH DEPARTMENT APPROVAL
  - WN-3. ALL WALLS AT KITCHEN AREAS EXCEPT COOKLINE WALLS TO BE SHEATHED IN PLYWOOD
  - WN-4. INSULATE AND RESHEATH WALLS WITH GYPSUM BOARD (09.21) TYPICAL
  - WN-5. EXISTING OPENING IN EXTERIOR WALL OPEN TO OUTSIDE; INFILL FRAMING AND INSULATION AND REFINISH EXTERIOR WALL TO MATCH ADJACENT FINISH

**CONSTRUCTION PLAN LEGEND**

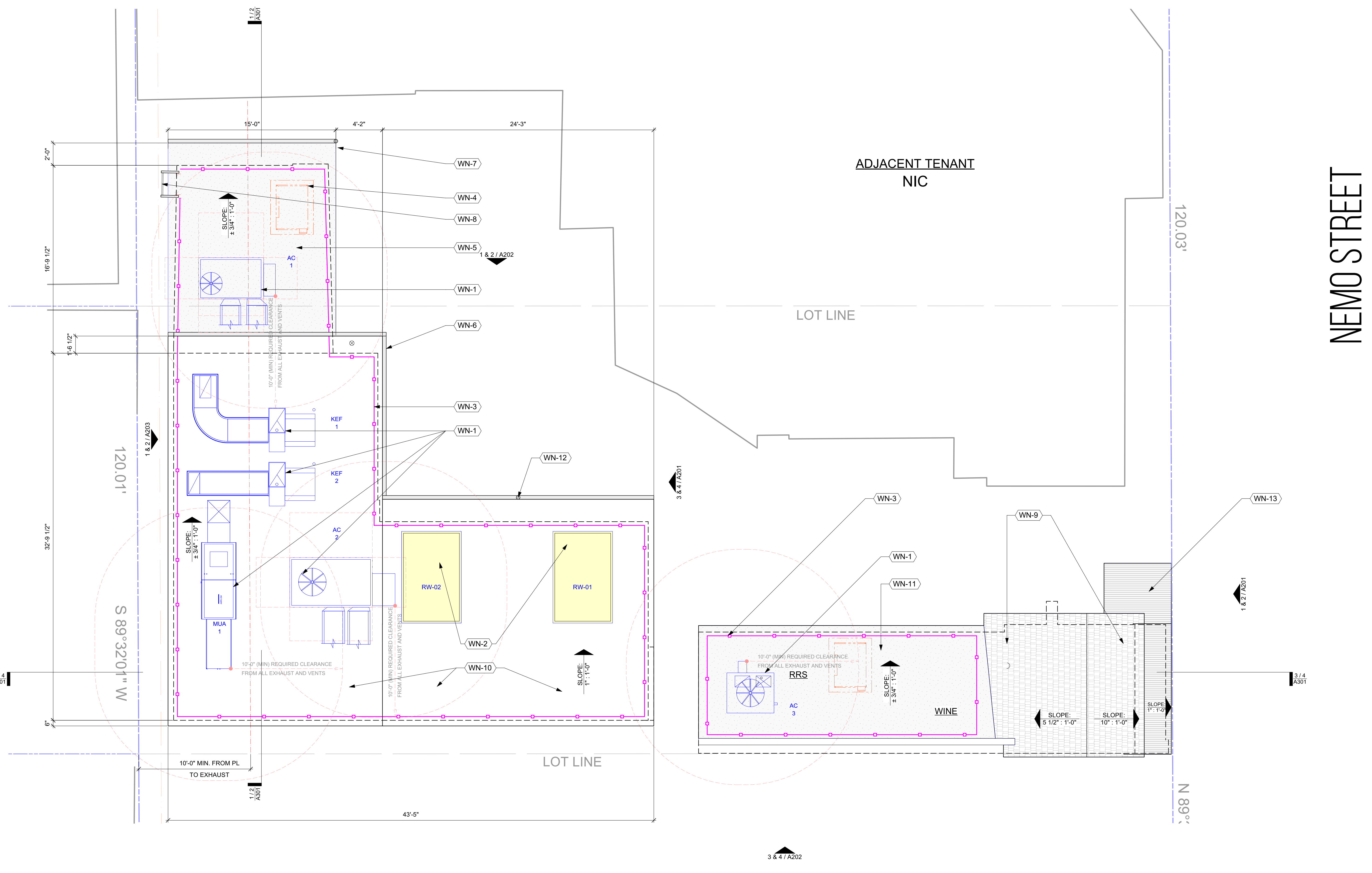
	NOT IN SCOPE		ACCESSIBILITY CLEAR SPACE SEE G020 SERIES
	NEW MILLWORK (06.41)		FIRE EXTINGUISHER (10.41)
	EXISTING WALL / CONSTRUCTION TO REMAIN		EXIT SIGN
	NEW PARTITION, (09.21) U.O.N.		WORK NOTE CALL-OUT REFER TO "WORK NOTES" LIST ON THIS SHEET
	ALIGN FINISH FACES OF CONSTRUCTION		KEYNOTE CALL-OUT REFER TO SHEET G002 - KEYNOTES
	(N) DOOR TAG; REFER TO DOOR & HARDWARE SCHEDULES, G003		
	(E) DOOR TAG; REFER TO DOOR & HARDWARE SCHEDULES, G003		
	(N) STOREFRONT OR WINDOW		

REVISION DATE DESCRIPTION

**A111**  
**FLOOR PLAN**

SCALE: 1/4" = 1'-0"  
 DATE: 06.09.2023





**SOMNI 2.0**  
 9045 Nemo Street  
 West Hollywood, CA 90069  
 22-011

ISSUE	DATE	DESCRIPTION
	4/7/2023	AP SUBMITTAL
	6/9/2023	AP SUBMITTAL #2

REVISION	DATE	DESCRIPTION
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PARTITION NOTES
1. CLEAN AND PREPARE BASE BUILDING PARTITIONS FOR REVIEW BY ARCHITECT AND OWNER. ALL AREAS SCHEDULED WITH GYPSUM BOARD SHALL BE PAINT READY.
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12. PROVIDE ADDITIONAL FRAMING AS REQUIRED FOR SECURE INSTALLATIONS OF OUTLET GROUPINGS. COORDINATE WITH ENGINEERING DRAWINGS.
13. ALL PARTITIONS WITHIN 6 FEET OF WET AREAS (KITCHENS, RESTROOMS, JANITOR CLOSETS, ETC.) SHALL BE MOISTURE RESISTANT GYPSUM BOARD.
14. G.C. TO PROVIDE AND INSTALL CONCEALED BLOCKING OR 16 GA STRAPPING AT ALL LOCATIONS WHERE NEW AND RECONFIGURED MILLWORK ARE TO BE FASTENED. COORDINATE WITH MILLWORKER TO ACHIEVE SECURE AND RIGID INSTALLATION OF THESE COMPONENTS.
15. PROVIDE AND INSTALL BUILDING STANDARD FIRE EXTINGUISHERS AND CABINETS WHERE REQUIRED BY APPLICABLE CODES AND AS DIRECTED BY THE ARCHITECT BEFORE BEGINNING OF CONSTRUCTION.

