



**CITY OF MANHATTAN BEACH
DEPARTMENT OF COMMUNITY DEVELOPMENT
MEMORANDUM**

DATE: April 29, 2020

TO: Planning Commission

FROM: Carrie Tai, AICP, Director of Community Development

BY: Angelica Ochoa, Associate Planner

SUBJECT: Consideration of an Application for a Use Permit and Vesting Tentative Parcel Map No. 82904 for Proposed Construction of Four Residential Condominium Units Located at 617 Aviation Way and Make an Environmental Determination in Accordance with the California Environmental Quality Act (Cleland)

RECOMMENDATION

Staff recommends that the Planning Commission **CONDUCT** the Public Hearing, **ADOPT** the attached resolution and **APPROVE** the project subject to conditions

APPLICANT

Dennis Cleland
1530 5th Street
Manhattan Beach, CA 90266

PROJECT BACKGROUND

The subject site is a commercially-zoned interior 7,490 square foot lot occupied with a single-story residence and garage. The project would demolish all of the existing improvements on the site and construct a three-story building with 4 residential condominium units, 12 on-parking spaces, one driveway on Aviation Way and a common outdoor recreation area. A use permit is required per Section 10.16.020 of the Manhattan Beach Municipal Code (MBMC) requires a use permit for a residential use in a commercial zone, Commercial Local (CL). As part of the use permit, the project must comply with the development standards for residential use per Section 10.12.030 and the residential development standards per Section 10.16.030 (A). A vesting tentative parcel map, (VTPM

#82904) is also required per Section 11.12.020 of the Manhattan Beach Municipal Code to subdivide the property into separate condominium ownership.

The Planning Commission has the authority to review and approve the subject project based on the following:

- 1) Use Permit findings per Section 10.16.020 to allow residential use in a commercial zone are included in the Resolution.
- 2) Subdivision Map Act per Section 11.04.040 (Map Requirements), 11.12.020 (Tentative Map) and 11.24.040 (Vesting Tentative Maps). The specific findings and requirements are included in the Resolution.
- 3) The goals and policies of the General Plan, which are included in the Resolution.

GENERAL PLAN/ZONING

In 2003, with the adoption of the new General Plan and subsequent Zoning Map, all four lots on the corner of Aviation Way and Matthews, including the subject lot were rezoned from Commercial General (CG) to Local Commercial (CL). The City Council re-designated this area as Local Commercial to encourage these sites to transition to new uses, and to provide neighborhood-oriented commercial businesses and potential mixed use. The CG zoning did not allow residential or mixed use, while the CL designation allows mixed commercial and residential uses subject to Use Permit approval.

PROJECT OVERVIEW

LOCATION

Location	617 Aviation Way (corner of Aviation Way and Matthews Avenue) (see Vicinity Map).
Legal Description	Lot 3, Block 103, Redondo Villa Tract B
Area District	I

LAND USE

General Plan	Local Commercial
Zoning	CL, Commercial Local

	<u>Existing</u>	<u>Proposed</u>
Land Use	552 sq. ft. single family residence	4 residential units totaling 7,377 sq. ft.
	<u>Zoning</u>	<u>Land Use</u>
Neighboring Zoning/Land Uses	North (PS)	Public Facility
	South (CL)	Single Family, Multi-Family, Office (AAA), Day Care, Retail
	East (City of Redondo Beach)	Single Family
	West (RS)	Single Family

PROJECT DETAILS

	<u>Proposed</u>	<u>Requirement</u>
Parcel Size:	7,490 square feet	4,000 sq. ft. min
Residential Density:	1 unit / 1,000 sq. ft. lot area (4 max)	1 unit / 1,000 sq. ft. lot area (4 max)
Building Floor Area:	7,377 sq. ft. total	7,490 sq. ft. max
Residential	One - 1,880 sq. ft. Two - 1,844 sq. ft. units One - 1,809 sq. ft.	N/A

	<u>Proposed</u>	<u>Requirement</u>
Height	30.42 feet	30 ft./36 feet max
Open Space	328 sq. ft./3 units 635 sq. ft./1 unit	220 sq. ft./unit

Setbacks:

Residential

Front	20 ft.	20 ft.
Rear	25 ft.	25 ft.
East side	5 ft.	5 ft.
West side	5 ft.	5 ft.

Parking:

Residential	2 car garages (8 spaces)	2 car garage per unit (8 spaces)
Guest Parking	1 per unit (4 spaces)	1 per unit (4 spaces)
Vehicle Access	Aviation Way	N/A

DISCUSSION

The applicant proposes to demolish the existing single family residence and garage and construct a new three-story building that will include four attached residential condominium units along with two enclosed garages and one open parking space per unit . The lot is 50' x 150' in Area District I and zoned Local Commercial (CL) at 617 Aviation Way. The centerline of Aviation Way forms the boundary between Manhattan Beach and Redondo Beach. The building will replace a one-story single family residence and detached garage that was built in 1944. Two of the proposed residential units will have living areas of 1,844 square feet, one unit will be 1,888 square feet and one unit will be 1,809 square feet (rear unit).

The ground floor will be occupied by parking garages, storage, mechanical equipment and an outdoor entry area for the residential units. Required residential open space for the project is provided by ground level entry areas, third floor decks, and a large common rear yard. The building would contain 7,377 square feet of floor area. All pedestrian and driveway access would be taken from Aviation Way which is accessed off of Matthews Avenue.

The proposed building is observing the required setbacks and overall height limit. The overall appearance of the project is modern style featuring an open front entry, deck areas, private yard areas, a large common rear yard area and decorative architectural treatments. All required parking related to the project would be contained within the building. The project is providing four two car enclosed garages per residential condominium unit, 2 guest parking spaces per unit, which complies with the parking requirements. The project will provide a total of 16 on-site parking spaces. All users of the building and pedestrians will have access to the public sidewalk on Aviation Way. The existing driveway curb cut on Aviation Way will be relocated from the north to the south side of the property for access to the garages. No loss to public parking spaces will result from this change.

The project conforms to the City's requirements for use, floor area, setbacks, parking, landscaping, and open space. The residential units are subject to the High Density Residential (RH) development standards.

Residential Use:

The CL zone allows for residential use in commercial areas, subject to use permit approval. The Use Permit findings should determine that the proposed residential units are not detrimental to the subject commercial area. The findings are listed on page 4 and 5 of this report and are included in the attached Resolution. Residential uses occupy the majority of the development across Aviation Boulevard to the west, with commercial to the south on Artesia Boulevard and multi-family residences to the east in the City of Redondo Beach. There is a mix of uses on both sides of Aviation Way including low and high density residential and small commercial (accounting office, Auto Club). The overall design concept is consistent with the purposes of the Local Commercial zone (MBMC 10.16.010) by providing compatible residential uses.

The property directly to the south at 623 Aviation Way is developed with four residential condominium units built in 2007 and to the north is a Public Facility. The property at 628 Aviation Boulevard (corner of Aviation Boulevard and Matthews Avenue) is developed with an accounting office and single-family home built in 1924. Across the street in the City of Redondo Beach, the majority of the properties are single-family and multi-family uses. The residential development should continue along Aviation Way with other existing surrounding residential homes.

USE PERMIT AND OTHER CODE FINDINGS

In order to approve the subject application, the following findings must be made. These findings are as follows:

1. The proposed location of the use is in accord with the objectives of this title, and the purpose of the district in which it is located. The project is in a commercial zone consistent with Section 10.16.010 of the Manhattan Beach Zoning Code. The zoning allows for residential uses intended to be compatible with the surrounding residential areas. The proposed project is located within the (CL) Local Commercial district, and will replace an existing single family residence with a four unit residential condominium project.
2. The proposed location of the use and the proposed conditions under which it would be operated or maintained will be consistent with the General Plan. It will not be detrimental to the public health, safety or welfare of persons residing or working on the proposed project site or adjacent to the neighborhood of such use. It will not be detrimental to properties or improvements in the vicinity or to the general welfare of the city. The proposed four-unit residential condominium development is in compliance with all Manhattan Beach Municipal Code regulations. It will provide a total of 12 on-site parking spaces, more housing opportunities with four residential condominium units and is compatible with the surrounding neighborhood with a mix of residential uses.
3. The proposed use will comply with the provisions of this title, including any specific condition required for the proposed use in the district in which it would be located. The proposed location of the use and the proposed conditions under which it will be operated or maintained is

consistent with the General Plan. The project site is classified as Local Commercial which allows for residential uses as the proposed subject project.

4. The proposed use will not adversely impact nor be adversely impacted by nearby properties. The new four-unit residential condominium use will comply with all of the City's Code requirements. It is compatible with the surrounding residential uses of single-family and multi-family. It has a sufficient number of on-site parking spaces to ensure it does not affect the surrounding community.

The General Plan goals and policies and the Subdivision Map Act requirements are all included in the resolution of this report.

PUBLIC INPUT

A public notice was published in The Beach Reporter on April 16, 2020 and mailed to all property owners within a 500-foot radius of the site. The public notices indicated that members of the public would not be allowed in the City Council chambers in order to adhere to social distancing requirements in light of the Covid-19 pandemic. The public notices did include information on how members of the public could comment via email and voicemail. As of the writing of this report, staff has not received any public comment.

DEPARTMENT COMMENTS

The Public Works Department is requiring that the residential units each provide their own trash and recycling area within a dedicated space outside of the required parking or open space areas. The Engineering Department is requiring that all curb and gutter, sidewalks and driveways comply with ADA requirements. The Fire Departments had no specific conditions for the project. The Building Department is requiring that the project comply with all Building and State code requirements. The subject project complies with department requirements, will be included in the Resolution as conditions and will be verified during the plan check process, if the Planning Commission approves the project.

ENVIRONMENTAL DETERMINATION

The Project is Categorically Exempt from the requirements of the California Environmental Quality Act (CEQA), per Section 15303 (b), for new construction of multi-family residential structure totaling no more than four dwelling units and Section 15315 for the subdivision of the subject property into separate condominium ownership.

CONCLUSION

The Planning Commission has the authority to review and approve the subject project based on the following:

- 1) Use Permit findings per Section 10.16.020 and residential development standards per Section 10.12.030 are included in the Resolution.

2) Subdivision Map Act per Section 11.04.040 (Map Requirements), 11.12.020 (Tentative Map) and 11.24.040 (Vesting Tentative Maps). The specific findings and requirements are included in the Resolution.

3) The goals and policies of the General Plan, which are included in the Resolution.

Staff recommends that the Planning Commission accept public hearing testimony, discuss the project issues, and adopt the attached resolution approving the project subject to certain conditions.

Attachments:

- A. Draft Resolution No. PC 20-
- B. Vicinity Map
- C. Applicant's Representative Environmental Information Form & Use Permit project Description
- D. Plans (separate)

cc: Dennis Cleland, Applicant
Srouer & Associates, Applicant Representative
Studio 912, Architect

THIS PAGE
INTENTIONALLY
LEFT BLANK

ATTACHMENT A

RESOLUTION NO. PC 20-

RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF MANHATTAN BEACH APPROVING A USE PERMIT AND VESTING TENTATIVE PARCEL MAP NO. 82904 FOR CONSTRUCTION OF A FOUR-UNIT RESIDENTIAL CONDOMINIUM PROJECT DEVELOPMENT LOCATED AT 617 AVIATION WAY (Cleland)

THE PLANNING COMMISSION OF THE CITY OF MANHATTAN BEACH DOES HEREBY RESOLVE AS FOLLOWS:

SECTION 1. The Planning Commission of the City of Manhattan Beach hereby makes the following findings:

- A. The Planning Commission of the City of Manhattan Beach conducted a public hearing on April 29, 2020, received public testimony, and considered an application for a use permit and vesting tentative parcel map no. 82904 for construction of a proposed 7,377 square foot building consisting of four residential condominium units on the property located at 617 Aviation Way in the City of Manhattan Beach.
- B. The existing legal description of the site is Lot 3, Block 103, Redondo Villa Tract "B"
- C. The applicant for the subject project is Dennis Cleland, the owner (in escrow) of the property.
- D. The Project is Categorically Exempt from the requirements of the California Environmental Quality Act (CEQA), pursuant to Section 15303 (b), for new construction of multi-family residential structure totaling no more than four dwelling units and Section 15315 for the subdivision of the subject property into separate condominium ownership.
- E. The property is located within Area District I and is zoned CL, Commercial Local. The proposed use is permitted by the zoning code with approval of a use permit and is appropriate as conditioned for residential. The surrounding land uses consist of residential single family, multi-family, office, day care and retail.
- F. The General Plan designation for the property is Local Commercial. The project is consistent with General Plan policies including providing residential uses (permitted with discretionary review), neighborhood-oriented uses and service activities that serve the local community.
- G. The project shall be in compliance with applicable provisions of the Manhattan Beach Municipal Code General Plan and Subdivision Map Act.
- H. The project will not create adverse impacts on, nor be adversely impacted by, the surrounding area, or create demands exceeding the capacity of public services and facilities.
- I. This Resolution, upon its effectiveness, constitutes the Use Permit for the subject project.

Use Permit

- 1. The proposed location of the use is in accord with the objectives of this title, and the purpose of the district in which it is located. The project is in a commercial zone consistent with Section 10.16.010 of the Manhattan Beach Zoning Code. The zoning allows for residential uses intended to be compatible with the surrounding residential areas. The proposed project is located within the (CL) Local Commercial district, and will replace an existing single family residence with a four unit residential condominium project.
- 2. The proposed location of the use and the proposed conditions under which it would be operated or maintained will be consistent with the General Plan. It will not be detrimental to the public health, safety or welfare of persons residing or working on the proposed project site or adjacent to the neighborhood of such use. It will not be detrimental to properties or improvements in the vicinity or to the general welfare of the city. The proposed four-unit residential condominium development is in compliance with all Manhattan Beach Municipal Code regulations. It will provide a total of 12 on-site parking spaces, more housing opportunities with four residential condominium units and is compatible with the surrounding neighborhood with a mix of residential uses.
- 3. The proposed use will comply with the provisions of this title, including any specific condition required for the proposed use in the district in which it would be located. The proposed location of the use and the proposed conditions under which it will be operated or maintained is consistent with the General Plan. The project site is classified as Local Commercial which allows for residential uses as the proposed subject project.

4. The proposed use will not adversely impact nor be adversely impacted by nearby properties. The new four unit residential condominium use will comply with all of the City's Code requirements. It is compatible with the surrounding residential uses of single family and multi-family. It has a sufficient number of on-site parking spaces to ensure it does not affect the surrounding community

General Plan

The General Plan of the City of Manhattan Beach poses certain goals and policies, which reflect the expectations and wishes of the City, with respect to land uses. Specifically, the project is consistent with the following Goals of the General Plan as summarized below:

*Policy LU-1.2: Encourage the design of all new construction to utilize notches or other architectural details to reduce building bulk. **The project includes decks, open space areas and setback of the top floor to reduce building mass.***

*Policy LU-2.2: Preserve and encourage private open space on residential lots citywide. **The project includes private decks and a common rear yard.***

*Policy LU-3.1: Continue to encourage quality design in all new construction. **The building includes a contemporary design with setbacks for building articulation, including the top floor to reduce building mass.***

*Policy LU-5.1: Require the separation or buffering of residential areas from businesses which produce noise, odors, high traffic volumes, light or glare, and parking through the use of landscaping, setbacks, or other techniques. **Front yard landscaping, open space areas, on-site trash areas and 12 private parking spaces are provided to reduce any impacts to the surrounding community.***

*Policy LU-6.4: Recognize the unique qualities of mixed-use areas and balance the needs of both the commercial and residential uses. **Residential use is compatible with surrounding residential uses.***

*Policy I-2.7: Monitor and minimize traffic issues associated with construction activities. **Residential construction regulations will be observed per Construction Rules, Chapter 9.44.020, 9.44.030 of Title 9 Building Regulations.***

*Policy I-3.8: Monitor and minimize parking issues associated with construction activities. **Parking requirements related to construction will be observed per Chapter 9.44.020, B., C., D., and E.***

Subdivision Map

A vesting tentative parcel map (VTPM # 82904) is required per Section 11.12.020 of the Manhattan Beach Municipal Code to subdivide the property into separate ownership and the project is in conformance with the code per the following requirements:

Section 11.04.040 (D) – Each subdivision created by a map shall include a minimum contiguous lot area required by the appropriate subdivision standards. **4 condominium units will be created as part of the Vesting Tentative Parcel Map process and approval of subject project.**

Section 11.04.040 (E) – No map shall be approved unless it complies with the Subdivision Map Act, this title and any other title of this Code, other applicable laws and all conditions or requirements imposed pursuant to the requirements thereof, except; that when the failure of a map to so comply is the result of a technical or inadvertent error which, in the determination of the Planning Commission, does not materially affect the validity of the map, this provision may be waived. **Vesting Tentative Parcel Map No. 82904 complies with all of the above.**

Section 11.12.020 (E) – The Planning Commission shall review all materials submitted and shall either approve, conditionally approve or disapprove the map within fifty (50) calendar days after the certification of the environmental impact report, adoption of a negative declaration, or the determination that the project is exempt from the requirements of the California Environmental Quality Act (CEQA). This time limit may be extended by mutual consent of the subdivider and Community Development. Written notice of the decision of the Planning Commission shall be given to the subdivider.

Section 11.24.040 - A vesting tentative map shall be filed in the same form, have the same contents,

provide the same information and shall be processed in the same manner as set forth in this title for a tentative map except as hereinafter provided. **A vesting tentative parcel map was submitted on November 15, 2019.**

Section 2. The Planning Commission of the City of Manhattan Beach hereby **APPROVES** the subject Use Permit application for a four unit residential condominium building and Vesting Tentative Parcel Map (VTPM #82904), subject to the following conditions (*indicates a site specific condition):

Site Preparation / Construction

1. * The project shall be constructed and operated in substantial compliance with the submitted plans and project description as approved by the Planning Commission on April 29, 2020. Any other substantial deviation from the approved plans and project description must be reviewed and approved by the Planning Commission.
2. A Traffic Management Plan shall be submitted in conjunction with all construction and other building plans, to be approved by the Police and Public Works Departments prior to issuance of building permits. The plan shall provide for the management of all construction related traffic during all phases of construction, including delivery of materials and parking of construction related vehicles.
3. All electrical, telephone, cable television system, and similar service wires and cables shall be installed underground to the appropriate utility connections in compliance with all applicable Building and Electrical Codes, safety regulations, and orders, rules of the Public Utilities Commission, the serving utility company, and specifications of the Public Works Department.
4. During building construction of the site, the soil shall be watered in order to minimize the impacts of dust on the surrounding area.
5. The siting of construction related equipment (job site offices, trailers, materials, etc.) shall be subject to the approval from the Director of Community Development or designee prior to the issuance of any building permits.
6. A site landscaping plan utilizing drought tolerant plants shall be submitted for review and approval concurrent with the building permit application. Use of turf grass and other high water use plant materials shall be minimized. All plants shall be identified on the plan by the Latin and common names. Landscaping within the driveway visibility triangle shall be a maximum height of 3 feet. Landscaping shall include mature shrubs and box-sized shade trees throughout the project site. Landscaping shall be installed per the approved plans prior to building final. Landscaping and irrigation shall conform to water conservation regulations per Chapter 7.44 of the Manhattan Beach Municipal Code. The landscaping site plan shall be to the satisfaction and approval of the Community Development Director.
7. A low pressure or drip irrigation system shall be installed in the landscaped areas utilizing smart controllers and other WaterSense devices, which shall not cause any surface run-off. Details of the irrigation system shall be noted on the landscaping plans. The type and design shall be subject to the approval of the Public Works and Community Development Departments and shall be installed per the approved plans prior to building final.
8. Backflow prevention valves shall be installed as required by the Department of Public Works, and the locations of any such valves or similar devices shall be subject to approval by the Community Development Department prior to issuance of building permits.
9. All defective or damaged curb, gutter, street paving, and sidewalk improvements shall be removed and replaced with standard improvements, subject to the approval of the Public Works Department.
10. No waste water shall be permitted to be discharged from the premises. Waste water shall be discharged into the sanitary sewer system.
11. Property line clean outs, mop sinks, erosion control, and other sewer and storm water items shall be installed and maintained as required by the Department of Public Works or Building Official.
12. Security lighting for the site shall be provided in conformance with Municipal Code requirements including glare prevention design.
13. Noise emanating from the site shall be in compliance with the Municipal Noise Ordinance.

14. Any outside sound or amplification system or equipment is prohibited.
15. Construction plans shall incorporate sustainable building components into the building and site design. The plans may include, but not be limited to LEED (Leadership in Energy and Environmental Design) and Built-It-Green components, permeable pavement, energy efficient plumbing, mechanical and electrical systems which shall include the use of WaterSense and Energy Star fixtures and appliances, and retention of storm water on the site. The proposed development will have a minimal effect on existing surface drainage patterns and may result in an incremental increase in the amount of surface runoff entering the public storm drain system. Gutters and downspouts shall direct roof run-off to permeable areas and landscaped yard areas throughout the site, which shall absorb a significant portion of surface runoff. In addition, the site will be properly graded to obtain maximum onsite drainage and soil stability. Plans shall require review and approval by the Community Development and Public Works Departments.

Condominium Conditions

16. A survey suitable for purposes of recordation shall be performed by a Civil Engineer or Land Surveyor licensed in the State of California, including permanent monumentation of all property corners and the establishment or certification of centerline ties at the intersections of:
 - a. Aviation Way and Matthews Avenue
 - b. Aviation Way and Nelson Avenue
 - c. Aviation Boulevard and Matthews Avenue
 - d. Aviation Boulevard and Nelson Avenue
17. Each new condominium shall have separate water and sewer laterals as required by the Director of Public Works.
18. Vesting Tentative Parcel Map No. 82904 shall be approved for an initial period of 3 years with the option of future extensions. The final map shall be recorded prior to condominium occupancy.

Public Works

19. Enclosed storage area(s) for refuse containers must be provided on-site. These areas must be constructed to meet the requirements of M.B.M.C. 5.24.030. The area(s) must be shown in detail on the plans before a permit is issued. The individual condominium units must provide their own trash and recycling areas and show the areas on the plans as per the approval of the Public Works Department. The landscape company contracted by the homeowner's association must dispose of all green waste off-site.
20. Each new condominium shall separate water and sewer laterals as required by the Director of Public Works. Separate water lines and sanitary sewer laterals must be installed on each unit. A 6" property line cleanout must be installed on a 6" sanitary sewer lateral for each new condominium. Cleanout must be shown on the site plan.
21. New curb and gutter, sidewalk and driveway approach fronting the property to latest City standards and all must comply with most current ADA standards prior to final occupancy. Including per M.B.M.C. Chapter 11.20 additional right of way dedication will be required including flared sidewalk behind utility poles to provide adequate sidewalk clearances.
22. It is the responsibility of the contractor to protect all the street signs around the property. If signs are damaged, lost or removed, it is the responsibility of the contractor to replace and/or relocate the signs at the contractor's expense. The contractor is also responsible for any street markings that are damaged or removed by the contractor's operations. Contact the Public Works Inspector for sign specification and suppliers.
23. Direct surface and roof runoff to vegetated areas before discharging into the public right of way/street per M.B.M.C 5.84.100. Incorporate Low Impact Development (LID) features within the landscaped areas to infiltrate roof and surface runoff rather than allow flow into the street right of way.

