



**CITY OF MANHATTAN BEACH  
DEPARTMENT OF COMMUNITY DEVELOPMENT  
MEMORANDUM**

**DATE:** March 25, 2020

**TO:** Planning Commission

**FROM:** Carrie Tai, AICP, Director of Community Development

**BY:** Angelica Ochoa, Associate Planner

**SUBJECT:** Consideration of an Application for a Use Permit and Vesting Tentative Parcel Map No. 82904 for Proposed Construction of Four Residential Condominium Units Located at 617 Aviation Way (Cleland)

**RECOMMENDATION**

Staff recommends that the Planning Commission **CONDUCT** the Public Hearing, **ADOPT** the attached resolution and **APPROVE** the project subject to conditions

**APPLICANT**

Dennis Cleland  
1530 5<sup>th</sup> Street  
Manhattan Beach, CA 90266

**PROJECT BACKGROUND**

The subject site is a commercially-zoned interior 7,490 square foot lot occupied with a single-story residence and garage. The project would demolish all of the existing improvements on the site and construct a three-story building with 4 residential condominium units, 12 on-parking spaces, one driveway on Aviation Way and a common outdoor recreation area. A use permit is required per Section 10.16.020 of the Manhattan Beach Municipal Code (MBMC) requires a use permit for a residential use in a commercial zone, Commercial Local (CL). As part of the use permit, the project must comply with the development standards for residential use per Section 10.12.030 and the residential development standards per Section 10.16.030 (A). A vesting tentative parcel map, (VTPM

#82904) is also required per Section 11.12.020 of the Manhattan Beach Municipal Code to subdivide the property into separate condominium ownership.

The Planning Commission has the authority to review and approve the subject project based on the following:

- 1) Use Permit findings per Section 10.16.020 to allow residential use in a commercial zone are included in the Resolution.
- 2) Subdivision Map Act per Section 11.04.040 (Map Requirements), 11.12.020 (Tentative Map) and 11.24.040 (Vesting Tentative Maps). The specific findings and requirements are included in the Resolution.
- 3) The goals and policies of the General Plan, which are included in the Resolution.

### GENERAL PLAN/ZONING

In 2003, with the adoption of the new General Plan and subsequent Zoning Map, all four lots on the corner of Aviation Way and Matthews, including the subject lot were rezoned from Commercial General (CG) to Local Commercial (CL). The City Council re-designated this area as Local Commercial to encourage these sites to transition to new uses, and to provide neighborhood-oriented commercial businesses and potential mixed use. The CG zoning did not allow residential or mixed use, while the CL designation allows mixed commercial and residential uses subject to Use Permit approval.

### PROJECT OVERVIEW

#### LOCATION

Location	617 Aviation Way (corner of Aviation Way and Matthews Avenue) (see Vicinity Map).
Legal Description	Lot 3, Block 103, Redondo Villa Tract B
Area District	I

#### LAND USE

General Plan Zoning	Local Commercial CL, Commercial Local
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	<u>Existing</u>	<u>Proposed</u>
Land Use	552 sq. ft. single family residence	4 residential units totaling 7,377 sq. ft.
	<u>Zoning</u>	<u>Land Use</u>
Neighboring Zoning/Land Uses	North (PS)	Public Facility
	South (CL)	Single Family, Multi-Family, Office (AAA), Day Care, Retail
	East (City of Redondo Beach)	Single Family
	West (RS)	Single Family

#### PROJECT DETAILS

	<u>Proposed</u>	<u>Requirement</u>
Parcel Size:	7,490 square feet	4,000 sq. ft. min
Residential Density:	1 unit / 1,000 sq. ft. lot area (4 max)	1 unit / 1,000 sq. ft. lot area (4 max)
Building Floor Area:	7,377 sq. ft. total	7,490 sq. ft. max
Residential	One - 1,880 sq. ft. Two - 1,844 sq. ft. units One - 1,809 sq. ft.	N/A

	<u>Proposed</u>	<u>Requirement</u>
Height	30.42 feet	30 ft./36 feet max
Open Space	328 sq. ft./3 units 635 sq. ft./1 unit	220 sq. ft./unit

## Setbacks:

### Residential

Front	20 ft.	20 ft.
Rear	25 ft.	25 ft.
East side	5 ft.	5 ft.
West side	5 ft.	5 ft.

### Parking:

Residential	2 car garages (8 spaces)	2 car garage per unit (8 spaces)
Guest Parking	1 per unit (4 spaces)	1 per unit (4 spaces)
Vehicle Access	Aviation Way	N/A

## DISCUSSION

The applicant proposes to demolish the existing single family residence and garage and construct a new three-story building that will include four attached residential condominium units along with two enclosed garages and one open parking space per unit. The lot is 50' x 150' in Area District I and zoned Local Commercial (CL) at 617 Aviation Way. The centerline of Aviation Way forms the boundary between Manhattan Beach and Redondo Beach. The building will replace a one-story single family residence and detached garage that was built in 1944. Two of the proposed residential units will have living areas of 1,844 square feet, one unit will be 1,888 square feet and one unit will be 1,809 square feet (rear unit).

The ground floor will be occupied by parking garages, storage, mechanical equipment and an outdoor entry area for the residential units. Required residential open space for the project is provided by ground level entry areas, third floor decks, and a large common rear yard. The building would contain 7,377 square feet of floor area. All pedestrian and driveway access would be taken from Aviation Way which is accessed off of Matthews Avenue.

The proposed building is observing the required setbacks and overall height limit. The overall appearance of the project is modern style featuring an open front entry, deck areas, private yard areas, a large common rear yard area and decorative architectural treatments. All required parking related to the project would be contained within the building. The project is providing four two car enclosed garages per residential condominium unit, 2 guest parking spaces per unit, which complies with the parking requirements. The project will provide a total of 16 on-site parking spaces. All users of the building and pedestrians will have access to the public sidewalk on Aviation Way. The existing driveway curb cut on Aviation Way will be relocated from the north to the south side of the property for access to the garages. No loss to public parking spaces will result from this change.

The project conforms to the City's requirements for use, floor area, setbacks, parking, landscaping, and open space. The residential units are subject to the High Density Residential (RH) development standards.

## **Residential Use:**

The CL zone allows for residential use in commercial areas, subject to use permit approval. The Use Permit findings should determine that the proposed residential units are not detrimental to the subject commercial area. The findings are listed on page 4 and 5 of this report and are included in the attached Resolution. Residential uses occupy the majority of the development across Aviation Boulevard to the west, with commercial to the south on Artesia Boulevard and multi-family residences to the east in the City of Redondo Beach. There is a mix of uses on both sides of Aviation Way including low and high density residential and small commercial (accounting office, Auto Club). The overall design concept is consistent with the purposes of the Local Commercial zone (MBMC 10.16.010) by providing compatible residential uses.

The property directly to the south at 623 Aviation Way is developed with four residential condominium units built in 2007 and to the north is a Public Facility. The property at 628 Aviation Boulevard (corner of Aviation Boulevard and Matthews Avenue) is developed with an accounting office and single-family home built in 1924. Across the street in the City of Redondo Beach, the majority of the properties are single-family and multi-family uses. The residential development should continue along Aviation Way with other existing surrounding residential homes.

## **USE PERMIT AND OTHER CODE FINDINGS**

In order to approve the subject application, the following findings must be made. These findings are as follows:

1. The proposed location of the use is in accord with the objectives of this title, and the purpose of the district in which it is located. The project is in a commercial zone consistent with Section 10.16.010 of the Manhattan Beach Zoning Code. The zoning allows for residential uses intended to be compatible with the surrounding residential areas. The proposed project is located within the (CL) Local Commercial district, and will replace an existing single family residence with a four unit residential condominium project.
2. The proposed location of the use and the proposed conditions under which it would be operated or maintained will be consistent with the General Plan. It will not be detrimental to the public health, safety or welfare of persons residing or working on the proposed project site or adjacent to the neighborhood of such use. It will not be detrimental to properties or improvements in the vicinity or to the general welfare of the city. The proposed four-unit residential condominium development is in compliance with all Manhattan Beach Municipal Code regulations. It will provide a total of 12 on-site parking spaces, more housing opportunities with four residential condominium units and is compatible with the surrounding neighborhood with a mix of residential uses.
3. The proposed use will comply with the provisions of this title, including any specific condition required for the proposed use in the district in which it would be located. The proposed location of the use and the proposed conditions under which it will be operated or maintained is

consistent with the General Plan. The project site is classified as Local Commercial which allows for residential uses as the proposed subject project.

4. The proposed use will not adversely impact nor be adversely impacted by nearby properties. The new four-unit residential condominium use will comply with all of the City's Code requirements. It is compatible with the surrounding residential uses of single-family and multi-family. It has a sufficient number of on-site parking spaces to ensure it does not affect the surrounding community.

The General Plan goals and policies and the Subdivision Map Act requirements are all included in the resolution of this report.

## **PUBLIC INPUT**

A public notice for the proposed project was mailed to all property owners within 500 feet of the site, and published in the Beach Reporter newspaper.

## **DEPARTMENT COMMENTS**

The Public Works Department is requiring that the residential units each provide their own trash and recycling area within a dedicated space outside of the required parking or open space areas. The Engineering Department is requiring that all curb and gutter, sidewalks and driveways comply with ADA requirements. The Fire Departments had no specific conditions for the project. The Building Department is requiring that the project comply with all Building and State code requirements. The subject project complies with department requirements, will be included in the Resolution as conditions and will be verified during the plan check process, if the Planning Commission approves the project.

## **ENVIRONMENTAL DETERMINATION**

The Project is Categorically Exempt from the requirements of the California Environmental Quality Act (CEQA), per Section 15303 (b), for new construction of multi-family residential structure totaling no more than four dwelling units and Section 15315 for the subdivision of the subject property into separate condominium ownership.

## **CONCLUSION**

The Planning Commission has the authority to review and approve the subject project based on the following:

- 1) Use Permit findings per Section 10.16.020 and residential development standards per Section 10.12.030 are included in the Resolution.
- 2) Subdivision Map Act per Section 11.04.040 (Map Requirements), 11.12.020 (Tentative Map) and 11.24.040 (Vesting Tentative Maps). The specific findings and requirements are included in the Resolution.

3) The goals and policies of the General Plan, which are included in the Resolution.

Staff recommends that the Planning Commission accept public hearing testimony, discuss the project issues, and adopt the attached resolution approving the project subject to certain conditions.

Attachments:

- A. Draft Resolution No. PC 20-
- B. Vicinity Map
- C. Applicant's Representative Environmental Information Form & Use Permit project Description
- D. Plans (separate)

cc: Dennis Cleland, Applicant  
Srouer & Associates, Applicant Representative  
Studio 912, Architect

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# EXHIBIT A

## RESOLUTION NO. PC 20-

### RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF MANHATTAN BEACH APPROVING A USE PERMIT AND VESTING TENTATIVE PARCEL MAP NO. 82904 FOR CONSTRUCTION OF A FOUR-UNIT RESIDENTIAL CONDOMINIUM PROJECT DEVELOPMENT LOCATED AT 617 AVIATION WAY (Cleland)

#### THE PLANNING COMMISSION OF THE CITY OF MANHATTAN BEACH DOES HEREBY RESOLVE AS FOLLOWS:

##### SECTION 1. The Planning Commission of the City of Manhattan Beach hereby makes the following findings:

- A. The Planning Commission of the City of Manhattan Beach conducted a public hearing on March 25, 2020, received public testimony, and considered an application for a use permit and vesting tentative parcel map no. 82904 for construction of a proposed 7,377 square foot building consisting of four residential condominium units on the property located at 617 Aviation Way in the City of Manhattan Beach.
- B. The existing legal description of the site is Lot 3, Block 103, Redondo Villa Tract "B"
- C. The applicant for the subject project is Dennis Cleland, the owner (in escrow) of the property.
- D. The Project is Categorically Exempt from the requirements of the California Environmental Quality Act (CEQA), pursuant to Section 15303 (b), for new construction of multi-family residential structure totaling no more than four dwelling units and Section 15315 for the subdivision of the subject property into separate condominium ownership.
- E. The property is located within Area District I and is zoned CL, Commercial Local. The proposed use is permitted by the zoning code with approval of a use permit and is appropriate as conditioned for residential. The surrounding land uses consist of residential single family, multi-family, office, day care and retail.
- F. The General Plan designation for the property is Local Commercial. The project is consistent with General Plan policies including providing residential uses (permitted with discretionary review), neighborhood-oriented uses and service activities that serve the local community.
- G. The project shall be in compliance with applicable provisions of the Manhattan Beach Municipal Code General Plan and Subdivision Map Act.
- H. The project will not create adverse impacts on, nor be adversely impacted by, the surrounding area, or create demands exceeding the capacity of public services and facilities.
- I. This Resolution, upon its effectiveness, constitutes the Use Permit for the subject project.

#### ***Use Permit***

1. The proposed location of the use is in accord with the objectives of this title, and the purpose of the district in which it is located. The project is in a commercial zone consistent with Section 10.16.010 of the Manhattan Beach Zoning Code. The zoning allows for residential uses intended to be compatible with the surrounding residential areas. The proposed project is located within the (CL) Local Commercial district, and will replace an existing single family residence with a four unit residential condominium project.
2. The proposed location of the use and the proposed conditions under which it would be operated or maintained will be consistent with the General Plan. It will not be detrimental to the public health, safety or welfare of persons residing or working on the proposed project site or adjacent to the neighborhood of such use. It will not be detrimental to properties or improvements in the vicinity or to the general welfare of the city. The proposed four-unit residential condominium development is in compliance with all Manhattan Beach Municipal Code regulations. It will provide a total of 12 on-site parking spaces, more housing opportunities with four residential condominium units and is compatible with the surrounding neighborhood with a mix of residential uses.
3. The proposed use will comply with the provisions of this title, including any specific condition required for the proposed use in the district in which it would be located. The proposed location of the use and the proposed conditions under which it will be operated or maintained is consistent with the General Plan. The project site is classified as Local Commercial which allows for residential uses as the proposed subject project.

4. The proposed use will not adversely impact nor be adversely impacted by nearby properties. The new four unit residential condominium use will comply with all of the City's Code requirements. It is compatible with the surrounding residential uses of single family and multi-family. It has a sufficient number of on-site parking spaces to ensure it does not affect the surrounding community

**General Plan**

The General Plan of the City of Manhattan Beach poses certain goals and policies, which reflect the expectations and wishes of the City, with respect to land uses. Specifically, the project is consistent with the following Goals of the General Plan as summarized below:

*Policy LU-1.2: Encourage the design of all new construction to utilize notches or other architectural details to reduce building bulk. **The project includes decks, open space areas and setback of the top floor to reduce building mass.***

*Policy LU-2.2: Preserve and encourage private open space on residential lots citywide. **The project includes private decks and a common rear yard.***

*Policy LU-3.1: Continue to encourage quality design in all new construction. **The building includes a contemporary design with setbacks for building articulation, including the top floor to reduce building mass.***

*Policy LU-5.1: Require the separation or buffering of residential areas from businesses which produce noise, odors, high traffic volumes, light or glare, and parking through the use of landscaping, setbacks, or other techniques. **Front yard landscaping, open space areas, on-site trash areas and 12 private parking spaces are provided to reduce any impacts to the surrounding community.***

*Policy LU-6.4: Recognize the unique qualities of mixed-use areas and balance the needs of both the commercial and residential uses. **Residential use is compatible with surrounding residential uses.***

*Policy I-2.7: Monitor and minimize traffic issues associated with construction activities. **Residential construction regulations will be observed per Construction Rules, Chapter 9.44.020, 9.44.030 of Title 9 Building Regulations.***

*Policy I-3.8: Monitor and minimize parking issues associated with construction activities. **Parking requirements related to construction will be observed per Chapter 9.44.020, B., C., D., and E.***

**Subdivision Map**

A vesting tentative parcel map (VTPM # 82904) is required per Section 11.12.020 of the Manhattan Beach Municipal Code to subdivide the property into separate ownership and the project is in conformance with the code per the following requirements:

Section 11.04.040 (D) – Each subdivision created by a map shall include a minimum contiguous lot area required by the appropriate subdivision standards. **4 condominium units will be created as part of the Vesting Tentative Parcel Map process and approval of subject project.**

Section 11.04.040 (E) – No map shall be approved unless it complies with the Subdivision Map Act, this title and any other title of this Code, other applicable laws and all conditions or requirements imposed pursuant to the requirements thereof, except; that when the failure of a map to so comply is the result of a technical or inadvertent error which, in the determination of the Planning Commission, does not materially affect the validity of the map, this provision may be waived. **Vesting Tentative Parcel Map No. 82904 complies with all of the above.**

Section 11.12.020 (E) – The Planning Commission shall review all materials submitted and shall either approve, conditionally approve or disapprove the map within fifty (50) calendar days after the certification of the environmental impact report, adoption of a negative declaration, or the determination that the project is exempt from the requirements of the California Environmental Quality Act (CEQA). This time limit may be extended by mutual consent of the subdivider and Community Development. Written notice of the decision of the Planning Commission shall be given to the subdivider.

Section 11.24.040 - A vesting tentative map shall be filed in the same form, have the same contents, provide the same information and shall be processed in the same manner as set forth in this title for a tentative map except as hereinafter provided. **A vesting tentative parcel map was submitted on November 15, 2019.**

Section 2. The Planning Commission of the City of Manhattan Beach hereby **APPROVES** the subject Use Permit application for a four unit residential condominium building and Vesting Tentative Parcel Map (VTPM #82904), subject to the following conditions (\*indicates a site specific condition):

**Site Preparation / Construction**

1. \* The project shall be constructed and operated in substantial compliance with the submitted plans and project description as approved by the Planning Commission on March 25, 2020. Any other substantial deviation from the approved plans and project description must be reviewed and approved by the Planning Commission.
2. A Traffic Management Plan shall be submitted in conjunction with all construction and other building plans, to be approved by the Police and Public Works Departments prior to issuance of building permits. The plan shall provide for the management of all construction related traffic during all phases of construction, including delivery of materials and parking of construction related vehicles.
3. All electrical, telephone, cable television system, and similar service wires and cables shall be installed underground to the appropriate utility connections in compliance with all applicable Building and Electrical Codes, safety regulations, and orders, rules of the Public Utilities Commission, the serving utility company, and specifications of the Public Works Department.
4. During building construction of the site, the soil shall be watered in order to minimize the impacts of dust on the surrounding area.
5. The siting of construction related equipment (job site offices, trailers, materials, etc.) shall be subject to the approval from the Director of Community Development or designee prior to the issuance of any building permits.
6. A site landscaping plan utilizing drought tolerant plants shall be submitted for review and approval concurrent with the building permit application. Use of turf grass and other high water use plant materials shall be minimized. All plants shall be identified on the plan by the Latin and common names. Landscaping within the driveway visibility triangle shall be a maximum height of 3 feet. Landscaping shall include mature shrubs and box-sized shade trees throughout the project site. Landscaping shall be installed per the approved plans prior to building final. Landscaping and irrigation shall conform to water conservation regulations per Chapter 7.44 of the Manhattan Beach Municipal Code. The landscaping site plan shall be to the satisfaction and approval of the Community Development Director.
7. A low pressure or drip irrigation system shall be installed in the landscaped areas utilizing smart controllers and other WaterSense devices, which shall not cause any surface run-off. Details of the irrigation system shall be noted on the landscaping plans. The type and design shall be subject to the approval of the Public Works and Community Development Departments and shall be installed per the approved plans prior to building final.
8. Backflow prevention valves shall be installed as required by the Department of Public Works, and the locations of any such valves or similar devices shall be subject to approval by the Community Development Department prior to issuance of building permits.
9. All defective or damaged curb, gutter, street paving, and sidewalk improvements shall be removed and replaced with standard improvements, subject to the approval of the Public Works Department.
10. No waste water shall be permitted to be discharged from the premises. Waste water shall be discharged into the sanitary sewer system.
11. Property line clean outs, mop sinks, erosion control, and other sewer and storm water items shall be installed and maintained as required by the Department of Public Works or Building Official.
12. Security lighting for the site shall be provided in conformance with Municipal Code requirements including glare prevention design.

13. Noise emanating from the site shall be in compliance with the Municipal Noise Ordinance.
14. Any outside sound or amplification system or equipment is prohibited.
15. Construction plans shall incorporate sustainable building components into the building and site design. The plans may include, but not be limited to LEED (Leadership in Energy and Environmental Design) and Built-It-Green components, permeable pavement, energy efficient plumbing, mechanical and electrical systems which shall include the use of WaterSense and Energy Star fixtures and appliances, and retention of storm water on the site. The proposed development will have a minimal effect on existing surface drainage patterns and may result in an incremental increase in the amount of surface runoff entering the public storm drain system. Gutters and downspouts shall direct roof run-off to permeable areas and landscaped yard areas throughout the site, which shall absorb a significant portion of surface runoff. In addition, the site will be properly graded to obtain maximum onsite drainage and soil stability. Plans shall require review and approval by the Community Development and Public Works Departments.