MILLWORK NOTES
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2. IF THE METHOD OF MANUFACTURING, FABRICATING, AND INSTALLING MILLWORK AND EQUIPMENT AND THEIR STRUCTURAL COMPONENTS DEFINED IN THE CONTRACT DOCUMENTS ARE AT VARIANCE WITH THE G.C.'S OR MANUFACTURER'S RECOMMENDATIONS, ALTERNATE DETAILS WILL BE CONSIDERED FOR REVIEW WHEN SHOP DRAWINGS ARE SUBMITTED IN ACCORDANCE WITH THE CONTRACT DOCUMENTS. IT SHALL BE THE RESPONSIBILITY OF THE G.C. TO GUARANTEE THAT THE MILLWORK AND EQUIPMENT WILL HAVE PROPER SUPPORT, STABILITY AND FAULT-FREE PERFORMANCE.
3. MILLWORK COVERED IN WOOD VENEER OR PLASTIC LAMINATE SHALL BE SHOP-FABRICATED AND ASSEMBLED ON SITE BY SKILLED WORKMEN TO THE COMPLETE SATISFACTION OF THE ARCHITECT. REINFORCING AS REQUIRED TO ENSURE A RIGID AND SECURE ASSEMBLY SHALL BE PROVIDED, EVEN IF NOT DETAILED ON THE DESIGN DRAWINGS. EXPOSED SURFACES SHALL BE FREE FROM DENTS, TOOL MARKS, WARPING, BUCKLING, GLUE AND OPEN JOINTS. ALL JOINTS, CORNERS AND MITERED CONNECTIONS SHALL BE MADE TIGHTLY SO THAT FASTENINGS IS ENTIRELY CONCEALED. ALL EXPOSED LAMINATE JOINTS SHALL BE SHOWN ON SHOP DRAWINGS AND APPROVED BY THE ARCHITECT.
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5. BEFORE PROCEEDING WITH FABRICATION, THE MILLWORKER SHALL VISIT THE SITE TO OBTAIN FIELD MEASUREMENTS AND VERIFY DIMENSIONS. PROVIDE SHOP DRAWINGS INCLUDING INSTALLATION DETAILS TO ENSURE AN ACCURATE FIT. ANY DISCREPANCY FOUND IN THE FIELD SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT FOR DIRECTION.
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10. ALL ENGINEERED WOOD PANELS SHALL CONFORM TO US PRODUCT STANDARD PS1 FOR CONSTRUCTION AND INDUSTRIAL PLYWOOD AS WELL AS APA SPECIFICATIONS.
11. ALL MILLWORK CONSTRUCTION IN WET AREA SHALL BE OF MARINE GRADE MATERIALS AND JOINED WITH WATERPROOF GLUE.

CONSTRUCTION PLAN WORK NOTES
WN-1. NEW HVAC EQUIPMENT
WN-2. REPLACE (E) SKYLIGHTS
WN-3. NEW 42" HIGH EQUIPMENT SCREEN / GUARDRAIL
WN-4. NEW REFRIGERATION RACK
WN-5. RAISE ROOF 3'-0" IN THIS AREA
WN-6. NEW GUTTERS
WN-7. NEW DOWNSPOUT AND DOWNSPOUT TO LID PLANTERS
WN-8. NEW ROOF LADDER
WN-9. ADD 5" OF R-30 RIGID INSULATION ABOVE (E) ROOF DECK, REROOF
WN-10. REROOF, TYPICAL
WN-11. ADD 5" OF RIGID INSULATION BELOW (E) ROOF DECK
WN-12. NEW DOWNSPOUT TO LID PLANTER
WN-13. REFRAME AND EXTEND DISPLAY WINDOW ROOF OVER NEW GATE; RE-ROOF W/ STANDING SEAM METAL

ROOF PLAN LEGEND			
	EXISTING ROOF CONSTRUCTION TO REMAIN		MECHANICAL EQUIPMENT CLEARANCE
	NEW ROOF CONSTRUCTION / OVER INSULATION		ROOF SLOPE SYMBOL
	NEW ROOF SHINGLES TO MATCH EXISTING		NEW EQUIPMENT SCREEN / GUARDRAIL
	NEW SKYLIGHT		NEW GUTTER & DOWNSPOUT

**A112**  
 ROOF PLAN

SCALE: 1/4" = 1'-0"  
 DATE: 06.09.2023







**SOMNI 2.0**  
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 West Hollywood, CA 90069  
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ISSUE	DATE	DESCRIPTION
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	6/9/2023	AP SUBMITTAL #2