Building

31. The project must comply with all 2019 California Building Standards Codes, City of Manhattan Beach Amendments and State Codes and ADA disabled access requirements.
32. A soil report must be submitted at the time of plan check for review and approval per Building and Safety requirements.
33. The project shall comply with Fire resistance requirements for exterior walls and openings in exterior walls.
34. Solar panels will be installed as part of Title 24 requirements.
35. The project shall underground all utilities, including electrical, telephone, cable, and similar service wires and cables. [MBMC 9.12.050]

Procedural

36. *Interpretation.* Any questions of intent or interpretation of any condition will be resolved by the Planning Commission.
37. *Inspections.* The Community Development Department Staff shall be allowed to inspect the site and the development during construction subject to 24-hour advance notice.
38. *Assignment.* The permit may be assigned to any qualified persons subject to submittal of the following information to the Director of Community Development:
 - a. a completed application and application fee as established by the City's Fee Resolution;
 - b. an affidavit executed by the assignee attesting to the assignee's agreement to comply with the terms and conditions of the permit;
 - c. evidence of the assignee's legal interest in the property involved and legal capacity to undertake the development as approved and to satisfy the conditions required in the permit;
 - d. the original permittee's request to assign all rights to undertake the development to the assignee; and,
 - e. a copy of the original permit showing that it has not expired.
39. *Terms and Conditions are Perpetual.* These terms and conditions shall be perpetual, and it is the intention of the Director of Community Development and the permittee to bind all future owners and possessors of the subject property to the terms and conditions.
40. *Effective Date.* This Resolution shall become effective when all time limits for appeal as set forth in MBMC Section 10.100.030.
41. All provisions of the Use Permit are subject to review by the Community Development Department 6 months after occupancy and yearly thereafter.
42. This Use Permit shall lapse two years after its date of approval, unless implemented or extended pursuant to 10.84.090 of the Municipal Code.
43. Pursuant to Public Resources Code section 21089(b) and Fish and Game Code section 711.4(c), the project is not operative, vested or final until the required filing fees are paid.
44. The applicant agrees, as a condition of approval of this project, to pay for all reasonable legal and expert fees and expenses of the City of Manhattan Beach, in defending any legal actions associated with the approval of this project brought against the City. In the event such a legal action is filed against the project, the City shall estimate its expenses for the litigation. Applicant shall deposit said amount with the City or enter into an agreement with the City to pay such expenses as they become due.

SECTION 3. Pursuant to Government Code Section 65009 and Code of Civil Procedure Section 1094.6, any action or proceeding to attack, review, set aside, void or annul this decision, or concerning any of the proceedings, acts, or determinations taken, done or made prior to such decision or to determine the reasonableness, legality or validity of any condition attached to this decision shall not be maintained by any person unless the action or proceeding is commenced within 90 days of the date of this resolution and the City Council is served within 120 days of the date of this resolution. The City Clerk shall send a certified copy of this resolution to the applicant, and if any, the appellant at the address of said person set forth in the record of the proceedings and such mailing shall constitute the notice required by Code of Civil Procedure Section 1094.6.

I hereby certify that the foregoing is a full, true, and correct copy of the Resolution as **ADOPTED** by the Planning Commission at its regular meeting of **April 29, 2020** and that said Resolution was adopted by the following vote:

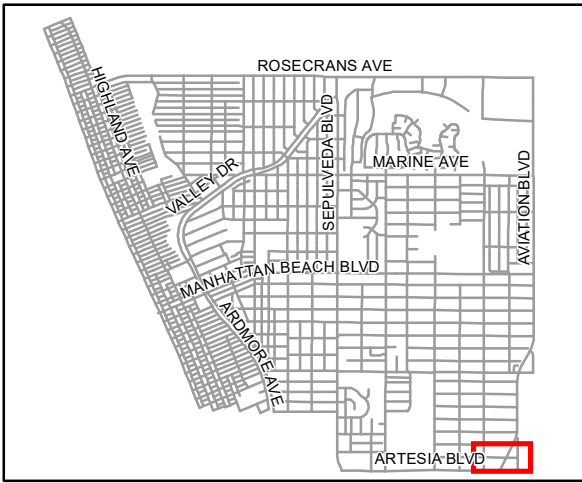
AYES:
NOES:
ABSTAIN:
ABSENT:

CARRIE TAI, AICP,
Secretary to the Planning Commission

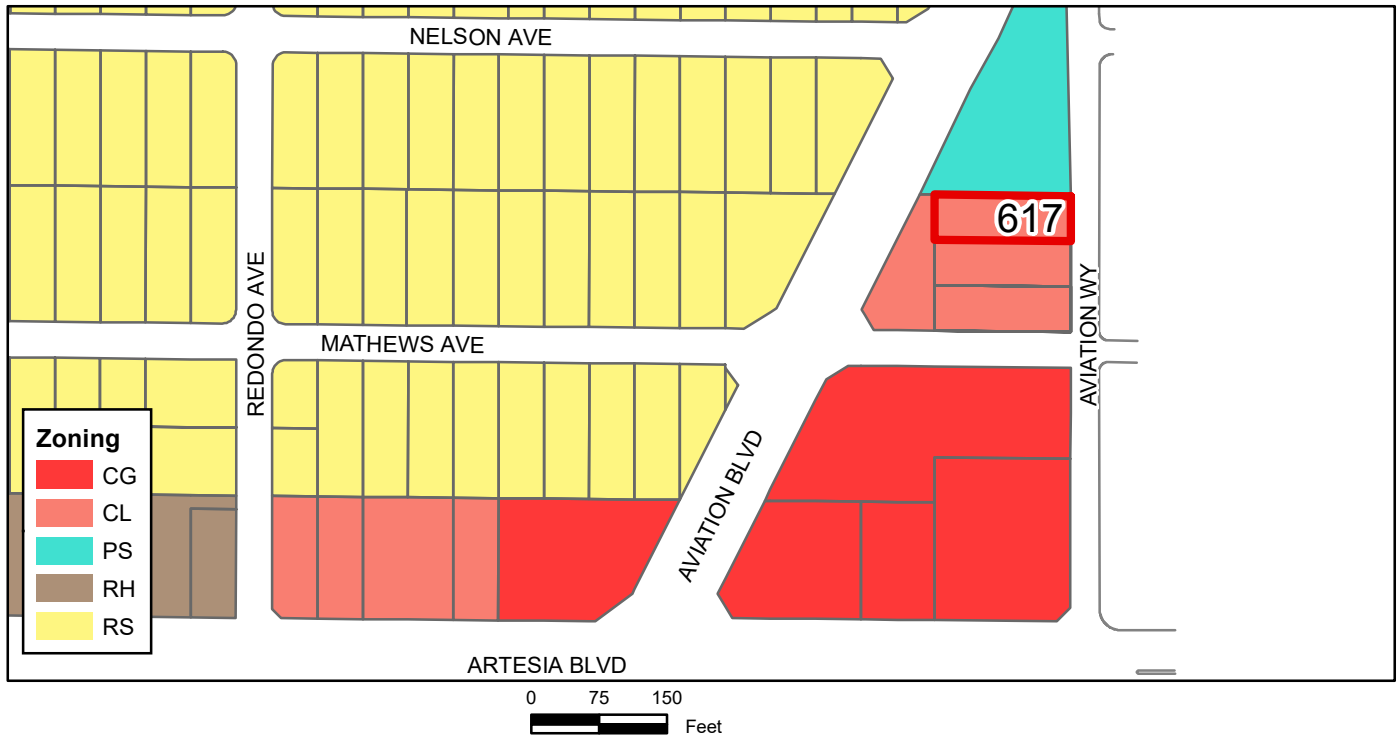
ROSEMARY LACKOW,
Recording Secretary

Vicinity Map

617 Aviation Way



March 2020



THIS PAGE
INTENTIONALLY
LEFT BLANK

ATTACHMENT C

ATTACHMENT TO APPLICATION FOR 4 UNIT RESIDENTIAL CONDOMINIUM DEVELOPMENT 617 Aviation Way November 15, 2019

This proposal is for the demolition of a single-family residence and construction of four attached condominium units, and approval of VTPM 82904. The subject lot is 7,490 square feet, measuring 49.97 by 149.88 feet. It is located in the CL (Local Commercial) district. In the CL zone, multi-family residential use requires a conditional use permit. Where dwelling units are the sole use on a site, the standards for residential development in the RH district apply. In Area District 1, the RH standard allows four condominium units on this site, with a conditional use permit. A vesting tentative parcel map is proposed to subdivide the property into separate ownership for each of the four units.

Each new unit will contain three stories and a private two-car garage and guest parking space adjacent to each garage. Driveway access will be through a curb cut to be relocated from the north to the south side of the property.

The proposed development is located on the west side of Aviation Way between public open space to the north and four-unit condominium to the south. The border of Redondo Beach is immediately east. To the south are lots zoned CL and CG. To the west are lots zoned RS.

The proposed development responds to the General Plan which encourages multi-family residential development in appropriate areas, including apartments and condominium development. Plans have been designed to comply with all applicable development standards, including the 30' height limit and density as stipulated by the RH standards in the CL zone, as well as floor area, setbacks, parking, landscaping and open space.

The proposal meets guidelines established for approval of the conditional use permit as follows:

- 1. The location is in accord with objectives of the title and purposes of the district in that the subject site will accommodate the proposed four-unit development in compliance with all applicable zoning standards including the 30' height limit and 1000 s.f. minimum lot area/unit, as well as all other criteria such as floor area, setbacks, parking, landscaping and open space requirements. The new homes will offer attractive opportunities for owner-occupied homes.*
- 2. The proposed location and conditions will be consistent with the General Plan: The proposed development is in full compliance with all applicable standards and permitted uses and thus will not be detrimental to public health, safety or welfare of any individuals working or residing in the neighborhood and will not conflict or impact adjacent improvements.*
- 3. The proposed use meets the intention of the RH standard (as applied in this CL zone), which is to provide opportunities for a type of housing not found in other residential districts. Proposed plans meet all development standards and thus will be compatible with the surrounding neighborhood.*
- 4. The proposed use is well within scope of uses intended for the area and is designed in compliance with all applicable standards for the CL Zone, which are set forth to protect the public health, safety and welfare of other uses throughout the surrounding area. The new homes will have a negligible effect on the City infrastructure and will not result in any negative impacts on the surrounding community.*



ENVIRONMENTAL INFORMATION FORM

(to be completed by applicant)

CITY OF MANHATTAN BEACH
COMMUNITY DEVELOPMENT DEPARTMENT

Date Filed: _____

APPLICANT INFORMATION

Name: 617 Aviation Way MB, LLC
Address: 1530 5th St., Manhattan Beach, CA
Phone number: 310-374-7050
Relationship to property: Buyer in Escrow

Contact Person: Srou & Associates
Address: 1001 6th St #110, MB CA 90266
Phone number: 310/372-8433
Association to applicant: Representative

PROJECT LOCATION AND LAND USE

Project Address: 617 Aviation Way
Assessor's Parcel Number: 4163-007-003
Legal Description: LOT 3, BLOCK 103, REDONDO VILLA TRACT No. 2
Area District, Zoning, General Plan Designation: AD 1, CL, CL
Surrounding Land Uses:
North PS-Public and Semi-Public West RM-Residential Medium Density
South CG-General Commercial East Redondo Beach
Existing Land Use: Single-Family Residence

PROJECT DESCRIPTION

Type of Project: Commercial _____ Residential xx Other _____
If Residential, indicate type of development (i.e.; single family, apartment, condominium, etc.) and number of units: four residential condominium units

If Commercial, indicate orientation (neighborhood, citywide, or regional), type of use anticipated, hours of operation, number of employees, number of fixed seats, square footage of kitchen, seating, sales, and storage areas: _____

If use is other than above, provide detailed operational characteristics and anticipated intensity of the development: _____

	<u>Existing</u>	<u>Proposed</u>	<u>Required</u>	<u>Demolished</u>
Project Site Area:	7,490	No Change to existing lot area		
Building Floor Area:	-----	7,457 s.f.	>=7,490 s.f	-----
Height of Structure(s)	All	30'	30'	All
Number of Floors/Stories:	structures	3	3	structures
Percent Lot Coverage:	to be	54%		to be
Off-Street Parking:	demolished	2 enclosed/1 guest per unit = 12		demolished
Vehicle Loading Space:	-----	N/A	N/A	-----
Open Space/Landscaping:	-----	1620 s.f.	1105 s.f	-----

Proposed Grading:

Cut 95 Fill 20 Balance 75 Imported 0 Exported 75

Will the proposed project result in the following (*check all that apply*):

<u>Yes</u>	<u>No</u>	
<u> </u>	<u>X</u>	Changes in existing features or any bays, tidelands, beaches, lakes, or hills, or substantial alteration of ground contours?
<u> </u>	<u>X</u>	Changes to a scenic vista or scenic highway?
<u> </u>	<u>X</u>	A change in pattern, scale or character of a general area?
<u> </u>	<u>X*</u>	A generation of significant amount of solid waste or litter?
<u> </u>	<u>X</u>	A violation of air quality regulations/requirements, or the creation of objectionable odors?
<u> </u>	<u>X**</u>	Water quality impacts (surface or ground), or affect drainage patterns?
<u> </u>	<u>X*</u>	An increase in existing noise levels?
<u> </u>	<u>X</u>	A site on filled land, or on a slope of 10% or more?
<u> </u>	<u>X</u>	The use of potentially hazardous chemicals?
<u> </u>	<u>X</u>	An increased demand for municipal services?
<u> </u>	<u>X</u>	An increase in fuel consumption?
<u> </u>	<u>X</u>	A relationship to a larger project, or series of projects?

Explain all "Yes" responses (*attach additional sheets or attachments as necessary*):

* Temporarily during the course of construction

** A new drainage plan will be incorporated with proposed development to contain drainage on site

CERTIFICATION: I hereby certify that the statements furnished above and in attached exhibits present the data and information required for this initial evaluation to the best of my ability, and that the facts, statements, and information presented are true and correct to the best of my knowledge and belief.

Signature: B. L. 88 Prepared For: 617 Aviation Way MB, LLC

Date Prepared: November 15, 2019

Revised 7/97

THIS PAGE
INTENTIONALLY
LEFT BLANK

ATTACHMENT D

ABBREVIATION			
@	AT	JAN.	JANITOR
A.B.	ANCHOR BOLT	J.S.T.	JOIST
A.C.	ASPHALTIC CONCRETE	K.C.	KEENE'S CEMENT
ACOUS.	ACOUSTICAL	K.P.	KING POST
ACS.	ACRES	KIT.	KITCHEN
A.D.	AREA DRAIN	LAM.	LAMINATED
ALUM.	ALUMINUM	LAV.	LAVATORY
A.T.	ASPHALT TILE	LB.	POUND
ADJ.	ADJUSTABLE	LGTH.	LENGTH
A.F.F.	ABOVE FINISHED FLOOR	LKR.	LOCKER
A.F.V.	ABOVE FINISHED SURFACED	MAS.	MASONRY
ABV.	ABOVE	MAX.	MAXIMUM
BD.	BOARD	MECH.	MECHANICAL
BLK.G.	BLOCK	MEMB.	MEMBRANE
BLKG.	BLOCKING	MET.	METAL
BM.	BEAM	MIN.	MINIMUM
BOT.	BOTTOM	MISC.	MISCELLANEOUS
BLDG.	BUILDING	M.O.	MASONRY OPENING
BTWN.	BETWEEN	M.R.	MOISTURE RESISTANT
C.I.	CEILING JOIST	MANUF.	MANUFACTURER
C.L.	CENTER LINE	N.I.C.	NOT IN CONTRACT
C.B.	CATCH BASIN	NO. (#)	NUMBER
CER.	CERMIT	NOM.	NOMINAL
CER.	CERAMIC	N.T.S.	NOT TO SCALE
C.I.P.	CAST IRON PIPE	OBSC.	OBSCURE
CLQ.	CEILING	O.C.	ON CENTER
CLQ.	CLOSE	O.D.	OUTSIDE DIAMETER
CLR.	CLEAR	OFF.	OFFICE
C.O.	CLEAN OUT	OPG.	OPENING
COL.	COLUMN	OV.	OVEN
COM.	COMMON	OYFL.	OVERFLOW
CONC.	CONCRETE	OPP.	OPPOSITE
CONT.	CONTINUOUS	P.	POST
C.W.	COLD WATER	PL.	PROPERTY LINE, PLATE
C.T.	CERAMIC TILE	PARTN.	PARTITION
C.Y.D.	CUBIC YARD	PLAS.	PLASTER
		PLY.	PLYWOOD
		P.L.	PLASTIC LAMINATE
		R.	RISER
		RAD. R.	RADIUS
		RAFT. R.R.	RAFTER
		REFIN.	REINFORCEMENT
		RESIL.	RESILENT
		R.D.	ROOF DRAIN
		R.G.	RANGE
		R.M.	ROOM
		R.O.	ROUGH OPENING
		REF.	REFRIGERATOR
		S.C.	SOLID CORE
		S.	SINK
		SEL. STR.	SELECT STRUCTURAL
		SHT.	SHEET
		SHWR.	SHOWER
		SIM.	SIMILAR
		SHTG.	SHEATING
		SQ.	SQUARE
		STD.	STANDARD
		STL.	STEEL
		STRUCT.	STRUCTURAL
		S.TSL.	STAINLESS STEEL
		SUSP.	SUSPENDED
		SPEC.	SPECIFICATIONS
		SERV.	SERVICE
		SV SK	SERVICE SINK
		S.S.	SELECT STRUCTURAL
		STOR.	STORAGE
		S.T.C.	SOUND TRANSMISSION CLASS
		SQ. FT.	SQUARE FOOT(FEET)
		TEL.	TELEPHONE
		TER.	TERRAZZO
		T& G.	TONGUE AND GROOVE
		T.O.C.	TOP OF CONCRETE
		T.O.W.	TOP OF WALL
		TYP.	TYPICAL
		THRU	THROUGH
		TEMP.	TEMPERED
		T.O.P.	TOP OF PARAPET
		T.	TREAD
		U.	URNAL
		VERT.	VERTICAL
		VEST.	VESTIBULE
		V.G.D.F.	VERTICAL GRAIN DOUGLAS FIR
		W.	WITH
		W.C.	WATER CLOSET
		W.D.	WINDOW DIMENSION
		W.D.	WOOD
		W.H.	WATER HEATER
		WP.	WATERPROOF
		H.O.	HARD WOOD
		HGT.	HEIGHT
		H.P.T.	HIGH POINT
		HDR.	HEADER
		HTR.	HEATER
		H.W.	HOT WATER
		HORIZ.	HORIZONTAL
		H.C.	HOLLOW CORE
		I.D.	INSIDE DIAMETER
		INT.	INTERIOR
		INSUL.	INSULATION
		INV.	INVERT

CONSULTANTS	
ARCHITECT :	912 Architecture, Inc Howard G Crabtree 627 AVIATION WAY MANHATTAN BEACH, CA 90266 PH: (310) 376-9171
CONTRACTOR:	DC Construction Dennis Cleland P. O. BOX 945 MANHATTAN BEACH, CA 90266 PH: (310) 374-7050
SURVEY:	DENN Engineers Gary J. Roehl 3914 DEL AMO BLVD., SUITE 921 TORRANCE, CA 90503 PH: (310) 659-0871
STRUCTURAL:	James C. Orland Civil Engineer 952 MANHATTAN BEACH BLVD., #230 MANHATTAN BEACH, CA 90266 PH: (310) 545-8808
GEOTECHNICAL:	NORCAL Engineering Soils & Geotechnical Consultants 10641 HUMBOLT STREET LOS ALAMITOS, CA 90720 PH: (562) 799-9469
TITLE-24	Newton Energy Chad Campbell 145 Standard Street El Segundo, CA 90245 PH: (310) 375-2699
HYDROLOGY:	PERU Consultants Christian Perez TORRANCE, CA 90502 PH: (310) 270-0811



PUBLIC WORKS NOTES

- All landscape irrigation backflow devices must meet current City requirements for proper installation.
- No discharge of construction wastewater, building materials, debris, or sediment from the site is permitted. No refuse of any kind generated on a construction site may be deposited in residential, commercial, or public refuse containers at any time. The utilization of weekly refuse collection service by the city's hauler for any refuse generated at the construction site is strictly prohibited. Full documentation of all materials/trash landfilled and recycled must be submitted to the Permits Division in compliance of the city's Construction and Demolition Recycling Ordinance.
- Erosion and sediment control devices BMPs (Best Management Practices) must be implemented around the construction site to prevent discharges to the street and adjacent properties. BMPs must be identified and shown on the plan. Control measures must also be taken to prevent street surface water entering the site.
- All storm water, nuisance water, etc. drain lines installed within the street right of way must be constructed of 3" cast iron pipe, and labelled on the site plan. Drains must be shown on plans. Connecting on-site drainage line to sewer lateral is strictly prohibited.
- All runoff water from the roof and side yards and patios must discharge onto 11th Street through the drain lines and must be shown on the plans with all required outlet flow line elevations at the discharge point.
- Impervious surface shall be sloped away from the building at 2% minimum slope for a minimum distance of 10'; lot shall be graded to drain surface water away from foundation walls - per CRC Section R401.3.
- Sidewalk, driveway, curb, and gutter construction, repairs or replacement must be completed per Public Works Specifications. See City Standard Plans ST-1, ST-2, ST-3 and ST-10. The plans must have a profile of the driveway, percentage (%) of slope on driveway, and driveway elevations for each side and the middle. In the case where the grade level is below the street drainage flow lines, the combined slope of public and private approach shall not exceed 15% City recommends that Garage Finish Floor elevation per design plans be higher than existing street grades, in order to minimize possibility of any future flooding of the garage). City Plans/Survey must show elevations for each adjoining property. No deviations in elevations between properties of more than 1/4".
- Driveway profiles exceeding 10% grade will be staked and verified by a licensed professional land surveyor. Verification of driveway grades will be done prior to pouring garage slab. Driveway grades exceeding 15% are not permitted.
- The back of driveway approach must be six inches higher than the flow line on the street. M.B.M.C. 9.76.030. The driveway approach on 11th street must be improved per City Standard Plans.
- Contractor to protect in place all existing property corners during construction. If any of the property corners are removed or destroyed during construction, it would be the responsibility of the contractor to restore them.
- All existing or construction related damages or displaced curb/gutter, sidewalk or driveway approach must be replaced and shown on the plans. Additional public improvements may be required during and/or after the completion of construction per M.B.M.C. 9.72 as determined by the Public Works Inspector based on conditions of the public improvements.
- It is the responsibility of the contractor to protect all the street signs, street lamp/lights, walls/fences, and or trees around the property. If they are damaged, lost or removed, it is the responsibility of the contractor to replace them at the contractor's expense. The contractor is also responsible for any street markings that are damaged or removed by the contractor's operations. Contact the Public Works Inspector for sign specification and supplies.
- Separate water service lines and sanitary sewer laterals must be installed on each unit. Condominiums with three or more units shall use a common sanitary sewer lateral. Lateral shall conform to C.P.C. 717.0 using Table 7-4.
- Condominiums shall include a reciprocal utility right of way corridor between units in order to ensure that each unit has authorized use to access main line utilities for individual services.
- New VCP 6" sanitary sewer lateral will be installed if the existing lateral is less than 6" in diameter. Sewer cleanout should be located within private property lines. A backwater valve is required on the sanitary sewer lateral if the discharges from fixtures with flood level rims are located below the next upstream manhole cover of the public sewer. (Per City Standard Plan ST-24).
- If any existing sewer lateral (6" minimum) is used, it must be televised to check its structural integrity prior to any demolition work. The tape must be made available for review by the Public Works Department and must show proof of the location of where it was shot. The Public Works Department will review the tape and determine at that time if the sanitary lateral needs repairing, replaced, or that it is structurally sound and can be used in its present condition. Videocing of lateral must be in its original state. No cleaning, flushing or altering prior to videocing is permitted.
- If a new sewer lateral is to be installed at a different location on the sewer main line, the old lateral must be capped at the property line and at the main line. Prior to structure demolition a sewer cap verification and approval from Public Works Inspector is required.
- Water meters MUST remain accessible for meter readers during construction. Water meters shall be placed near the property line and out of the driveway approach whenever possible. Water meter placement must be shown on the plans. See City Standard Plan ST-15. For existing water service relocations and/or abandonment, water service must be capped at the main and at the meter.
- The water meter box must be purchased from the City, and must have a traffic rated lid if the box is located in the driveway.
- Condominiums with less than 9 units must provide an enclosed storage area for refuse containers. These areas must be constructed to meet the requirements of M.B.M.C. 5.24.030. The area must be shown in detail on the plans before a permit is issued.
- Condominiums with 9 or more units shall have a trash and recycling storage area. Trash and recycling storage enclosures shall be enclosed, have a roof, built in such a manner that stormwater will enter, and a drain installed that empties into the sanitary sewer system. Floor drain or similar traps directly connected to the drainage system shall be provided with an approved automatic means of maintaining their water seals. See 1007.0 trap seal protection in the uniform plumbing code. Contact the city's refuse contractor for sizing of the enclosure. Drawings of the trash enclosure must be on the plan, and must be approved by the public works department before a permit is issued. See standard plan ST-25.
- All work done within the public right-of-way shall be done by a licensed contractor with a Class A, C-12 or C-34 license for all trenching and paving or a Class C-08 license for all concrete work. A Class B license may be acceptable for minor curb, gutter and sidewalk work constructed in conjunction with a single-family residential structure.
- Plan holder must have the plans rechecked and stamped for approval by the Public Works Department before the building permit is issued.
- The contractor shall monitor, supervise and control all construction and construction supportive activities, so as to prevent these activities from causing a public nuisance, including but not limited to, insuring strict adherence to the following:
 - (a) removal of dirt, debris, or other construction material deposited on any public street no later than the end of each working day.
 - (b) all excavations shall be backfilled at the end of each working day and roads opened to vehicular traffic unless otherwise approved by the City Engineer.
 - (c) all dust control measures per South Coast Air Quality Management District (SCAQMD) requirements shall be adhered to during the construction operations.
 - (d) all construction to be in conformance with the regulations of Cal-OSHA.