Condominium Conditions

16. A survey suitable for purposes of recordation shall be performed by a Civil Engineer or Land Surveyor licensed in the State of California, including permanent monumentation of all property corners and the establishment or certification of centerline ties at the intersections of:
  - a. Aviation Way and Matthews Avenue
  - b. Aviation Way and Nelson Avenue
  - c. Aviation Boulevard and Matthews Avenue
  - d. Aviation Boulevard and Nelson Avenue
17. Each new condominium shall have separate water and sewer laterals as required by the Director of Public Works.
18. Vesting Tentative Parcel Map No. 82904 shall be approved for an initial period of 3 years with the option of future extensions. The final map shall be recorded prior to condominium occupancy.

*Public Works*

19. Enclosed storage area(s) for refuse containers must be provided on-site. These areas must be constructed to meet the requirements of M.B.M.C. 5.24.030. The area(s) must be shown in detail on the plans before a permit is issued. The individual condominium units must provide their own trash and recycling areas and show the areas on the plans as per the approval of the Public Works Department. The landscape company contracted by the homeowner's association must dispose of all green waste off-site.
20. Each new condominium shall separate water and sewer laterals as required by the Director of Public Works. Separate water lines and sanitary sewer laterals must be installed on each unit. A 6" property line cleanout must be installed on a 6" sanitary sewer lateral for each new condominium. Cleanout must be shown on the site plan.
21. New curb and gutter, sidewalk and driveway approach fronting the property to latest City standards and all must comply with most current ADA standards prior to final occupancy. Including per M.B.M.C. Chapter 11.20 additional right of way dedication will be required including flared sidewalk behind utility poles to provide adequate sidewalk clearances.
22. It is the responsibility of the contractor to protect all the street signs around the property. If signs are damaged, lost or removed, it is the responsibility of the contractor to replace and/or relocate the signs at the contractor's expense. The contractor is also responsible for any street markings that are damaged or removed by the contractor's operations. Contact the Public Works Inspector for sign specification and suppliers.
23. Direct surface and roof runoff to vegetated areas before discharging into the public right of way/street per M.B.M.C 5.84.100. Incorporate Low Impact Development (LID) features within the landscaped areas to infiltrate roof and surface runoff rather than allow flow into the street right of way.

*Building*

31. The project must comply with all 2019 California Building Standards Codes, City of Manhattan Beach Amendments and State Codes and ADA disabled access requirements.
32. A soil report must be submitted at the time of plan check for review and approval per Building and Safety requirements.
33. The project shall comply with Fire resistance requirements for exterior walls and openings in exterior walls.
34. Solar panels will be installed as part of Title 24 requirements.
35. The project shall underground all utilities, including electrical, telephone, cable, and similar service wires and cables. [MBMC 9.12.050]

**Procedural**

36. *Interpretation.* Any questions of intent or interpretation of any condition will be resolved by the Planning Commission.
37. *Inspections.* The Community Development Department Staff shall be allowed to inspect the site and the development during construction subject to 24-hour advance notice.
38. *Assignment.* The permit may be assigned to any qualified persons subject to submittal of the following information to the Director of Community Development:
  - a. a completed application and application fee as established by the City's Fee Resolution;
  - b. an affidavit executed by the assignee attesting to the assignee's agreement to comply with the terms and conditions of the permit;
  - c. evidence of the assignee's legal interest in the property involved and legal capacity to undertake the development as approved and to satisfy the conditions required in the permit;
  - d. the original permittee's request to assign all rights to undertake the development to the assignee; and,
  - e. a copy of the original permit showing that it has not expired.
39. *Terms and Conditions are Perpetual.* These terms and conditions shall be perpetual, and it is the intention of the Director of Community Development and the permittee to bind all future owners and possessors of the subject property to the terms and conditions.
40. *Effective Date.* This Resolution shall become effective when all time limits for appeal as set forth in MBMC Section 10.100.030.
41. All provisions of the Use Permit are subject to review by the Community Development Department 6 months after occupancy and yearly thereafter.
42. This Use Permit shall lapse two years after its date of approval, unless implemented or extended pursuant to 10.84.090 of the Municipal Code.
43. Pursuant to Public Resources Code section 21089(b) and Fish and Game Code section 711.4(c), the project is not operative, vested or final until the required filing fees are paid.
44. The applicant agrees, as a condition of approval of this project, to pay for all reasonable legal and expert fees and expenses of the City of Manhattan Beach, in defending any legal actions associated with the approval of this project brought against the City. In the event such a legal action is filed against the project, the City shall estimate its expenses for the litigation. Applicant shall deposit said amount with the City or enter into an agreement with the City to pay such expenses as they become due.

**RESOLUTION NO. PC 20-**

**SECTION 3.** Pursuant to Government Code Section 65009 and Code of Civil Procedure Section 1094.6, any action or proceeding to attack, review, set aside, void or annul this decision, or concerning any of the proceedings, acts, or determinations taken, done or made prior to such decision or to determine the reasonableness, legality or validity of any condition attached to this decision shall not be maintained by any person unless the action or proceeding is commenced within 90 days of the date of this resolution and the City Council is served within 120 days of the date of this resolution. The City Clerk shall send a certified copy of this resolution to the applicant, and if any, the appellant at the address of said person set forth in the record of the proceedings and such mailing shall constitute the notice required by Code of Civil Procedure Section 1094.6.

I hereby certify that the foregoing is a full, true, and correct copy of the Resolution as **ADOPTED** by the Planning Commission at its regular meeting of **March 25, 2020** and that said Resolution was adopted by the following vote:

**AYES:**  
**NOES:**  
**ABSTAIN:**  
**ABSENT:**

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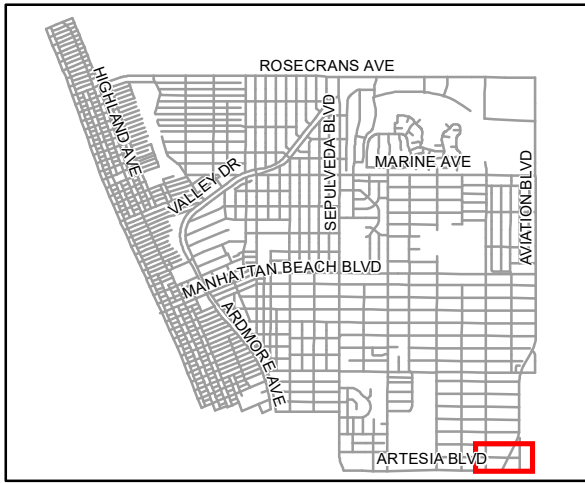
**CARRIE TAI, AICP,**  
Secretary to the Planning Commission

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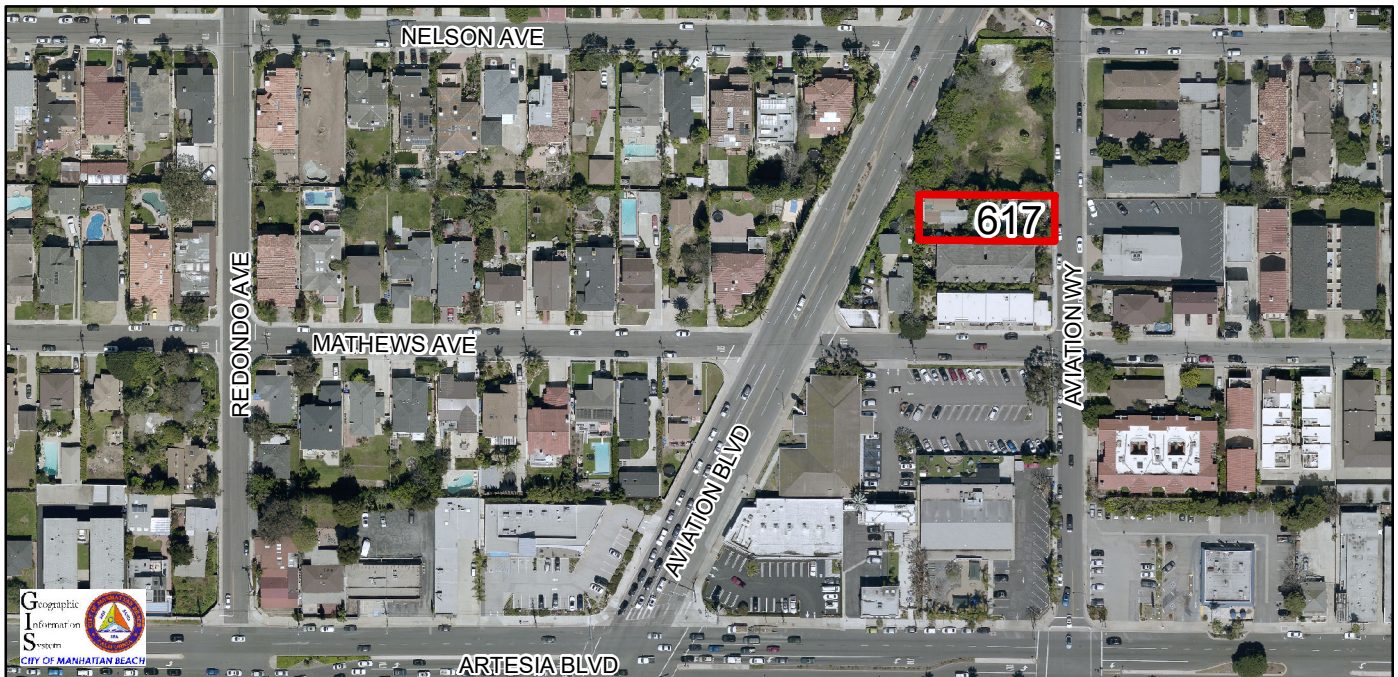
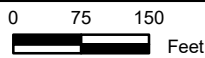
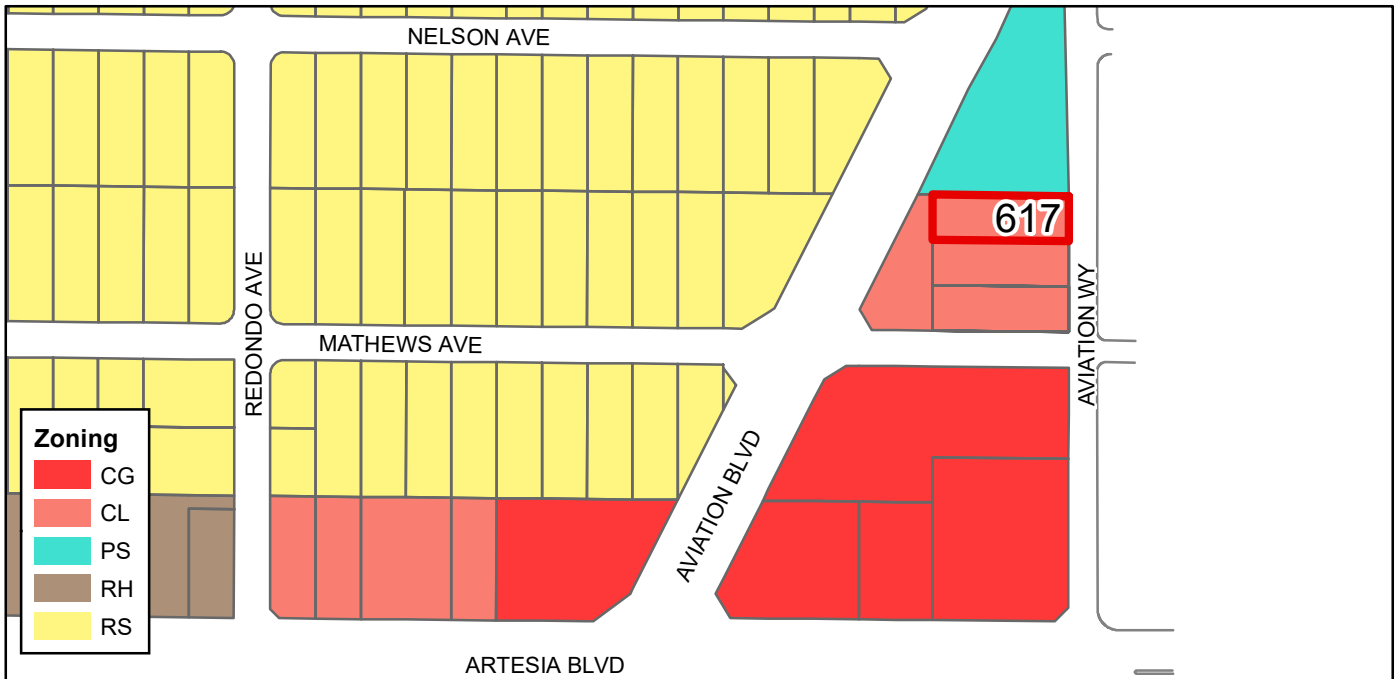
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Recording Secretary

# Vicinity Map

## 617 Aviation Way



March 2020



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# EXHIBIT C

ATTACHMENT TO APPLICATION FOR 4 UNIT RESIDENTIAL CONDOMINIUM DEVELOPMENT  
617 Aviation Way  
November 15, 2019

This proposal is for the demolition of a single-family residence and construction of four attached condominium units, and approval of VTPM 82904. The subject lot is 7,490 square feet, measuring 49.97 by 149.88 feet. It is located in the CL (Local Commercial) district. In the CL zone, multi-family residential use requires a conditional use permit. Where dwelling units are the sole use on a site, the standards for residential development in the RH district apply. In Area District 1, the RH standard allows four condominium units on this site, with a conditional use permit. A vesting tentative parcel map is proposed to subdivide the property into separate ownership for each of the four units.

Each new unit will contain three stories and a private two-car garage and guest parking space adjacent to each garage. Driveway access will be through a curb cut to be relocated from the north to the south side of the property.

The proposed development is located on the west side of Aviation Way between public open space to the north and four-unit condominium to the south. The border of Redondo Beach is immediately east. To the south are lots zoned CL and CG. To the west are lots zoned RS.

The proposed development responds to the General Plan which encourages multi-family residential development in appropriate areas, including apartments and condominium development. Plans have been designed to comply with all applicable development standards, including the 30' height limit and density as stipulated by the RH standards in the CL zone, as well as floor area, setbacks, parking, landscaping and open space.

The proposal meets guidelines established for approval of the conditional use permit as follows:

- 1. The location is in accord with objectives of the title and purposes of the district in that the subject site will accommodate the proposed four-unit development in compliance with all applicable zoning standards including the 30' height limit and 1000 s.f. minimum lot area/unit, as well as all other criteria such as floor area, setbacks, parking, landscaping and open space requirements. The new homes will offer attractive opportunities for owner-occupied homes.*
- 2. The proposed location and conditions will be consistent with the General Plan: The proposed development is in full compliance with all applicable standards and permitted uses and thus will not be detrimental to public health, safety or welfare of any individuals working or residing in the neighborhood and will not conflict or impact adjacent improvements.*
- 3. The proposed use meets the intention of the RH standard (as applied in this CL zone), which is to provide opportunities for a type of housing not found in other residential districts. Proposed plans meet all development standards and thus will be compatible with the surrounding neighborhood.*
- 4. The proposed use is well within scope of uses intended for the area and is designed in compliance with all applicable standards for the CL Zone, which are set forth to protect the public health, safety and welfare of other uses throughout the surrounding area. The new homes will have a negligible effect on the City infrastructure and will not result in any negative impacts on the surrounding community.*



# ENVIRONMENTAL INFORMATION FORM

(to be completed by applicant)

CITY OF MANHATTAN BEACH  
COMMUNITY DEVELOPMENT DEPARTMENT

Date Filed: \_\_\_\_\_

## APPLICANT INFORMATION

Name: 617 Aviation Way MB, LLC

Address: 1530 5th St., Manhattan Beach, CA

Phone number: 310-374-7050

Relationship to property: Buyer in Escrow

Contact Person: Srouf & Associates

Address: 1001 6th St #110, MB CA 90266

Phone number: 310/372-8433

Association to applicant: Representative

## PROJECT LOCATION AND LAND USE

Project Address: 617 Aviation Way

Assessor's Parcel Number: 4163-007-003

Legal Description: LOT 3, BLOCK 103, REDONDO VILLA TRACT No. 2

Area District, Zoning, General Plan Designation: AD 1, CL, CL

Surrounding Land Uses:

North PS-Public and Semi-Public

West RM-Residential Medium Density

South CG-General Commercial

East Redondo Beach

Existing Land Use: Single-Family Residence

## PROJECT DESCRIPTION

Type of Project: Commercial \_\_\_\_\_ Residential xx Other \_\_\_\_\_

If Residential, indicate type of development (i.e.; single family, apartment, condominium, etc.) and number of units: four residential condominium units

If Commercial, indicate orientation (neighborhood, citywide, or regional), type of use anticipated, hours of operation, number of employees, number of fixed seats, square footage of kitchen, seating, sales, and storage areas: \_\_\_\_\_

\_\_\_\_\_

If use is other than above, provide detailed operational characteristics and anticipated intensity of the development: \_\_\_\_\_

\_\_\_\_\_

	<u>Existing</u>	<u>Proposed</u>	<u>Required</u>	<u>Demolished</u>
Project Site Area:	7,490	No Change to existing lot area		
Building Floor Area:	-----	7,457 s.f.	>=7,490 s.f	-----
Height of Structure(s)	All	30'	30'	All
Number of Floors/Stories:	structures	3	3	structures
Percent Lot Coverage:	to be	54%		to be
Off-Street Parking:	demolished	2 enclosed/1 guest per unit = 12		demolished
Vehicle Loading Space:	-----	N/A	N/A	-----
Open Space/Landscaping:	-----	1620 s.f.	1105 s.f	-----

Proposed Grading:

Cut 95 Fill 20 Balance 75 Imported 0 Exported 75

Will the proposed project result in the following (*check all that apply*):

- | <u>Yes</u>    | <u>No</u>  |  |
|---------------|------------|--|
| <u>      </u> | <u>X</u>   | Changes in existing features or any bays, tidelands, beaches, lakes, or hills, or substantial alteration of ground contours? |
| <u>      </u> | <u>X</u>   | Changes to a scenic vista or scenic highway?   |
| <u>      </u> | <u>X</u>   | A change in pattern, scale or character of a general area?   |
| <u>      </u> | <u>X*</u>  | A generation of significant amount of solid waste or litter?   |
| <u>      </u> | <u>X</u>   | A violation of air quality regulations/requirements, or the creation of objectionable odors?                                 |
| <u>      </u> | <u>X**</u> | Water quality impacts (surface or ground), or affect drainage patters?   |
| <u>      </u> | <u>X*</u>  | An increase in existing noise levels?  |
| <u>      </u> | <u>X</u>   | A site on filled land, or on a slope of 10% or more?   |
| <u>      </u> | <u>X</u>   | The use of potentially hazardous chemicals?  |
| <u>      </u> | <u>X</u>   | An increased demand for municipal services?  |
| <u>      </u> | <u>X</u>   | An increase in fuel consumption?   |
| <u>      </u> | <u>X</u>   | A relationship to a larger project, or series of projects?   |

Explain all "Yes" responses (*attach additional sheets or attachments as necessary*):

\* Temporarily during the course of construction

\*\* A new drainage plan will be incorporated with proposed development to contain drainage on site

**CERTIFICATION:** I hereby certify that the statements furnished above and in attached exhibits present the data and information required for this initial evaluation to the best of my ability, and that the facts, statements, and information presented are true and correct to the best of my knowledge and belief.