REVISION	DATE	DESCRIPTION
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**REFLECTED CEILING PLAN GENERAL NOTES**

- THE G.C. SHALL COORDINATE THE TIE-INS TO THE EXISTING BUILDING SYSTEMS WITH THE BUILDING OWNER.
- ALL LIGHT FIXTURES AND DIFFUSERS ARE TO BE INSTALLED ACCORDING TO ARCHITECTURAL REFLECTED CEILING PLANS. ANY DISCREPANCY BETWEEN ARCHITECTURAL AND CONSULTANT PLANS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT FOR CLARIFICATION.
- LOCATIONS OF ALL LIGHT FIXTURES SHALL BE AS DIMENSIONED ON REFLECTED CEILING PLANS (FOR TYPES, SPECIFICATIONS, AND CIRCUITING REFER TO ENGINEERING DOCUMENTS).
- ALL MULTIPLE SWITCH CONTROLS SHALL BE GANGED AND INSTALLED WITH A SINGLE FACE PLATE. COVER PLATES SHALL NOT BE CUT AND BUTTED TOGETHER.
- LOCATIONS OF THERMOSTATS INDICATED ON ENGINEERING DRAWINGS SHALL BE MARKED BY G.C. IN THE FIELD AND VERIFIED BY THE ARCHITECT PRIOR TO INSTALLATION. THERMOSTATS SHALL BE CENTERED ABOVE LIGHT SWITCHES U.O.N.
- ANY DISCREPANCIES AS TO LOCATION OF LIGHT FIXTURES, SWITCHES, THERMOSTATS, DIFFUSERS, ETC. BETWEEN ARCHITECTURAL AND ENGINEERING DRAWINGS OR BETWEEN THE DRAWINGS AND THE EXISTING FIELD CONDITIONS SHALL BE CLARIFIED WITH THE ARCHITECT BEFORE PROCEEDING WITH INSTALLATION.
- G.C. SHALL BE RESPONSIBLE FOR ASSURING THAT ELECTRICAL WORK IS DONE IN STRICT ACCORDANCE WITH ALL APPLICABLE CODES, REGULATIONS AND REQUIREMENTS OF AUTHORITIES HAVING JURISDICTION. ENGINEERING DRAWINGS REQUIRED FOR PERMIT AND CONSTRUCTION SHALL BE EXECUTED BY RESPECTIVE SUBCONTRACTOR AND SUBMITTED TO ARCHITECT FOR REVIEW AND APPROVAL.
- SEE ELECTRICAL ENGINEER'S DRAWINGS FOR LOCATION OF EXIT SIGNS, EMERGENCY LIGHTING AND OTHER LIFE SAFETY REQUIREMENTS NOT SHOWN ON ARCHITECTURAL RCPS.
- CONTRACTOR SHALL COORDINATE FINAL LENGTHS AND LOCATIONS OF SUSPENDED FIXTURES WITH ARCHITECT PRIOR TO FINAL INSTALLATION.
- FIXTURES SHOWN SUSPENDED FROM CEILING SHALL BE PROVIDED WITH INDEPENDENT MEANS OF SUPPORT. MECHANICAL DUCT AND EQUIPMENT SUPPORTS, PIPING SUPPORTS, FIRE SPRINKLER SUPPORTS SHALL NOT BE USED TO SUPPORT LIGHT FIXTURES.
- ELECTRICAL WIRING FOR DEVICES IN EXPOSED CEILING AREAS SHALL BE RUN IN RIGID CONDUIT TO THE SATISFACTION OF THE ARCHITECT.
- RESUPPORT AND RECONFIGURE EXISTING TO REMAIN SPRINKLERS AND MECHANICAL SERVICES PER APPLICABLE CODES AND MEP DRAWINGS.
- ALL EXPOSED CEILING SURFACES, EXISTING AND NEW MECHANICAL, ELECTRICAL AND PLUMBING RUNS AND EQUIPMENT SHALL BE PRIMED AND PAINTED, U.O.N.
- G.C. TO COORDINATE THE INSTALLATION OF GYPSUM BOARD SOFFITS AND SUSPENDED CEILINGS SHOWN ON ARCHITECTURAL REFLECTED CEILING PLANS WITH REQUIREMENTS SHOWN ON ENGINEERING DRAWINGS. EXISTING SITE CONDITIONS AND BASE BUILDING MECHANICAL EQUIPMENT AND RUNS TO REMAIN. PROVIDE AND INSTALL ACCESS PANELS WHERE NECESSARY FOR MAINTENANCE AND REPAIR OF ALL EQUIPMENT & ASSOCIATED VALVES, CONTROLS, ETC. LOCATED ABOVE SUSPENDED CEILING.
- G.C. SHALL COORDINATE THE INSTALLATION OF GYPSUM BOARD SOFFITS AND SUSPENDED CEILINGS SHOWN ON ARCHITECTURAL REFLECTED CEILING PLANS WITH REQUIREMENTS SHOWN ON ENGINEERING DRAWINGS. EXISTING SITE CONDITIONS AND BASE BUILDING MECHANICAL EQUIPMENT AND RUNS TO REMAIN. PROVIDE AND INSTALL ACCESS PANELS WHERE NECESSARY FOR MAINTENANCE AND REPAIR OF ALL EQUIPMENT & ASSOCIATED VALVES, CONTROLS, ETC. LOCATED ABOVE SUSPENDED CEILING.
- ALL GYPSUM BOARD CONSTRUCTION SHALL CONFORM TO STANDARDS DETAILED IN THE LATEST EDITION OF GYPSUM ASSOCIATION DOCUMENT #GA-216 "APPLICATION AND FINISHING OF GYPSUM BOARD."
- GYPSUM BOARD FINISHING LEVELS SHALL BE APPROPRIATE TO LOCATION. FINISH TEXTURE AND LIGHTING CONDITIONS AS RECOMMENDED BY THE LATEST EDITION OF GYPSUM ASSOCIATION DOCUMENT # GA-214. IF THE APPROPRIATE LEVEL OF FINISH IS IN QUESTION, THE ARCHITECT SHALL ACT AS ARBITER.
- ALL CURVED GYPSUM BOARD CONSTRUCTION SHALL CONFORM TO STANDARDS OUTLINED IN LATEST EDITION OF GYPSUM ASSOCIATION DOCUMENT #GA-226.
- PROVIDE EMERGENCY LIGHTING AS REQUIRED BY CODE.
- ALL EXIT SIGNS SHALL BE ILLUMINATED AT ALL TIMES.
- MEANS OF EGRESS ILLUMINATION SHALL BE PROVIDED FROM AN EMERGENCY POWER SYSTEM.
- ALL FIXTURES SHALL BE CENTERED IN ROOM IN EACH DIRECTION U.O.N.

**REFLECTED CEILING WORK NOTES**

- GYPSUM BOARD FINISHING LEVELS SHALL BE APPROPRIATE TO LOCATION. FINISH TEXTURE AND LIGHTING CONDITIONS AS RECOMMENDED BY THE LATEST EDITION OF GYPSUM ASSOCIATION DOCUMENT # GA-214. IF THE APPROPRIATE LEVEL OF FINISH IS IN QUESTION, THE ARCHITECT SHALL ACT AS ARBITER.
- ALL CURVED GYPSUM BOARD CONSTRUCTION SHALL CONFORM TO STANDARDS OUTLINED IN LATEST EDITION OF GYPSUM ASSOCIATION DOCUMENT #GA-226.
- PROVIDE EMERGENCY LIGHTING AS REQUIRED BY CODE.
- ALL EXIT SIGNS SHALL BE ILLUMINATED AT ALL TIMES.
- MEANS OF EGRESS ILLUMINATION SHALL BE PROVIDED FROM AN EMERGENCY POWER SYSTEM.
- ALL FIXTURES SHALL BE CENTERED IN ROOM IN EACH DIRECTION U.O.N.