NOTE* PLEASE INSERT PUBLIC WORKS COMMENTS BELOW ITS ENTIRETY AND ORDER SENT

PUBLIC WORKS CORRECTIONS: Must show driveway elevation points at both edges and at the center of driveway. It must show from the center line of the street to the curb flow line and from the curb flow line to the garage floor finish grade.

It shall be the duty of every person cutting or making an excavation in or upon any public place, to place and maintain barriers and warning devices for the safety of the general public. M.B.M.C. 17.16.80. If any excavation is made across any public street, alley, or sidewalk, adequate crossings shall be maintained for vehicles and pedestrians. M.B.M.C. 17.16.100.

PROJECT DATA

PROJECT DATA	DC CONSTRUCTION AND DEVELOPMENT P. O. BOX 945, MANHATTAN BEACH, CA. 90266
OWNER:	
PROJECT ADDRESS:	617 AVIATION WAY MANHATTAN BEACH, CA. 90266
APN:	4163-007-003
LEGAL DESCRIPTION:	LOT 3, BLOCK 103 REDONDO VILLA TRACT 'B' M.B. 11-110-111
CONSTRUCTION:	TYPE - V B, SPRINKLERED
OCCUPANCY:	R-3 / U
ZONING:	CL, AREA DISTRICT I
NO. OF STORIES:	THREE STORIES
SCOPE OF WORK:	PROPOSED THREE STORY 4-UNIT CONDOMINIUMS W/ ATTACHED 2-CAR GARAGES
AREA TABULATION:	LOT SIZE: 50.0 FT x 149.8 FT LOT AREA: 7,490.0 SF DENSITY: 7,490.0 SF ÷ 1,800 SF/UNIT = 4.16 (4 UNITS) ALLOWABLE B.F.A.: 7,490.0 SF x 1.0 = 7,490.0 SF PROPOSED B.F.A.: 7,390.0 SF FLOOR AREAS: (SEE BFA DIAGRAM @ SHEET A-4.0)
	(UNIT A) (UNIT B) (UNIT C) (UNIT D)
FIRST FLOOR	153.0 SF 151.1 SF 151.0 SF 160.0 SF
SECOND FLOOR	1,013.0 SF 1,005.0 SF 1,005.0 SF 1,000.0 SF
THIRD FLOOR	684.0 SF 688.0 SF 688.0 SF 672.0 SF
TOTAL FLOOR AREA	1,850.0 SF 1,844.0 SF 1,844.0 SF 1,852.0 SF
GARAGE AREA	388.0 SF 389.0 SF 389.0 SF 388.0 SF
THIRD FLOOR DECK	128.4 SF 128.4 SF 128.4 SF 128.4 SF
BUILDING SETBACK INFORMATION:	REQUIRED SIDEYARD: 10% LOT WIDTH (3'-0" MIN, 10'-0" MAX) 50.00' x 10% = 5.00' REQUIRED REARYARD: (LOT DEPTH x 0.3) - 20 = (150.00' x 0.3) - 20 = 25.00' REQUIRED FRONTYARD: 20.0'
PROVIDED SIDEYARD:	5.00'
PROVIDED REARYARD:	19.00'
PROVIDED FRONTYARD:	20.00'
MAXIMUM ALLOWABLE BUILDING HEIGHT:	AVERAGE GRADE AT PROPERTY CORNERS + 30.00' 93.90' 93.98' 94.50' + 95.12' = 377.50' ÷ 4 = 94.38' 124.38' 124.33'
PROPOSED MAXIMUM BUILDING HEIGHT:	124.33'
OPEN SPACE (FLOOR AREA x 15%):	(UNIT A) (UNIT B) (UNIT C) (UNIT D)
REQUIRED OPEN SPACE:	277.5 SF 276.6 SF 276.6 SF 277.8 SF
PROVIDED OPEN SPACE:	277.5 SF 276.6 SF 276.6 SF 277.8 SF
DECK AT THIRD FLOOR	128.4 SF 128.4 SF 128.4 SF 128.4 SF
PRIVATE REAR YARD	0.0 SF 0.0 SF 0.0 SF 0.0 SF
1/3 COMMON REAR YARD	200.0 SF 200.0 SF 200.0 SF 200.0 SF
TOTAL	328.4 SF 328.4 SF 328.4 SF 328.4 SF
PARKING TABULATION:	REQUIRED PARKING SPACES: 2 SPACES (IN GARAGE) + 1 GUEST FOR EACH UNIT = 12 SPACES PROVIDED PARKING SPACES: 2 SPACES (IN GARAGE) + 1 GUEST FOR EACH UNIT = 12 SPACES
THIS PROJECT SHALL COMPLY WITH:	2019 C.B.C., 2019 C.M.C., 2019 C.E.C., 2019 C.P.C., 2019 U.F.C., 2019 TITLE-24, 2019 CALIFORNIA GREEN CODE WITH STATE OF CALIFORNIA AND CITY OF MANHATTAN BEACH AMENDMENTS,
SEPARATE PERMITS AND PLANS ARE REQUIRED FOR:	SEPARATE PERMITS AND PLANS ARE REQUIRED FOR SPAS, POOLS, SOLAR SYSTEMS, DEMOLITION AND SEWER CAP OF EXISTING BUILDINGS. IF SUCH IMPROVEMENTS OR DEMOLITION IS REQUIRED AS A CONDITION OF APPROVAL FOR DISCRETIONARY ACTIONS OR TO COMMENCE BUILDING THEN SUCH PERMITS MUST BE OBTAINED BEFORE OR AT THE TIME THIS PROPOSED PERMIT IS ISSUED.
	ALSO SEPARATE PERMITS ARE REQUIRED FOR: ELECTRICAL PLUMBING SITE WORK - INCLUDING SITE WALLS FIRE SPRINKLERS LANDSCAPE GRADING

SHEET SCHEDULE

T - 1	TITLE SHEET
T - 2	GENERAL NOTES
T - 3	DOOR SCHEDULE
T - 4	WINDOW SCHEDULE
T - 5	TITLE-24 CF-1R FORMS
T - 6	TITLE-24 CF-1R FORMS
T - 7	RESOLUTION NO. PC 18-14
T - 8	GREEN BUILDING PROGRAM
C - 0	GRADING TITLE SHEET
C - 1	GRADING AND DRAINAGE PLAN
C - 2	UTILITY PLAN
C - 3	DRAINAGE DETAILS
C - 4	CITY OF MB PUBLIC WORKS NOTES & DETAILS
C - 5	CITY OF MB PUBLIC WORKS NOTES & DETAILS
C - 6	DRIVEWAY PROFILES & SECTIONS
C - 7	EROSION CONTROL PLAN
C - 8	EROSION CONTROL NOTES & DETAILS
CS-1	SITE SURVEY
A-1.0	SITE PLAN
A-2.0	PROPOSED FIRST FLOOR PLAN
A-2.1	PROPOSED SECOND FLOOR PLAN
A-2.2	PROPOSED MEZZANINE PLAN
A-3.0	ROOF PLAN
A-4.0	BUILDING SECTIONS
A-4.1	BUILDING SECTIONS
A-4.2	BUILDING SECTIONS
A-5.0	UNPROTECTED OPENING ANALYSIS
A-6.0	EXTERIOR ELEVATIONS
A-6.1	EXTERIOR ELEVATIONS
A-7.0	ARCHITECTURAL DETAILS
A-7.1	ARCHITECTURAL DETAILS
A-7.2	ARCHITECTURAL DETAILS
S-0.0	STRUCTURAL NOTES
S-0.1	STRUCTURAL NOTES
S-0.2	STRUCTURAL NOTES
S-1.0	FOUNDATION PLAN
S-1.1	SECOND FLOOR FRAMING PLAN
S-1.2	MEZZANINE FLOOR FRAMING PLAN
S-1.3	ROOF FRAMING PLAN
S-2.0	STRUCTURAL DETAILS
S-2.1	STRUCTURAL DETAILS
S-2.2	STRUCTURAL DETAILS
S-2.3	STRUCTURAL DETAILS
WSW1	SIMPSON WOOD STRONGWALL DETAILS
WSW1.1	SIMPSON WOOD STRONGWALL DETAILS
WSW2	SIMPSON WOOD STRONGWALL DETAILS
E-1.0	FIRST FLOOR ELECTRICAL PLAN
E-1.1	SECOND FLOOR ELECTRICAL PLAN
E-1.2	MEZZANINE ELECTRICAL PLAN
L - 1	LANDSCAPE PLAN

SYMBOLS

	ROOM NAME
	SECTION DESIGNATION SHEET NUMBER
	DETAIL NUMBER SHEET NUMBER
	WINDOW NUMBER
	DOOR LETTER
	KEY NOTE

VICINITY MAP



Revisions:

- △
- △
- △
- △
- △
- △
- △

FOUR - UNIT CONDOMINIUM
617 AVIATION WAY, MANHATTAN BEACH, CA 90266

Titlesheet

Date: 3/17/20

T-1

SCALE: 1" = 10'

VESTING TENTATIVE

SHEET 1 OF 1 SHEET

PARCEL MAP NO.82904

IN THE CITY OF MANHATTAN BEACH,
COUNTY OF LOS ANGELES, STATE OF CALIFORNIA

FOR CONDOMINIUM PURPOSES

SUBDIVIDER
DC CONSTRUCTION & DEVELOPMENT
DENNIS CLELAND
1530 5TH STREET
MANHATTAN BEACH, CA 90266
PHONE 310-748-0662

LEGAL DESCRIPTION
LOT 3, BLOCK 103
REDONDO VILLA TRACT 'B'
M.B. 11-110-111
APN 4163-007-003

JOB ADDRESS
617 AVIATION WAY
MANHATTAN BEACH, CA 90266

- NOTES**
1. ALL EXISTING STRUCTURES TO BE REMOVED UNLESS OTHERWISE NOTED.
 2. ALL UTILITIES ARE LOCATED IN ADJACENT STREETS.
 3. THIS IS A 4 UNIT CONDOMINIUM PROJECT.
 4. ALL BEARINGS AND DISTANCES ARE RECORD DATA PER THE UNDERLYING TRACT.

* REDONDO VILLA TRACT 'B'
M.B. 11-110-111

** PARCEL MAP NO. 63242
P.M.B. 346-93-94

ENGINEER
DENN ENGINEERS
3914 DEL AMO BLVD., STE. 921
TORRANCE, CA 90503
310-542-9433



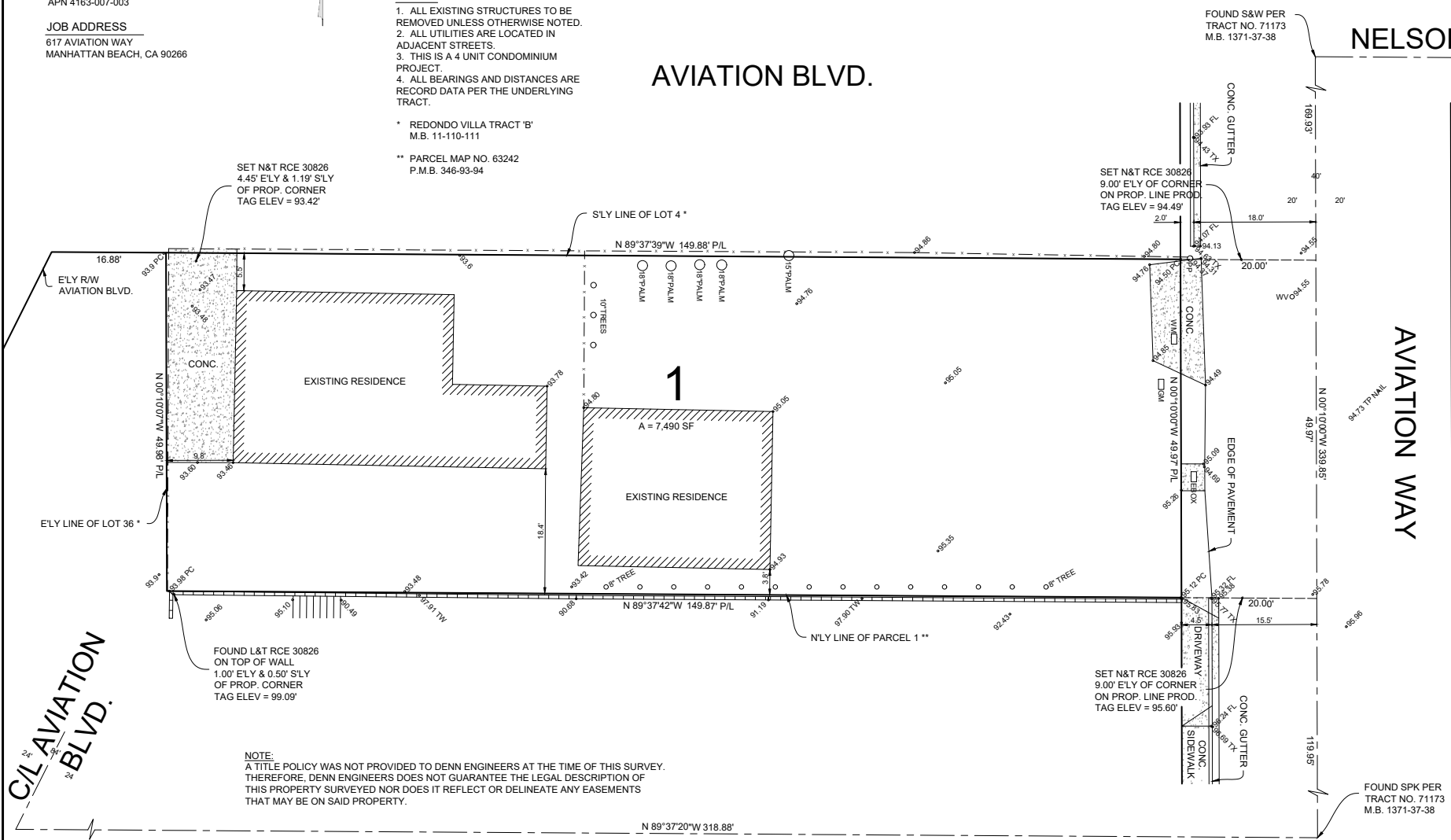
GARY J. ROEHL R.C.E. 30826 DATE 10/4/2019

NELSON AVENUE

AVIATION BLVD.

AVIATION WAY

MATHEWS AVENUE



LEGEND

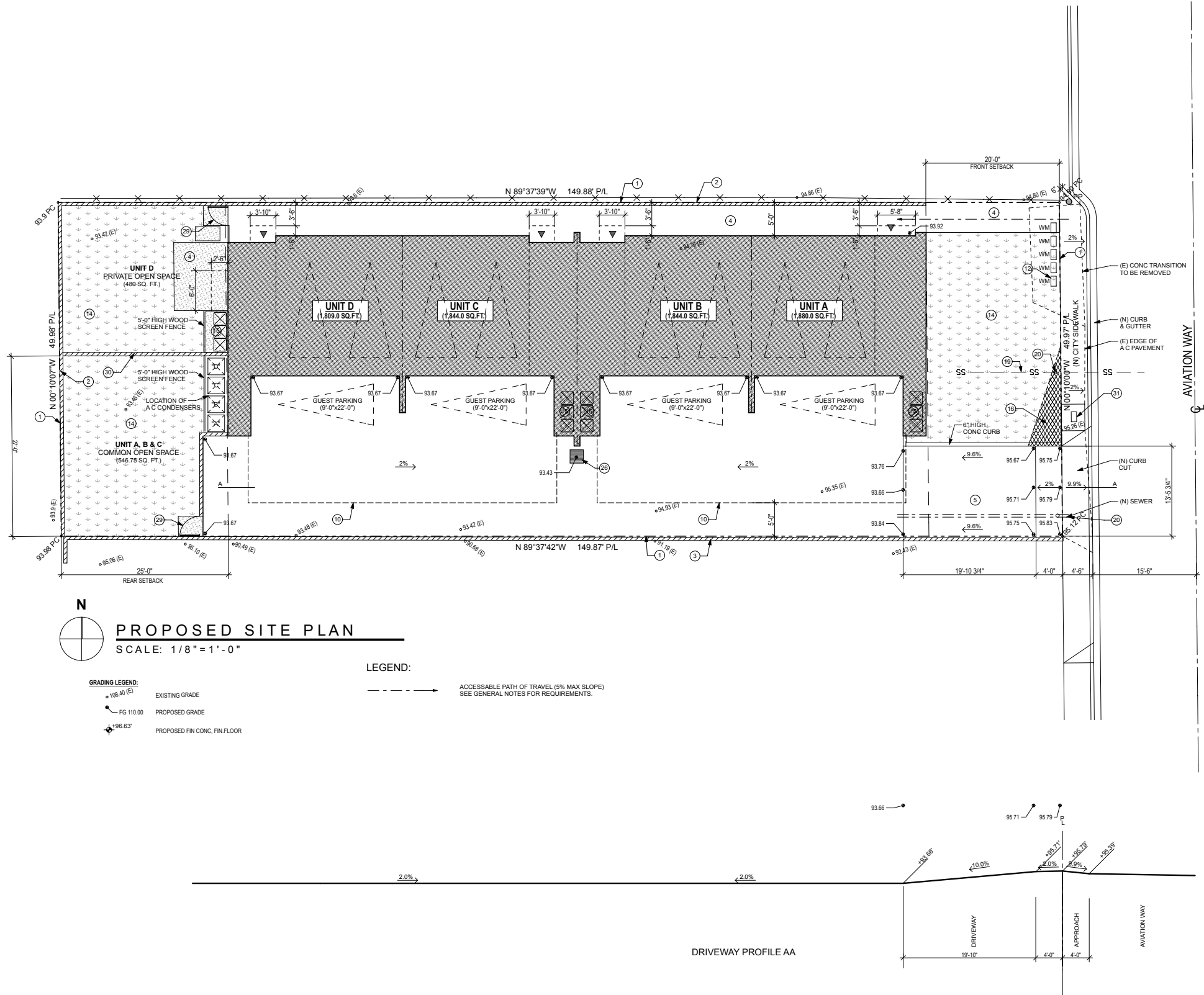
- EXISTING BUILDING
- CONCRETE
- BRICK
- WOOD DECK
- EXISTING ELEVATION
- EXISTING CONTOUR
- BLOCK WALL
- EXISTING FENCE
- BOR BEGINNING OF CURB RET
- ELY EASTERLY
- FD FOUND
- FF FINISH FLOOR
- FL FLOW LINE
- GFF GARAGE FINISH FLOOR
- GW GUY WIRE
- L&T LEAD AND TAG
- MH MANHOLE
- NLY NORTHERLY
- PC PROPERTY CORNER
- PL P/L PROPERTY LINE
- PP POWER POLE
- S&W SPIKE AND WASHER
- S/L SOUTHERLY
- SPK STAKE
- TC TOP OF CURB
- TW TOP OF WALL
- TX TOP OF DWY APRON
- WLY WESTERLY
- WM WATER METER

NOTE: ALL SETBACK DIMENSIONS SHOWN ARE MEASURED TO EXTERIOR SURFACE OF BUILDINGS UNLESS OTHERWISE NOTED.

BOUNDARY MONUMENTS ARE NOT NECESSARILY SET ON PROPERTY CORNERS. PLEASE REFER TO THE NOTATION ON THE PLANS FOR OFFSET DISTANCES. IF THERE ARE ANY QUESTIONS, PLEASE DO NOT HESITATE TO CONTACT DENN ENGINEERS FOR CLARIFICATION AT: (310) 542-9433, M.F. 8:00 AM TO 5:00 PM.