Signature:  Prepared For: 617 Aviation Way MB, LLC

Date Prepared: November 15, 2019

Revised 7/97

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SCALE: 1" = 10'

VESTING TENTATIVE

SHEET 1 OF 1 SHEET

# PARCEL MAP NO.82904

IN THE CITY OF MANHATTAN BEACH,  
COUNTY OF LOS ANGELES, STATE OF CALIFORNIA

FOR CONDOMINIUM PURPOSES

**SUBDIVIDER**  
DC CONSTRUCTION & DEVELOPMENT  
DENNIS CLELAND  
1530 5TH STREET  
MANHATTAN BEACH, CA 90266  
PHONE 310-748-0662

**LEGAL DESCRIPTION**  
LOT 3, BLOCK 103  
REDONDO VILLA TRACT 'B'  
M.B. 11-110-111  
APN 4163-007-003

**JOB ADDRESS**  
617 AVIATION WAY  
MANHATTAN BEACH, CA 90266

**ENGINEER**  
DENN ENGINEERS  
3914 DEL AMO BLVD., STE. 921  
TORRANCE, CA 90503  
310-542-9433



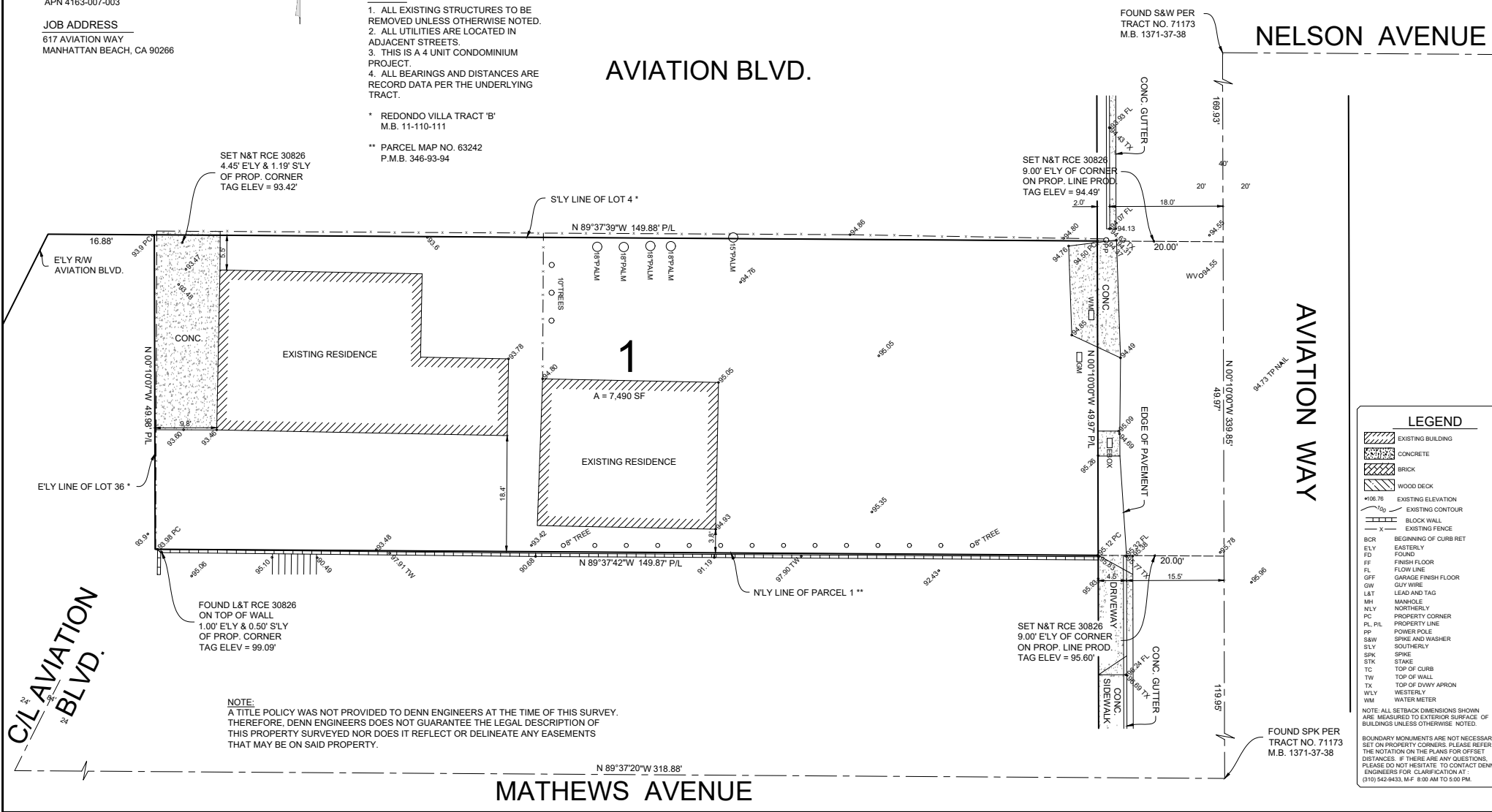
GARY J. ROEHL R.C.E. 30826 DATE 10/4/2019

**NOTES**

1. ALL EXISTING STRUCTURES TO BE REMOVED UNLESS OTHERWISE NOTED.
2. ALL UTILITIES ARE LOCATED IN ADJACENT STREETS.
3. THIS IS A 4 UNIT CONDOMINIUM PROJECT.
4. ALL BEARINGS AND DISTANCES ARE RECORD DATA PER THE UNDERLYING TRACT.

\* REDONDO VILLA TRACT 'B'  
M.B. 11-110-111

\*\* PARCEL MAP NO. 63242  
P.M.B. 346-93-94



**LEGEND**

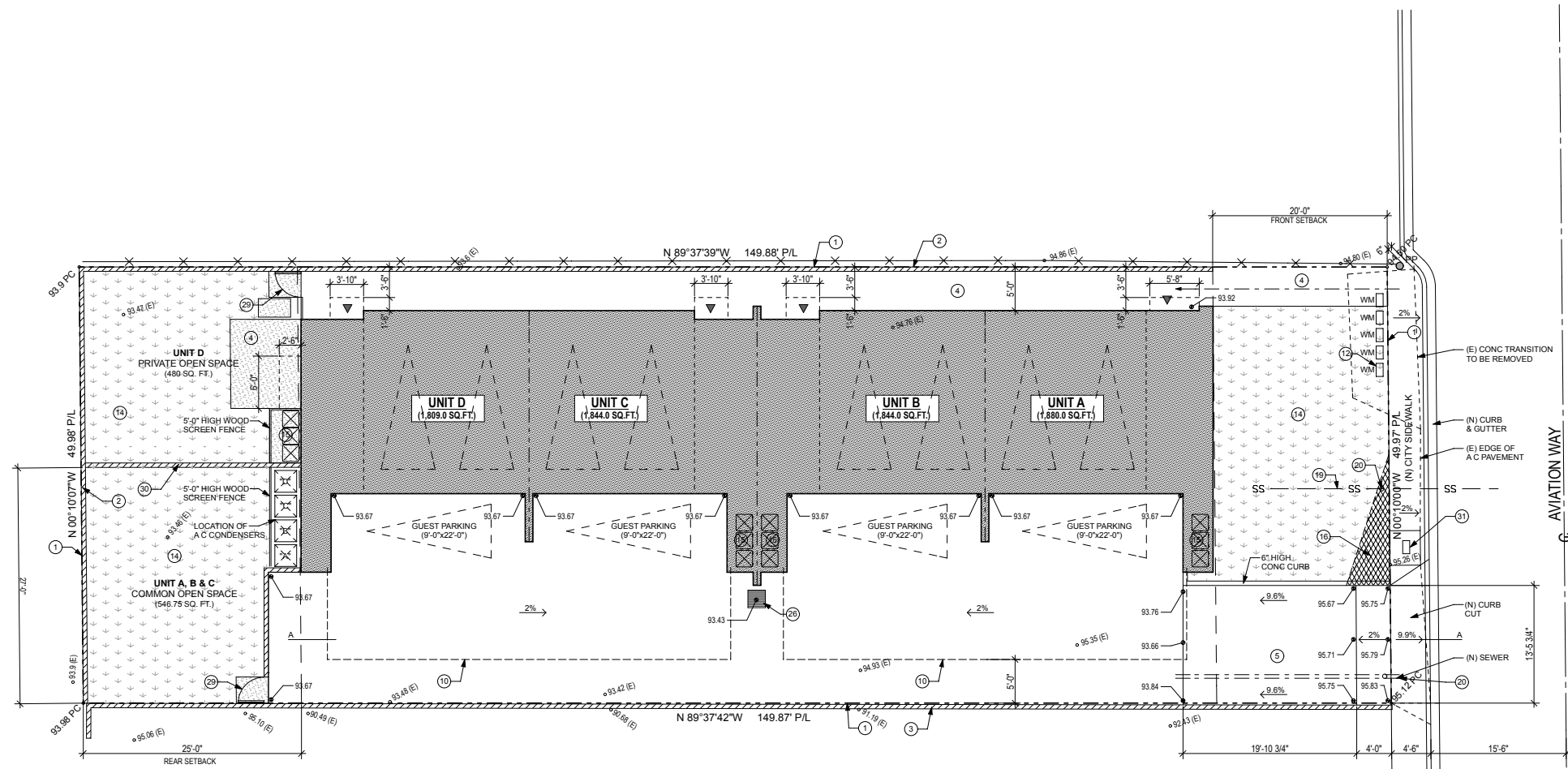
- EXISTING BUILDING
- CONCRETE
- BRICK
- WOOD DECK
- EXISTING ELEVATION
- EXISTING CONTOUR
- BLOCK WALL
- EXISTING FENCE
- BEGINNING OF CURB RET
- BOR BEGINNING OF CURB RET
- FD FOUND
- ELY EASTERLY
- FF FINISH FLOOR
- FL FLOW LINE
- GFF GARAGE FINISH FLOOR
- GW GUY WIRE
- L&T LEAD AND TAG
- MH MANHOLE
- NLY NORTHERLY
- PC PROPERTY CORNER
- PL, P/L PROPERTY LINE
- PP POWER POLE
- S&W SPIKE AND WASHER
- SLY SOUTHERLY
- SPK SPIKE
- STK STAKE
- TC TOP OF CURB
- TW TOP OF WALL
- TX TOP OF DWY APRON
- WLY WESTERLY
- WM WATER METER

NOTE: ALL SETBACK DIMENSIONS SHOWN ARE MEASURED TO EXTERIOR SURFACE OF BUILDINGS UNLESS OTHERWISE NOTED.

BOUNDARY MONUMENTS ARE NOT NECESSARILY SET ON PROPERTY CORNERS. PLEASE REFER TO THE NOTATION ON THE PLANS FOR OFFSET DISTANCES. IF THERE ARE ANY QUESTIONS, PLEASE DO NOT HESITATE TO CONTACT DENN ENGINEERS FOR CLARIFICATION AT: (310) 542-9433, M.F. 8:00 AM TO 5:00 PM.

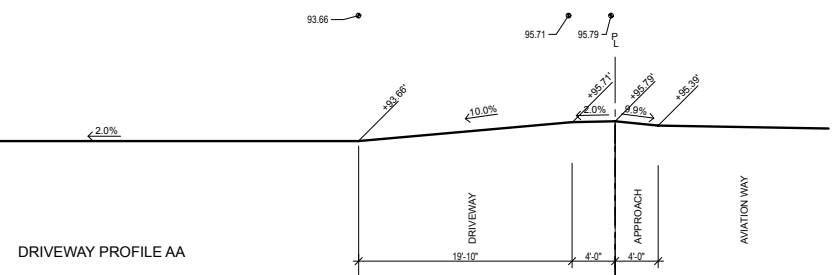
19-428

19-428



**PROPOSED SITE PLAN**  
SCALE: 1/8" = 1'-0"

- GRADING LEGEND:**
- 106.40 (E) EXISTING GRADE
  - FG 110.00 PROPOSED GRADE
  - 196.63' PROPOSED FIN CONC. FIN FLOOR
- LEGEND:**
- ACCESSIBLE PATH OF TRAVEL (5% MAX SLOPE) SEE GENERAL NOTES FOR REQUIREMENTS.



- SITE PLAN NOTES:**
1. **PROPERTY LINE**
  2. **NEW CMU PROPERTY LINE WALL**  
SEE DETAIL 7 / S-2.0
  3. **EXISTING CMU WALL TO REMAIN**  
(NO CHANGE IN HEIGHT)
  4. **NEW CONCRETE WALKWAY / PATIO**  
PROVIDE NEW SAW CUTS AS SHOWN
  5. **NEW CONCRETE DRIVEWAY**  
PROVIDE NEW SAW CUTS AS SHOWN
  6. **NEW CURB AND GUTTER PER CITY STANDARD PLAN**
  7. **NEW CURB CUT**  
PROVIDE NEW CURB CUT AS SHOWN  
PER CITY OF MANHATTAN BEACH PUBLIC WORKS NOTES
  8. **LINE OF ROOF EAVE ABOVE**
  9. **LINE OF BALCONY ABOVE**
  10. **LINE OF SECOND FLOOR ABOVE**
  11. **EXTERIOR CONCRETE STAIR**  
SEE DETAILS INDICATED ON PLAN
  12. **NEW WATER METERS LOCATION**  
SEE CIVIL SHEETS AT C-2 FOR NEW LOCATION & REQUIREMENTS
  13. **DECOMPOSED GRANITE PERMEABLE SURFACE**
  14. **LANDSCAPED AREA**  
SEE LANDSCAPE PLAN FOR REQUIRED PLANT MATERIALS AND SIZES  
ALL LANDSCAPED AREAS SHALL BE PROVIDED WITH AN AUTOMATIC SPRINKLER SYSTEM
  15. **TRASH AREA**  
TRASH AREA FOR A MINIMUM OF THREE 4' TALL 2'X2' TRASH CANS AT GARAGE. REFUSE AREA SHALL NOT INTRUDE INTO REQUIRED PARKING DIMENSIONS. (MBMC 5.24.030)  
SEE A-1.0 (GROUND FLOOR / GARAGE PLAN) FOR EXACT LOCATION INSIDE THE GARAGE.
  16. **DRIVEWAY VISIBILITY TRIANGLE**  
PROVIDE UNOBSTRUCTED TRIANGLE OF SIGHT VISIBILITY (8' X 15') ADJACENT TO DRIVEWAY AND BEHIND THE ULTIMATE PROPERTY LINE WHEN EXITING AREAS WITHOUT WALL COLUMNS OR LANDSCAPING OF 36" HIGH. ALL PLANTERS NEXT TO DRIVEWAY MUST CONFORM TO THIS REQUIREMENT. PER MBMC 10.64.150
  17. **NEW ELECTRIC METER SERVICE PANEL WITH A 3" DIAMETER STUB OUT CONDUIT**  
MIN. 200 AMP SERVICE.  
WATERPROOF METAL CONTAINER (FLUSH MOUNT) PAINT TO MATCH ADJACENT WALL  
ELECTRICIAN SHALL PROVIDE PANEL SCHEDULE AND LOAD CALCULATIONS  
REFER TO M. E. P. SHEETS, PER ARTICLE 220, NEC
  18. **NEW GAS METER**  
LOCATION SUBJECT TO GAS COMPANY APPROVAL  
SEE DETAILS 8 & 9 / A-7.1
  19. **SEWER LATERAL - SEE PUBLIC WORKS NOTES @ T-1**
  20. **NEW PROPERTY LINE CLEAN OUT**  
PROVIDE NEW PROPERTY LINE CLEAN OUT PER CITY OF MANHATTAN BEACH PUBLIC WORKS NOTES @ T-1
  21. **CERTIFICATES**  
CERTIFICATES OF INSTALLATION (CF2R-ENV, CF2R-LTG AND CF2R-MECH) SHALL BE COMPLETED BY THE APPLICABLE CONTRACTORS INSTALLING ENERGY FEATURES. WHEN COMPLIANCE REQUIRES HERS FIELD VERIFICATION AND/OR TESTING, ALL CF2R FORMS SHALL BE SUBMITTED ELECTRONICALLY TO AN APPROVED HERS PROVIDER DATA REGISTRY. THE CF2R FORMS SHALL BE POSTED AT THE JOB SITE IN A CONSPICUOUS LOCATION.
  22. **CERTIFICATE OF VERIFICATION (CF3R)** SHALL BE COMPLETED REGISTERED AND SIGNED/CERTIFIED BY THE HERS RATER. THE REGISTERED CF3R FORM SHALL BE MADE AVAILABLE TO THE BUILDING DEPARTMENT AND BUILDER.
  23. **SEPARATE PERMITS**  
SEPARATE PERMITS AND PLANS ARE REQUIRED FOR SPAS, POOLS, SOLAR SYSTEMS, DEMOLITION AND SERVER CAP OF EXISTING BUILDINGS. IF SUCH IMPROVEMENTS OR DEMOLITION IS REQUIRED AS A CONDITION OF APPROVAL FOR DISCRETIONARY ACTIONS OR TO COMMENCE BUILDING, THEN SUCH PERMITS MUST BE OBTAINED BEFORE OR AT THE TIME THIS PROPOSED BUILDING PERMIT IS ISSUED.  
FENCE / WALL / HANDRAIL AND HEDGE HEIGHTS, AS MEASURED FROM THE LOWEST FINISHED GRADE ADJACENT TO EACH SECTION OF THESE STRUCTURES, MAY BE A MAXIMUM OF: 42" IN THE FRONT YARD SETBACK, AND 6' AT ALL OTHER LOCATIONS ON SITE (3' IN DRIVEWAY VISIBILITY TRIANGLE AND IN THE TRAFFIC VISION CLEARANCE TRIANGLE).
  24. **NEW TRENCH DRAIN WITH TRAFFIC RATED GRATE**  
DRAIN TO SUMP BASIN VIA 3" Ø PVC PIPE
  25. **AREA DRAIN**  
DRAIN TO SUMP BASIN VIA 3" Ø PVC PIPE
  26. **CATCH BASIN WITH SUMP PUMP**  
30"x30"x4'-0" DEEP PREFAB CATCH BASIN W/ 24" SQ. GRATE  
PROVIDE (2) ZOELLER MODEL #161 SUMP PUMPS PER HYDROLOGY BY PERU CONSULTANTS.  
OUTLET TO STREET VIA (2) 3" Ø PVC PIPES TO PROPERTY LINE THEN (2) 3" Ø DUCTILE IRON PIPES THROUGH CURB FACE.  
NOTE: SUBMIT HYDRAULIC CALCULATIONS AND DETAIL FOR SUMP / PUMP TO BUILDING DEPARTMENT FOR APPROVAL PRIOR TO FABRICATION
  27. **PEDESTRIAN PROTECTION**  
DURING CONSTRUCTION COMPLY WITH CBC SECT. 3303 REGARDING PROTECTION OF PEDESTRIANS.
  28. **BUILDING ADDRESS**  
BUILDING ADDRESS SHALL BE PROVIDED ON THE BUILDING IN SUCH POSITION AS TO BE PLAINLY VISIBLE AND LEGIBLE FROM THE STREET PER SECTION 501.2
  29. **CMU / WOOD FENCE AND GATE**  
PROVIDE 5'-0" HIGH COMBINATION CMU WALL / WOOD FENCE WITH 3'-0" X 5'-0" WOOD GATE
  30. **NEW COMBINATION CMU / WOOD FENCE**  
PROVIDE 6'-0" HIGH SEPARATION FENCE  
SEE DETAIL
  31. **ELECTRICAL VAULT**  
EXISTING SCE ELECTRICAL VAULT TO REMAIN  
TOP OF SIDEWALK TO MEET TOP OF VAULT ELEVATION AT ALL EDGES



**Revisions:**

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- △
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**FOUR - UNIT CONDOMINIUM**  
617 AVIATION WAY, MANHATTAN BEACH, CA 90266

Site Plan

Date: 3/17/20

**A-1.0**

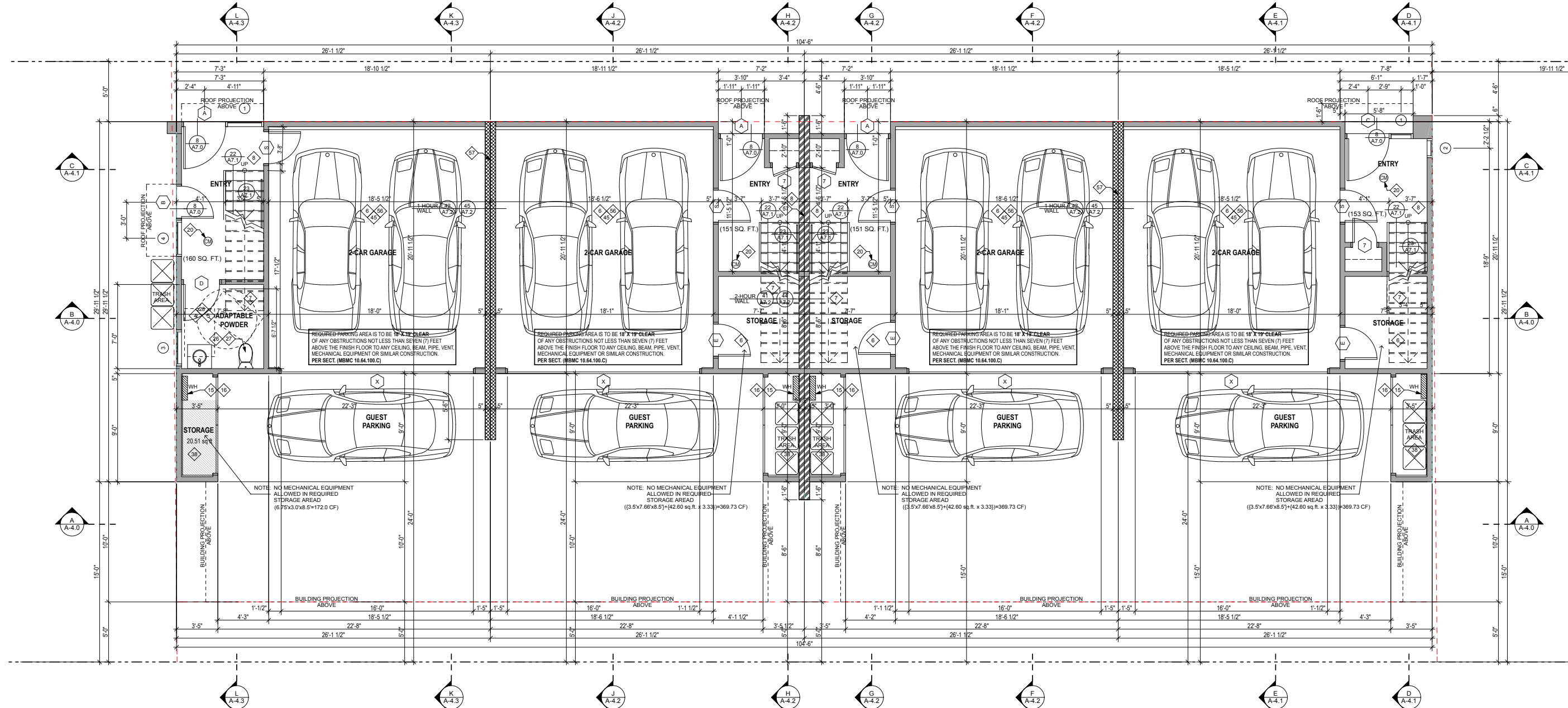
**FLOORPLAN NOTES:**  
VERIFY ALL PLUMBING FIXTURES WITH OWNER

- NEW ELECTRIC METER SERVICE PANEL WITH 3" DIAMETER STUB OUT CONDUIT**  
MIN. 200 AMP SERVICE.  
WATERPROOF METAL CONTAINER  
PAINT TO MATCH ADJACENT WALL  
ELECTRICIAN SHALL PROVIDE PANEL  
SCHEDULE AND LOAD CALCULATIONS  
REFER TO M. E. P. SHEETS  
PER ARTICLE 220, NEC
- GROUND FAULT INTERRUPTER (GFI) OUTLETS**  
SHALL BE PROVIDED IN BATHROOMS, GARAGES  
CRAWL SPACES, EXTERIOR, AND WITHIN 6' OF  
KITCHEN SINKS  
REFER TO M. E. P. SHEETS  
PER SECT 210-4(a), NEC
- SEPARATE BRANCH CIRCUIT FOR APPLIANCES**  
APPLIANCES SUCH AS KITCHEN SINK FOOD GRINDERS,  
DISHWASHERS, MICROWAVE OVENS, TRASH  
COMPACTORS, WASHING MACHINES DRYERS,  
REFRIGERATORS, FREEZERS, AIR CONDITIONERS, FAUS,  
BUILT-IN HEATERS OR ANY FIXED APPLIANCE WITH  
MOTOR LARGER THAN 1/4 HP SHALL BE ON A SEPARATE  
BRANCH CIRCUIT SUPPLIED BY A MIN. NUMBER 12 AWG  
WIRE.
- GENERAL LIGHTING @ KITCHEN AND BATH**  
PROVIDE HIGH EFFICACY LIGHTING AT NOT  
LESS THAN 40 LUMENS PER WATT  
REFER TO ELECTRICAL PLANS.  
PER SECT. 2-5333 T-24
- MECHANICAL VENTILATION @ BATHROOMS**  
BATHROOMS SHALL BE MECHANICALLY VENTILATED OR  
PROVIDED WITH A WINDOW AREA NOT LESS THAN 3 SQ.FT.  
AT LEAST 50% OPENABLE. PER SECTION 303.3.  
  