**REFLECTED CEILING PLAN LEGEND**

AREA OF NEW CEILING (09 2108 22) SEE DETAILS 21_23 / G004 RECESSED DOWNLIGHT (FIXTURE TYPE, TYP. (SEE SCHEDULE) CONTROL ZONE, TYP. (IF APPLICABLE)) RECESSED ADJUSTABLE DOWNLIGHT SURFACE MOUNTED LED STRIPLIGHT WALL MOUNTED LIGHT DECORATIVE PENDANT EXIT SIGN JUNCTION BOX SWITCH TYPE (DIMMER) OCCUPANCY SENSOR	LINEAR SLOT DIFFUSER LINEAR SLOT RETURN LINEAR SLOT EXHAUST CEILING MOUNTED DEVICES DIRECTION OF AIRFLOW WALL/SOFFIT MOUNTED SUPPLY OR RETURN SLOT / BAR GRILLE ACCESS PANEL (08.31) FIRE SPRINKLER HEAD (21.12) FIRE ALARM DEVICE (28.31) SMOKE DETECTOR (28.31) AV SPEAKER (27.42) CCTV CAMERA (28.01)	WORK NOTE; REFER TO "WORK NOTES" LIST ON THIS SHEET MATERIALS KEY NOTE; REFER TO SHEET G002 - KEYNOTES 
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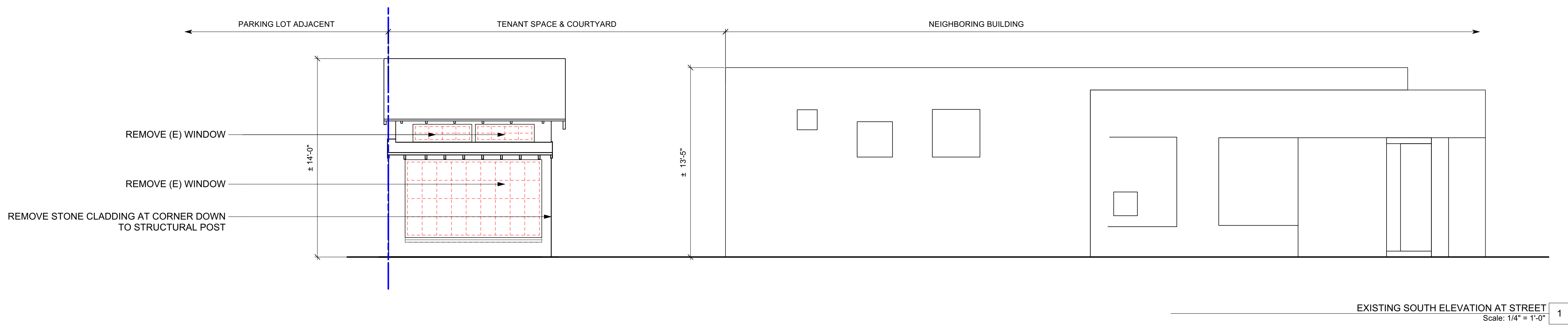
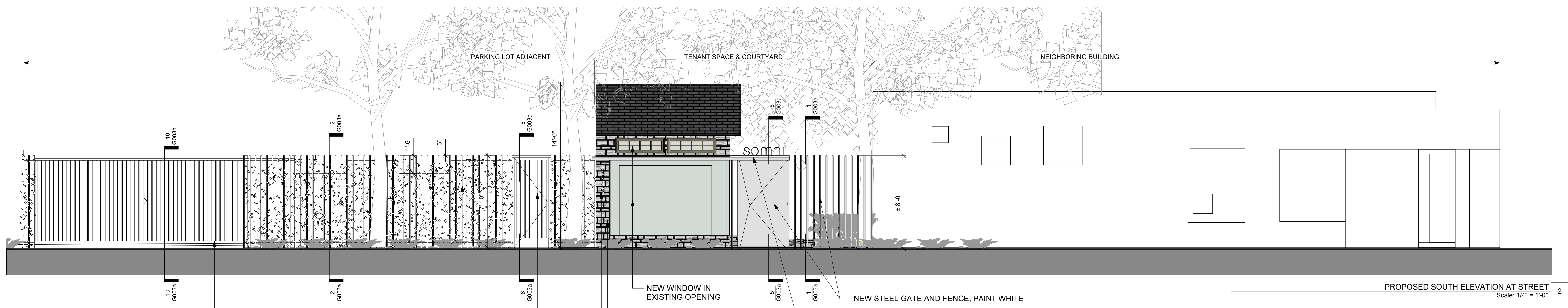
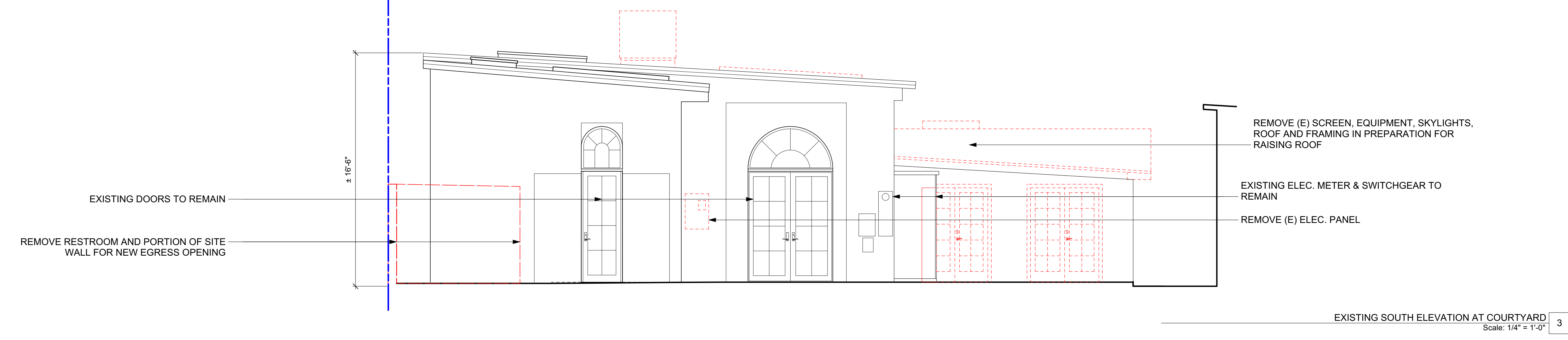
**A121**  
 REFLECTED CEILING  
 PLAN / LIGHTING  
 PLAN