19-428

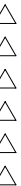
19-428



SITE PLAN NOTES:

1. **PROPERTY LINE**
2. **NEW CMU PROPERTY LINE WALL**
SEE DETAIL 7 / S-2.0
3. **EXISTING CMU WALL TO REMAIN**
(NO CHANGE IN HEIGHT)
4. **NEW CONCRETE WALKWAY / PATIO**
PROVIDE NEW SAW CUTS AS SHOWN
5. **NEW CONCRETE DRIVEWAY**
PROVIDE NEW SAW CUTS AS SHOWN
6. **NEW CURB AND GUTTER PER CITY STANDARD PLAN**
7. **NEW CURB CUT**
PROVIDE NEW CURB CUT AS SHOWN
PER CITY OF MANHATTAN BEACH PUBLIC WORKS NOTES
8. **LINE OF ROOF EAVE ABOVE**
9. **LINE OF BALCONY ABOVE**
10. **LINE OF SECOND FLOOR ABOVE**
11. **EXTERIOR CONCRETE STAIR**
SEE DETAILS INDICATED ON PLAN
12. **NEW WATER METERS LOCATION**
SEE CIVIL SHEETS AT C-2 FOR NEW LOCATION & REQUIREMENTS
13. **DECOMPOSED GRANITE PERMEABLE SURFACE**
14. **LANDSCAPED AREA**
SEE LANDSCAPE PLAN FOR REQUIRED PLANT MATERIALS AND SIZES
ALL LANDSCAPED AREAS SHALL BE PROVIDED WITH AN AUTOMATIC SPRINKLER SYSTEM
15. **TRASH AREA**
TRASH AREA FOR A MINIMUM OF THREE 4' TALL 2X2 TRASH CANS AT GARAGE. REFUSE AREA SHALL NOT INTRUDE TO INTO REQUIRED PARKING DIMENSIONS. (MMBC 5.24.030)
SEE A-1.0 (GROUND FLOOR / GARAGE PLAN) FOR EXACT LOCATION INSIDE THE GARAGE.
16. **DRIVEWAY VISIBILITY TRIANGLE**
PROVIDE UNOBSTRUCTED TRIANGLE OF SIGHT VISIBILITY (5' x 15') ADJACENT TO DRIVEWAY AND BEHIND THE ULTIMATE PROPERTY LINE WHEN EXISTING AREAS WITHOUT WALL COLUMNS OR LANDSCAPING OF 36" HIGH. ALL PLANTERS NEXT TO DRIVEWAY MUST CONFORM TO THIS REQUIREMENT. (PER MMBC 10.84.150)
17. **NEW ELECTRIC METER SERVICE PANEL WITH A 3" DIAMETER STUB OUT CONDUIT**
MIN. 200 AMP SERVICE.
WATERPROOF METAL CONTAINER (FLUSH MOUNT) PAINT TO MATCH ADJACENT WALL
ELECTRICIAN SHALL PROVIDE PANEL SCHEDULE AND LOAD CALCULATIONS
REFER TO M. E. P. SHEETS, PER ARTICLE 220, NEC
18. **NEW GAS METER**
LOCATION SUBJECT TO GAS COMPANY APPROVAL
SEE DETAILS 8 & 9 / A-7.1
19. **SEWER LATERAL - SEE PUBLIC WORKS NOTES @ T-1**
20. **NEW PROPERTY LINE CLEAN OUT**
PROVIDE NEW PROPERTY LINE CLEAN OUT
PER CITY OF MANHATTAN BEACH PUBLIC WORKS NOTES @ T-1
21. **CERTIFICATES**
CERTIFICATES OF INSTALLATION (CF2R-ENV, CF2R-LTG AND CF2R-MECH) SHALL BE COMPLETED BY THE APPLICABLE CONTRACTORS INSTALLING ENERGY FEATURES.
WHEN COMPLIANCE REQUIRES HERS FIELD VERIFICATION AND/OR TESTING, ALL CF2R FORMS SHALL BE SUBMITTED ELECTRONICALLY TO AN APPROVED HERS PROVIDER DATA REGISTRY. THE CF2R FORMS SHALL BE POSTED AT THE JOB SITE IN A CONSPICUOUS LOCATION.
22. **CERTIFICATE OF VERIFICATION (CF3R)** SHALL BE COMPLETED REGISTERED AND SIGNED/CERTIFIED BY THE HERS RATER. THE REGISTERED CF3R FORM SHALL BE MADE AVAILABLE TO THE BUILDING DEPARTMENT AND BUILDER.
23. **SEPARATE PERMITS**
SEPARATE PERMITS AND PLANS ARE REQUIRED FOR SPAS, POOL'S, SOLAR SYSTEMS, DEMOLITION AND SERVER CAP OF EXISTING BUILDINGS. IF SUCH IMPROVEMENTS OR DEMOLITION IS REQUIRED AS A CONDITION OF APPROVAL FOR DISCRETIONARY ACTIONS OR TO COMMENCE BUILDING, THEN SUCH PERMITS MUST BE OBTAINED BEFORE OR AT THE TIME THIS PROPOSED BUILDING PERMIT IS ISSUED.
FENCE / WALL / HANDRAIL AND HEDGE HEIGHTS, AS MEASURED FROM THE LOWEST FINISHED GRADE ADJACENT TO EACH SECTION OF THESE STRUCTURES, MAY BE A MAXIMUM OF: 42" IN THE FRONT YARD SETBACK, AND 6' AT ALL OTHER LOCATIONS ON SITE (5' IN DRIVEWAY VISIBILITY TRIANGLE AND IN THE TRAFFIC VISION CLEARANCE TRIANGLE).
24. **NEW TRENCH DRAIN WITH TRAFFIC RATED GRATE**
DRAIN TO SUMP BASIN VIA 3" Ø PVC PIPE
25. **AREA DRAIN**
DRAIN TO SUMP BASIN VIA 3" Ø PVC PIPE
26. **CATCH BASIN WITH SUMP PUMP**
30"x30"x4'-0" DEEP PREFAB CATCH BASIN W/ 24" SQ. GRATE
PROVIDE (2) ZOELLER MODEL #161 SUMP PUMPS PER HYDROLOGY BY PERU CONSULTANTS
OUTLET TO STREET VIA (2) 3" Ø PVC PIPES TO PROPERTY LINE THEN (2) 3" Ø DUCTILE IRON PIPES THROUGH CURB FACE
NOTE: SUBMIT HYDRAULIC CALCULATIONS AND DETAIL FOR SUMP / PUMP TO BUILDING DEPARTMENT FOR APPROVAL PRIOR TO FABRICATION
27. **PEDESTRIAN PROTECTION**
DURING CONSTRUCTION COMPLY WITH CBC SECT. 3303 REGARDING PROTECTION OF PEDESTRIANS.
28. **BUILDING ADDRESS**
BUILDING ADDRESS SHALL BE PROVIDED ON THE BUILDING IN SUCH POSITION AS TO BE PLAINLY VISIBLE AND LEGIBLE FROM THE STREET PER SECTION 501.2
29. **CMU / WOOD FENCE AND GATE**
PROVIDE 5'-0" HIGH COMBINATION CMU WALL / WOOD FENCE WITH 3'-0" x 5'-0" WOOD GATE
30. **NEW COMBINATION CMU / WOOD FENCE**
PROVIDE 5'-0" HIGH SEPARATION FENCE
SEE DETAIL
31. **ELECTRICAL VAULT**
EXISTING SCE ELECTRICAL VAULT TO REMAIN
TOP OF SIDEWALK TO MEET TOP OF VAULT ELEVATION AT ALL EDGES

Revisions:



FOUR - UNIT CONDOMINIUM
617 AVIATION WAY, MANHATTAN BEACH, CA 90266

Site Plan

Date: 3/17/20

FLOORPLAN NOTES:
VERIFY ALL PLUMBING FIXTURES WITH OWNER

- NEW ELECTRIC METER SERVICE PANEL WITH 3" DIAMETER STUB OUT CONDUIT**
MIN. 200 AMP SERVICE.
WATERPROOF METAL CONTAINER
PAINT TO MATCH ADJACENT WALL
ELECTRICIAN SHALL PROVIDE PANEL
SCHEDULE AND LOAD CALCULATIONS
REFER TO M. E. P. SHEETS
PER ARTICLE 220, NEC
- GROUND FAULT INTERRUPTER (GFI) OUTLETS**
SHALL BE PROVIDED IN BATHROOMS, GARAGES
CRANK SPACES, EXTERIOR, AND WITHIN 6' OF
KITCHEN SINKS
REFER TO M. E. P. SHEETS
PER SECT 210-6a, NEC
- SEPARATE BRANCH CIRCUIT FOR APPLIANCES**
APPLIANCES SUCH AS KITCHEN SINK FOOD GRINDERS,
DISHWASHERS, MICROWAVE OVENS, TRASH
COMPACTORS, WASHING MACHINES, DRYERS,
REFRIGERATORS, FREEZERS, AIR CONDITIONERS, FAUS,
BUILT-IN HEATERS OR ANY FIXED APPLIANCE WITH
MOTOR LARGER THAN 1/4 HP SHALL BE ON A SEPARATE
BRANCH CIRCUIT SUPPLIED BY A MIN. NUMBER 12 AWG
WIRE.
- GENERAL LIGHTING @ KITCHEN AND BATH**
PROVIDE HIGH EFFICACY LIGHTING AT NOT
LESS THAN 40 LUMENS PER WATT
REFER TO ELECTRICAL PLANS.
PER SECT. 530.5.1 T-24
- MECHANICAL VENTILATION @ BATHROOMS**
BATHROOMS SHALL BE MECHANICALLY VENTILATED OR
PROVIDED WITH A WINDOW AREA NOT LESS THAN 3 SQFT,
AT LEAST 50% OPENABLE. PER SECTION 303.3.

BATHROOMS, WATER CLOSET COMPARTMENTS, LAUNDRY
ROOMS SHALL BE PROVIDED WITH MECHANICAL VENTILATION IN
ACCORDANCE WITH THE CALIFORNIA MECHANICAL CODE
PER SECT. 1203.4.2.1, C.B.C.
- ONE-HOUR FIRE RESISTIVE WALL / CEILING**
GARAGE BENEATH HABITABLE ROOMS SHALL BE
SEPARATED FROM ALL HABITABLE ROOMS BY NOT LESS
THAN 5/8" TYPE "X" GYPSUM BOARD
PER TABLE R302.6.
5/8" TYPE "X" GYP WALL BOARD AT ALL WALLS AND
CEILING BETWEEN GARAGE AND ALL ADJACENT LIVING
SPACES, AND ENCLOSING ALL STRUCTURAL MEMBERS
PER SECT. 406.1.4, C.B.C.
PENETRATIONS THROUGH FIRE RATED WALL COMPLY WITH
SECTION 714 SEE DETAILS 40 & 43 / A-7.2
WALL SEPARATING DWELLING UNITS SHALL BE 1-HOUR FIRE
RATED PER SECTION 704.2. SEE DETAILS 42 & 45 / A-7.2
EXTERIOR WALL LOCATED LESS THAN 10 FT. AWAY FROM
PROPERTY LINE SHALL BE 1-HOUR FIRE RATED - PER TABLE 602.
SEE DETAILS 52 / A-7.2 & 53 / A-7.2
- STAIRWAY**
PROVIDE 1 LAYER 5/8" TYPE "X" G.W.B. AT ALL
WALLS AND SOFFIT FOR ENCLOSED USABLE
SPACE BENEATH STAIRWAY
PER SECT. 1009, C.B.C.
- STAIR HANDRAIL (MATERIAL T.B.D.)**
SEE DETAIL 5 / A-7.0

STAIR HANDRAIL SHALL BE 34" TO 38"
ABOVE TREAD. NOSING. CIRCULAR
HANDRAIL SHALL HAVE AN OUTSIDE
DIAMETER OF AT LEAST 1-1/2" AND NOT
GREATER THAN 2". IF THE HANDRAIL IS
NOT CIRCULAR, IT SHALL HAVE A
PERIMETER DIMENSION OF AT LEAST
4" AND NOT GREATER THAN 6.25" WITH A
MAXIMUM CROSS SECTION DIMENSION
OF 2.375". EDGES SHALL HAVE A MINIMUM
RADIUS OF 0.01" PER CBC SECT. 1014.3.

HANDRAIL ASSEMBLIES SHALL BE ABLE TO
RESIST A SINGLE CONCENTRATED LOAD OF
200 POUNDS, APPLIED IN ANY DIRECTION IN
ANY POINT ALONG THE TOP AND HAVE
ATTACHMENT DEVICES AND SUPPORTING
STRUCTURE TO TRANSFER THIS LOADING TO
APPROPRIATE STRUCTURAL ELEMENTS OF
THE BUILDING PER 1607.7.1, & 1607.1.1.
- GUARDRAIL (42" HIGH U.N.O.)**
SEE DETAIL: 18 / A-7.1 & 25 / A-7.1

GUARDRAIL SHALL NOT BE LESS THAN 42" HIGH
AND SHALL HAVE BALLUSTERS OR ORNAMENTAL
PATTERNS SUCH THAT A 4" DIAMETER SPHERE
CANNOT PASS THROUGH ANY OPENING.
PER CBC SECTION 1013.

GUARDRAIL ASSEMBLIES SHALL BE ABLE TO
RESIST A SINGLE CONCENTRATED LOAD OF 200
POUNDS, APPLIED IN ANY DIRECTION IN ANY
POINT ALONG THE TOP AND HAVE ATTACHMENT
DEVICES AND SUPPORTING STRUCTURE TO
TRANSFER THIS LOADING TO APPROPRIATE
STRUCTURAL ELEMENTS OF THE BUILDING PER
1607.7.1, & 1607.1.1
- CORRIDOR / HALL WIDTH**
MINIMUM CLEAR WIDTH 36" (REQ'D)
PER SECT. 1005.2, C.B.C.
- WINDOWS AT BEDROOMS (EGRESS)**
MIN. CLR. OPENING, 5.7 sq. ft.
MIN. CLR. HEIGHT, 24"
MIN. CLR. WIDTH, 20"
FINISHED SILL HEIGHT TO BE NOT MORE THAN
44" ABOVE FINISHED FLOOR REFER TO
WINDOW / DOOR SCHEDULE
PER SECT. 1008, C.B.C.
- DRYER VENT**
EXHAUST TO OUTSIDE AIR @ WALL
PROVIDE LINT TRAP/ACCESS PAINT TO
MATCH EXTERIOR FINISH
INSTALL PER MANUF SPECS VERIFY
LOCATION WITH ARCHITECT
PER SECT. 504.3 & 908, C.M.C.
- WASHER**
HOT AND COLD WATER VALVES, PROVIDE
SMITTY PAN WITH DRAIN
- FORCED AIR UNIT**
SIZE: PER TITLE-24 CALCS, SEE CF-1R FORMS
GAS FIRED
(INTERMITTENT ELECTRONIC IGNITION)
8" VENT THRU FLOOR TO ROOF.
PAINT TO MATCH EXTERIOR FIN.
INSTALLATION & CLEARANCES PER MANUF SPECS
@ GARAGE - PROVIDE 18" HIGH PLATFORM
PER SECT. 308, C.M.C. & C.P.C.
- WATER HEATER**
SIZE: PER TITLE-24 CALCS, SEE CF-1R FORMS
HIGH RECOVERY WITH RECIRCULATION PUMP
GAS FIRED
(INTERMITTENT ELECTRONIC IGNITION)
P & T VALVE SHALL TERMINATE OUTSIDE
INSTALLATION/CLEARANCES PER MANUF SPECS
@ GARAGE - PROVIDE 18" HIGH PLATFORM
PER SECT. 501.1, C.P.C. & SECT. 308.2, C.M.C.
INSTALL ON THE COLD WATER SUPPLY PIPE AT
THE TOP OF WATER HEATER A CAPPED "T"
FITTING TO PLUMB FOR FUTURE SOLAR WATER
HEATING.
- COMBUSTION AIR VENTS**
VENTS FOR TOP & BOTTOM
COMBUSTION AIR. TOP VENT LOCATED WITHIN
12" OF CEILING, BOTTOM VENT LOCATED WITHIN
12" OF PLATFORM. SIZE PER CM.
PER CHAPTER 7, U.M.C. and U.P.C.
- RETURN AIR GRILLE**
SIZE PER CODE
VERIFY LOCATION WITH ARCHITECT
- AIR SUPPLY DUCT**
2 sq. in. PER 1000 BTU REQUIRED @ F.A.U.
SIZE PER CODE
PER SECT. 317, U.M.C.
- LIGHT and VENTILATION @ BEDROOMS**
NATURAL LIGHT BY MEANS OF EXTERIOR GLAZED
OPENINGS WITH AN AREA OF NOT LESS THAN 1/10
OF THE FLOOR AREA (MIN. 10 sq. ft.) NATURAL
VENTILATION BY MEANS OF OPENABLE EXTERIOR
OPENINGS WITH AN AREA OF NOT LESS THAN 1/20
OF THE FLOOR AREA (MIN. 5 sq. ft.)
PER SECT. 1203 C.B.C.
- COMBINATION SMOKE AND CARBON MONOXIDE ALARM**
SMOKE ALARMS AND CARBON MONOXIDE ALARMS
SHALL BE INSTALLED INSIDE ALL BEDROOMS, ON
THE CEILING OR WALL OUTSIDE OF EACH BEDROOM
AND IN EVERY STORY
PER SECTION R314.3, R315.1;
SMOKE ALARMS AND CARBON MONOXIDE ALARMS
SHALL RECEIVE THEIR PRIMARY POWER FROM THE
BUILDING WIRING, AND SHALL BE EQUIPPED WITH
A BATTERY BACKUP AND INTERCONNECTED.
PER SECTION R314.3, R314.4, R315.1;

SMOKE DETECTORS ARE REQUIRED IN EACH ROOM
USED FOR SLEEPING AND CENTRALLY LOCATED IN
THE WALL OR CEILING IN CORRIDORS PROVIDING
ACCESS TO EACH SLEEPING AREA, AT EACH FLOOR
OR BASEMENT LEVEL AND IN CLOSE PROXIMITY TO
THE STAIRWAY. SMOKE DETECTORS SHALL BE
CONNECTED TO THE BUILDING WIRING SYSTEM IN
ALL NEW CONSTRUCTION AND BE PROVIDED WITH
BATTERY BACKUP. SHALL SOUND AN ALARM
AUDIBLE IN ALL AREAS OF THE BUILDING OR BE
INTERCONNECTED.
PER SECT 907.2.1b, C.B.C.

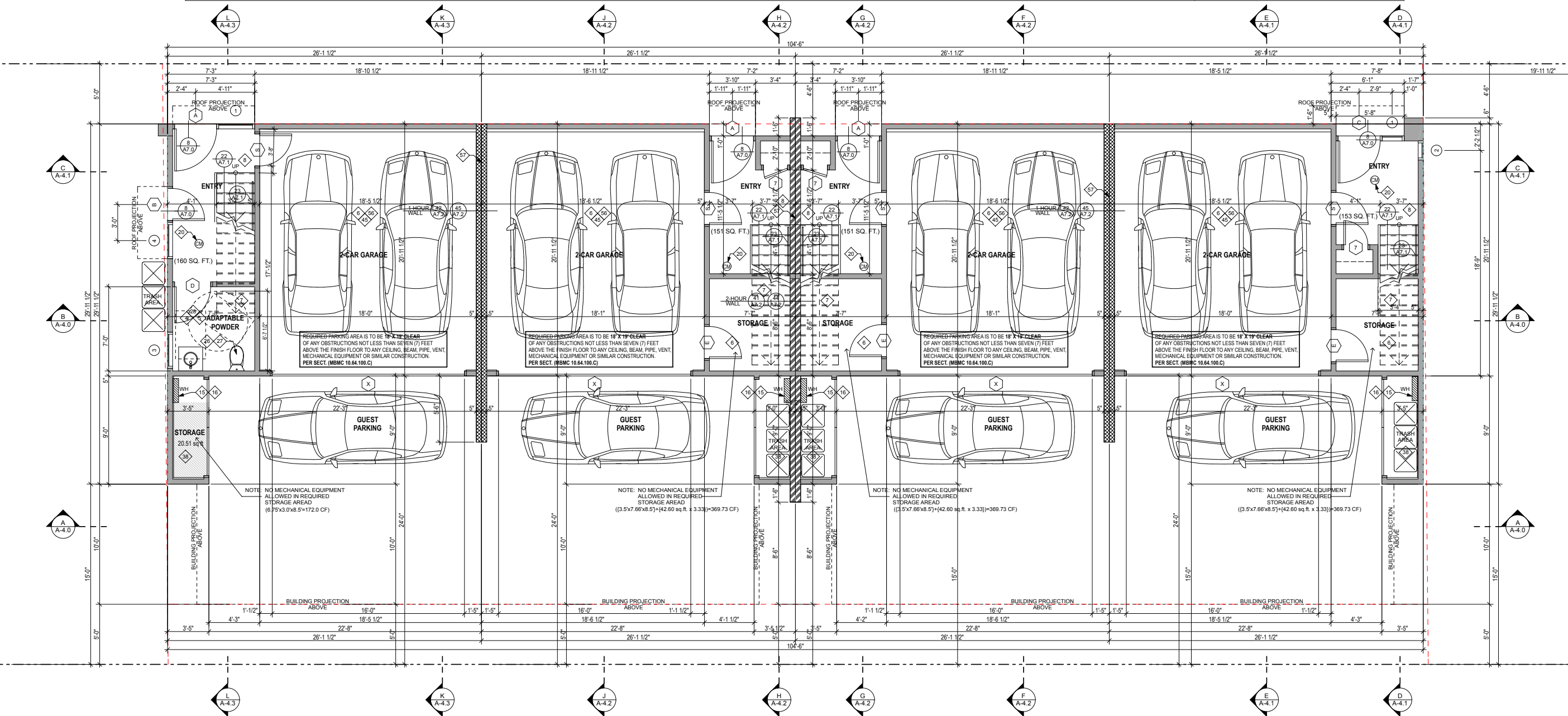
WALL LEGEND:

NON-RATED CONSTRUCTION
SEE STRUCTURAL PLANS FOR STUD SIZE & SPACING

1-HOUR RATED COMMON WALL
SEE DETAIL 45 / A-7.2

2-HOUR RATED SEPARATION WALL
SEE DETAIL 44 / A-7.2

KEY NOTES CONTINUED AT SHEET A-2.1



FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"
FOUR-UNIT CONDOMINIUM
617 AVIATION WAY

- Revisions:
- △
 - △
 - △
 - △
 - △
 - △

FOUR - UNIT CONDOMINIUM
617 AVIATION WAY, MANHATTAN BEACH, CA 90266

First Floor Plan

Date: 3/17/20

FLOORPLAN NOTES:

(CONTINUED FROM SHEET A-2.0)

21. **PLUMBING WALL**
PROVIDE 2x6 STUD WALL BEHIND PLUMBING FIXTURES
PER C.P.C.
22. **SHOWERS & TUB SHOWERS**
CONTROL VALVES FOR SHOWERS AND TUB SHOWERS SHALL
BE OF THE PRESSURE BALANCE OR THERMOSTATIC MIXING
VALVE TYPE.
PER CPC SEC 410.7

PROVIDE APPROVED SMOOTH HARD NON ABSORBENT
FINISH TO CEILING (VERIFY WITH ARCHITECT)
PROVIDE 1-LAYER "GREENBOARD" MOISTURE RESISTANT
GYPSUM WALLBOARD
PER UBC SEC 807.1.3
23. **FRAMESLESS TEMPERED GLASS ENCLOSURE**
@ SHOWER, WITH DOOR @ TUB SHOWER COMBINATION
PER SECT. 2406 & 2407, U.B.C.
24. **BATH TUB**
MANUF.
MODEL:
INSTALL PER MANUF SPECS
25. **TUB TRAP ACCESS**
12" x 12" PREFABRICATED SHEET METAL PAINT TO
MATCH ADJACENT WALL
26. **WATER CLOSETS**
1.28 GALLON FLUSH, MAX.
PER H & S CODE, SECT. 17921.3b
27. **ACCESS TO TOILETS**
30" CLEAR WIDTH REQUIRED.
24" CLEARANCE IN FRONT REQUIRED.
PER SECT. 2902.6 & 2904, C.B.C.
28. **EXHAUST FAN**
BATHROOMS SHALL BE EQUIPPED WITH AN EXHAUST FAN
CONTROLLED BY A HUMIDISTAT
PER 2013 C.G.B.S.C.
29. **DISHWASHER**
HOT WATER STUB-OUT SMITTY PAN WITH DRAIN
30. **REFRIGERATOR SPACE**
COLD WATER STUB-OUT (ICE MAKER)
31. **KITCHEN SINK**
DOUBLE BASIN
MANUF.
MODEL:
PROVIDE GARBAGE DISPOSAL
32. **COOK - TOP**
MANUF.
MODEL:
PROVIDE GAS STUB-OUT
PROVIDE SHEET METAL HOOD (24" MIN CLR) VENT
THROUGH ROOF PER MANUF SPECS