BATHROOMS, WATER CLOSET COMPARTMENTS, LAUNDRY  
ROOMS SHALL BE PROVIDED WITH MECHANICAL VENTILATION IN  
ACCORDANCE WITH THE CALIFORNIA MECHANICAL CODE  
PER SECT. 1203.4.2.1, C.B.C.
- ONE-HOUR FIRE RESISTIVE WALL / CEILING**  
GARAGE BENEATH HABITABLE ROOMS SHALL BE  
SEPARATED FROM ALL HABITABLE ROOMS BY NOT LESS  
THAN 5/8" TYPE "X" GYPSUM BOARD  
PER TABLE R302.6  
5/8" TYPE "X" GYP WALL BOARD AT ALL WALLS AND  
CEILING BETWEEN GARAGE AND ALL ADJACENT LIVING  
SPACES, AND ENCLOSING ALL STRUCTURAL MEMBERS  
PER SECT. 406.1.4, C.B.C.  
PENETRATIONS THROUGH FIRE RATED WALL COMPLY WITH  
SECTION 714 SEE DETAILS 40 & 43 / A-7.2  
WALL SEPARATING DWELLING UNITS SHALL BE 1-HOUR FIRE  
RATED PER SECTION 704.2. SEE DETAILS 42 & 45 / A-7.2  
EXTERIOR WALL LOCATED LESS THAN 10 FT. AWAY FROM  
PROPERTY LINE SHALL BE 1-HOUR FIRE RATED - PER TABLE 602.  
SEE DETAILS 32 / A-7.2 & 33 / A-7.2
- STAIRWAY**  
PROVIDE 1 LAYER 5/8" TYPE "X" G.W.B. AT ALL  
WALLS AND SOFFIT FOR ENCLOSED USABLE  
SPACE BENEATH STAIRWAY  
PER SECT. 1009, C.B.C.  
  
STAIR HANDRAIL (MATERIAL T.B.D.)  
SEE DETAIL 5 / A-7.0  
  
STAIR HANDRAIL SHALL BE 34" TO 38"  
ABOVE TREAD NOSING. CIRCULAR  
HANDRAIL SHALL HAVE AN OUTSIDE  
DIAMETER OF AT LEAST 1 1/2" AND NOT  
GREATER THAN 2". IF THE HANDRAIL IS  
NOT CIRCULAR, IT SHALL HAVE A  
PERIMETER DIMENSION OF AT LEAST  
4" AND NOT GREATER THAN 6.25" WITH  
A MAXIMUM CROSS SECTION DIMENSION  
OF 2.25". EDGES SHALL HAVE A MINIMUM  
RADIUS OF 0.01" PER CBC SECT. 1014.3.  
  
HANDRAIL ASSEMBLIES SHALL BE ABLE TO  
RESIST A SINGLE CONCENTRATED LOAD OF  
200 POUNDS, APPLIED IN ANY DIRECTION IN  
ANY POINT ALONG THE TOP, AND HAVE  
ATTACHMENT DEVICES AND SUPPORTING  
STRUCTURE TO TRANSFER THIS LOADING TO  
APPROPRIATE STRUCTURAL ELEMENTS OF  
THE BUILDING PER 1607.7.1 & 1607.1.1.
- GUARDRAIL (42" HIGH U.N.O.)**  
SEE DETAIL: 18 / A-7.1 & 25 / A-7.1  
  
GUARDRAIL SHALL NOT BE LESS THAN 42" HIGH  
AND SHALL HAVE BALLUSTERS OR ORNAMENTAL  
PATTERNS SUCH THAT A 4" DIAMETER SPHERE  
CANNOT PASS THROUGH ANY OPENING.  
PER CBC SECTION 1013.  
  
GUARDRAIL ASSEMBLIES SHALL BE ABLE TO  
RESIST A SINGLE CONCENTRATED LOAD OF 200  
POUNDS, APPLIED IN ANY DIRECTION IN ANY  
POINT ALONG THE TOP AND HAVE ATTACHMENT  
DEVICES AND SUPPORTING STRUCTURE TO  
TRANSFER THIS LOADING TO APPROPRIATE  
STRUCTURAL ELEMENTS OF THE BUILDING PER  
1607.7.1 & 1607.1.1
- CORRIDOR / HALL WIDTH**  
MINIMUM CLEAR WIDTH 36" (REQ'D)  
PER SECT. 1005.2, C.B.C.
- WINDOWS AT BEDROOMS (EGRESS)**  
MIN. CLR. OPENING, 5.7 sq. ft.  
MIN. CLR. HEIGHT, 24"  
MIN. CLR. WIDTH, 20"  
FINISHED SILL HEIGHT TO BE NOT MORE THAN  
44" ABOVE FINISHED FLOOR REFER TO  
WINDOW / DOOR SCHEDULE  
PER SECT. 1008, C.B.C.
- DRYER VENT**  
EXHAUST TO OUTSIDE AIR @ WALL  
PROVIDE LINT TRAP/ACCESS PAINT TO  
MATCH EXTERIOR FINISH  
INSTALL PER MANUF SPECS VERIFY  
LOCATION WITH ARCHITECT  
PER SECT. 304.3 & 308, C.M.C.
- WASHER**  
HOT AND COLD WATER VALVES, PROVIDE  
SMITTY PAN WITH DRAIN
- FORCED AIR UNIT**  
SIZE: PER TITLE-24 CALCS. SEE CF-1R FORMS  
GAS FIRED  
(INTERMITTENT ELECTRONIC IGNITION)  
18" VENT THRU FLOOR TO ROOF.  
PAINT TO MATCH EXTERIOR FIN.  
INSTALLATION CLEARANCES PER MANUF SPECS  
@ GARAGE - PROVIDE 18" HIGH PLATFORM  
PER SECT. 308, C.M.C. & C.P.C.
- WATER HEATER**  
SIZE: PER TITLE-24 CALCS. SEE CF-1R FORMS  
HIGH RECOVERY WITH RECIRCULATION PUMP  
GAS FIRED  
(INTERMITTENT ELECTRONIC IGNITION)  
PROVIDE SEISMIC STRAPS  
18" VENT THRU FLOOR TO ROOF.  
PAINT TO MATCH EXTERIOR FIN.  
PROVIDE SMITTY PAN WITH DRAIN  
P & T VALVE SHALL TERMINATE OUTSIDE  
INSTALLATION/CLEARANCES PER MANUF SPECS  
@ GARAGE - PROVIDE 18" HIGH PLATFORM  
PER SECT. 311, C.P.C. & SECT. 308.2, C.M.C.  
INSTALL ON THE COLD WATER SUPPLY PIPE AT  
THE TOP OF WATER HEATER A CAPPED "T"  
FITTING TO PLUMB FOR FUTURE SOLAR WATER  
HEATING.
- COMBUSTION AIR VENTS**  
PROVIDE VENTS FOR TOP & BOTTOM  
COMBUSTION AIR. TOP VENT LOCATED WITHIN  
12" OF CEILING. BOTTOM VENT LOCATED WITHIN  
12" OF FLOOR. SIZE PER CMC  
PER CHAPTER 7, U.M.C. and U.P.C.
- RETURN AIR GRILLE**  
SIZE PER CODE  
VERIFY LOCATION WITH ARCHITECT
- AIR SUPPLY DUCT**  
2 sq. in. PER 1000 BTU REQUIRED @ F.A.U.  
SIZE PER CODE  
PER SECT. 317, U.M.C.
- LIGHT and VENTILATION @ BEDROOMS**  
NATURAL LIGHT BY MEANS OF EXTERIOR GLAZED  
OPENINGS WITH AN AREA OF NOT LESS THAN 1/10  
OF THE FLOOR AREA (MIN. 10 sq. ft.) NATURAL  
VENTILATION BY MEANS OF OPENABLE EXTERIOR  
OPENINGS WITH AN AREA OF NOT LESS THAN 1/20  
OF THE FLOOR AREA (MIN. 5 sq. ft.)  
PER SECT. 1203 C.B.C.  
  
COMBINATION SMOKE AND CARBON MONOXIDE ALARM  
SMOKE ALARMS AND CARBON MONOXIDE ALARMS  
SHALL BE INSTALLED INSIDE ALL BEDROOMS, ON  
THE CEILING OR WALL OUTSIDE OF EACH BEDROOM  
AND IN EVERY STORY  
PER SECTION R314.3, R315.1;  
SMOKE ALARMS AND CARBON MONOXIDE ALARMS  
SHALL RECEIVE THEIR PRIMARY POWER FROM THE  
BUILDING WIRING, AND SHALL BE EQUIPPED WITH  
A BATTERY BACKUP AND INTERCONNECTED.  
PER SECTION R314.3, R314.4, R315.1;  
  
SMOKE DETECTORS ARE REQUIRED IN EACH ROOM  
USED FOR SLEEPING AND CENTRALLY LOCATED IN  
THE WALL OR CEILING IN CORRIDORS PROVIDING  
ACCESS TO EACH SLEEPING AREA. AT EACH FLOOR  
OR BASEMENT LEVEL AND IN CLOSE PROXIMITY TO  
THE STAIRWAY. SMOKE DETECTORS SHALL BE  
CONNECTED TO THE BUILDING WIRING SYSTEM IN  
ALL NEW CONSTRUCTION AND BE PROVIDED WITH  
BATTERY BACKUP. SHALL SOUND AN ALARM  
AUDIBLE IN ALL AREAS OF THE BUILDING OR BE  
INTERCONNECTED.  
PER SECT 907.2.10, C.B.C.

**WALL LEGEND:**

- NON-RATED CONSTRUCTION  
SEE STRUCTURAL PLANS FOR STUD SIZE & SPACING
- 1-HOUR RATED COMMON WALL  
SEE DETAIL 45 / A-7.2
- 2-HOUR RATED SEPARATION WALL  
SEE DETAIL 44 / A-7.2

912 architecture  
7777 Aviation Way  
Manhattan Beach, CA 90266  
T: 310.376.9171 F: 310.376.1822  
www.912arch.com



**Revisions:**

- △
- △
- △
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**FIRST FLOOR PLAN**  
SCALE: 1/4" = 1'-0"  
FOUR-UNIT CONDOMINIUM  
617 AVIATION WAY

**FOUR - UNIT CONDOMINIUM**  
617 AVIATION WAY, MANHATTAN BEACH, CA 90266  
  
First Floor Plan

Date: 3/17/20



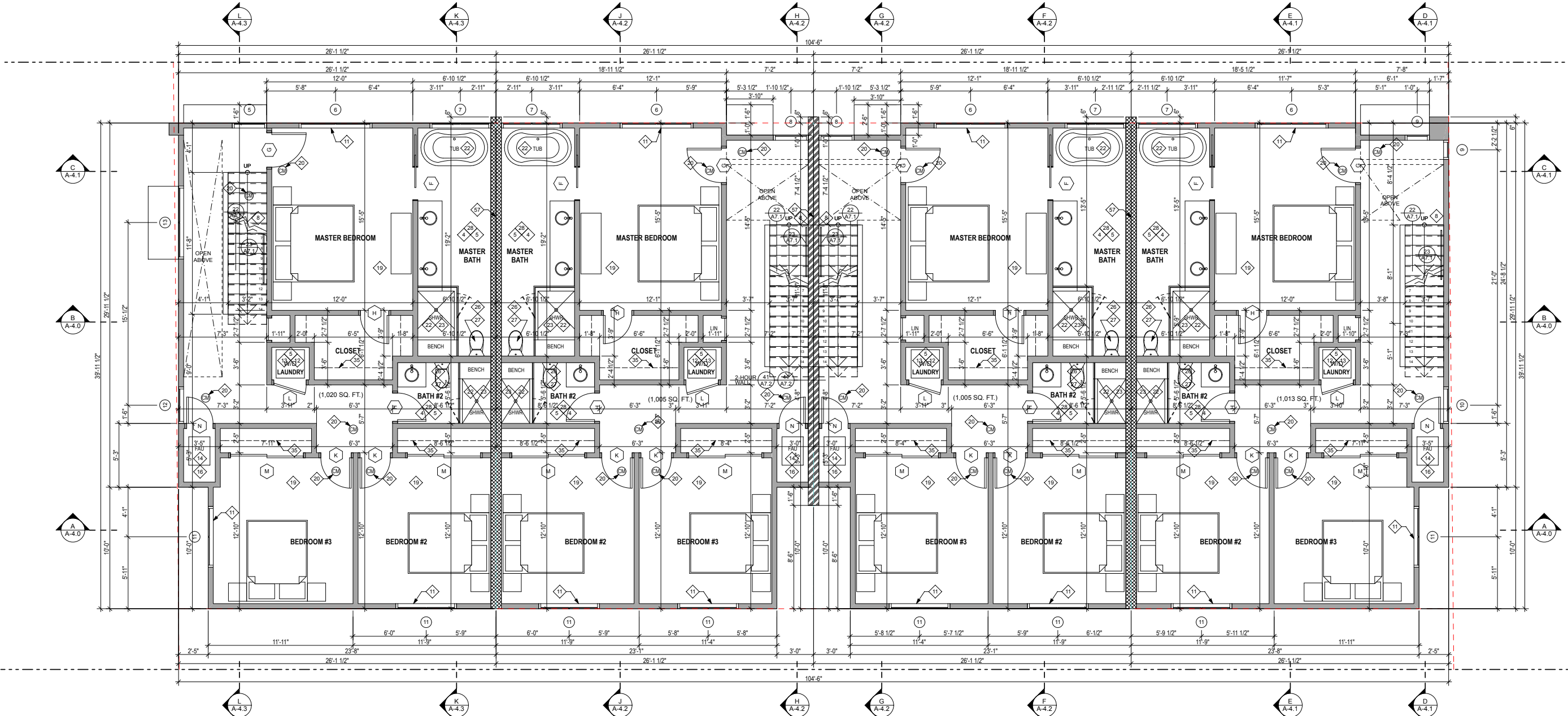
**FLOORPLAN NOTES:**  
(CONTINUED FROM SHEET A-2.0)

21. **PLUMBING WALL**  
PROVIDE 2x6 STUD WALL BEHIND PLUMBING FIXTURES PER C.P.C.
22. **SHOWERS & TUB SHOWERS**  
CONTROL VALVES FOR SHOWERS AND TUB SHOWERS SHALL BE OF THE PRESSURE BALANCE OR THERMOSTATIC MIXING VALVE TYPE.  
PER CPC SEC 410.7  
PROVIDE APPROVED SMOOTH HARD NON ABSORBENT FINISH TO CEILING (VERIFY WITH ARCHITECT)  
PROVIDE 1-LAYER "GREENBOARD" MOISTURE RESISTANT GYPSUM WALLBOARD  
PER UBC SEC 807.1.3
23. **FRAMESLESS TEMPERED GLASS ENCLOSURE**  
@ SHOWER WITH DOOR @ TUB SHOWER COMBINATION PER SECT. 2406 & 2407, U.B.C.
24. **BATH TUB MANUF.**  
MODEL:  
INSTALL PER MANUF SPECS
25. **TUB TRAP ACCESS**  
12" x 12" PREFABRICATED SHEET METAL PAINT TO MATCH ADJACENT WALL
26. **WATER CLOSETS**  
1.28 GALLON FLUSH, MAX.  
PER H & S CODE, SECT. 17921.3b
27. **ACCESS TO TOILETS**  
30" CLEAR WIDTH REQUIRED  
24" CLEARANCE IN FRONT REQUIRED.  
PER SECT. 2902.6 & 2904, C.B.C.
28. **EXHAUST FAN**  
BATHROOMS SHALL BE EQUIPPED WITH AN EXHAUST FAN CONTROLLED BY A HUMIDISTAT  
PER 2013 C.G.B.S.C.
29. **DISHWASHER**  
HOT WATER STUB-OUT SMITTY PAN WITH DRAIN
30. **REFRIGERATOR SPACE**  
COLD WATER STUB-OUT (ICE MAKER)
31. **KITCHEN SINK**  
DOUBLE BASIN  
MANUF.  
MODEL:  
PROVIDE GARBAGE DISPOSAL
32. **COOK - TOP**  
MANUF.  
MODEL:  
PROVIDE GAS STUB-OUT  
PROVIDE SHEET METAL HOOD (24" MIN CLR) VENT THROUGH ROOF PER MANUF SPECS  
OR  
DOWNDRAFT VENT DUCT TO OUTSIDE AIR THRU WALL PAINT TO MATCH EXTERIOR FINISH  
VERIFY LOCATION OF VENT WITH ARCHITECT.  
SEE ENERGY CONFORMANCE NOTES
33. **CONVECTION OVEN**  
MANUF.  
MODEL:  
PROVIDE GAS STUB-OUT DUCT TO OUTSIDE AIR THRU WALL PAINT TO MATCH EXTERIOR FINISH  
VERIFY LOCATION OF VENT WITH ARCHITECT
34. **UNDER-COUNTER MICROWAVE OVEN**
35. **SHelf AND POLE (#6" HIGH) (T.B.D.)**  
1 1/2" DIA WOOD POLE WITH 1x14 WOOD SHELF  
PAINT TO MATCH ADJACENT WALL FINISH  
OPTION: CLOSET ORGANIZER HARDWARE. CONFIRM WITH OWNER
36. **GAS FIREPLACE (VENT THROUGH ROOF)**  
MANUFACTURER: LENOX  
MODEL: SYMMETRY GAS ONLY  
APPROVAL: ANSI Z21.88 - 2009  
INSTALL PER MANUFACTURERS SPECIFICATIONS.  
USE THIS PRODUCT OR APPROVED EQUAL TO BE DETERMINED BY OWNER / ARCHITECT.  
- PER SECTION R1004.1  
WOOD BURNING FIREPLACES ARE NOT PERMITTED PER AQMD RULE 449
37. **DRAINAGE FIXTURES LOCATED BELOW THE NEXT UPSTREAM MANHOLE OR BELOW THE MAIN SEWER LEVEL, REQUIRES INVESTIGATION TO ASCERTAIN THE NECESSITY FOR SEWER BACKWATER DEVICE INSTALLATION**  
PER 2016 CPC SECTION 710.0
38. **TRASH CANS**  
TRASH AREA FOR A MINIMUM OF (3) 4" TALL 2X2" TRASH CANS  
REFUSE AREA SHALL NOT INTRUDE TO INTO REQUIRED PARKING DIMENSIONS.
39. **STAIR REQUIREMENTS**  
A. MAX. 7.75" RISE & MIN. 10" RUN  
B. MIN. 36" CLEAR WIDTH  
C. HANDRAILS 34" TO 38" HIGH ABOVE TREAD NOSING.  
D. HANDGRIP PORTION OF HANDRAIL SHALL BE NOT LESS THAN 1 1/4" NOR MORE THAN 2" CROSS SECTIONAL DIAM. DIMENSION HAVING A SMOOTH SURFACE WITH NO SHARP CORNERS.  
(1003.3.3.2, 4.6)
40. **LANDING AT EGRESS DOOR**  
LANDING AT EGRESS SHALL NOT BE MORE THAN 1 1/2" LOWER THAN TOP OF THRESHOLD.  
EXCEPTION: THRESHOLD HEIGHT CAN BE 7.75" MAX. IF DOOR IS NOT A REQUIRED EXIT OR DOOR DOES NOT SWING OVER THE LANDING.)  
PER CRC SECTION R311.3.1
41. **LAUNDRY ROOM**  
DRIP PANS OR OTHER DEVICES FOR LAUNDRY ROOM, WATER HEATERS, AND DISHWASHERS MUST BE PROVIDED.
42. **CABLE BOX**
43. **GAS METER**
44. **BACKWATER VALVE**  
AN APPROVED BACKWATER VALVE IS REQUIRED FOR DRAINAGE PIPING SERVING FIXTURES LOCATED BELOW THE ELEVATION OF THE NEXT UPSTREAM MANHOLE COVER. FIXTURES ABOVE SUCH ELEVATION SHALL NOT DISCHARGE THROUGH THE BACKWATER VALVE.  
(UPC, 710.1)
45. **GARAGE FLOOR**  
GARAGE FLOOR SHALL BE SLOPED TO FACILITATE MOVEMENT OF LIQUIDS TOWARD A DRAIN OR VEHICLE ENTRY DOORWAY  
CIBC SECT. 406.1.3.
46. **DECK WATERPROOFING**  
MANUF.: CROSSFIELD PRODUCTS CORP  
PRODUCT: DECK-IT-TEX ROOF WATERPROOFING MEMBRANE  
ICC#: ESR 1757  
SLOPE: 1/4" FT. MIN.  
CLASS: A  
INSTALL PER MANUF SPECS  
USE THIS PRODUCT OR APPROVED EQUAL  
PER SECT. 1402, C.B.C
47. **DECK DRAINS**  
MANUF.: THUNDERBIRD  
MODEL: 3" DIA. COPPER DECK DRAIN WITH STRAINER  
PROVIDE DRAIN LINE TO DRAINAGE SYSTEM  
INSTALL PER MANUF SPECS  
USE THIS PRODUCT OR APPROVED EQUAL  
SEE DETAIL 28 (A-7.1)
48. **LANDING AT EXTERIOR DOORS**  
LANDING ON EACH SIDE OF EXTERIOR DOOR SHALL HAVE A LENGTH IN DIRECTION OF TRAVEL OF NOT LESS THAN 36" SECTION R311.3.
49. **WATER METER SERVICE**  
SEE LOCATION ON SITE PLAN AT A-1.0
50. **OPEN RAILING**  
BALCONIES SHALL HAVE OPEN RAILINGS OR GLASS
51. **1-HOUR COMMON / SEPARATION WALL**  
WALL BETWEEN INDIVIDUAL UNITS SHALL BE 1-HOUR CONSTRUCTION AND SHALL HAVE SOUND TRANSMISSION COEFFICIENT (STC) RATING OF STC 52 MINIMUM.  
SEE DETAILS 42 & 45 / A-7.2 FOR CONSTRUCTION  
COMMON WALL BETWEEN UNITS SHALL BE FREE FROM PLUMBING, MECHANICAL EQUIPMENT DUCT OR VENT PER CRC SECT R-302.2  
COMMON WALL SHALL EXTEND FROM FOUNDATION TO UNDERSIDE OF ROOF SHEATHING PER CRC SECT R-302.2.1 (UPC, 710.1)
52. **WHOLE HOUSE VENTILATION**  
WHOLE HOUSE MECHANICAL VENTILATION SYSTEM PER 2016 CALIFORNIA RESIDENTIAL COMPLIANCE MANUAL. THE BUILDING SHALL BE PROVIDED WITH A WHOLE HOUSE MECHANICAL VENTILATION SYSTEM.  
EXHAUST FANS AT THE LAUNDRY ROOM SHALL BE 75 CFM MIN. (PER TABLE 4-14)  
AND SHALL OPERATE CONTINUOUSLY  
FAN SHALL BE RATED TO OPERATE AT A MAX. NOISE LEVEL OF 1.0 SONE.  
OR  
PROVIDE WHOLE HOUSE VENTILATION SYSTEM @ FAU FORCED AIR UNIT TO PROVIDE REQUIRED WHOLE HOUSE VENTILATION SYSTEM  
UNIT MUST BE INSTALLED WITH A SUMMER SWITCH AT THE AIR HANDLER AND AN OUTSIDE AIR DUCT DIRECTLY TO THE RETURN AIR FLEXIM.  
UNIT MUST BE EQUIPPED WITH CONTROLS WHICH ENSURE THAT THE AIR HANDLER RUNS EVEN WHEN THERE IS NO HEATING OR COOLING.  
OUTDOOR AIR DUCT INLET SHALL BE PLACED TO AVOID DRAWING AIR FROM KNOWN AREAS OF CONTAMINANTS, SUCH AS CHIMNEYS, GARAGES, EXHAUST FANS, ETC.  
INSTALLER SHALL MEASURE THE VENTILATION FLOW RATE INDUCED TO ENSURE THAT IT MEETS THE VENTILATION RATE REQUIREMENTS UNDER NORMAL HEATING AND COOLING OPERATING CONDITIONS.
53. **FUTURE SOLAR ELECTRICAL CONDUIT**  
PROVIDE ELECTRICAL CONDUIT FOR EACH UNIT FROM ROOF TO ELECTRICAL SERVICE PANEL FOR FUTURE SOLAR
54. **PLUMBING FIXTURES**  
ALL NEW PLUMBING FIXTURES SHALL BE WATER CONSERVING PER 2016 CPC 402.0