SCALE: 1/4" = 1'-0"  
 DATE: 06.09.2023









**SOMNI 2.0**  
 9045 Nemo Street  
 West Hollywood, CA 90069  
 22-011

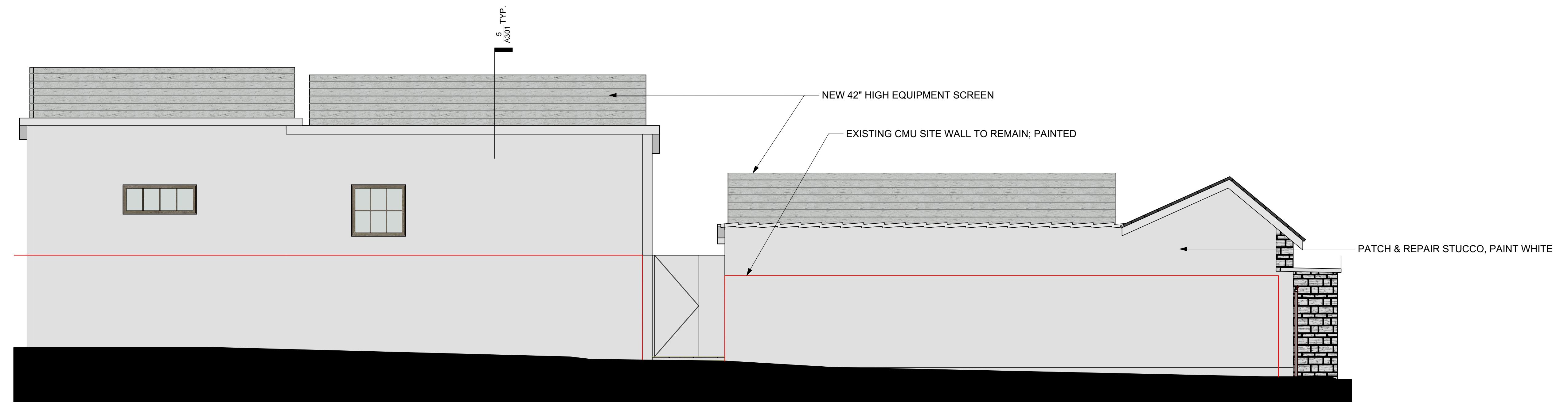
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	6/9/2023	AP SUBMITTAL #2

REVISION	DATE	DESCRIPTION
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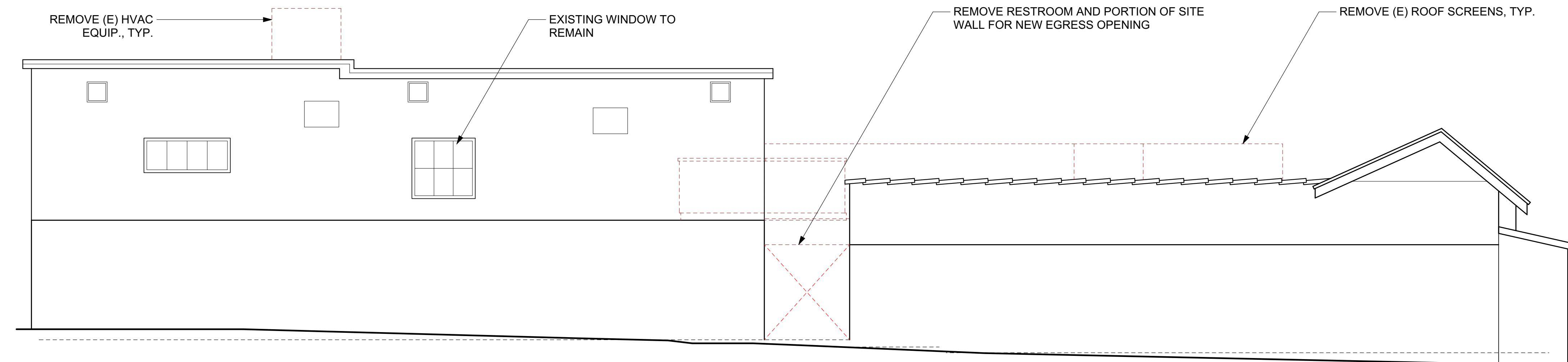
**A201**  
 ELEVATIONS