OR
DOWNDRAFT VENT DUCT TO OUTSIDE AIR THRU
WALL PAINT TO MATCH EXTERIOR FINISH
VERIFY LOCATION OF VENT WITH ARCHITECT.
SEE ENERGY CONFORMANCE NOTES
33. **CONVECTION OVEN**
MANUF.
MODEL:
PROVIDE GAS STUB-OUT DUCT TO OUTSIDE AIR
THRU WALL PAINT TO MATCH EXTERIOR FINISH
VERIFY LOCATION OF VENT WITH ARCHITECT
34. **UNDER-COUNTER MICROWAVE OVEN**
35. **SHELF AND POLE (+66" HIGH) (T.B.D.)**
1 1/2" DIA WOOD POLE WITH 1x14 WOOD SHELF
PAINT TO MATCH ADJACENT WALL FINISH
OPTION: CLOSET ORGANIZER HARDWARE CONFIRM WITH OWNER

36. **GAS FIREPLACE (VENT THROUGH ROOF)**
MANUFACTURER: LENOX
MODEL: SYMMETRY GAS ONLY
ANSI Z21.85 - 2003
APPROVAL:
INSTALL PER MANUFACTURERS SPECIFICATIONS.
USE THIS PRODUCT OR APPROVED EQUAL TO
BE DETERMINED BY OWNER / ARCHITECT.
- PER SECTION R1004.1
WOOD BURNING FIREPLACES ARE NOT PERMITTED
PER AQMD RULE 445
37. **DRAINAGE FIXTURES LOCATED BELOW THE NEXT UPSTREAM**
MANHOLE OR BELOW THE MAIN SEWER LEVEL, REQUIRES
INVESTIGATION TO ASCERTAIN THE NECESSITY FOR SEWER
BACKWATER DEVICE INSTALLATION
PER 2016 CPC SECTION 710.0
38. **TRASH CANS**
TRASH AREA FOR A MINIMUM OF (3) 4" TALL 2X2" TRASH CANS
REFUSE AREA SHALL NOT INTRUDE TO INTO REQUIRED
PARKING DIMENSIONS.
39. **STAIR REQUIREMENTS**
A. MAX. 7.75" RISE & MIN. 10" RUN
B. MIN. 36" CLEAR WIDTH
C. HANDRAILS 34" TO 38" HIGH ABOVE TREAD NOSING
D. HANDRAIL PORTION OF HANDRAIL SHALL BE NOT LESS
THAN 1 1/4" NOR MORE THAN 2" CROSS SECTIONAL DIAM.
DIMENSION HAVING A SMOOTH SURFACE WITH NO
SHARP CORNERS.
(1003.3.3.2.3.4.6)
40. **LANDING AT EGRESS DOOR**
LANDING AT EGRESS SHALL NOT BE MORE THAN 1 1/2" LOWER
THAN TOP OF THRESHOLD.
(EXCEPTION: THRESHOLD HEIGHT CAN BE 7.75" MAX. IF DOOR
IS NOT A REQUIRED EXIT OR DOOR DOES NOT SWING OVER
THE LANDING.)
PER CRC SECTION R311.3.1
41. **LAUNDRY ROOM**
DRAIN PANS OR OTHER DEVICES FOR LAUNDRY ROOM, WATER
HEATERS, AND DISHWASHERS MUST BE PROVIDED.

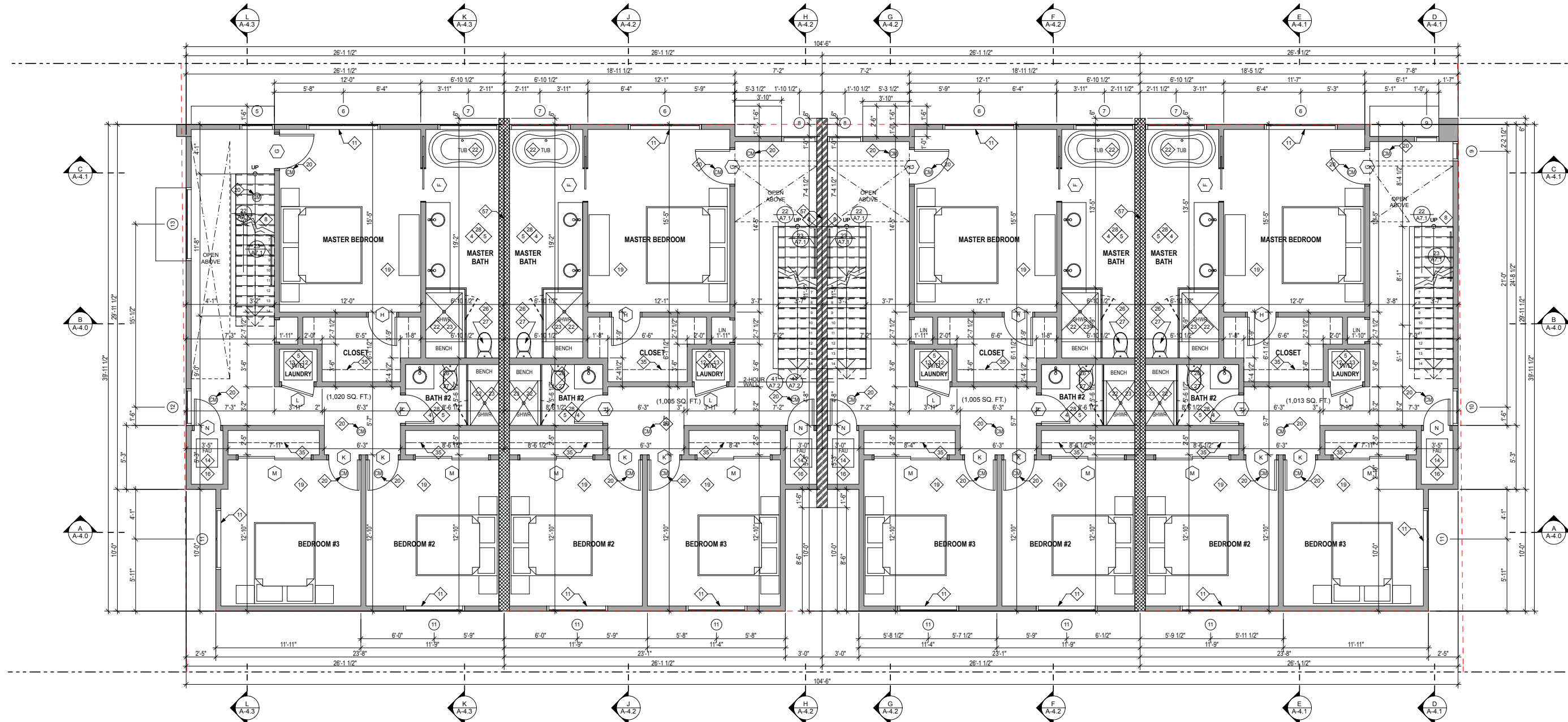
42. **CABLE BOX**
43. **GAS METER**
44. **BACKWATER VALVE**
AN APPROVED BACKWATER VALVE IS REQUIRED FOR DRAINAGE
PIPING SERVING FIXTURES LOCATED BELOW THE ELEVATION
OF THE NEXT UPSTREAM MANHOLE COVER. FIXTURES ABOVE
SUCH ELEVATION SHALL NOT DISCHARGE THROUGH THE
BACKWATER VALVE.
(UPC 710.1)
45. **GARAGE FLOOR**
GARAGE FLOOR SHALL BE SLOPED TO FACILITATE MOVEMENT
OF LIQUIDS TOWARD A DRAIN OR VEHICLE ENTRY DOORWAY
CPC SECT. 406.1.3.
46. **DECK WATERPROOFING**
MANUF.: CROSSFIELD PRODUCTS CORP.
PRODUCT: DECK-TEK ROOF WATERPROOFING MEMBRANE
ICR#: ESR 1757
SLOPE: 1/4"FT. MIN.
CLASS:
A
INSTALL PER MANUF SPECS
USE THIS PRODUCT OR APPROVED EQUAL
PER SECT. 1402, C.B.C.
47. **DECK DRAINS**
MANUF.: THUNDERBIRD
MODEL: 3" DIA. COPPER DECK DRAIN WITH STRAINER
PROVIDE DRAIN LINE TO DRAINAGE SYSTEM
INSTALL PER MANUF SPECS
USE THIS PRODUCT OR APPROVED EQUAL
SEE DETAIL 28/A-7.1
48. **LANDING AT EXTERIOR DOORS**
LANDING ON EACH SIDE OF EXTERIOR DOOR SHALL HAVE A
LENGTH IN DIRECTION OF TRAVEL OF NOT LESS THAN 36"
SECTION R311.3.
49. **WATER METER SERVICE**
SEE LOCATION ON SITE PLAN AT A-1.0
50. **OPEN RAILING**
BALCONIES SHALL HAVE OPEN RAILINGS OR GLASS

51. **1-HOUR COMMON / SEPARATION WALL**
WALL BETWEEN INDIVIDUAL UNITS SHALL BE 1-HOUR
CONSTRUCTION AND SHALL HAVE SOUND TRANSMISSION
COEFFICIENT (STC) RATING OF STC 52 MINIMUM.
SEE DETAILS 42 & 45 / A-7.2 FOR CONSTRUCTION
COMMON WALL BETWEEN UNITS SHALL BE FREE FROM
PLUMBING, MECHANICAL EQUIPMENT DUCT OR VENT
PER CRC SECT R-302.2
COMMON WALL SHALL EXTEND FROM FOUNDATION TO
UNDERSIDE OF ROOF SHEATHING PER CRC SECT R-302.2.1
52. **WHOLE HOUSE VENTILATION**
WHOLE HOUSE MECHANICAL VENTILATION SYSTEM
PER 2016 CALIFORNIA RESIDENTIAL COMPLIANCE
MANUAL, THE BUILDING SHALL BE PROVIDED WITH A
WHOLE HOUSE HOUSE VENTILATION SYSTEM.

EXHAUST FANS AT THE LAUNDRY ROOM SHALL BE
75 CFM MIN. (PER TABLE 4-14)
AND SHALL OPERATE CONTINUOUSLY
FAN SHALL BE RATED TO OPERATE AT A MAX.
NOISE LEVEL OF 1.0 SONE.
-OR-
PROVIDE WHOLE HOUSE VENTILATION SYSTEM @ FAU
FORCED AIR UNIT TO PROVIDE REQUIRED WHOLE HOUSE
VENTILATION SYSTEM.
UNIT MUST BE INSTALLED WITH A SUMMER SWITCH AT THE
AIR HANDLER AND AN OUTSIDE AIR DUCT DIRECTLY TO THE
RETURN AIR FLEXUM.
UNIT MUST BE EQUIPPED WITH CONTROLS WHICH ENSURE
THAT THE AIR HANDLER RUNS EVEN WHEN THERE IS NO
HEATING OR COOLING.
OUTDOOR AIR DUCT INLET SHALL BE PLACED TO AVOID
DRAWING AIR FROM KNOWN AREAS OF CONTAMINANTS,
SUCH AS CHIMNEYS, GARAGES, EXHAUST FANS, ETC.
INSTALLER SHALL MEASURE THE VENTILATION FLOW RATE
INDUCED TO ENSURE THAT IT MEETS THE VENTILATION
RATE REQUIREMENTS UNDER NORMAL HEATING AND
COOLING OPERATING CONDITIONS.
53. **FUTURE SOLAR ELECTRICAL CONDUIT**
PROVIDE ELECTRICAL CONDUIT FOR EACH UNIT FROM ROOF
TO ELECTRICAL SERVICE PANEL FOR FUTURE SOLAR
54. **PLUMBING FIXTURES**
ALL NEW PLUMBING FIXTURES SHALL BE WATER CONSERVING
PER 2016 CPC 402.0

WALL LEGEND:

- NON-RATED CONSTRUCTION
SEE STRUCTURAL PLANS FOR STUD SIZE & SPACING
- 1-HOUR RATED COMMON WALL
SEE DETAIL 45 / A-7.2
- 2-HOUR RATED SEPARATION WALL
SEE DETAIL 44 / A-7.2



SECOND FLOOR PLAN

SCALE: 1/4" = 1'-0"

FOUR-UNIT CONDOMINIUM
617 AVIATION WAY

Revisions:

- △
- △
- △
- △
- △

FOUR - UNIT CONDOMINIUM
617 AVIATION WAY, MANHATTAN BEACH, CA 90266

Second Floor Plan

Date: 3/17/20

A-2.1

Page 25 of 34
PC MTG 04-29-20

architecture
627 Aviation Way
Manhattan Beach, CA 90266
t: 310.376.9171 • f: 310.376.1822
www.912arch.com




912

FLOORPLAN NOTES:

(CONTINUED FROM SHEET A-2.1)

55. **DECK OVERFLOW**
DECK SHALL BE DRAINED BY DRAINS AND OVERFLOW DRAIN OR SOUPPER PER SECTION R903.4.
56. **DUCTS PENETRATING WALL**
DUCTS PENETRATING WALL OR CEILING PENETRATIONS BETWEEN GARAGE AND DWELLING UNIT SHALL BE CONSTRUCTED OF 0.019 INCH MINIMUM SHEET METAL AND SHALL HAVE NO OPENING INTO THE GARAGE - PER SECTION 406.3.4.3.
57. **WALLS SEPARATING DWELLING**
WALLS SEPARATING DWELLING UNITS FROM EACH OTHER SHALL HAVE AN AIRBORNE SOUND RATING OF STC 50 MINIMUM AND IMPACT SOUND RATING OF MINIMUM - PER SECTION 1207.

WALL LEGEND:

-  **NON-RATED CONSTRUCTION**
SEE STRUCTURAL PLANS FOR STUD SIZE & SPACING
-  **1-HOUR RATED COMMON WALL**
SEE DETAIL 45 / A-7.2
-  **2-HOUR RATED SEPARATION WALL**
SEE DETAIL 44 / A-7.2

912
architecture
627 Aviation Way
Manhattan Beach, CA 90266
T: 310.376.8171 • F: 310.376.1822
www.912arch.com

Revisions:

- △
- △
- △
- △
- △

FOUR - UNIT CONDOMINIUM 617 AVIATION WAY, MANHATTAN BEACH, CA 90266

Third Floor Plan

Date: 3/17/20

THIRD FLOOR PLAN

SCALE: 1/4" = 1'-0"

FOUR-UNIT CONDOMINIUM
617 AVIATION WAY

A-2.2

Page 26 of 34
PC MTG 04-29-20

1. CHIMNEY TERMINATION CAP
GALV SHEET METAL OR METAL MESH
WITH APPROVED SPARK ARRESTOR
MANUF:
USE THIS PRODUCT OR AN APPROVED EQUAL.
INSTALL PER MANUFACTURERS INSTRUCTIONS.
DECORATIVE CHIMNEY CAP MUST BE LISTED ASSEMBLY.
CHIMNEY SHALL EXTEND 2 FT ABOVE ADJACENT ROOF
WITHIN 10 FT DISTANCE
PER SECTION 2113.9, C.B.C.

- 2. ROOF FINISH**
MANUF: CROSSFIELD PRODUCTS CORP.
PRODUCT: DEX-O-TEX ROOF WATERPROOFING MEMBRANE
ICC#: ESR 1757
SLOPE: 1/4"FT. MIN.
CLASS: A
INSTALL PER MANUF SPECS
USE THIS PRODUCT OR APPROVED EQUAL
PER SECT. 1402, C.B.C.

3. **ROOF DRAINS**
MANUF: THUNDERBIRD
MODEL: 3" DIA. COPPER DECK DRAIN WITH STRAINER
PROVIDE DRAIN LINE TO DRAINAGE SYSTEM
INSTALL PER MANUF SPECS
USE THIS PRODUCT OR APPROVED EQUAL
SEE DETAIL 29 / A-7.1

4. **OVERFLOW SCUPPER / DRAIN**
REMOVE EXISTING SCUPPERS AND PROVIDE NEW
PROVIDE SEPARATE DRAIN LINE
OUTLET SHALL BE LOCATED 2" ABOVE LOW POINT OF ROOF
OVERFLOW SCUPPER TO BE 3X DRAIN SIZE
INSTALL PER MANUF. SPECS
SEE DETAIL: 29 / A-7.1

5. **ROOF FLASHING**
PROVIDE COPPER SHEET METAL FLASHING
AT ALL ROOF PENETRATION / VALLEY / CRICKET

6. ALL SITE DRAINAGE SHALL BE TERMINATED AT PUBLIC WAY VIA NON EROSION DEVICE.

7. **ROOF GUTTER**
SQUARE ALUMINUM ROOF GUTTER SLOPE TO
DOWNSPOUT LOCATION @ 1% MIN
GUTTER TO MATCH WINDOW FINISH

8. **SQUARE DOWNSPOUT**
ALUMINIUM DOWNSPOUT - MATCH WINDOW FINISH
DRAIN TO STREET VIA APPROVED NON-EROSIVE DEVICE
SEPARATE PIPE REQUIRED FOR OVERFLOW.

9. **DECK WATERPROOFING**
MANUF: CROSSFIELD PRODUCTS CORP.
PRODUCT: DEX-O-TEX ROOF WATERPROOFING
MEMBRANE
ICC#: ESR 1757
SLOPE: 1/4"FT. MIN.
CLASS: A
INSTALL PER MANUF SPECS
USE THIS PRODUCT OR APPROVED EQUAL
PER SECT. 1402. C.B.C.

10. **DECK DRAINS**
MANUF: THUNDERBIRD
MODEL: 3" DIA. COPPER DECK DRAIN
WITH STRAINER
PROVIDE DRAIN LINE TO DRAINAGE SYSTEM
INSTALL PER MANUF SPECS
USE THIS PRODUCT OR APPROVED EQUAL
SEE DETAIL 28 / A-7.1

11. **ATTIC VENT**
UNIT C $64.69 \text{ SF} + 150 = 0.43 \text{ SF VENT AREA (1)}$
UNIT C $104.0 \text{ SF} + 150 = 0.69 \text{ SF VENT AREA (2)}$
UNIT B $46.55 \text{ SF} + 150 = 0.31 \text{ SF VENT AREA (1)}$
UNIT A $104.0 \text{ SF} + 150 = 0.69 \text{ SF VENT AREA (2)}$
UNIT A $64.69 \text{ SF} + 150 = 0.43 \text{ SF VENT AREA (1)}$
 PROVIDE (7) 12"x24" HALF ROUND DORMER VENT
 (0.68 SF VENT AREA) = 4.76 SF
 AT LOCATIONS SHOWN ON ROOF PLAN

- TOTAL VENT AREA = 4.76 SF
PER C.B.C. SECTION 1203

12. PARAPETS, SATELITE ANTENNA, RAILS, SKYLIGHTS, ROOF EQUIP. MUST BE W/IN THE HEIGHT LIMIT.

13. EAVES AND SOFFITS SHALL MEET THE REQUIREMENTS OF SFM-7A-3 OR SHALL BE PROTECTED BY IGNITION-RESISTANT MATERIALS OR NON-COMBUSTIBLE CONSTRUCTION ON THE EXPOSED UNDERSIDE.

14. ROOF DRAINS PASSING THROUGH THE ROOF INTO THE INTERIOR OF A BUILD'G SHALL BE MADE WATERTIGHT AT THE ROOF LINE BY THE USE OF SUITABLE FLASH. MATERIAL.

15. ROOF DRAINAGE WATER SHALL NOT BE ALLOWED TO FLOW OVER PUBLIC PROPERTY, BUT SHALL BE CARRIED, IN A DRAIN PIPE OR OTHER APPROVED TRANSPORT, UNDER THE PUBLIC SIDEWALK OR WALKING SURFACE TO THE GUTTER UNLESS ONE OF THE FOLLOWING CONDITIONS EXISTS AND IS MAINTAINED:

16. ROOF DRAINAGE WATER IS TO BE DEPOSITED AT A POINT OR POINTS ON THE SITE WHERE THE DRAINAGE SWALE IS TO A NATURAL DRAINAGE CHANNEL THAT DOES NOT FLOW OVER PUBLIC PROPERTY.

17. ALL CONCENTRATED DRAINAGE, INCLUDING ROOF WATER SHALL BE CONDUCTED VIA GRAVITY TO THE STREET OR AN APPROVED LOCATION AT A 2% MINIMUM.

18. VALLEY FLASHING SHALL BE NOT LESS THAN 0.019-INCH (0.48 mm) (NO. 26 GALVANIZED SHEET GAGE) CORROSION RESISTANT METAL INSTALLED OVER A MINIMUM 36-INCH WIDE (914 mm) UNDERLAYMENT CONSISTING OF ONE LAYER OF NO. 72 ASTM CAP SHEET RUNNING THE FULL LENGTH OF THE VALLEY

19. ROOF GUTTERS SHALL BE PROVIDED WITH THE MEANS TO PREVENT THE ACCUMULATION OF LEAVES AND DEBRIS IN THE GUTTER.

20. (ROOF) (ATTIC) (EXTERIOR WALL) SHALL RESIST THE INTRUSION OF FLAME EMBERS INTO THE ATTIC AREA OF THE STRUCTURE, OR SHALL BE PROTECTED BY CORROSION RESISTANT, NONCOMBUSTIBLE WIRE MESH WITH 1/4-INCH (6 mm) OPENINGS OR EQUIVALENT. VENTS SHALL NOT BE INSTALLED IN EAVES AND CORNICES.