**WALL LEGEND:**

- NON-RATED CONSTRUCTION  
SEE STRUCTURAL PLANS FOR STUD SIZE & SPACING
- 1-HOUR RATED COMMON WALL  
SEE DETAIL 45 / A-7.2
- 2-HOUR RATED SEPARATION WALL  
SEE DETAIL 44 / A-7.2

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**SECOND FLOOR PLAN**  
SCALE: 1/4" = 1'-0"  
**FOUR-UNIT CONDOMINIUM**  
617 AVIATION WAY

- Revisions:**
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**FOUR - UNIT CONDOMINIUM**  
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**Second Floor Plan**

Date: 3/17/20

**A-2.1**

**FLOORPLAN NOTES:**  
(CONTINUED FROM SHEET A-2.1)

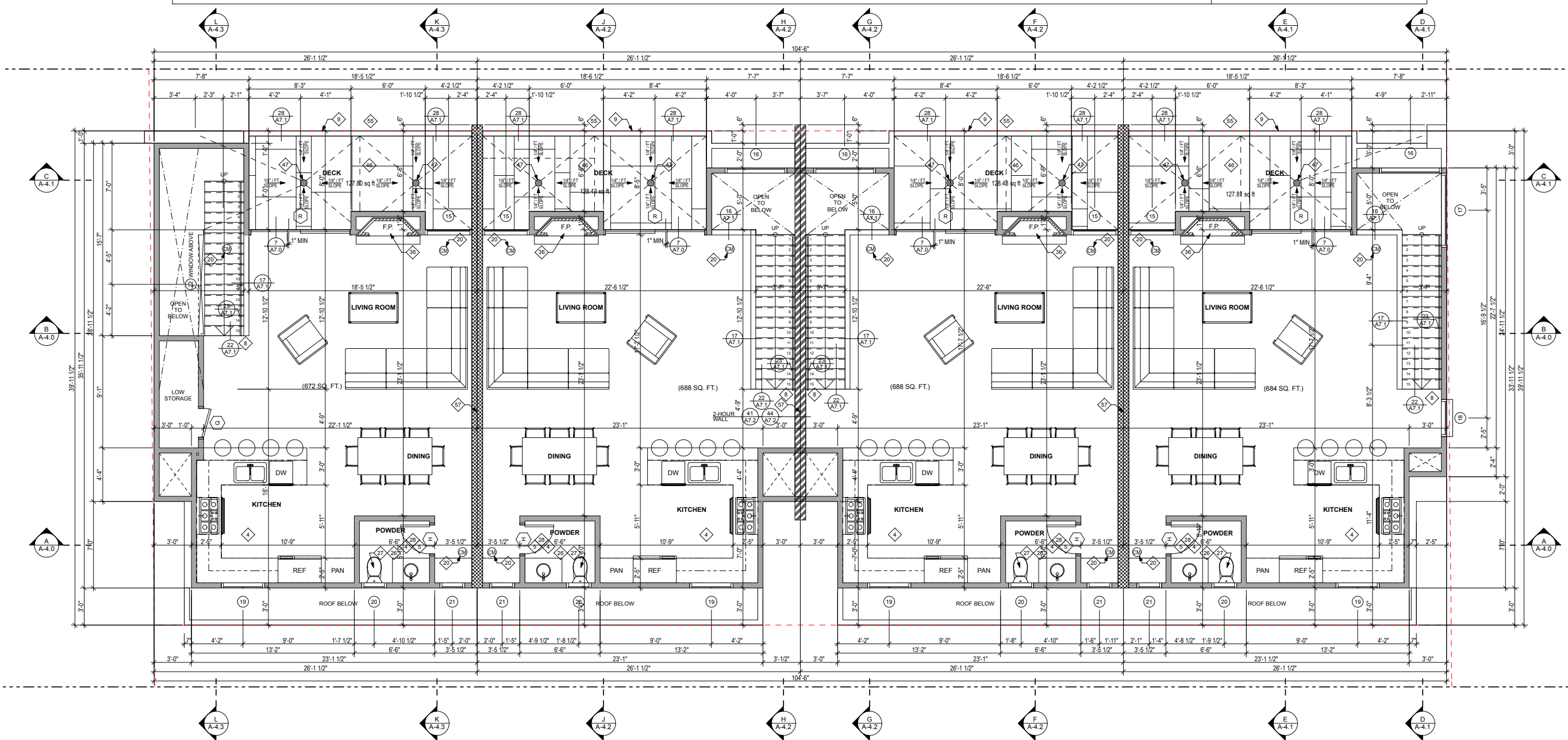
55. **DECK OVERFLOW**  
DECK SHALL BE DRAINED BY DRAINS AND OVERFLOW DRAIN OR SCUPPER PER SECTION R693.4.

56. **DUCTS PENETRATING WALL**  
DUCTS PENETRATING WALL OR CEILING PENETRATIONS BETWEEN GARAGE AND DWELLING UNIT SHALL BE CONSTRUCTED OF 0.019 INCH MINIMUM SHEET METAL AND SHALL HAVE NO OPENING INTO THE GARAGE - PER SECTION 406.3.4.3.

57. **WALLS SEPARATING DWELLING**  
WALLS SEPARATING DWELLING UNITS FROM EACH OTHER SHALL HAVE AN ABSORBE SOUND RATING OF STC 50 MINIMUM AND IMPACT SOUND RATING OF MINIMUM - PER SECTION 1207.

**WALL LEGEND:**

- NON-RATED CONSTRUCTION  
SEE STRUCTURAL PLANS FOR STUD SIZE & SPACING
- 1-HOUR RATED COMMON WALL  
SEE DETAIL 45/A-7.2
- 2-HOUR RATED SEPARATION WALL  
SEE DETAIL 44/A-7.2



**Revisions:**

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**THIRD FLOOR PLAN**  
SCALE: 1/4" = 1'-0"  
FOUR-UNIT CONDOMINIUM  
617 AVIATION WAY

**Revisions:**

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**Third Floor Plan**

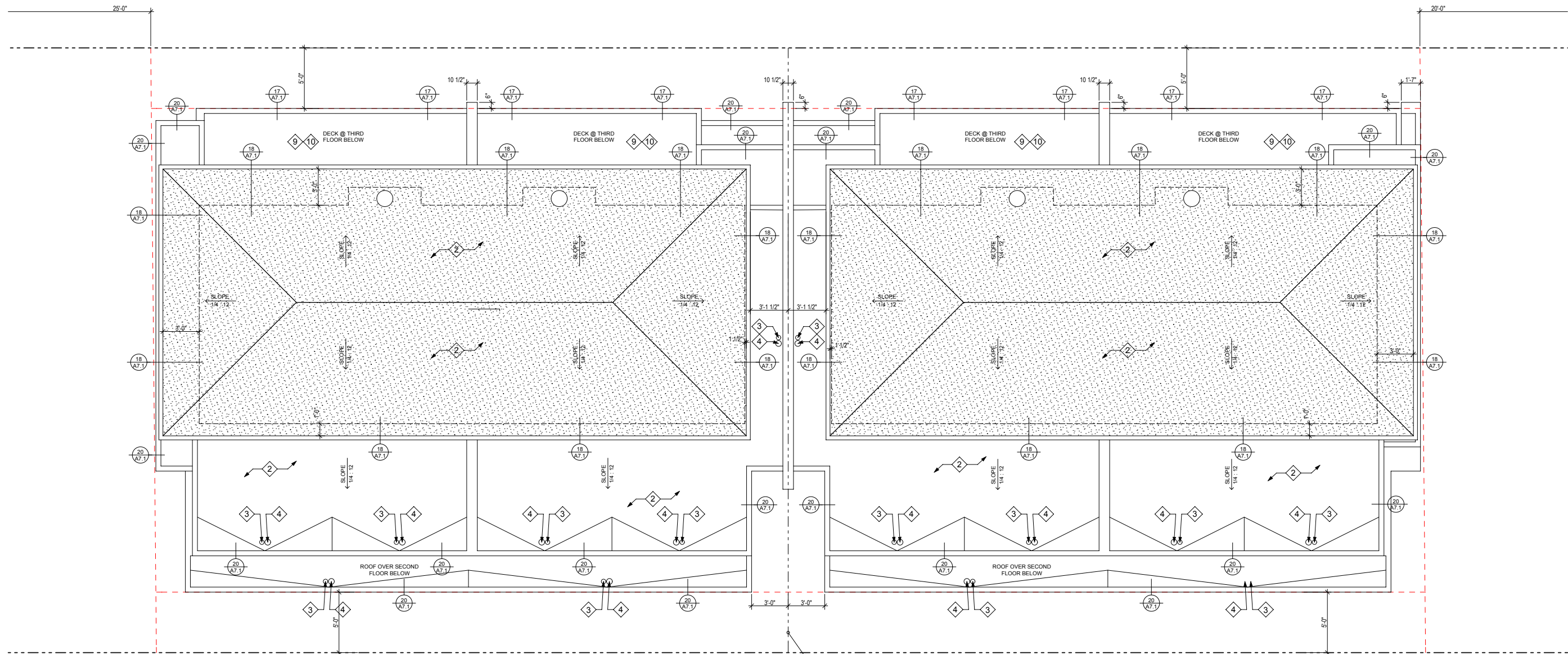
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**A-2.2**

**KEYNOTES**

1. **CHIMNEY TERMINATION CAP**  
GALV SHEET METAL OR METAL MESH WITH APPROVED SPARK ARRESTOR MANUF.  
USE THIS PRODUCT OR AN APPROVED EQUAL.  
INSTALL PER MANUFACTURER'S INSTRUCTIONS.  
DECORATIVE CHIMNEY CAP MUST BE LISTED ASSEMBLY.  
CHIMNEY SHALL EXTEND 2 FT ABOVE ADJACENT ROOF WITHIN 10 FT DISTANCE.  
PER SECTION 2113.9, C.B.C.
2. **ROOF FINISH**  
MANUF: CROSSFIELD PRODUCTS CORP.  
PRODUCT: DECK-O-TEX ROOF WATERPROOFING MEMBRANE  
ICOP: ESR 1757  
SLOPE: 1/4" FT. MIN.  
CLASS: A  
INSTALL PER MANUF SPECS  
USE THIS PRODUCT OR APPROVED EQUAL.  
PER SECT. 1402, C.B.C.
3. **ROOF DRAINS**  
MANUF: THUNDERBIRD  
MODEL: 3" DIA. COPPER DECK DRAIN WITH STRAINER  
PROVIDE DRAIN LINE TO DRAINAGE SYSTEM  
INSTALL PER MANUF SPECS  
USE THIS PRODUCT OR APPROVED EQUAL.  
SEE DETAIL 28 / A-7.1
4. **OVERFLOW SCUPPER / DRAIN**  
REMOVE EXISTING SCUPPERS AND PROVIDE NEW  
PROVIDE SEPARATE DRAIN LINE  
OUTLET SHALL BE LOCATED 2" ABOVE LOW POINT OF ROOF  
OVERFLOW SCUPPER TO BE 3/4" DRAIN SIZE  
INSTALL PER MANUF. SPECS  
SEE DETAIL 29 / A-7.1
5. **ROOF FLASHING**  
PROVIDE COPPER SHEET METAL FLASHING  
AT ALL ROOF PENETRATION / VALLEY / CRICKET
6. ALL SITE DRAINAGE SHALL BE TERMINATED AT PUBLIC WAY VIA NON EROSION DEVICE.
7. **ROOF GUTTER**  
SQUARE ALUMINUM ROOF GUTTER SLOPE TO DOWNSPOUT LOCATION @ 1% MIN  
GUTTER TO MATCH WINDOW FINISH
8. **SQUARE DOWNSPOUT**  
ALUMINUM DOWNSPOUT - MATCH WINDOW FINISH  
DRAIN TO STREET VIA APPROVED NON EROSION DEVICE  
SEPARATE PIPE REQUIRED FOR OVERFLOW.
9. **DECK WATERPROOFING**  
MANUF: CROSSFIELD PRODUCTS CORP.  
PRODUCT: DECK-O-TEX ROOF WATERPROOFING MEMBRANE  
ICOP: ESR 1757  
SLOPE: 1/4" FT. MIN.  
CLASS: A  
INSTALL PER MANUF SPECS  
USE THIS PRODUCT OR APPROVED EQUAL.  
PER SECT. 1402, C.B.C.
10. **DECK DRAINS**  
MANUF: THUNDERBIRD  
MODEL: 3" DIA. COPPER DECK DRAIN WITH STRAINER  
PROVIDE DRAIN LINE TO DRAINAGE SYSTEM  
INSTALL PER MANUF SPECS  
USE THIS PRODUCT OR APPROVED EQUAL.  
SEE DETAIL 28 / A-7.1
11. **ATTIC VENT**  
UNIT C 64.69 SF = 150 ± 0.43 SF VENT AREA (1)  
UNIT C 104.0 SF = 150 ± 0.69 SF VENT AREA (2)  
UNIT B 46.55 SF = 150 ± 0.31 SF VENT AREA (1)  
UNIT A 104.0 SF = 150 ± 0.69 SF VENT AREA (2)  
UNIT A 64.69 SF = 150 ± 0.43 SF VENT AREA (1)  
PROVIDE (7) 12"x24" HALF ROUND DORMER VENT (0.68 SF VENT AREA) = 4.76 SF  
AT LOCATIONS SHOWN ON ROOF PLAN  
TOTAL VENT AREA = 4.76 SF  
PER C.B.C. SECTION 1203
12. PARAPETS, SATELITE ANTENNA, RAILS, SKYLIGHTS, ROOF EQUIP. MUST BE WITH THE HEIGHT LIMIT.
13. EAVES AND SOFFITS SHALL MEET THE REQUIREMENTS OF SFM 7A.3 OR SHALL BE DRAIN TO STREET VIA APPROVED NON EROSION MATERIALS OR NON-COMBUSTIBLE CONSTRUCTION ON THE EXPOSED UNDERSIDE.
14. ROOF DRAINS PASSING THROUGH THE ROOF INTO THE INTERIOR OF BUILDING SHALL BE MADE WATERTIGHT AT THE ROOF LINE BY THE USE OF SUITABLE FLASH MATERIAL.
15. ROOF DRAINAGE WATER SHALL NOT BE ALLOWED TO FLOW OVER PUBLIC PROPERTY, BUT SHALL BE CARRIED IN A DRAIN PIPE OR OTHER APPROVED TRANSPORT, UNDER THE PUBLIC SIDEWALK OR WALKING SURFACE TO THE GUTTER UNLESS ONE ONE OF THE FOLLOWING CONDITIONS EXISTS AND IS MAINTAINED:  
16. ROOF DRAINAGE WATER IS TO BE DEPOSITED AT A POINT OR POINTS ON THE SITE WHERE THE DRAINAGE SWALE IS TO A NATURAL DRAINAGE CHANNEL THAT DOES NOT FLOW OVER PUBLIC PROPERTY.
17. ALL CONCENTRATED DRAINAGE, INCLUDING ROOF WATER SHALL BE CONDUCTED VIA GRAVITY TO THE STREET OR AN APPROVED LOCATION AT A 2% MINIMUM.
18. VALLEY FLASHING SHALL BE NOT LESS THAN 0.019-INCH (0.48 mm) (NO. 26 GALVANIZED SHEET GAGE) CORROSION RESISTANT METAL INSTALLED OVER A MINIMUM 36-INCH WIDE (914 mm) UNDERLAYMENT CONSISTING OF ONE LAYER OF NO. 72 ASTM G1 CAP SHEET RUNNING THE FULL LENGTH OF THE VALLEY
19. ROOF GUTTERS SHALL BE PROVIDED WITH THE MEANS TO PREVENT THE ACCUMULATION OF LEAVES AND DEBRIS IN THE GUTTER.
20. (ROOF) (ATTIC) (EXTERIOR WALL) SHALL RESIST THE INTRUSION OF FLAME EMBERS INTO THE ATTIC AREA OF THE STRUCTURE, OR SHALL BE PROTECTED BY CORROSION RESISTANT, NONCOMBUSTIBLE WIRE MESH WITH 1/4-INCH (6 mm) OPENINGS OR EQUIVALENT. VENTS SHALL NOT BE INSTALLED IN EAVES AND CORNICES.
21. ROOF / PROJECTION LOCATED WITHIN 5 FEET OF PROPERTY LINE SHALL BE 1 HOUR FIRE RATED PER SECTION 705.2.3.
22. **RADIANT BARRIER**  
PER TITLE 24 ENERGY REQUIREMENTS, PROVIDE RADIANT BARRIER AT UNDERSIDE OF ROOF SHTG IN ALL ATTIC AREAS