SCALE: 1/4" = 1'-0"  
 DATE: 06.09.2023

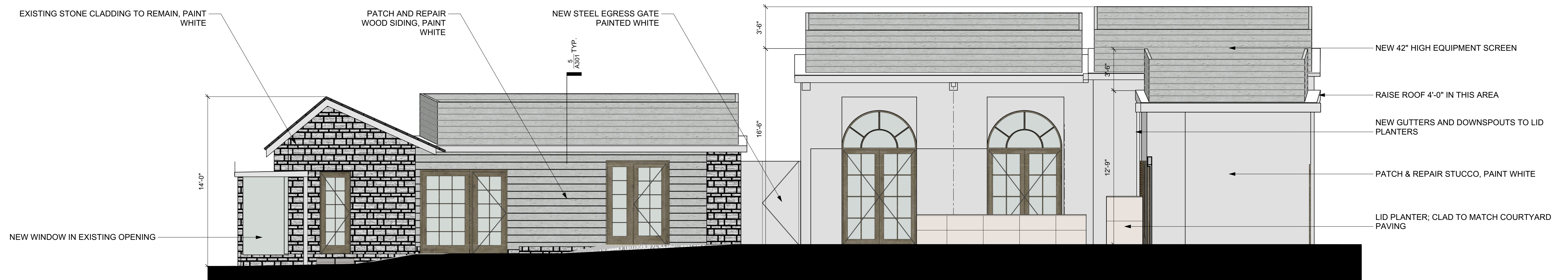




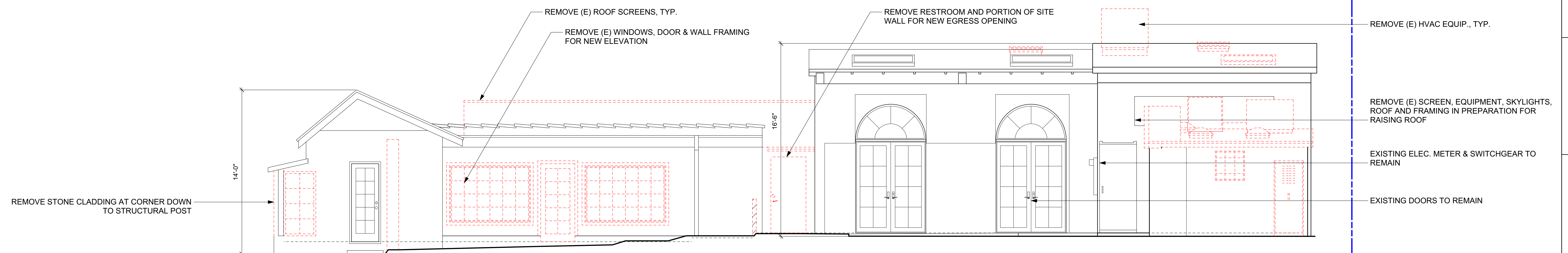
PROPOSED WEST ELEVATION AT PARKING  
Scale: 1/4" = 1'-0" 4



EXISTING WEST ELEVATION AT PARKING  
Scale: 1/4" = 1'-0" 3



PROPOSED EAST ELEVATION AT COURTYARD  
Scale: 1/4" = 1'-0" 2

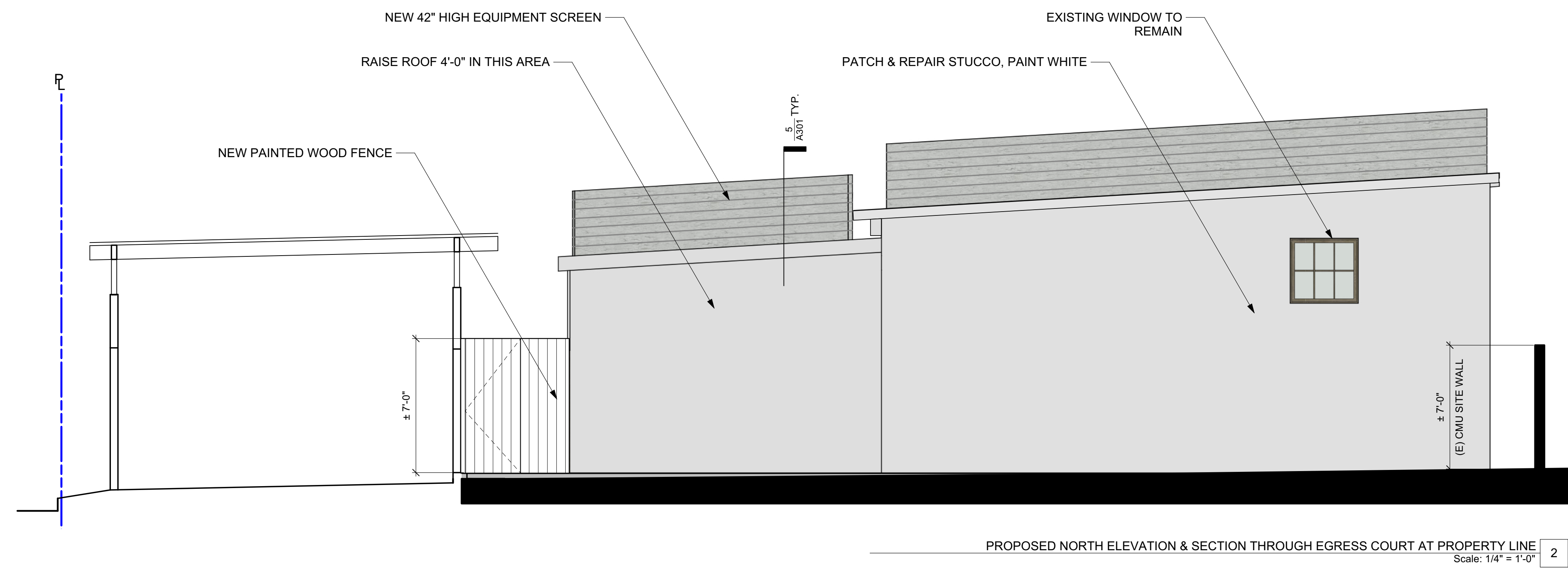


EXISTING EAST ELEVATION AT COURTYARD  
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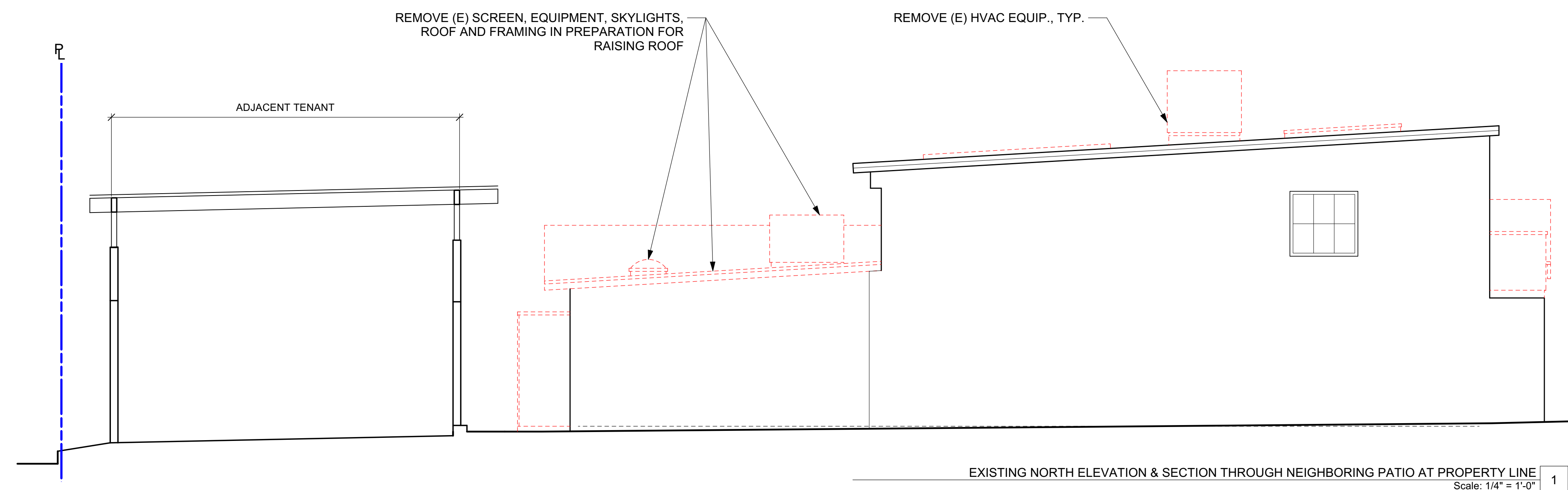
ISSUE	DATE	DESCRIPTION
	4/7/2023	AP SUBMITTAL
	6/9/2023	AP SUBMITTAL #2