21. ROOF / PROJECTION LOCATED WITHIN 5 FEET OF PROPERTY LINE SHALL BE 1 HOUR FIRE RATED SECTION 705.2.3.

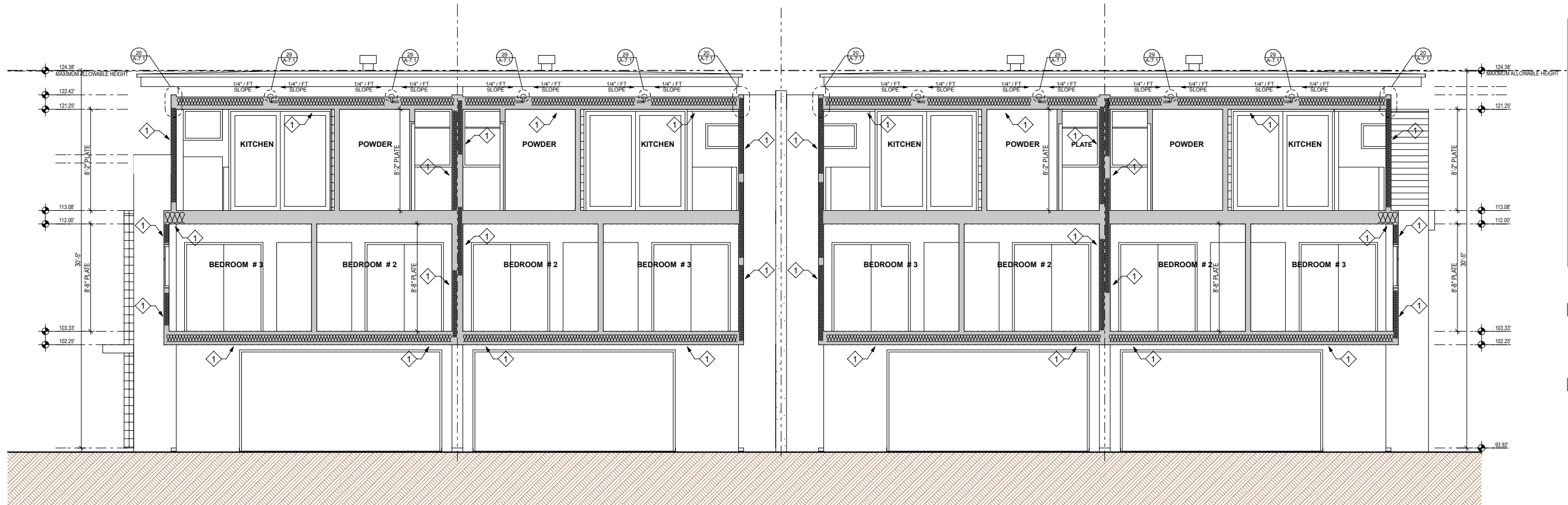
22. RADIANT BARRIER
PER TITLE-24 ENERGY REQUIREMENTS, PROVIDE
RADIANT BARRIER AT UNDERSIDE OF ROOF SHEATHING
IN ALL ATTIC AREAS



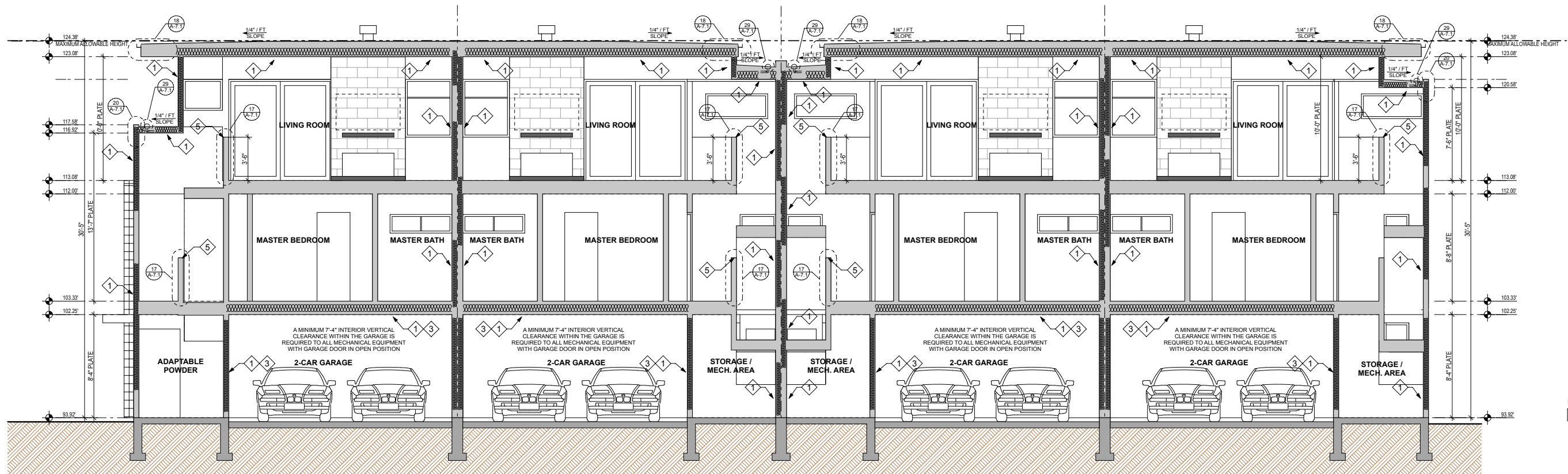
SCALE: 1/4" = 1' - 0"

617 AVIATION WAY, MANHATTAN BEACH, CA 90266

Date: 3/17/20



SECTION A-A
SCALE: 1/4"=1'-0"



SECTION B-B
SCALE: 1/4"=1'-0"

Revisions:

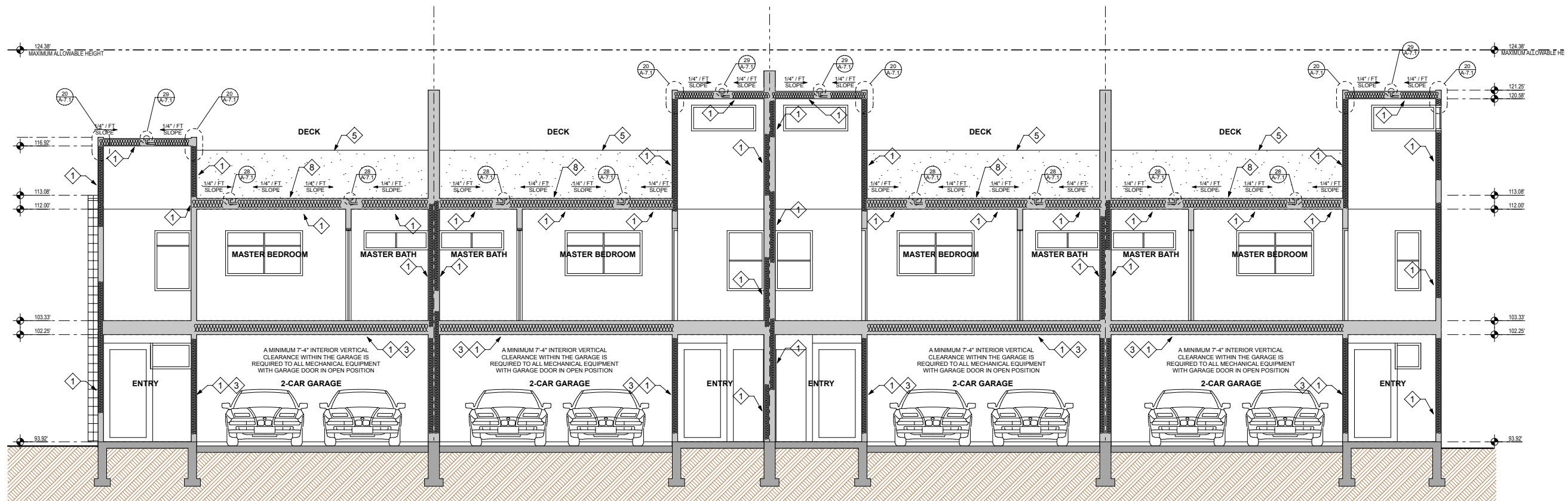


FOUR - UNIT CONDOMINIUM
617 AVIATION WAY, MANHATTAN BEACH, CA 90266

Building
Sections

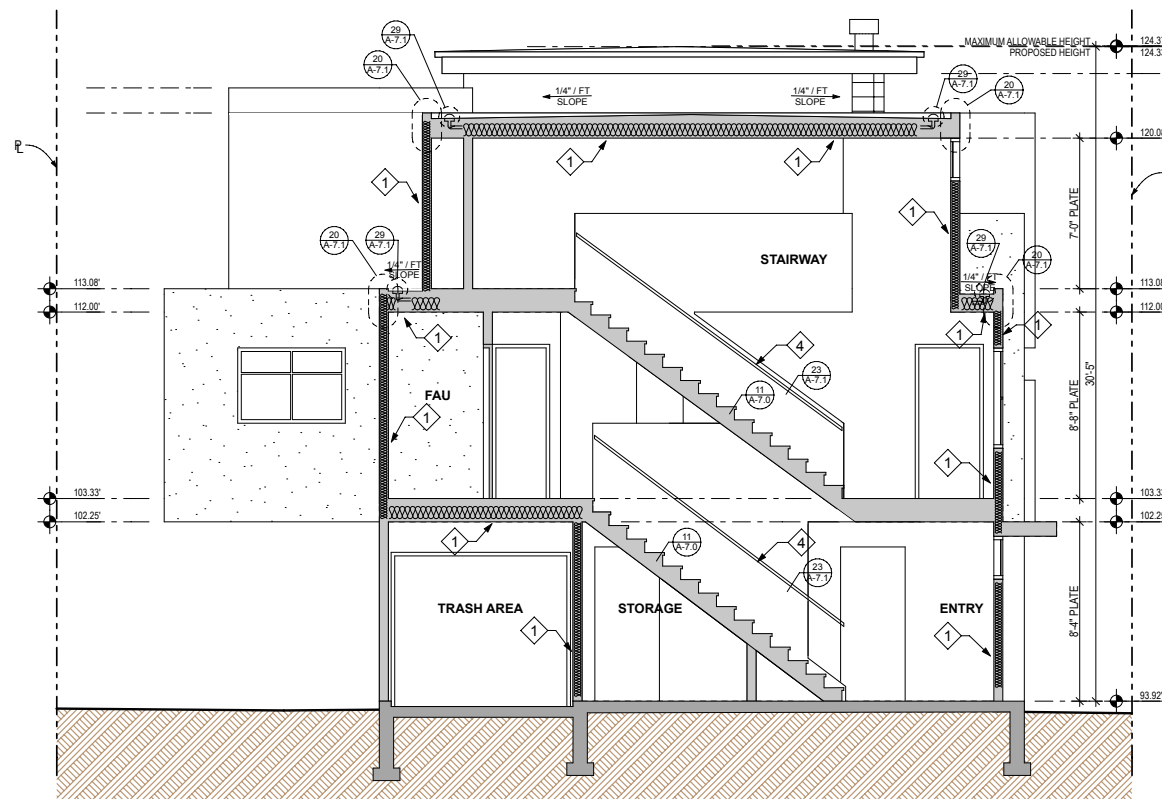
Date: 3/17/20

A-4.0



SECTION C-C

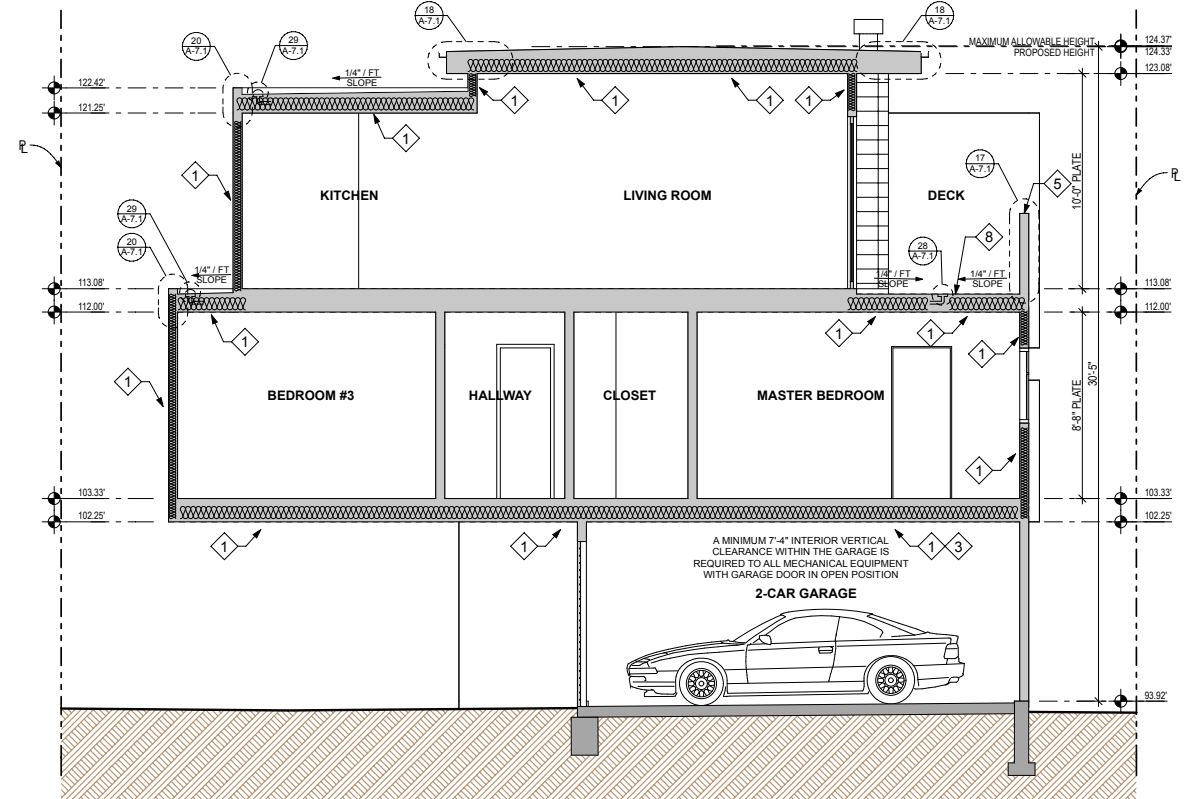
SCALE: 1/4"=1'-0"



SECTION D-D

SCALE: 1/4"=1'-0"

UNIT "A"



SECTION E-E

SCALE: 1/4"=1'-0"

UNIT "A"

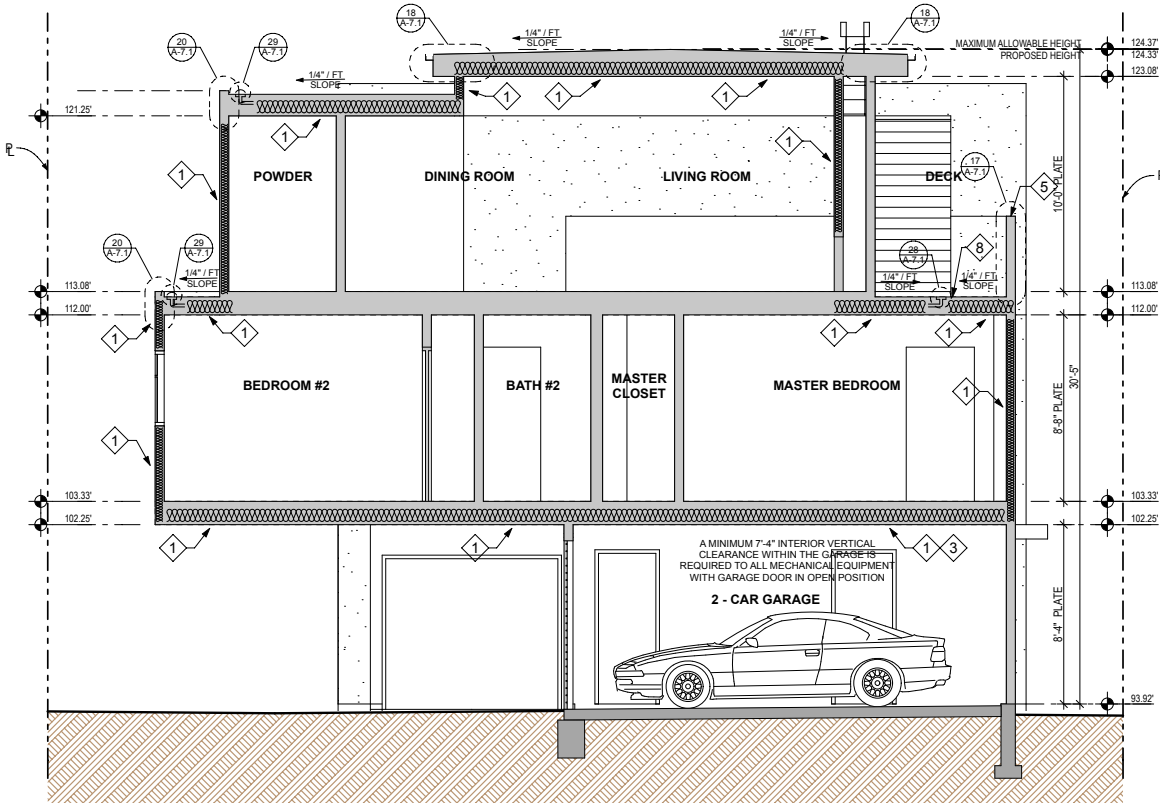
Revisions:

- △
- △
- △
- △
- △
- △

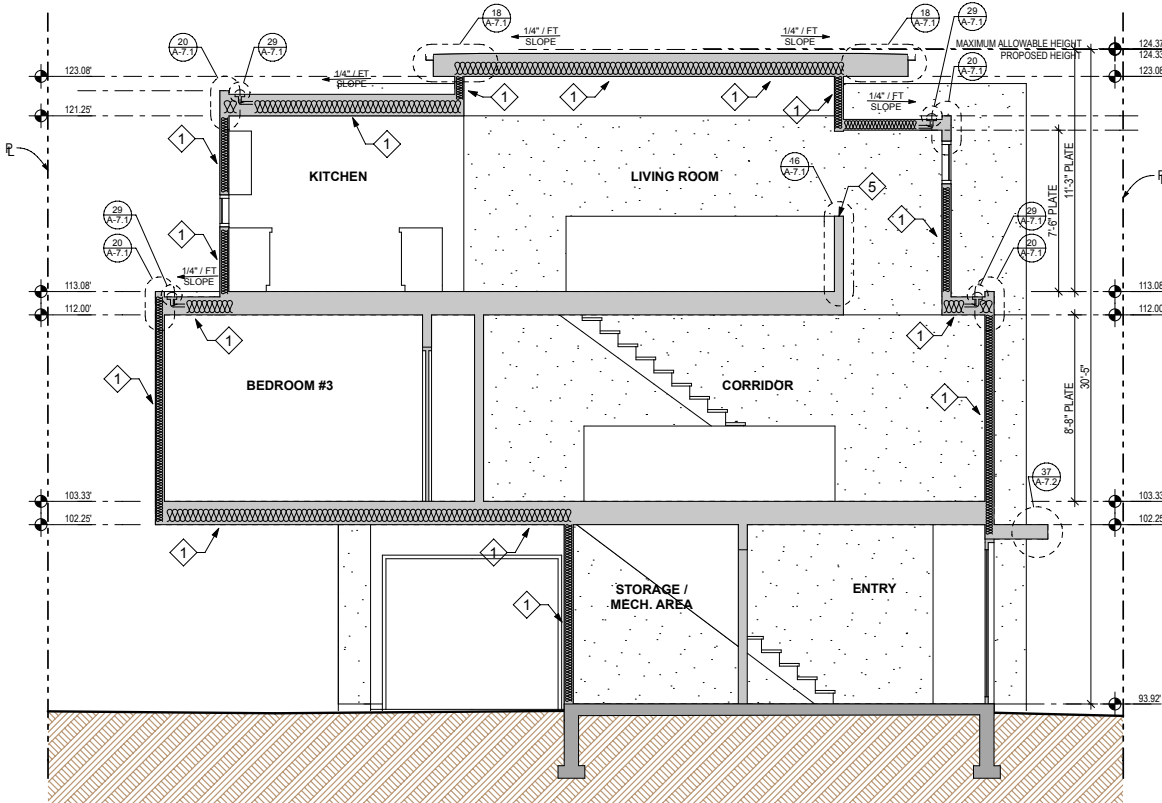
FOUR - UNIT CONDOMINIUM
617 AVIATION WAY, MANHATTAN BEACH, CA 90266

Building
Sections

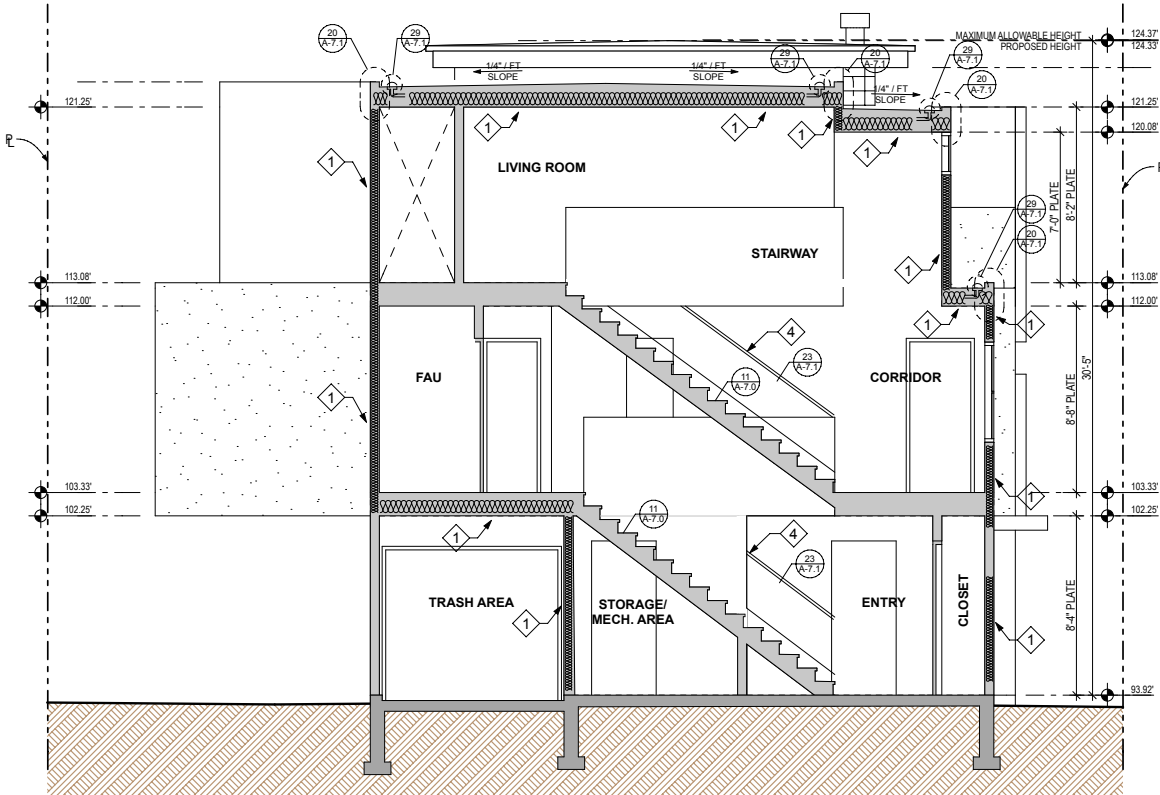
Date: 3/17/20



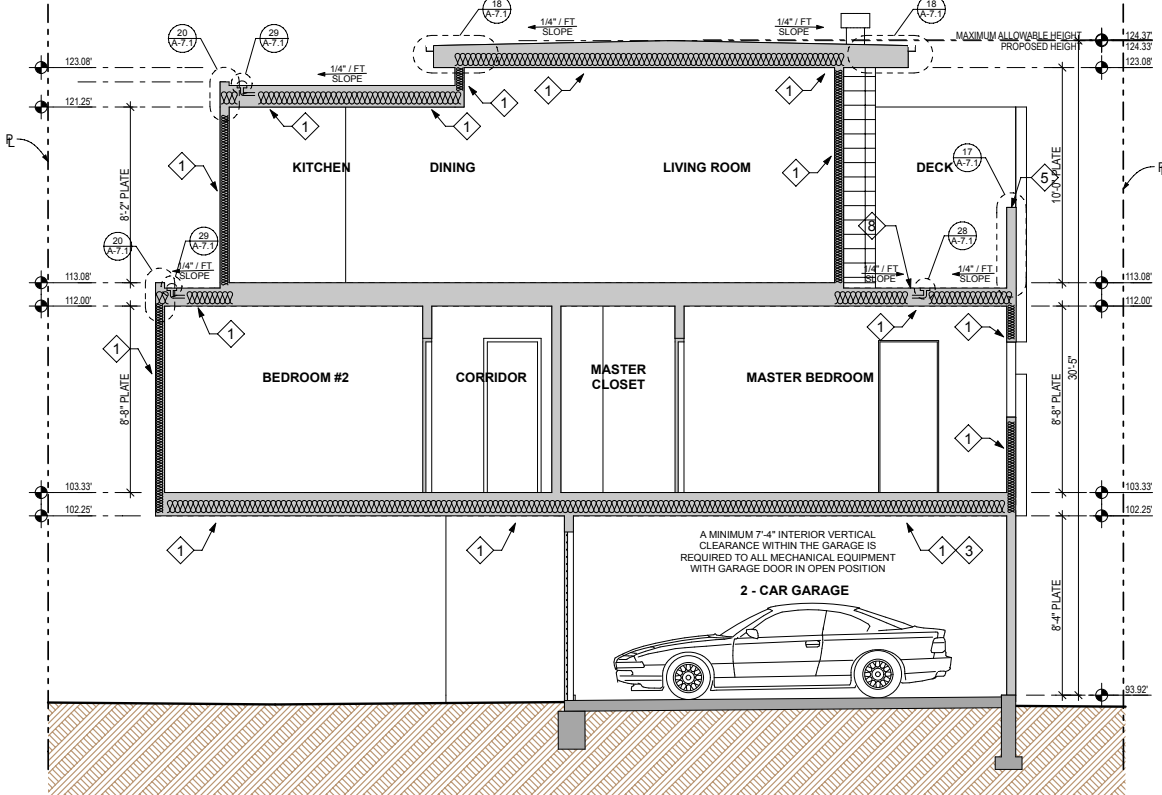
SECTION F-F **UNIT "B"**
SCALE: 1/4"=1'-0"



SECTION G-G **UNIT "B"**
SCALE: 1/4"=1'-0"



SECTION H-H **UNIT "C"**
SCALE: 1/4"=1'-0"



SECTION J-J **UNIT "C"**
SCALE: 1/4"=1'-0"

Revisions:

- △
- △
- △
- △
- △
- △

Building Sections

Date: 3/17/20

1.