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**ROOF PLAN**  
SCALE: 1/4" = 1'-0"

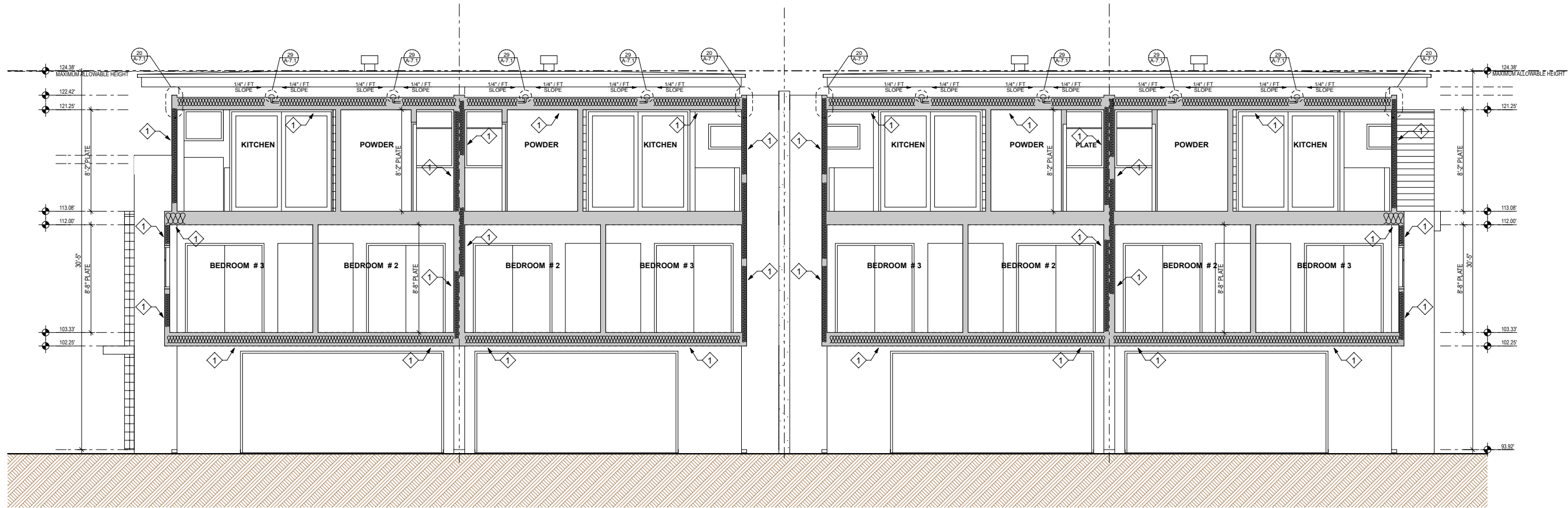
**Revisions:**

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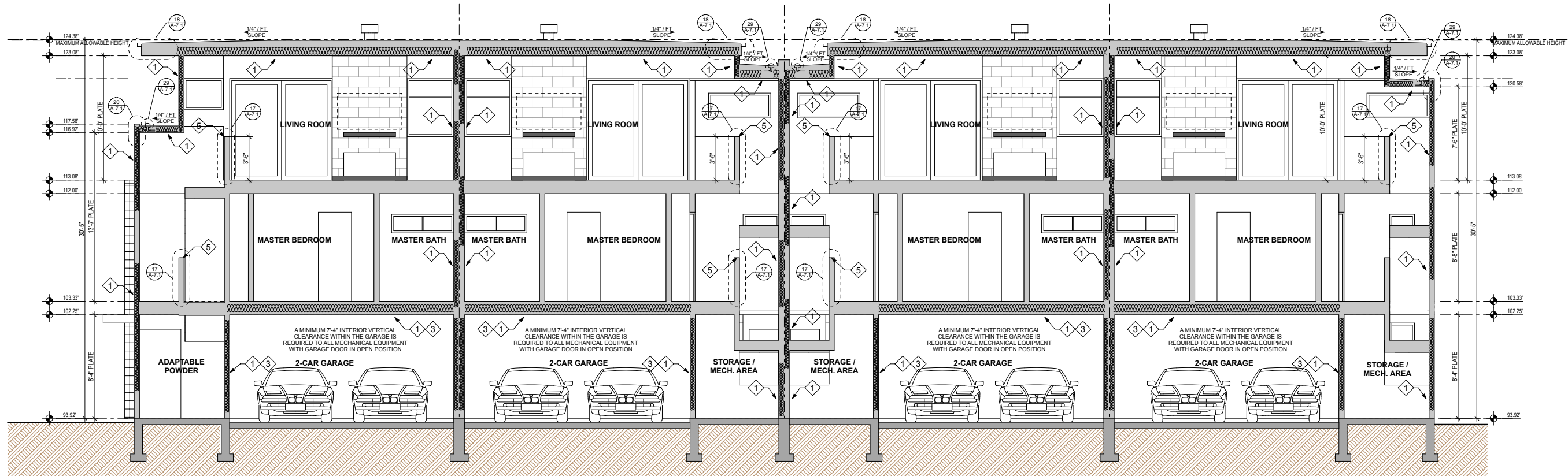
**Roof Plan**

Date: 3/17/20



**SECTION A-A**

SCALE: 1/4"=1'-0"



**SECTION B-B**

SCALE: 1/4"=1'-0"

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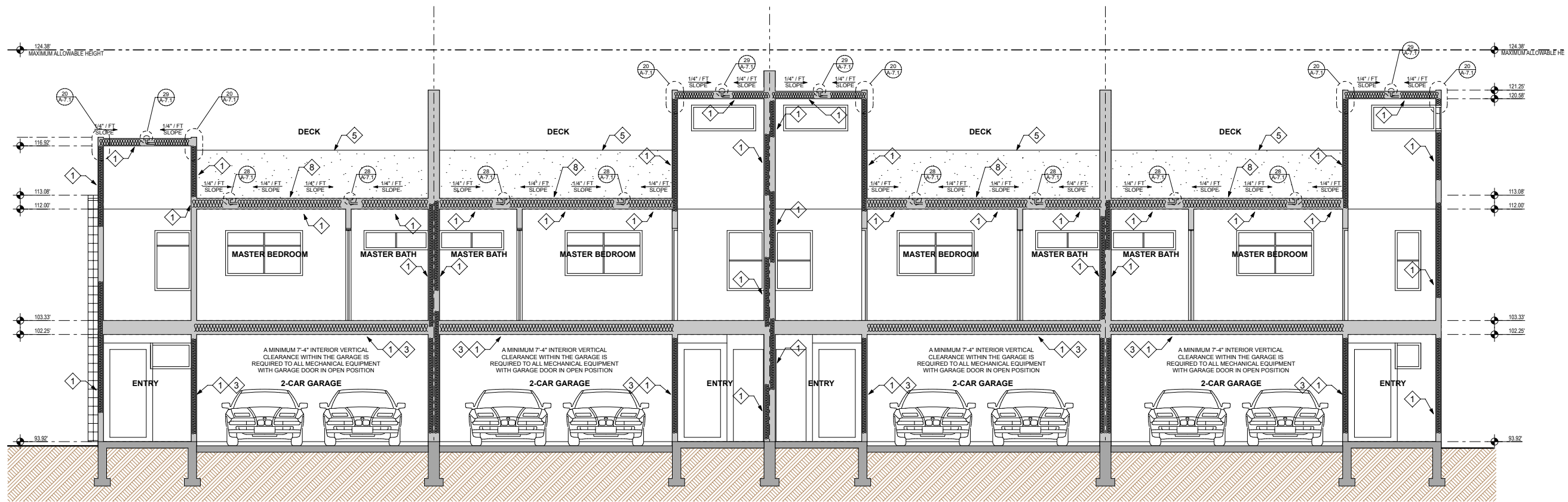
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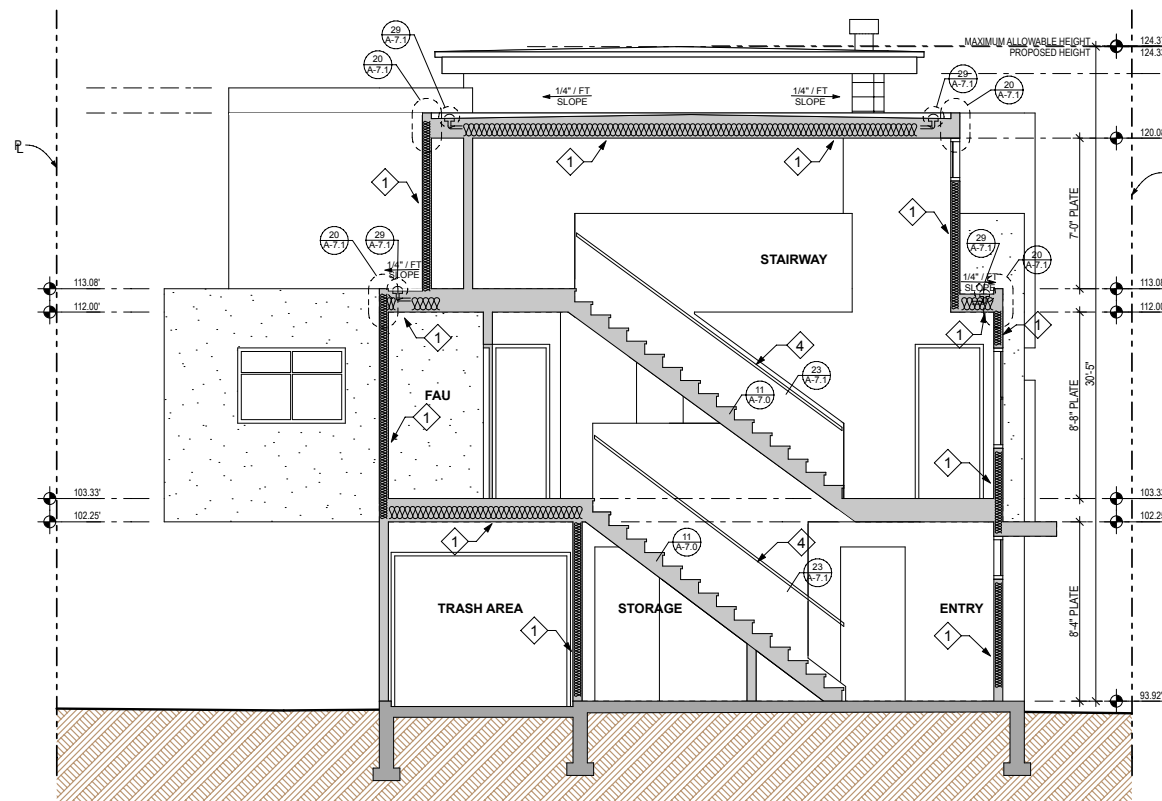
**Building Sections**

Date: 3/17/20



SECTION C-C

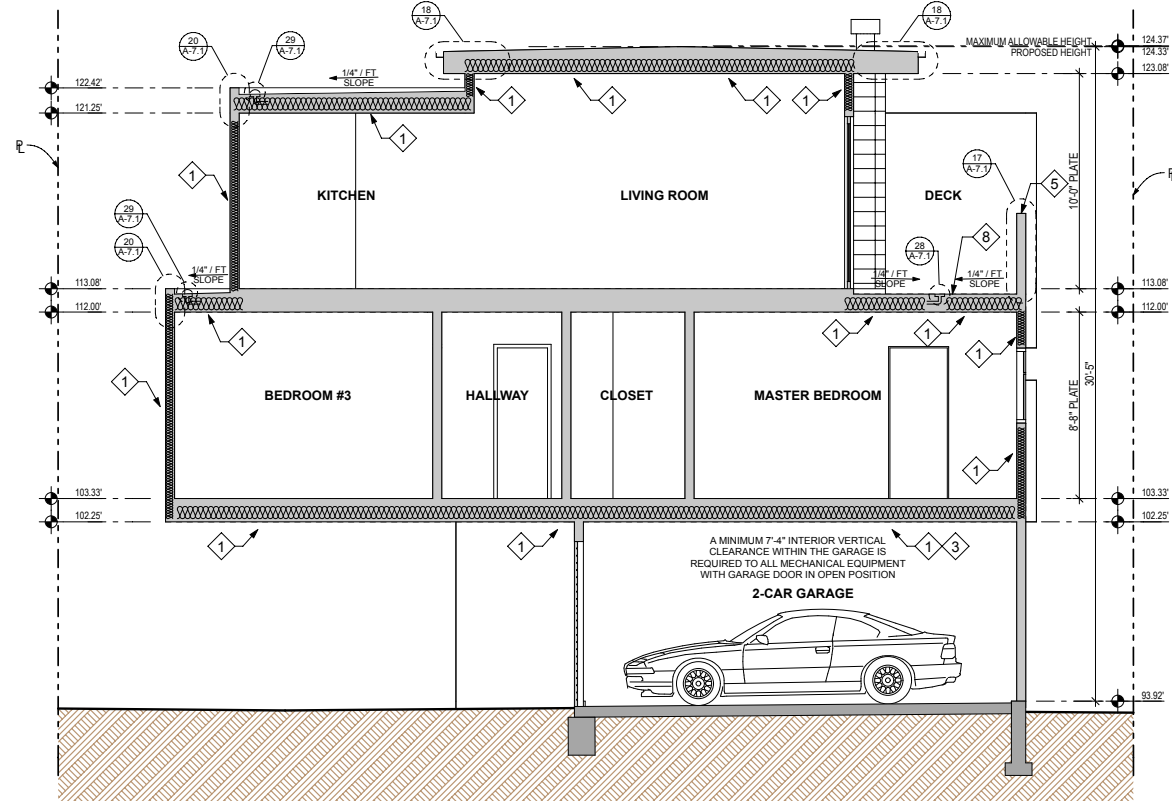
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SECTION D-D

SCALE: 1/4"=1'-0"

UNIT "A"



SECTION E-E

SCALE: 1/4"=1'-0"

UNIT "A"

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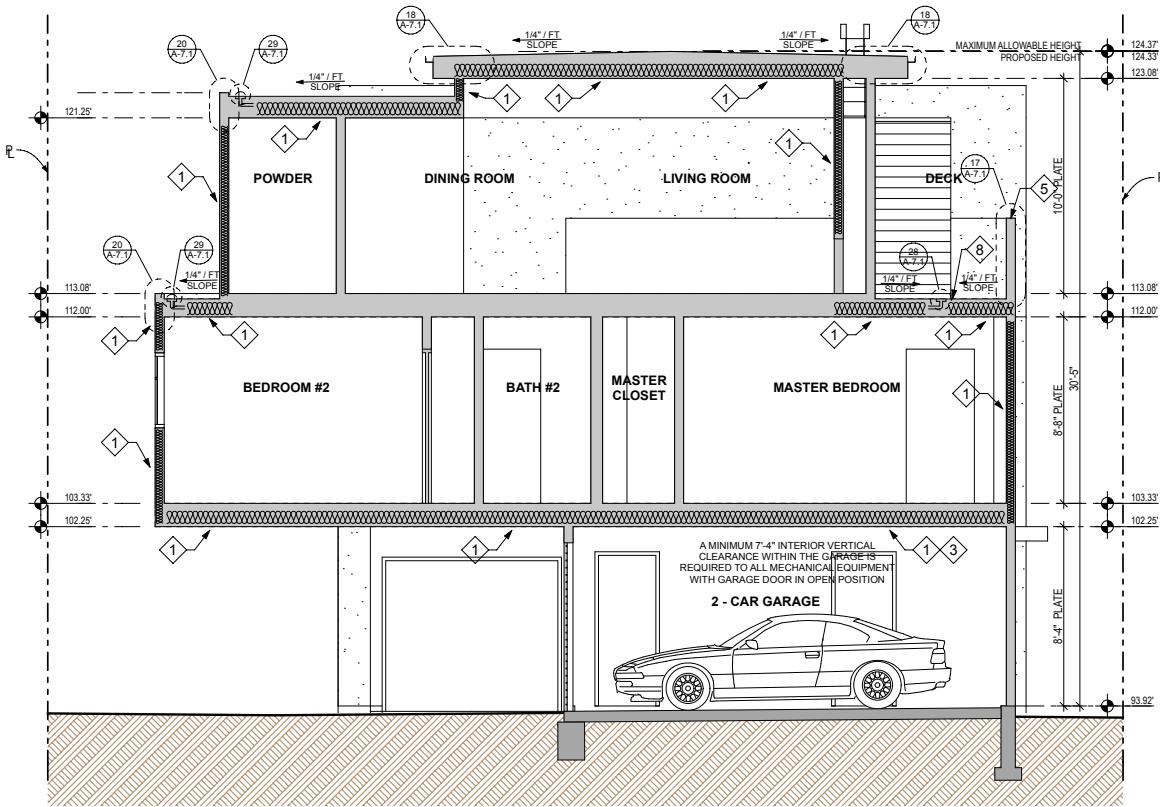
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Building Sections