REVISION	DATE	DESCRIPTION
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PROPOSED NORTH ELEVATION & SECTION THROUGH EGRESS COURT AT PROPERTY LINE  
Scale: 1/4" = 1'-0" 2



EXISTING NORTH ELEVATION & SECTION THROUGH NEIGHBORING PATIO AT PROPERTY LINE  
Scale: 1/4" = 1'-0" 1

**SOMNI 2.0**

9045 Nemo Street  
West Hollywood, CA 90069  
22-011

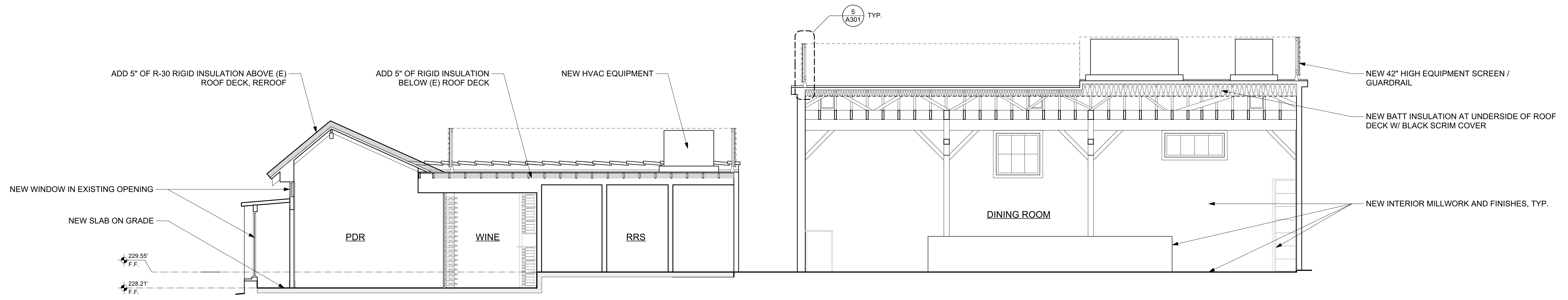
ISSUE	DATE	DESCRIPTION
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	6/9/2023	AP SUBMITTAL #2

REVISION	DATE	DESCRIPTION
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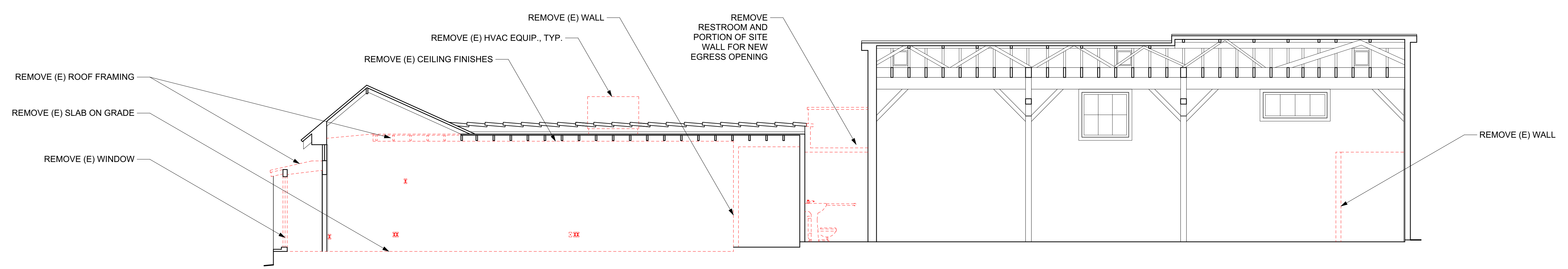
**A203**  
SECTIONS /  
ELEVATIONS