INSULATION REQUIREMENTS

FOIL-BACKED BATT INSULATION

INSTALL PER MANUF. SPECS

PROVIDE: ROOF / CEILING R-30 PER CF-1R FORM

EXTERIOR WALL R-15

INTERIOR WALL R-13

(WHERE SPECIFIED)

RAISED WD FLOOR R-19 PER CF-1R FORM

FLR @ OVERHANGS R-19 PER CF-1R FORM

SLAB EDGE INSUL. N/A

REFER TO CF-1R FORMS, SEE SHEET T-6
2.

WATERPROOFING @ FOUNDATION WALL

MANUF: DMX PLASTICS LTD

PRODUCT: DMX AG WATER PROOFING SYSTEM

ICC#: ESR 2896

PROVIDE 4" DIA. PERFORATED PIPE DRAIN IN

FILTER FABRIC WRAP SET IN GRAVEL BED

OUTLET DRAIN @ STREET THROUGH APPROVED

NON-EROSIVE DEVICE. SEE CIVIL DRWGS.

INSTALL PER MANUF. SPECS.

USE THIS PRODUCT OR APPROVED EQUAL.
3.

ONE-HOUR FIRE RESISTIVE WALL

5/8" TYPE "X" GYP. WALL BOARD

AT ALL WALLS AND CEILING BETWEEN GARAGE

AND ALL ADJACENT LIVING SPACES, AND

ENCLOSING ALL STRUCTURAL MEMBERS

PER SECT. 302.4, C.B.C.
4.

HANDRAIL

TOP OF RAIL @ 34" TO 38" ABOVE TREAD

NOSING ONE RAIL TO EXTEND 6" BEYOND TOP

AND BOTTOM RISER, AND SHALL TERMINATE IN

A NEWEL POST OR WALL

HANDGRIP CROSS-SECTIONAL AREA OF TOP

RAIL: 1 1/2" MIN TO 2" MAX

MIN 1 1/2" CLEAR BETWEEN RAIL AND WALL

@ OPEN RAIL, SEE GUARDRAIL NOTE

PER SECT. 1006, C.B.C.
5.

GUARDRAIL (42" HIGH U.N.O.)

TOP RAIL SHALL SUPPORT 20 LBS. PER LIN. FT.

PER SECT. 705, C.B.C.

SEE HAND RAIL NOTE FOR TOP RAIL

OPEN RAIL SHALL HAVE INTERMEDIATE RAILS,

SO THAT A 4" DIA. SPHERE CANNOT PASS THRU.

PER SECT. 509.1, C.B.C.
6.

CHIMNEY

TOP OF CHIMNEY MUST EXTEND A MINIMUM

OF 2' ABOVE ANY PART OF THE BUILDING

WITHIN 10'. CHIMNEY MAY EXCEED THE MAX

PERMITTED BUILDING HEIGHT BY NO MORE

THAN 5' PROVIDED THE WIDTH AND DEPTH

DO NOT EXCEED 3' AND 5' RESPECTIVELY.
7.

PROPOSED NEW ROOF FINISH

MANUF: CROSSFIELD PRODUCTS CORP.

PRODUCT: DEX-O-TEX ROOF WATERPROOFING

MEMBRANE

ICC#: ESR 1757

SLOPE: 1/4"/FT. MIN.

CLASS: A

INSTALL PER MANUF. SPECS

USE THIS PRODUCT OR APPROVED EQUAL

PER SECT. 1402, C.B.C.
8.

PROPOSED NEW DECK FINISH

MANUF: CROSSFIELD PRODUCTS CORP.

PRODUCT: TILE OR STONE OVER THINSET MORTAR OVER

DEX-O-TEX DECK WATERPROOFING MEMBRANE

ICC#: ESR 1757

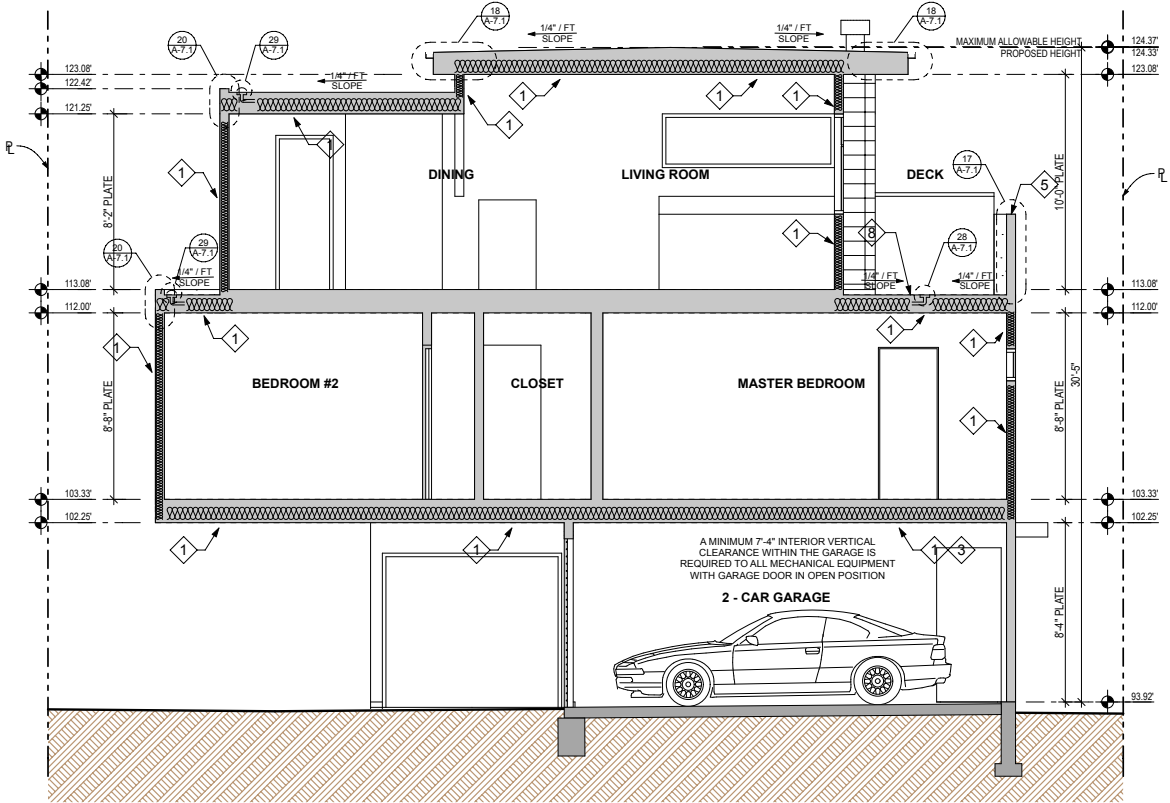
SLOPE: 1/4"/FT. MIN.

CLASS: A

INSTALL PER MANUF. SPECS

USE THIS PRODUCT OR APPROVED EQUAL

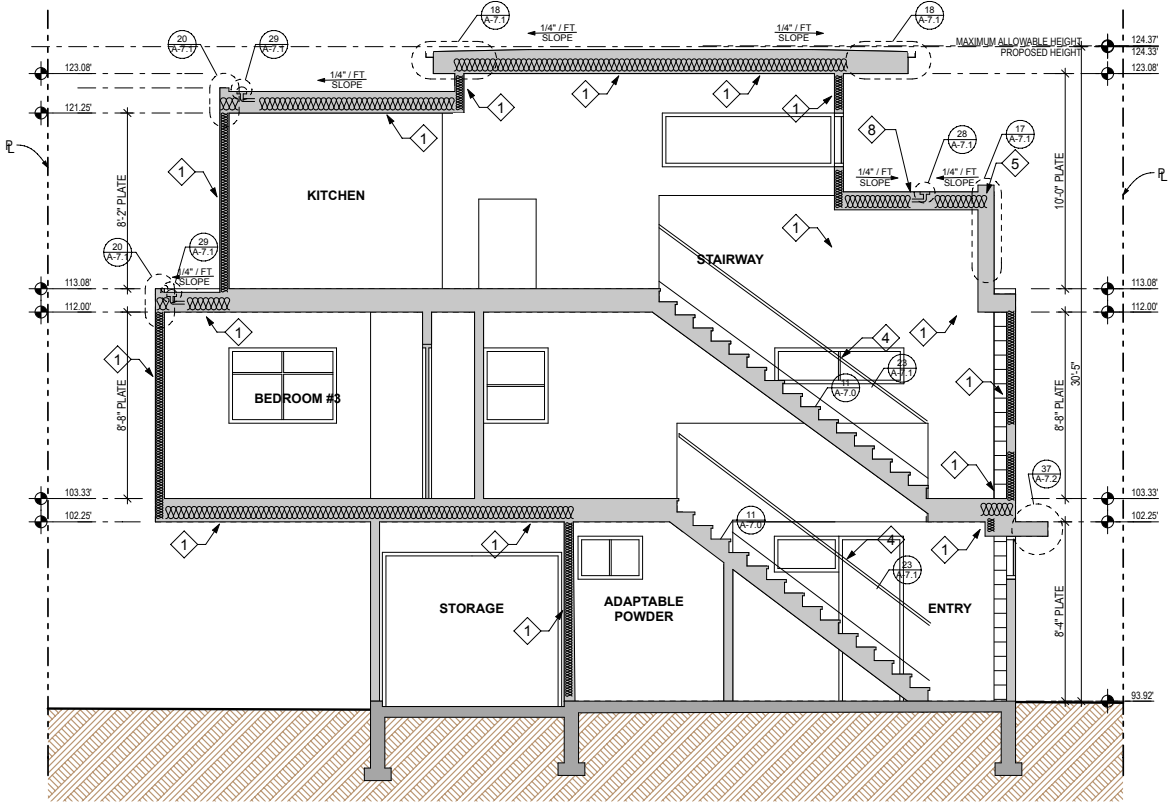
PER SECT. 1402, C.B.C.



SECTION K-K

UNIT "D"

SCALE: 1/4"=1'-0"



SECTION L-L

UNIT "D"

SCALE: 1/4"=1'-0"

architecture

627 Aviation Way, Suite 200
Manhattan Beach, CA 90266
T: 310.376.8171 • F: 310.376.1822
www.912arch.com

912

Revisions:

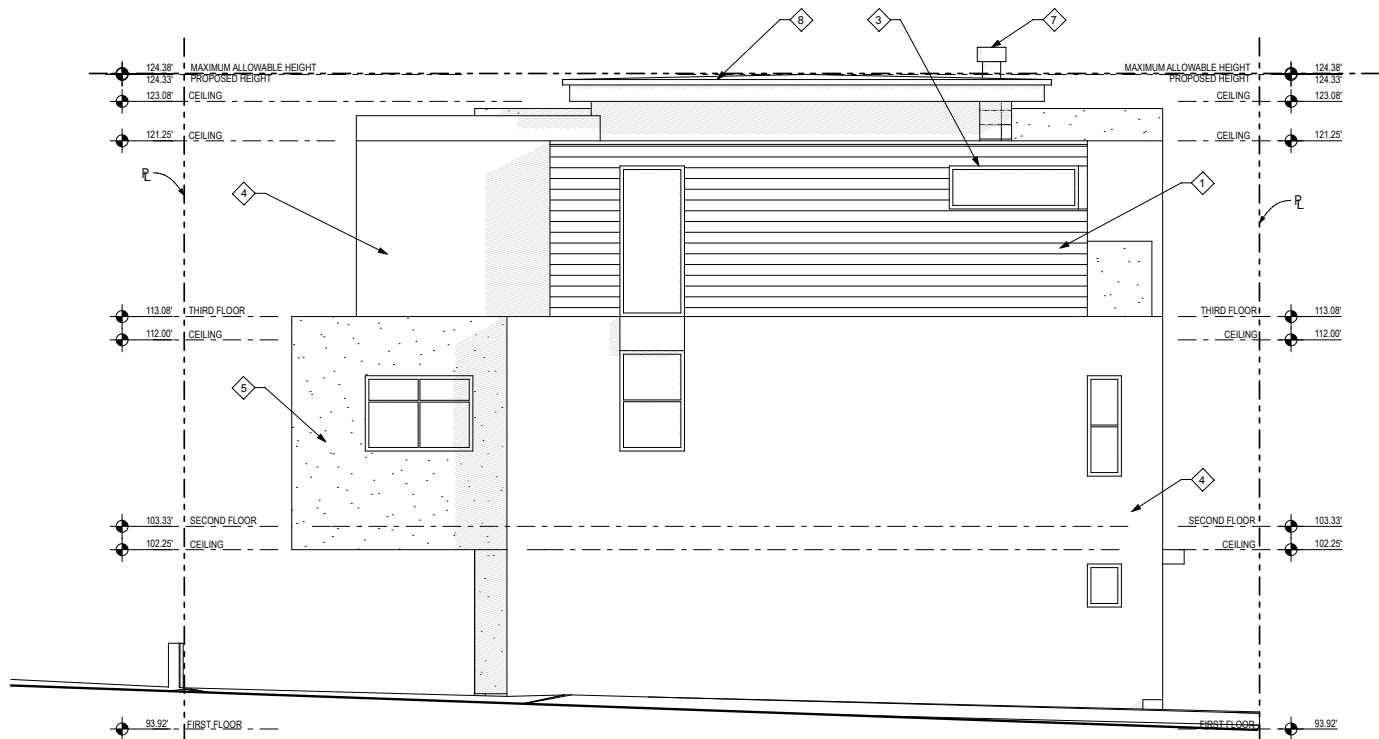
- △
- △
- △
- △
- △
- △

FOUR - UNIT CONDOMINIUM

617 AVIATION WAY, MANHATTAN BEACH, CA 90266

Building Sections

Date: 3/17/20

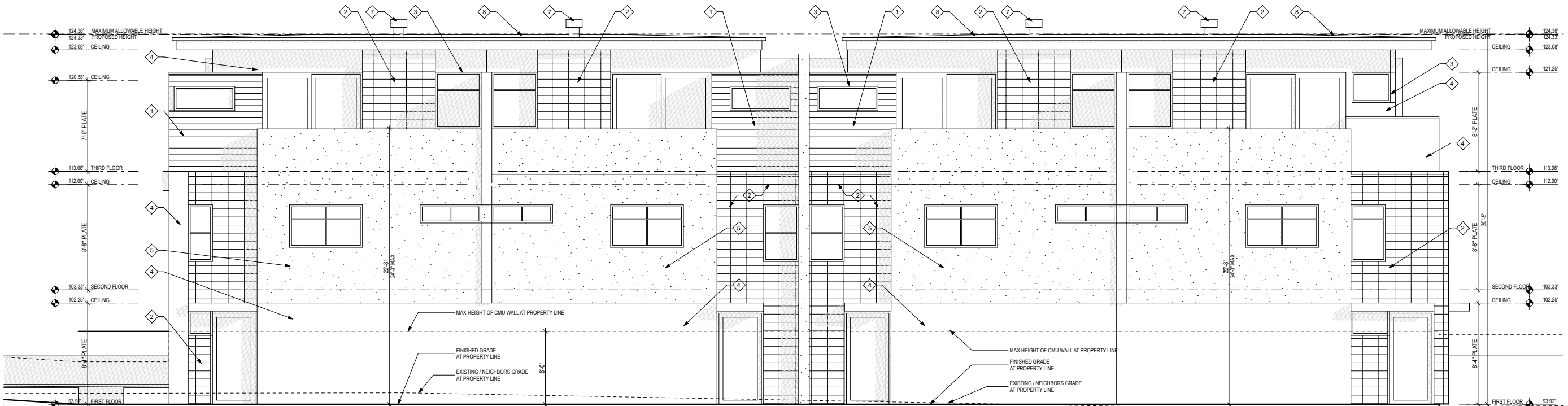


EAST ELEVATION

SCALE: 1/4"=1'-0"

NOTES:
MAX. PROPERTY LINE WALL HEIGHT 6'-0" ABOVE LOWEST LOCAL GRADE
(42" MAX IN FRONT YARD)
8'-0" MAX HEIGHT ALLOWED WITH APPROVED FENCE HEIGHT AGREEMENT
PARAPETS, SATELLITE ANTENNAE, RAILS, SKYLIGHTS,
ROOF EQUIPMENT MUST BE WITHIN THE HEIGHT LIMIT.

- ELEVATION NOTES:**
- HORIZONTAL HARD-PLANK EXTERIOR SIDING**
HARDI-PLANK HORIZONTAL EXTERIOR SIDING
OVER TYPAR BUILDING PAPER LAYED SHINGLE FASHION
SEE DETAIL 22 / A-7.1
 - TILE VENEER**
PORCELAIN TILE VENEER
OVER BROWN COAT
SEE DETAIL 21 / A-7.1
 - BRONZE ANODIZED WINDOW**
SEE PLAN AND WINDOW SCHEDULE FOR SIZE
SEE SHEET T-6 FOR OF-IR ENERGY REQUIREMENTS
 - EXTERIOR STUCCO**
7/8" THICK EXTERIOR STUCCO
OVER 2 LAYERS WATERPROOFING PAPER
FINISH: SMOOTH STEEL TROWEL
COLOR: WHITE
 - EXTERIOR STUCCO**
7/8" THICK EXTERIOR STUCCO
OVER 2 LAYERS WATERPROOFING PAPER
FINISH: 20/30 SAND
COLOR: BARN SWALLOW
 - METAL FASCIA**
BRONZE ANODIZED ALUMINUM FASCIA
MATCH EXTERIOR WINDOW FRAME FINISH
USE THIS PRODUCT OR APPROVED EQUAL
PER SECT. 1402, C.B.C.
 - CHIMNEY**
TOP OF CHIMNEY MUST EXTEND A MINIMUM OF 2' ABOVE ANY PART OF THE
BUILDING WITHIN 10'. CHIMNEY MAY EXCEED THE MAX PERMITTED BUILDING
HEIGHT BY NO MORE THAN 5' PROVIDED THE WIDTH AND DEPTH DO NOT
EXCEED 3' AND 5' RESPECTIVELY.
 - PROPOSED NEW ROOF FINISH**
MANUF: CROSSFIELD PRODUCTS CORP.
PRODUCT: DEX-O-TEX ROOF WATERPROOFING MEMBRANE
ICCF: ESR 1757
SLOPE: 1/4"FT. MIN.
CLASS: A
INSTALL PER MANUF SPECS
USE THIS PRODUCT OR APPROVED EQUAL
PER SECT. 1402, C.B.C.
 - PROPOSED NEW DECK FINISH**
MANUF: CROSSFIELD PRODUCTS CORP.
PRODUCT: TILE OR STONE OVER THINSET MORTAR OVER
DEX-O-TEX DECK WATERPROOFING MEMBRANE
ICCF: ESR 1757
SLOPE: 1/4"FT. MIN.
CLASS: A
INSTALL PER MANUF SPECS
USE THIS PRODUCT OR APPROVED EQUAL
PER SECT. 1402, C.B.C.



NORTH ELEVATION

SCALE: 1/4"=1'-0"

NOTES:
MAX. PROPERTY LINE WALL HEIGHT 6'-0" ABOVE LOWEST LOCAL GRADE
(42" MAX IN FRONT YARD)
8'-0" MAX HEIGHT ALLOWED WITH APPROVED FENCE HEIGHT AGREEMENT
PARAPETS, SATELLITE ANTENNAE, RAILS, SKYLIGHTS,
ROOF EQUIPMENT MUST BE WITHIN THE HEIGHT LIMIT.