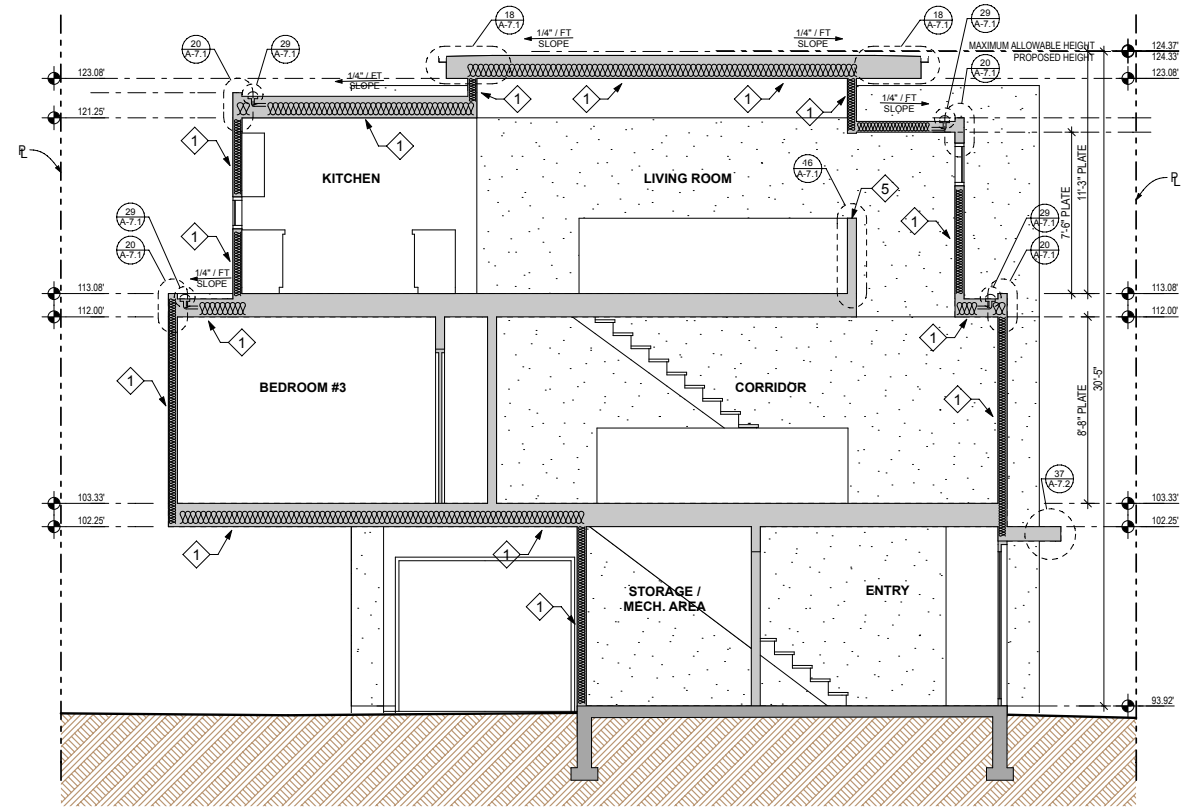
Date: 3/17/20

**A-4.1**

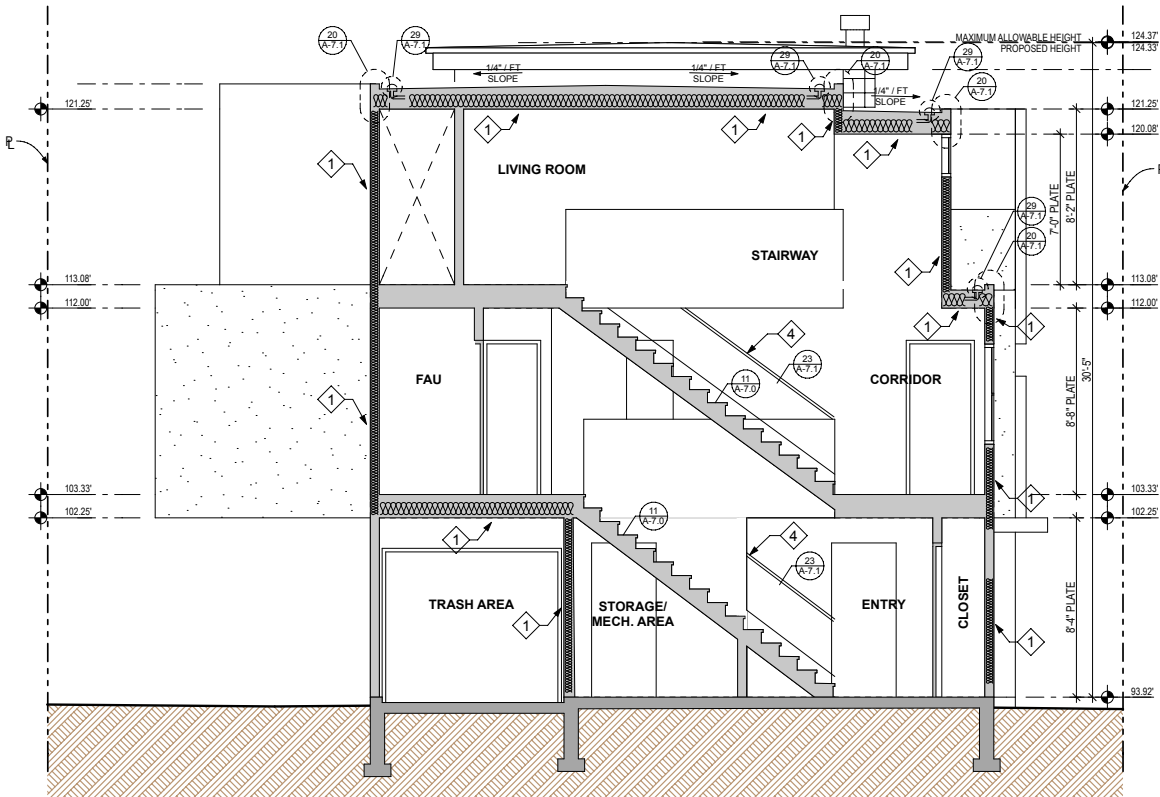
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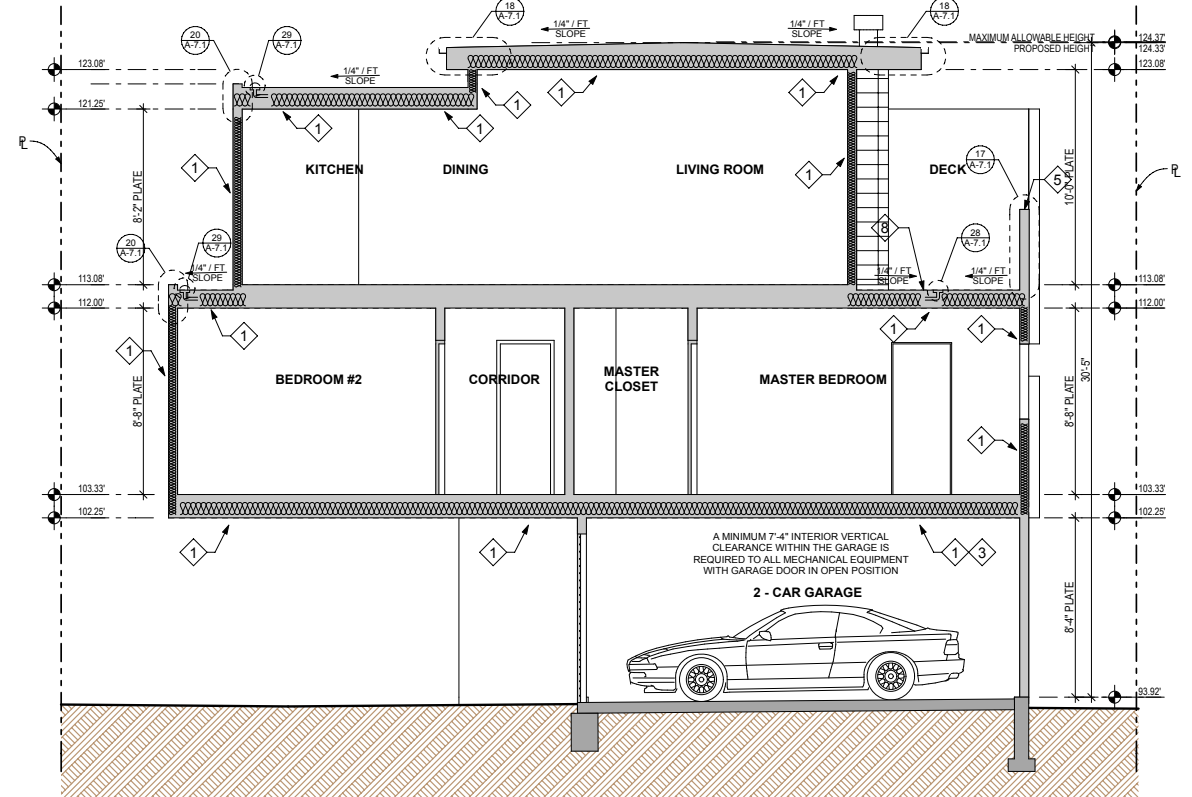
**SECTION F-F** **UNIT "B"**  
SCALE: 1/4"=1'-0"



**SECTION G-G** **UNIT "B"**  
SCALE: 1/4"=1'-0"



**SECTION H-H** **UNIT "C"**  
SCALE: 1/4"=1'-0"



**SECTION J-J** **UNIT "C"**  
SCALE: 1/4"=1'-0"

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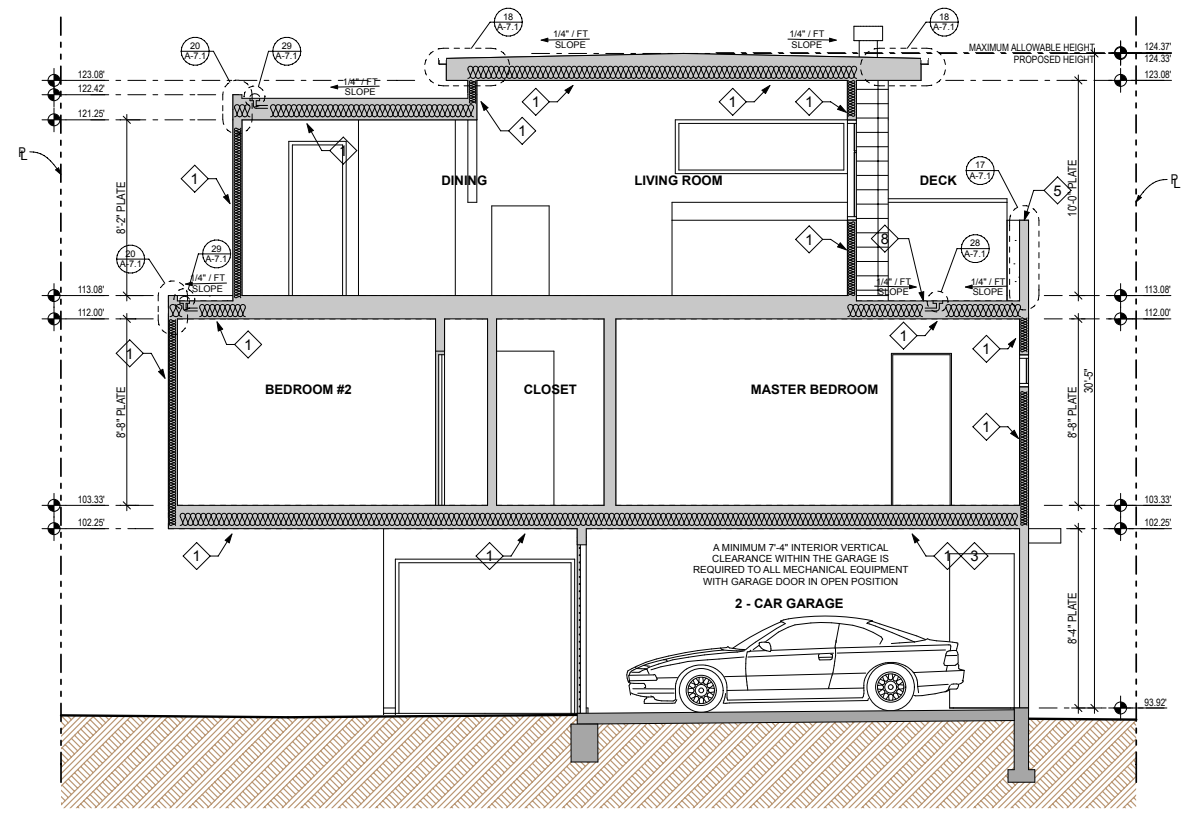
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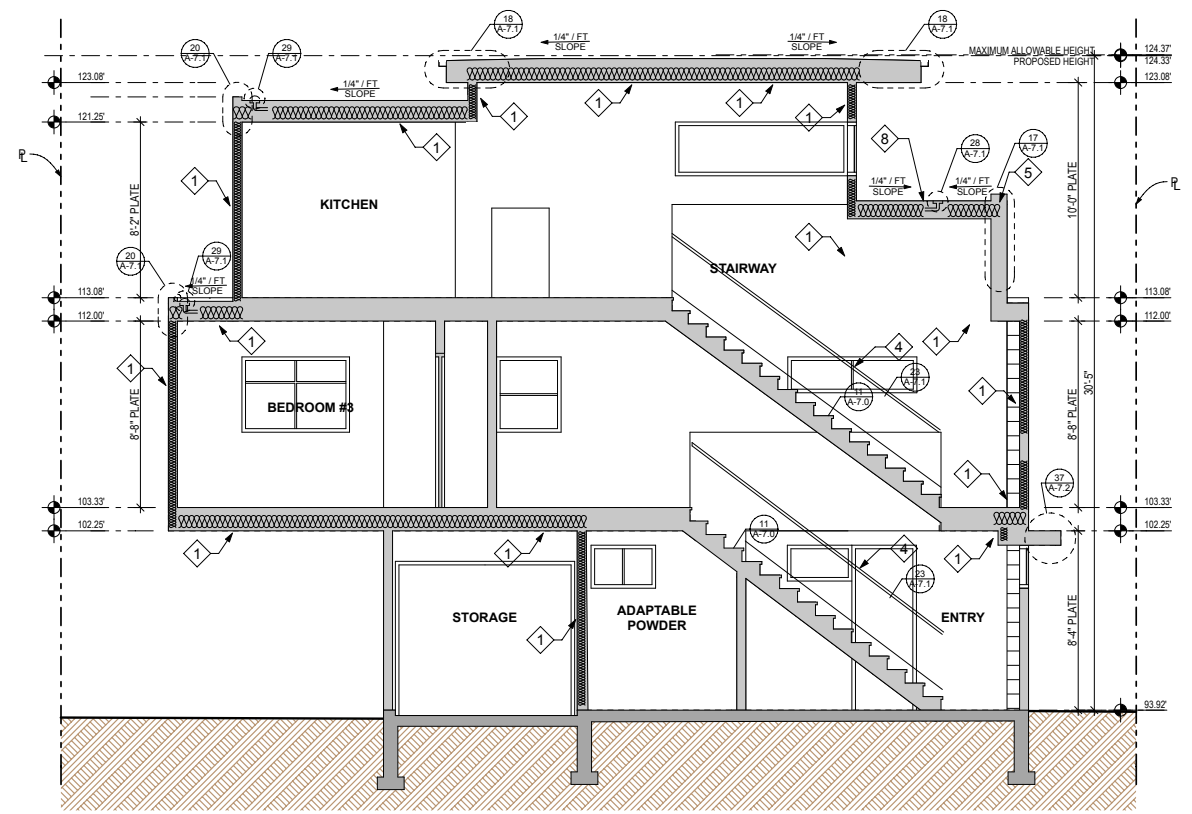
**Building Sections**

Date: 3/17/20

1. **INSULATION REQUIREMENTS**  
FOIL-BACKED BATT INSULATION  
INSTALL PER MANUF. SPECS  
PROVIDE: ROOF / CEILING R-30 PER CF-1R FORM  
EXTERIOR WALL R-15  
INTERIOR WALL R-13  
(WHERE SPECIFIED)  
RAISED WD FLOOR R-19 PER CF-1R FORM  
FLR @ OVERHANGS R-19 PER CF-1R FORM  
SLAB EDGE INSUL. N/A  
REFER TO CF-1R FORMS, SEE SHEET T-6
2. **WATERPROOFING @ FOUNDATION WALL**  
MANUF. DMX PLASTICS LTD  
PRODUCT: DMX AG WATER PROOFING SYSTEM  
ICCF: ESR 2896  
PROVIDE 4" DIA. PERFORATED PIPE DRAIN IN  
FILTER FABRIC WRAP SET IN GRAVEL BED  
OUTLET DRAIN @ STREET THROUGH APPROVED  
NON-EROSIVE DEVICE. SEE CIVIL DRWGS.  
INSTALL PER MANUF. SPECS.  
USE THIS PRODUCT OR APPROVED EQUAL.
3. **ONE-HOUR FIRE RESISTIVE WALL**  
5/8" TYPE "X" GYP. WALL BOARD  
AT ALL WALLS AND CEILING BETWEEN GARAGE  
AND ALL ADJACENT LIVING SPACES, AND  
ENCLOSING ALL STRUCTURAL MEMBERS  
PER SECT. 302.4, C.B.C.
4. **HANDRAIL**  
TOP OF RAIL @ 34" TO 38" ABOVE TREAD  
NOSING ONE RAIL TO EXTEND 6" BEYOND TOP  
AND BOTTOM RISER, AND SHALL TERMINATE IN  
A NEWEL POST OR WALL  
HANDGRIP CROSS-SECTIONAL AREA OF TOP  
RAIL: 1 1/2" MIN TO 2" MAX  
MIN 1 1/2" CLEAR BETWEEN RAIL AND WALL  
@ OPEN RAIL, SEE GUARDRAIL NOTE  
PER SECT. 1006, C.B.C.
5. **GUARDRAIL (42" HIGH U.N.O.)**  
TOP RAIL SHALL SUPPORT 20 LBS. PER LIN. FT.  
PER SECT. 705, C.B.C.  
SEE HAND RAIL NOTE FOR TOP RAIL  
OPEN RAIL SHALL HAVE INTERMEDIATE RAILS,  
SO THAT A 4" DIA. SPHERE CANNOT PASS THRU.  
PER SECT. 509.1, C.B.C.
6. **CHIMNEY**  
TOP OF CHIMNEY MUST EXTEND A MINIMUM  
OF 2' ABOVE ANY PART OF THE BUILDING  
WITHIN 10'. CHIMNEY MAY EXCEED THE MAX  
PERMITTED BUILDING HEIGHT BY NO MORE  
THAN 5' PROVIDED THE WIDTH AND DEPTH  
DO NOT EXCEED 3' AND 5' RESPECTIVELY.
7. **PROPOSED NEW ROOF FINISH**  
MANUF. CROSSFIELD PRODUCTS CORP.  
PRODUCT: DEK-O-TEX ROOF WATERPROOFING  
MEMBRANE  
ICCF: ESR 1757  
SLOPE: 1/4" / FT. MIN.  
CLASS: A  
INSTALL PER MANUF. SPECS  
USE THIS PRODUCT OR APPROVED EQUAL  
PER SECT. 1402, C.B.C.
8. **PROPOSED NEW DECK FINISH**  
MANUF. CROSSFIELD PRODUCTS CORP.  
PRODUCT: TILE OR STONE OVER THINSET MORTAR OVER  
DEK-O-TEX DECK WATERPROOFING MEMBRANE  
ICCF: ESR 1757  
SLOPE: 1/4" / FT. MIN.  
CLASS: A  
INSTALL PER MANUF. SPECS  
USE THIS PRODUCT OR APPROVED EQUAL  
PER SECT. 1402, C.B.C.



**SECTION K-K** UNIT "D"  
SCALE: 1/4" = 1'-0"



**SECTION L-L** UNIT "D"  
SCALE: 1/4" = 1'-0"

architecture  
617 Aviation Way  
Manhattan Beach, CA 90266  
T: 310.376.9171 • F: 310.376.1822  
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**912**

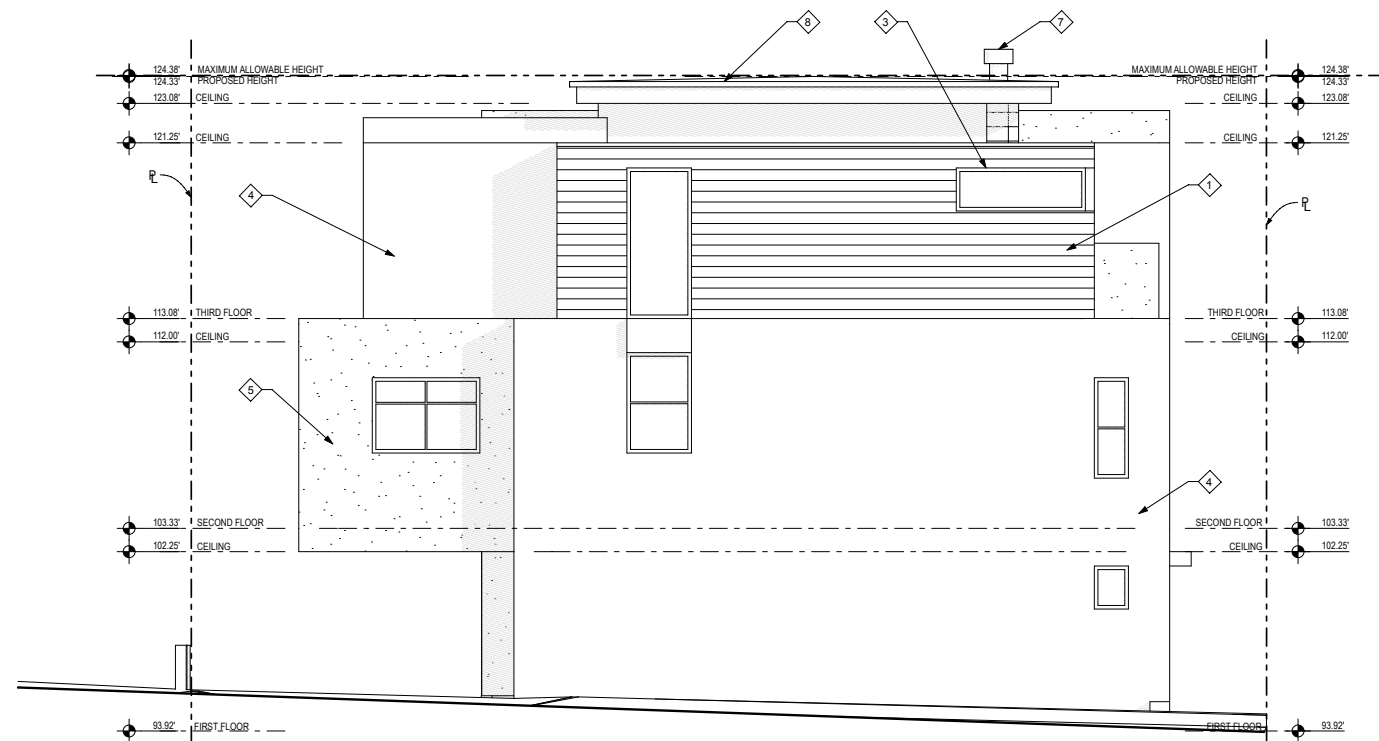
- Revisions:**
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**FOUR - UNIT CONDOMINIUM**  
617 AVIATION WAY, MANHATTAN BEACH, CA 90266

**Building Sections**

Date: 3/17/20

**A-4.3**



**EAST ELEVATION**

SCALE: 1/4"=1'-0"  
 NOTES:  
 MAX. PROPERTY LINE WALL HEIGHT 6'-0" ABOVE LOWEST LOCAL GRADE (42' MAX IN FRONT YARD)  
 8'-0" MAX HEIGHT ALLOWED WITH APPROVED FENCE HEIGHT AGREEMENT  
 PARAPETS, SATELLITE ANTENNAE, RAILS, SKYLIGHTS,  
 ROOF EQUIPMENT MUST BE WITHIN THE HEIGHT LIMIT.