SCALE: 1/4" = 1'-0"  
DATE: 06.09.2023

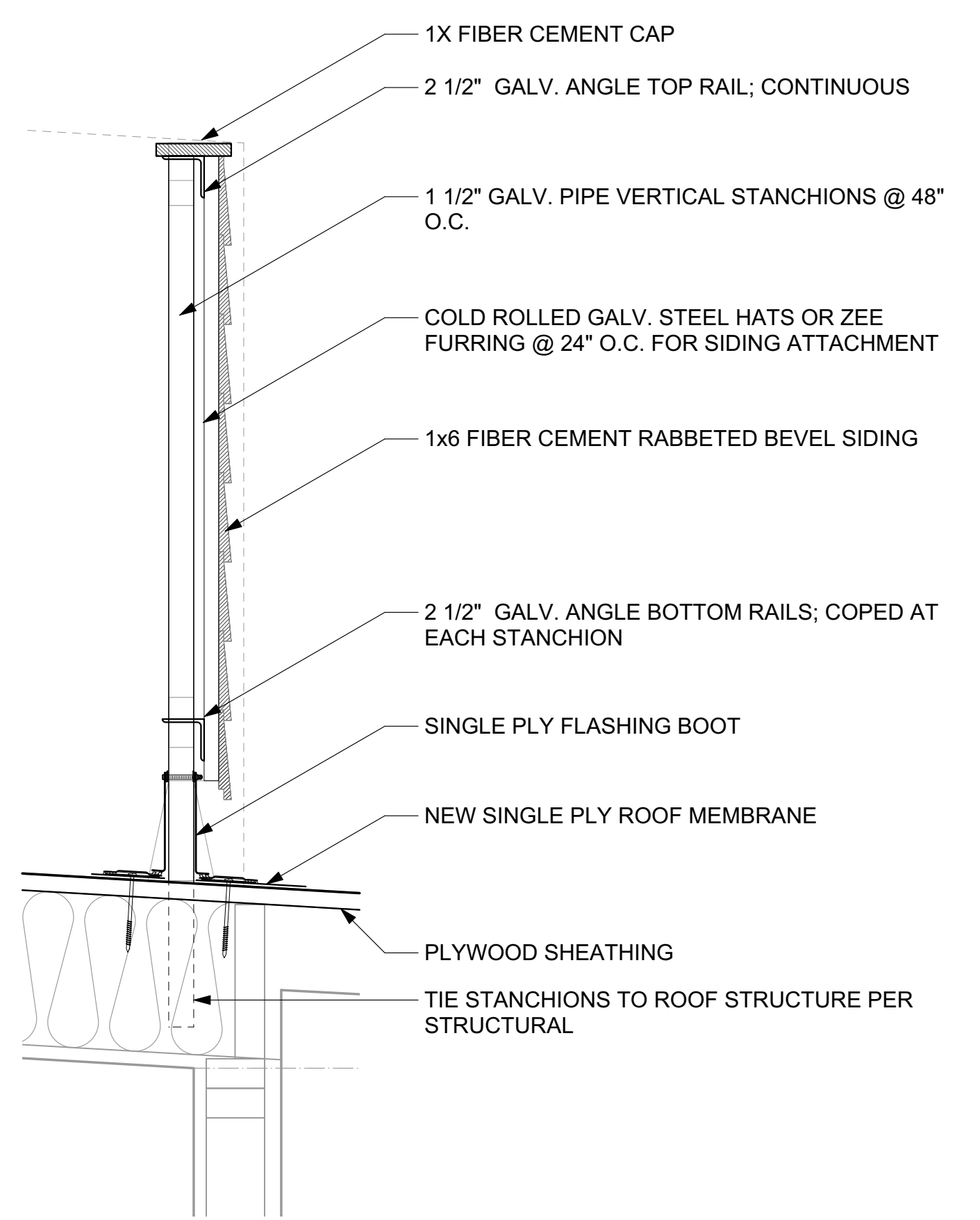




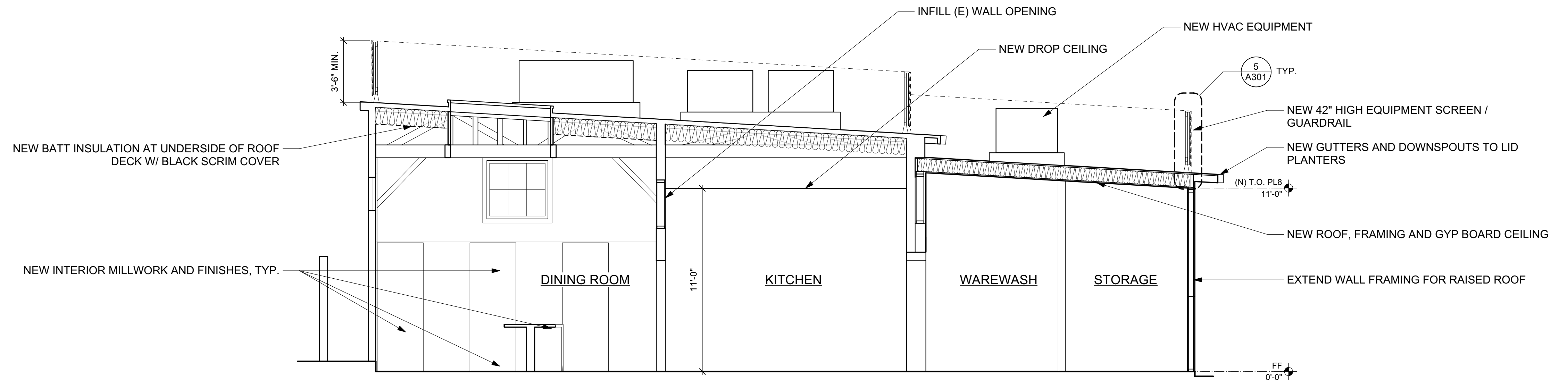
PROPOSED NORTH/SOUTH SECTION LOOKING WEST  
Scale: 1/4" = 1'-0" 4



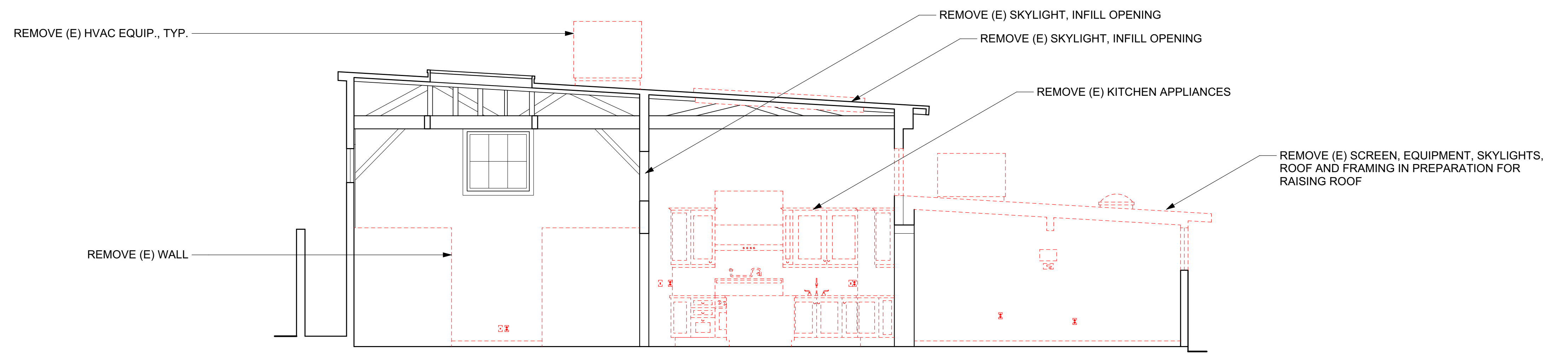
EXISTING NORTH/SOUTH SECTION LOOKING WEST  
Scale: 1/4" = 1'-0" 3



ROOF SCREEN DETAIL  
Scale: 1 1/2" = 1'-0" 5



PROPOSED EAST / WEST SECTION LOOKING NORTH  
Scale: 1/4" = 1'-0" 2



EXISTING EAST / WEST SECTION LOOKING NORTH  
Scale: 1/4" = 1'-0" 1

ISSUE	DATE	DESCRIPTION
	4/7/2023	AP SUBMITTAL
	6/9/2023	AP SUBMITTAL #2

REVISION	DATE	DESCRIPTION
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