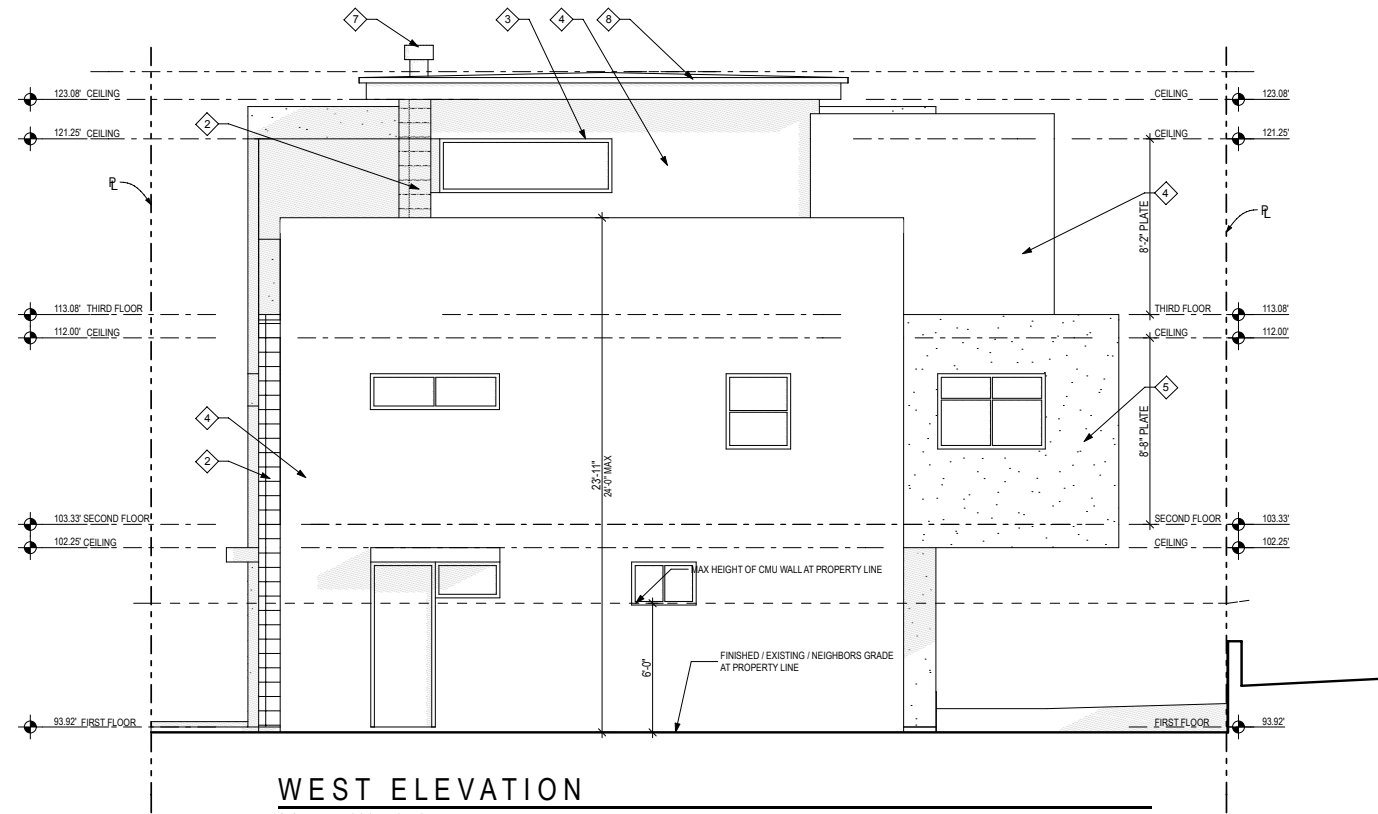
FOUR - UNIT CONDOMINIUM
617 AVIATION WAY, MANHATTAN BEACH, CA 90266

Exterior Elevations

Date: 3/17/20

A-6.0

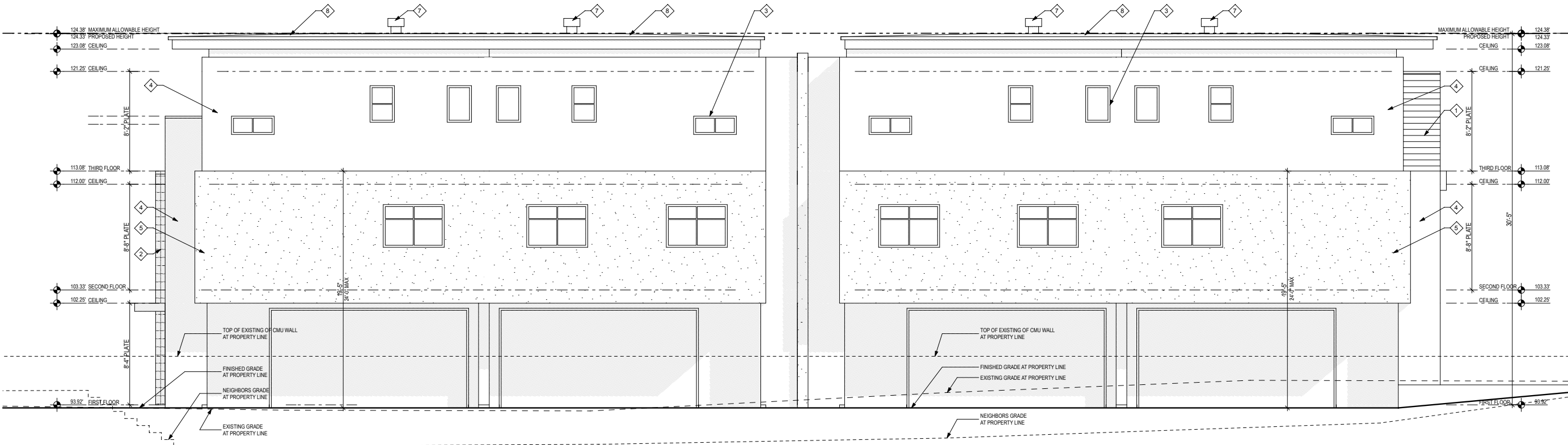
- ELEVATION NOTES:
- HORIZONTAL HARDI-PLANK EXTERIOR SIDING**
HARDI-PLANK HORIZONTAL EXTERIOR SIDING
OVER TYFAS BUILDING PAPER LAYED SHINGLE FASHION
SEE DETAIL 22 / A-7.1
 - TILE VENEER**
PORCELAIN TILE VENEER
OVER BROWN COAT
SEE DETAIL 21 / A-7.1
 - BRONZE ANODIZED WINDOW**
SEE PLAN AND WINDOW SCHEDULE FOR SIZE
SEE SHEET 1-5 FOR CF-1R ENERGY REQUIREMENTS
 - EXTERIOR STUCCO**
7/8" THICK EXTERIOR STUCCO
OVER 2-LAYERS WATERPROOFING PAPER
FINISH: SMOOTH STEEL TROWEL
COLOR: WHITE
 - EXTERIOR STUCCO**
7/8" THICK EXTERIOR STUCCO
OVER 2-LAYERS WATERPROOFING PAPER
FINISH: 20/30 SAND
COLOR: BARN SWALLOW
 - METAL FASCIA**
BRONZE ANODIZED ALUMINUM FASCIA
MATCH EXTERIOR WINDOW FRAME FINISH
USE THIS PRODUCT OR APPROVED EQUAL
PER SECT. 1402, C.B.C.
 - CHIMNEY**
TOP OF CHIMNEY MUST EXTEND A MINIMUM OF 2' ABOVE ANY PART OF THE BUILDING WITHIN 10'. CHIMNEY MAY EXCEED THE MAX PERMITTED BUILDING HEIGHT BY NO MORE THAN 5' PROVIDED THE WIDTH AND DEPTH DO NOT EXCEED 3' AND 5' RESPECTIVELY.
 - PROPOSED NEW ROOF FINISH**
MANUF: CROSSFIELD PRODUCTS CORP.
PRODUCT: DEX-O-TEX ROOF WATERPROOFING MEMBRANE
ICCR: ESR 1757
SLOPE: 1/4"FT. MIN.
CLASS: A
INSTALL PER MANUF SPECS
USE THIS PRODUCT OR APPROVED EQUAL
PER SECT. 1402, C.B.C.
 - PROPOSED NEW DECK FINISH**
MANUF: CROSSFIELD PRODUCTS CORP.
PRODUCT: TILE OR STONE OVER THINSET MORTAR OVER DEX-O-TEX DECK WATERPROOFING MEMBRANE
ICCR: ESR 1757
SLOPE: 1/4"FT. MIN.
CLASS: A
INSTALL PER MANUF SPECS
USE THIS PRODUCT OR APPROVED EQUAL
PER SECT. 1402, C.B.C.



WEST ELEVATION

SCALE: 1/4"=1'-0"

NOTES:
MAX. PROPERTY LINE WALL HEIGHT 8'-0" ABOVE LOWEST LOCAL GRADE
(42" MAX IN FRONT YARD)
8'-0" MAX HEIGHT ALLOWED WITH APPROVED FENCE HEIGHT AGREEMENT
PARAPETS, SATELLITE ANTENNAE, RAILS, SKYLIGHTS
ROOF EQUIPMENT MUST BE WITHIN THE HEIGHT LIMIT.



SOUTH ELEVATION

SCALE: 1/4"=1'-0"

NOTES:
MAX. PROPERTY LINE WALL HEIGHT 8'-0" ABOVE LOWEST LOCAL GRADE
(42" MAX IN FRONT YARD)
8'-0" MAX HEIGHT ALLOWED WITH APPROVED FENCE HEIGHT AGREEMENT
PARAPETS, SATELLITE ANTENNAE, RAILS, SKYLIGHTS
ROOF EQUIPMENT MUST BE WITHIN THE HEIGHT LIMIT.

912

architecture

627 Aviation Way
Manhattan Beach, CA 90266
t: 310.376.9171 • f: 310.376.1822
www.912arch.com

Revisions:

- △
- △
- △
- △
- △
- △

FOUR - UNIT CONDOMINIUM

617 AVIATION WAY, MANHATTAN BEACH, CA 90266

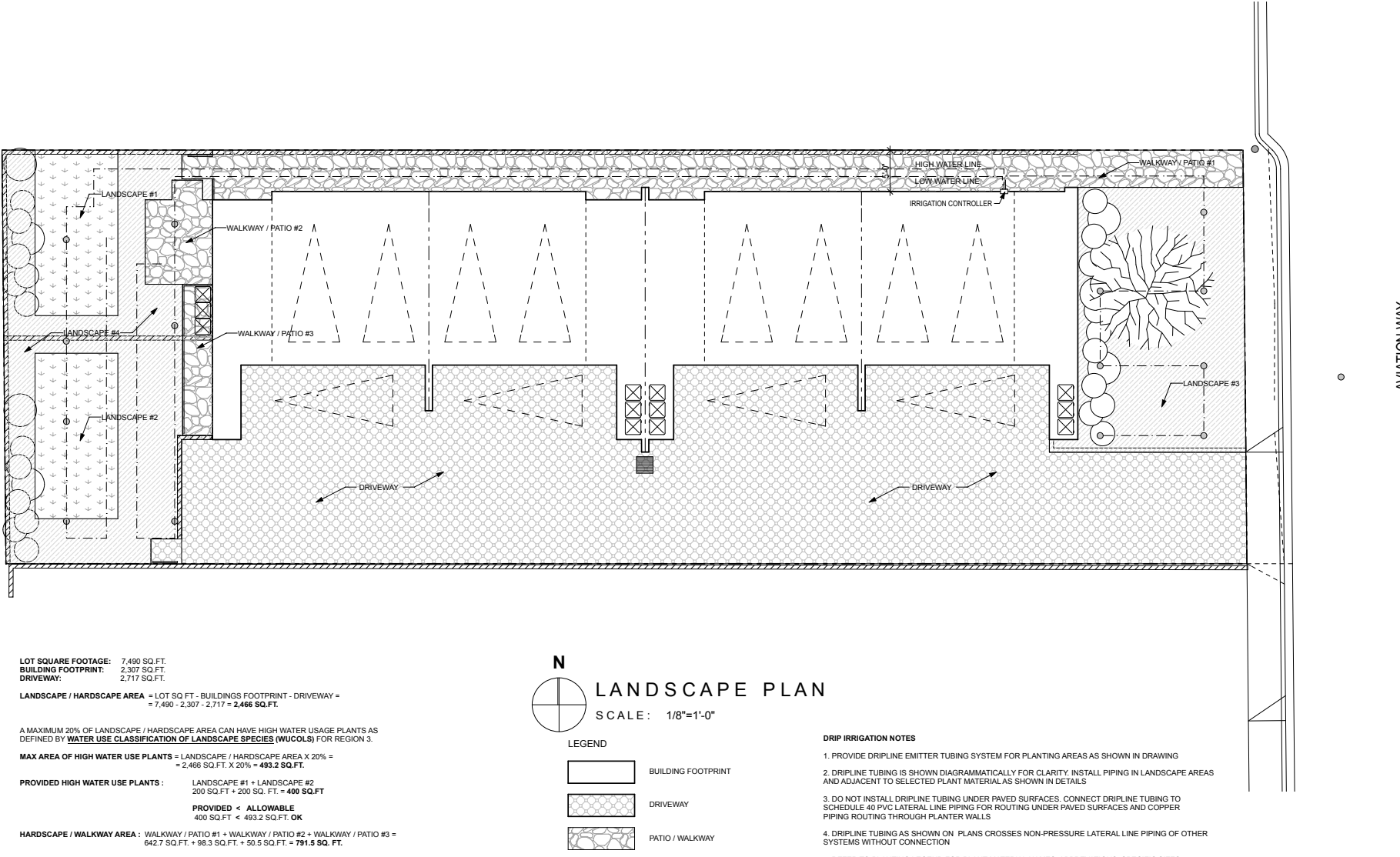
Exterior Elevations

Date: 3/17/20

A-6.1



PLANTING NOTES:
ALL PLANTING AREAS TO BE PREPARED WITH NITROLIZED REDWOOD SHAVINGS & ORGANICE FERTILIZER AT THE RATE OF 4 CU.YDS. PER 1000 SQ.FT.
ALL PLANTS TO BE BACKFILLED WITH ORGANIC PLANTER MIX & NITROFORM PLANTING TABLETS INSTALLED IN EACH PLANT BEFORE BACKFILL.



LOT SQUARE FOOTAGE: 7,490 SQ.FT.
BUILDING FOOTPRINT: 2,307 SQ.FT.
DRIVEWAY: 2,717 SQ.FT.

LANDSCAPE / HARDSCAPE AREA = LOT SQ.FT. - BUILDINGS FOOTPRINT - DRIVEWAY =
= 7,490 - 2,307 - 2,717 = **2,466 SQ.FT.**

A MAXIMUM 20% OF LANDSCAPE / HARDSCAPE AREA CAN HAVE HIGH WATER USAGE PLANTS AS DEFINED BY **WATER USE CLASSIFICATION OF LANDSCAPE SPECIES (WUCOLS)** FOR REGION 3.

MAX AREA OF HIGH WATER USE PLANTS = LANDSCAPE / HARDSCAPE AREA X 20% =
= 2,466 SQ.FT. X 20% = **493.2 SQ.FT.**

PROVIDED HIGH WATER USE PLANTS:

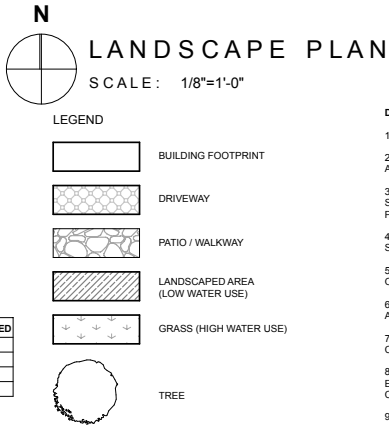
LANDSCAPE #1 + LANDSCAPE #2
200 SQ.FT. + 200 SQ. FT. = 400 SQ.FT
PROVIDED < ALLOWABLE
400 SQ.FT < 493.2 SQ.FT. OK

HARDSCAPE / WALKWAY AREA: WALKWAY / PATIO #1 + WALKWAY / PATIO #2 + WALKWAY / PATIO #3 =
642.7 SQ.FT. + 98.3 SQ.FT. + 50.5 SQ.FT. = **791.5 SQ. FT.**

LOW WATER AREA:

LANDSCAPE #3 + LANDSCAPE #4 =
649.6 SQ.FT. + 623.8 SQ.FT. = 1,273.4 SQ. FT.

NON-HIGH WATER USE PLANTS	WATER NEED	HIGH WATER USE PLANTS	WATER NEED
AGAPANTHUS AFRICANUS, LILY-OF-THE-NILE	MODERATE	ADIANTUM SPP, MAIDENHAIR FERN	HIGH
ANIGOZANTHOS VIRIDIS, GREEN KANGAROO PAW.	LOW	ATHYRIUM FILIX-FEMINA, LADY FERN	HIGH
ARUM ITALICUM, ITALIAN ARUM	VERY-LOW	CYRTOMIUM FALCATUM, HOLLY FERN	HIGH
BACCHARIS SAROTHIROIDES, DESERT BLOOM	VERY-LOW	KENTUCKY BLUEGRASS	HIGH
CLIVIA MINIATA, KAFFIER LILY	LOW		
DRYOPTERIS ERYTHROSORA, WOOF FERN	MODERATE		



DRIP IRRIGATION NOTES

- PROVIDE DRIPLINE EMITTER TUBING SYSTEM FOR PLANTING AREAS AS SHOWN IN DRAWING
- DRIPLINE TUBING IS SHOWN DIAGRAMMATICALLY FOR CLARITY. INSTALL PIPING IN LANDSCAPE AREAS AND ADJACENT TO SELECTED PLANT MATERIAL AS SHOWN IN DETAILS
- DO NOT INSTALL DRIPLINE TUBING UNDER PAVED SURFACES. CONNECT DRIPLINE TUBING TO SCHEDULE 40 PVC LATERAL LINE PIPING FOR ROUTING UNDER PAVED SURFACES AND COPPER PIPING ROUTING THROUGH PLANTER WALLS
- DRIPLINE TUBING AS SHOWN ON PLANS CROSSES NON-PRESSURE LATERAL LINE PIPING OF OTHER SYSTEMS WITHOUT CONNECTION
- REFER TO PLANTING LEGEND FOR PLANT MATERIAL NAMES, ABBREVIATIONS, SPECIFIC SIZES, ON-CENTER SPACING, AND ADDITIONAL INFORMATION
- CONNECT DRIPLINE PVC PIPING TO PRESSURE REGULATOR UNITS WITH SCHEDULE 40 PVC MALE ADAPTER FITTINGS
- PROVIDE COMPRESSION SERIES FITTINGS FOR TUBING TO TUBING CONNECTIONS AND THREADED CONNECTIONS TO PVC PIPING
- PROVIDE TWO (2) EMISSION OUTLET EMITTERS TO EVERY VINE AND TREE LOCATE EMITTERS SPACES EQUALLY AT EDGE OF ROOTBALL FOR VINES AND AT 18-INCHES CLEAR FROM TREE TRUNK. CONNECT DRIP EMITTERS AND PVC DISTRIBUTION TUBING TO DRIPLINE TUBING AT LOCATIONS
- CONNECT DRIPLINE TUBING TO PVC HARD PIPE WHEN CROSSING PAVEMENT

- GENERAL INSTALLATION NOTES**
- INSTALL ALL MATERIALS TO COMPLY WITH APPLICABLE CODES AND ORDINANCES AS CALLED FOR IN DETAIL DRAWINGS AND SPECIFICATIONS.
 - ALL SCALED DIMENSIONS SHOWN ARE APPROXIMATE AND DIAGRAMATIC. COMPONENTS SHOWN WITHIN PAVED AREA ARE DRAWN FOR CLARITY ONLY AND SHALL BE INSTALLED WITHIN PLANTED AREAS WHEREVER POSSIBLE
 - VERIFY STATIC PRESSURE SHOWN ON DRAWINGS. PRIOR TO CONSTRUCTION, NOTIFY LANDSCAPE ARCHITECT IF LESS THAN THAT SHOWN
 - FINAL LOCATION OF BACKFLOW PREVENTERS AND CONTROLLERS SHALL BE APPROVED BY LANDSCAPE ARCHITECT, PRIOR TO CONSTRUCTION
 - THE IRRIGATION CONTRACTOR SHALL NOT INSTALL SPRINKLER SYSTEM AS INDICATED ON DRAWINGS WHEN IT IS OBVIOUS IN THE FIELD THAT THERE WERE UNKNOWN OBSTRUCTIONS, GRADE DIFFERENCES, DISCREPANCIES IN AREA DIMENSIONS, ETC., UNTIL SUCH CONDITIONS ARE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT.
 - ALL PIPING UNDER PAVED AREAS SHALL BE INSTALLED PRIOR TO PAVING. INSTALL CLASS 315 PVC FOR 2" AND LARGER AND SCH 40 PVC FOR 1.5" AND SMALLER. INSTALL SLEEVING WHERE INDICATED ON DRAWINGS, AND SAND BACKFILL TRENCH OVER PAVED TRAFFIC AREAS
 - ALL PIPING BETWEEN WATER METER AND BACKFLOW PREVENTER SHALL BE PER LOCAL CODE
 - INSTALL MAIN LINES 18" BELOW GRADE IN PLANTED AREAS, AND 24" BELOW GRADE, SLEEVED, UNDER PAVED TRAFFIC AREAS
 - UNLESS OTHERWISE INDICATED, LINE VOLTAGE WILL BE PROVIDED TO CONTROLLER AND PUMP LOCATIONS BY OWNER OR GENERAL CONTRACTOR. IRRIGATION CONTRACTOR SHALL MAKE ALL FINAL CONNECTIONS, AND INSTALL REQD EQUIPMENT
 - INSTALL #14 UP DIRECT-BURIAL IRRIGATION WIRE UNTIL OTHERWISE INDICATED. INSTALL WHITE COMMON AND BLACK PLOT WIRES USE EPOXY-TYPE CONNECTORS, AND BURY WIRE IN MAIN LINE TRENCH, TAPED TOGETHER EVERY 20 PORM SIX EACH 1" EXPANSION COILS AT ALL VALVES ANY CHANCE OF DIRECTION AND EVERY 100 FT OF WIRE AT INSTALL WIRES IN PVC SLEEVE UNDER ALL PAVING
 - ADJUST ALL SPRINKLERS AND VALVES TO PROVIDE REQUIRED COVERAGE WITH MINIMAL OVERSPRAY. PERFORM COVERAGE TEST UPON COMPLETION IN PRESENCE OF INSPECTOR
 - CONTRACTOR SHALL PROVIDE BLUE-LINE "AS BUILT" DRAWINGS TO OWNER UPON COMPLETION. SHOW LOCATION OF CONTROL VALVES, QUICK COUPLER VALVES AND MAIN LINE, DIMENSIONED FROM NEAREST PERMANENT POINT OF REFERENCE
 - CONTRACTOR SHALL DELIVER TO OWNER UPON COMPLETION EXTRA MAINTENANCE EQUIPMENT AS NOTED ON DRAWINGS.
 - CONTRACTOR SHALL GUARANTEE THE ENTIRE SPRINKLER SYSTEM FOR ONE (1) YEAR AGAINST DEFECTIVE MATERIAL AND WORKMANSHIP. ANY REPAIRS REQUIRED DURING THIS PERIOD, IF DUE TO DEFECTIVE MATERIALS OR WORKMANSHIP SHALL BE MADE BY CONTRACTOR AT NO COST TO OWNER.

TREE PROTECTION REQUIREMENTS:

PROTECTED TREES MAY NOT BE REMOVED OR RELOCATED WITHOUT PRIOR APPROVAL

TREES SHALL BE PROTECTED WITH REQUIRED FENCING AND ADVISORY SIGNS WITH TREE PROTECTION REQUIREMENTS SHALL BE CLEARLY POSTED ON THE SITE AND PROPERLY MAINTAINED.

NO TRASH, CONSTRUCTION MATERIAL OR DEBRIS, DIRT, PORTABLE TOILETS, OR ANY OTHER MATERIAL SHALL BE PLACED WITHIN THE PROTECTIVE FENCING AREA.

PROVIDE 2" MULCH IN PROTECTIVE AREA.

PROVIDE IRRIGATION (SOAKER HOSE) CIRCLING AROUND PROTECTIVE AREA STARTING AT A MINIMUM DISTANCE OF 1' AWAY FROM THE TRUNK.

NO GRADING WITHIN THE PROTECTIVE FENCING AREA

ANY PRUNING OF BRANCHES OR ROOTS MUST COMPLY WITH AMERICAN NATIONAL STANDARDS INSTITUTE (ANSI A300) PRUNING STANDARDS.

ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE APPROVED PLANS. ANY PROPOSED REVISIONS REQUIRE PRIOR APPROVAL BY THE CITY.

A SECURITY DEPOSIT MAY BE REQUIRED TO ENSURE THE EXISTING TREE(S) ARE PROTECTED.

VIOLATION OF THE TREE PRESERVATION REGULATIONS MAY RESULT IN FINES UP TO THE COST OF AN EQUAL SIZE REPLACEMENT TREE OR THE APPRAISED VALUE OF THE TREE, WHICHEVER IS HIGHER.

architecture
627 Aviation Way
Manhattan Beach, CA 90266
t: 310.376.9171 • f: 310.376.1822
www.912arch.com

912

Revisions:

- △
- △
- △
- △
- △
- △

FOUR - UNIT CONDOMINIUM
617 AVIATION WAY, MANHATTAN BEACH, CA 90266

Landscape Plan

Date: 3/17/20