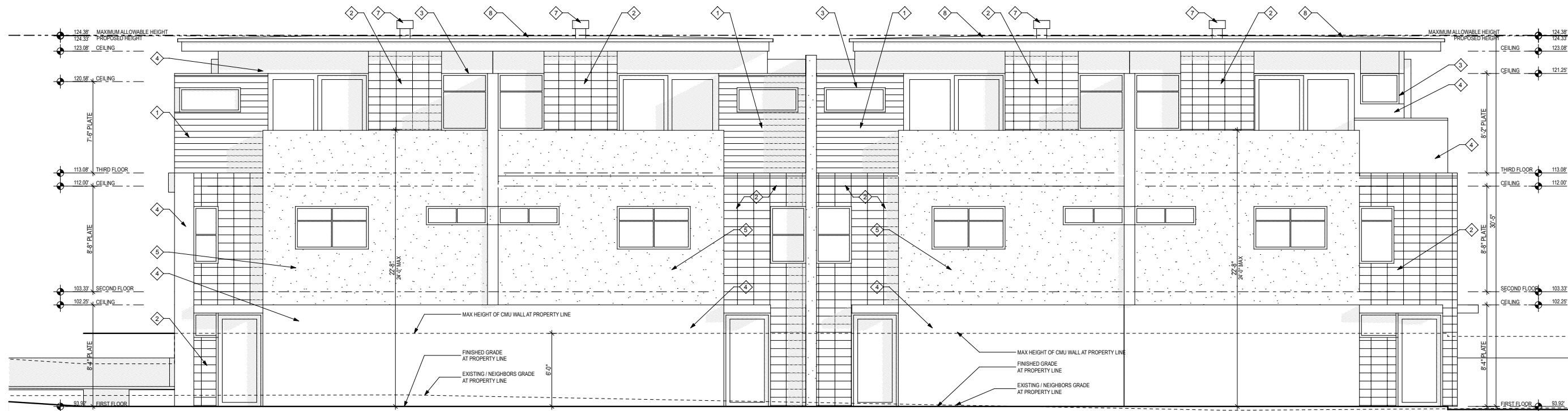
**ELEVATION NOTES:**

1. **HORIZONTAL HARD-PLANK EXTERIOR SIDING**  
 HARD-PLANK HORIZONTAL EXTERIOR SIDING  
 OVER TYPAR BUILDING PAPER LAYERED SHINGLE FASHION  
 SEE DETAIL 22 / A-7.1
2. **TILE VENEER**  
 PORCELAIN TILE VENEER  
 OVER BROWN COAT  
 SEE DETAIL 21 / A-7.1
3. **BRONZE ANODIZED WINDOW**  
 SEE PLAN AND WINDOW SCHEDULE FOR SIZE  
 SEE SHEET T-6 FOR CF-IR ENERGY REQUIREMENTS
4. **EXTERIOR STUCCO**  
 7/8" THICK EXTERIOR STUCCO  
 OVER 2 LAYERS WATERPROOFING PAPER  
 FINISH: SMOOTH STEEL TROWEL  
 COLOR: WHITE
5. **EXTERIOR STUCCO**  
 7/8" THICK EXTERIOR STUCCO  
 OVER 2 LAYERS WATERPROOFING PAPER  
 FINISH: 20/30 SAND  
 COLOR: BARN SWALLOW
6. **METAL FASCIA**  
 BRONZE ANODIZED ALUMINUM FASCIA  
 MATCH EXTERIOR WINDOW FRAME FINISH  
 USE THIS PRODUCT OR APPROVED EQUAL  
 PER SECT. 1402, C.B.C.
7. **CHIMNEY**  
 TOP OF CHIMNEY MUST EXTEND A MINIMUM OF 2' ABOVE ANY PART OF THE  
 BUILDING WITHIN IT. CHIMNEY MAY EXCEED THE MAX PERMITTED BUILDING  
 HEIGHT BY NO MORE THAN 5' PROVIDED THE WIDTH AND DEPTH DO NOT  
 EXCEED 3' AND 5' RESPECTIVELY.
8. **PROPOSED NEW ROOF FINISH**  
 MANUF: CROSSFIELD PRODUCTS CORP.  
 PRODUCT: DEX-O-TEX ROOF WATERPROOFING MEMBRANE  
 ICCP: ESR 1757  
 SLOPE: 1/4"FT. MIN.  
 CLASS: A  
 INSTALL PER MANUF SPECS  
 USE THIS PRODUCT OR APPROVED EQUAL  
 PER SECT. 1402, C.B.C.
9. **PROPOSED NEW DECK FINISH**  
 MANUF: CROSSFIELD PRODUCTS CORP.  
 PRODUCT: TILE OR STONE OVER TRINSET MORTAR OVER  
 ICCP: ESR 1157  
 SLOPE: 1/4"FT. MIN.  
 CLASS: A  
 INSTALL PER MANUF SPECS  
 USE THIS PRODUCT OR APPROVED EQUAL  
 PER SECT. 1402, C.B.C.



**Revisions:**

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**NORTH ELEVATION**

SCALE: 1/4"=1'-0"  
 NOTES:  
 MAX. PROPERTY LINE WALL HEIGHT 6'-0" ABOVE LOWEST LOCAL GRADE (42' MAX IN FRONT YARD)  
 8'-0" MAX HEIGHT ALLOWED WITH APPROVED FENCE HEIGHT AGREEMENT  
 PARAPETS, SATELLITE ANTENNAE, RAILS, SKYLIGHTS,  
 ROOF EQUIPMENT MUST BE WITHIN THE HEIGHT LIMIT.

**FOUR - UNIT CONDOMINIUM**  
 617 AVIATION WAY, MANHATTAN BEACH, CA 90266

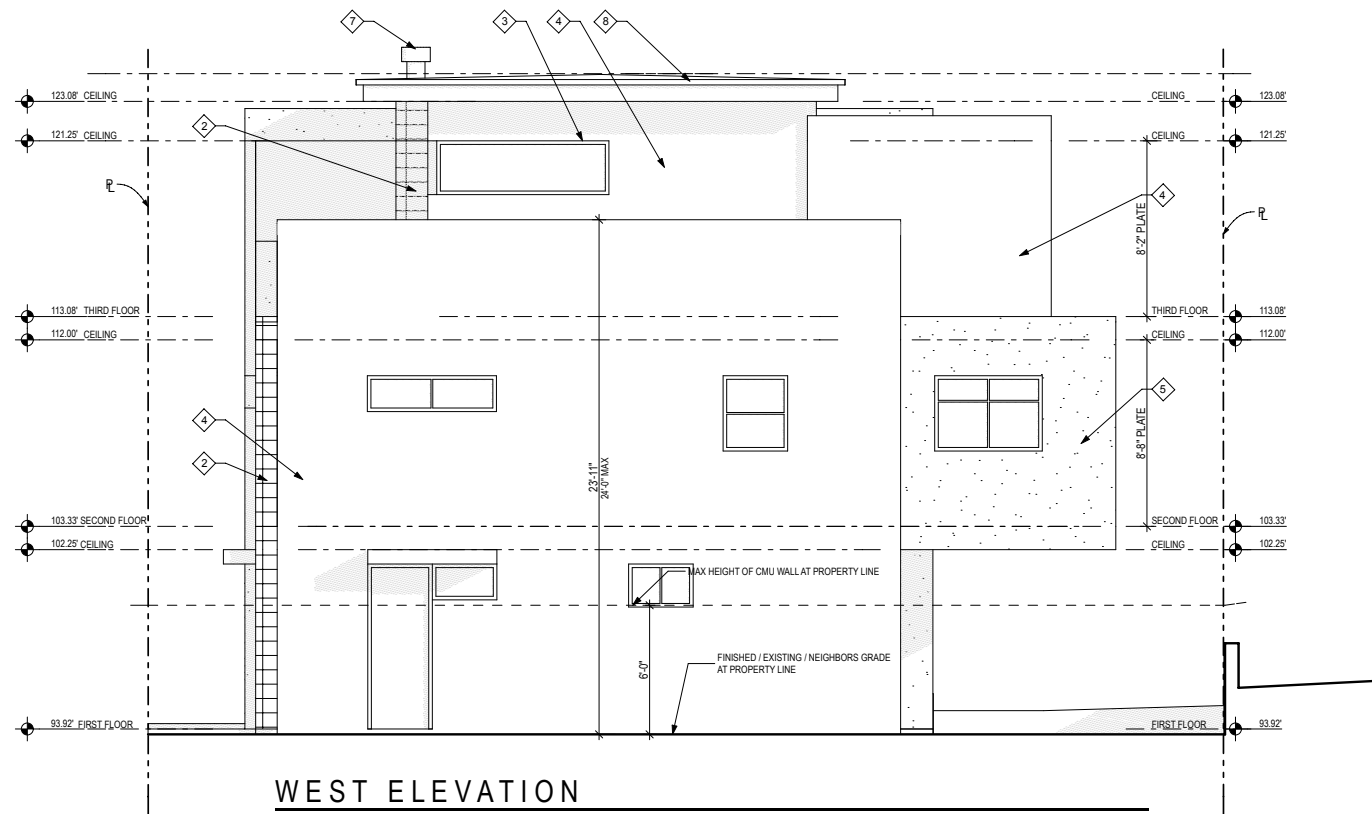
**Exterior Elevations**

Date: 3/17/20

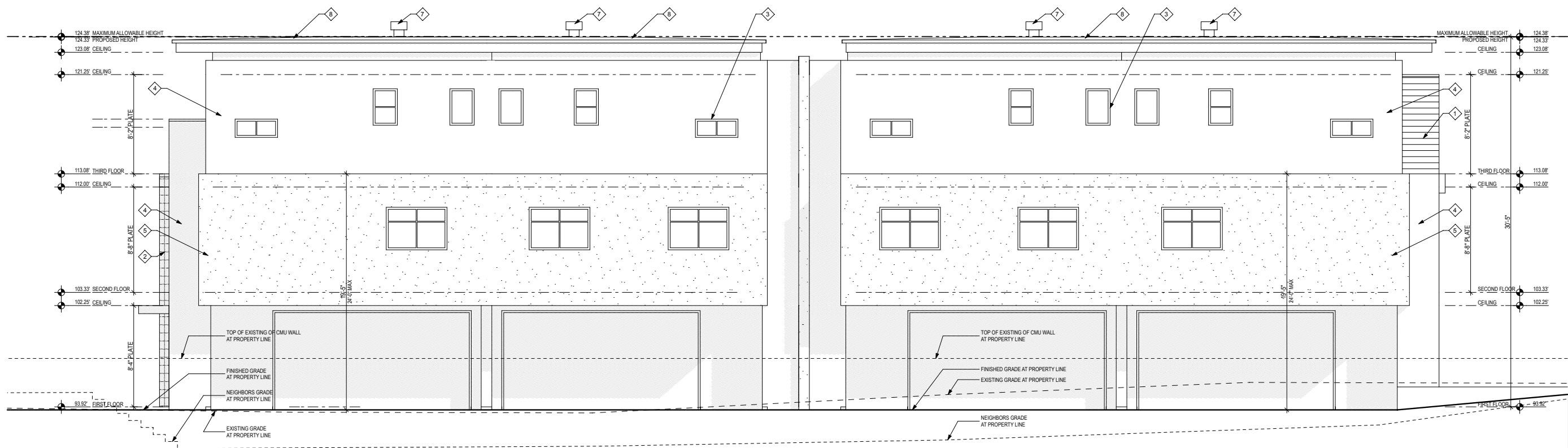
**A-6.0**



- ELEVATION NOTES:**
- HORIZONTAL HARDI-PLANK EXTERIOR SIDING**  
HARDI-PLANK HORIZONTAL EXTERIOR SIDING  
OVER TYFAS BUILDING PAPER LAYED SHINGLE FASHION  
SEE DETAIL 22 / A-7.1
  - TILE VENEER**  
PORCELAIN TILE VENEER  
OVER BROWN COAT  
SEE DETAIL 21 / A-7.1
  - BRONZE ANODIZED WINDOW**  
SEE PLAN AND WINDOW SCHEDULE FOR SIZE  
SEE SHEET 1-5 FOR CF-1R ENERGY REQUIREMENTS
  - EXTERIOR STUCCO**  
7/8" THICK EXTERIOR STUCCO  
OVER 2 LAYERS WATERPROOFING PAPER  
FINISH: SMOOTH STEEL TROWEL  
COLOR: WHITE
  - EXTERIOR STUCCO**  
7/8" THICK EXTERIOR STUCCO  
OVER 2 LAYERS WATERPROOFING PAPER  
FINISH: 20/30 SAND  
COLOR: BARN SWALLOW
  - METAL FASCIA**  
BRONZE ANODIZED ALUMINUM FASCIA  
MATCH EXTERIOR WINDOW FRAME FINISH  
USE THIS PRODUCT OR APPROVED EQUAL  
PER SECT. 1402, C.B.C.
  - CHIMNEY**  
TOP OF CHIMNEY MUST EXTEND A MINIMUM OF 2' ABOVE ANY PART OF THE BUILDING WITHIN 10'. CHIMNEY MAY EXCEED THE MAX PERMITTED BUILDING HEIGHT BY NO MORE THAN 5' PROVIDED THE WIDTH AND DEPTH DO NOT EXCEED 3' AND 5' RESPECTIVELY.
  - PROPOSED NEW ROOF FINISH**  
MANUF: CROSSFIELD PRODUCTS CORP.  
PRODUCT: DEX-O-TEX ROOF WATERPROOFING MEMBRANE  
ICCF: ESR 1757  
SLOPE: 1/4" FT. MIN.  
CLASS: A  
INSTALL PER MANUF SPECS  
USE THIS PRODUCT OR APPROVED EQUAL  
PER SECT. 1402, C.B.C.
  - PROPOSED NEW DECK FINISH**  
MANUF: CROSSFIELD PRODUCTS CORP.  
PRODUCT: TILE OR STONE OVER THINSET MORTAR OVER DEX-O-TEX DECK WATERPROOFING MEMBRANE  
ICCF: ESR 1757  
SLOPE: 1/4" FT. MIN.  
CLASS: A  
INSTALL PER MANUF SPECS  
USE THIS PRODUCT OR APPROVED EQUAL  
PER SECT. 1402, C.B.C.



**WEST ELEVATION**  
SCALE: 1/4" = 1'-0"  
NOTES:  
MAX. PROPERTY LINE WALL HEIGHT 6'-0" ABOVE LOWEST LOCAL GRADE  
(42" MAX IN FRONT YARD)  
8'-0" MAX HEIGHT ALLOWED WITH APPROVED FENCE HEIGHT AGREEMENT  
PARAPETS, SATELLITE ANTENNAE, RAILS, SKYLIGHTS,  
ROOF EQUIPMENT MUST BE WITHIN THE HEIGHT LIMIT.



**SOUTH ELEVATION**  
SCALE: 1/4" = 1'-0"  
NOTES:  
MAX. PROPERTY LINE WALL HEIGHT 6'-0" ABOVE LOWEST LOCAL GRADE  
(42" MAX IN FRONT YARD)  
8'-0" MAX HEIGHT ALLOWED WITH APPROVED FENCE HEIGHT AGREEMENT  
PARAPETS, SATELLITE ANTENNAE, RAILS, SKYLIGHTS,  
ROOF EQUIPMENT MUST BE WITHIN THE HEIGHT LIMIT.



- Revisions:**
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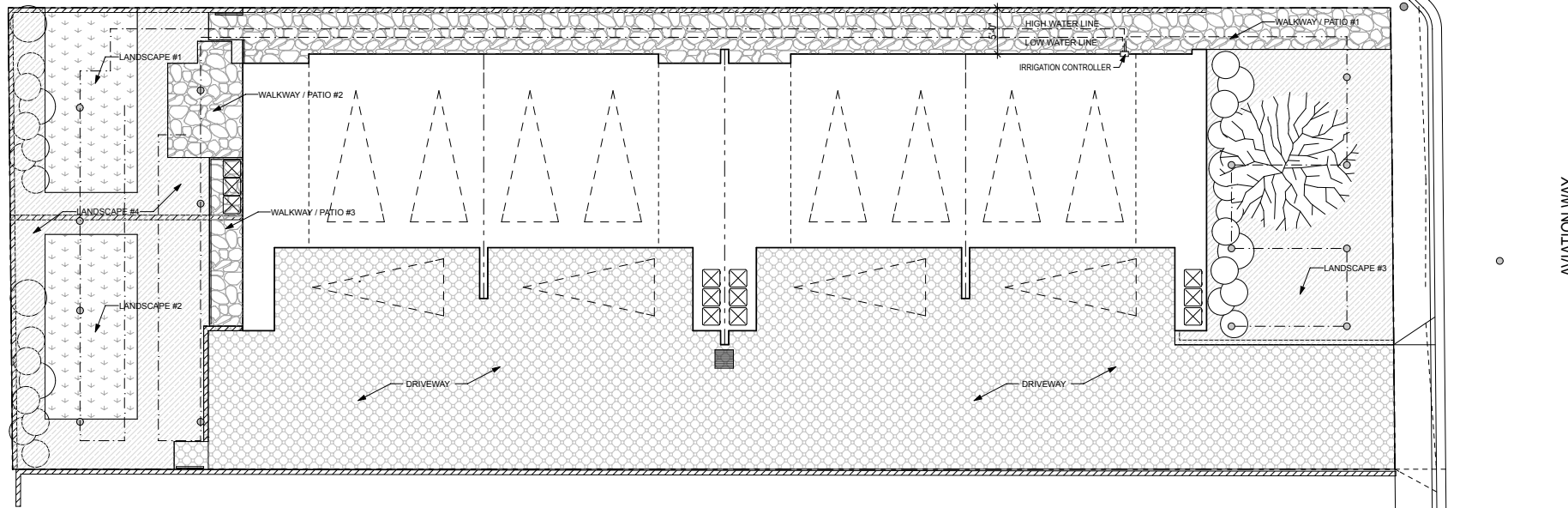
**FOUR - UNIT CONDOMINIUM**  
617 AVIATION WAY, MANHATTAN BEACH, CA 90266  
**Exterior Elevations**

Date: 3/17/20

**A-6.1**



**PLANTING NOTES:**  
 ALL PLANTING AREAS TO BE PREPARED WITH NITROLIZED REDWOOD SHAVINGS & ORGANIC FERTILIZER AT THE RATE OF 4 CU.YDS. PER 1000 SQ.FT.  
 ALL PLANTS TO BE BACKFILLED WITH ORGANIC PLANTER MIX & NITROFORM PLANTING TABLETS INSTALLED IN EACH PLANT BEFORE BACKFILL.



**LOT SQUARE FOOTAGE:** 7,490 SQ.FT.  
**BUILDING FOOTPRINT:** 2,307 SQ.FT.  
**DRIVEWAY:** 2,717 SQ.FT.

**LANDSCAPE / HARDSCAPE AREA =** LOT SQ.FT. - BUILDINGS FOOTPRINT - DRIVEWAY = 7,490 - 2,307 - 2,717 = **2,466 SQ.FT.**

A MAXIMUM 20% OF LANDSCAPE / HARDSCAPE AREA CAN HAVE HIGH WATER USAGE PLANTS AS DEFINED BY **WATER USE CLASSIFICATION OF LANDSCAPE SPECIES (WUCOLS)** FOR REGION 3.

**MAX AREA OF HIGH WATER USE PLANTS =** LANDSCAPE / HARDSCAPE AREA X 20% = 2,466 SQ.FT. X 20% = **493.2 SQ.FT.**

**PROVIDED HIGH WATER USE PLANTS:** LANDSCAPE #1 + LANDSCAPE #2  
 200 SQ.FT. + 200 SQ.FT. = **400 SQ.FT.**

**PROVIDED < ALLOWABLE**  
 400 SQ.FT. < 493.2 SQ.FT. **OK**

**HARDSCAPE / WALKWAY AREA:** WALKWAY / PATIO #1 + WALKWAY / PATIO #2 + WALKWAY / PATIO #3 = 642.7 SQ.FT. + 98.3 SQ.FT. + 50.5 SQ.FT. = **791.5 SQ.FT.**

**LOW WATER AREA:** LANDSCAPE #3 + LANDSCAPE #4 = 649.6 SQ.FT. + 623.8 SQ.FT. = **1,273.4 SQ.FT.**

**LANDSCAPE PLAN**  
 SCALE: 1/8"=1'-0"

**LEGEND**

	BUILDING FOOTPRINT
	DRIVEWAY
	PATIO / WALKWAY
	LANDSCAPED AREA (LOW WATER USE)
	GRASS (HIGH WATER USE)
	TREE

NON-HIGH WATER USE PLANTS	WATER NEED	HIGH WATER USE PLANTS	WATER NEED
AGAPANTHUS AFRICANUS, LILY-OF-THE-NILE	MODERATE	ADIANTUM SPP. MAIDENHAIR FERN	HIGH
ANIGOZANTHOS VIRIDIS, GREEN KANGAROO PAW	LOW	ATHYRIUM FILIX-FEMINA, LADY FERN	HIGH
ARUM ITALICUM, ITALIAN ARUM	VERY-LOW	CYRTOMIUM FALCATUM, HOLLY FERN	HIGH
BACCHARIS SAROTHRODES, DESERT BLOOM	VERY-LOW	KENTUCKY BLUEGRASS	HIGH
CLIVIA MINIATA, KAFFIER LILY	LOW		
DRYOPTERIS ERYTHROSORA, WOOF FERN	MODERATE		

- DRIP IRRIGATION NOTES**
1. PROVIDE DRIPLENE EMITTER TUBING SYSTEM FOR PLANTING AREAS AS SHOWN IN DRAWING
  2. DRIPLENE TUBING IS SHOWN DIAGRAMMATICALLY FOR CLARITY. INSTALL PIPING IN LANDSCAPE AREAS AND ADJACENT TO SELECTED PLANT MATERIAL AS SHOWN IN DETAILS
  3. DO NOT INSTALL DRIPLENE TUBING UNDER PAVED SURFACES. CONNECT DRIPLENE TUBING TO SCHEDULE 40 PVC LATERAL LINE PIPING FOR ROUTING UNDER PAVED SURFACES AND COPPER PIPING ROUTING THROUGH PLANTER WALLS
  4. DRIPLENE TUBING AS SHOWN ON PLANS CROSSES NON-PRESSURE LATERAL LINE PIPING OF OTHER SYSTEMS WITHOUT CONNECTION
  5. REFER TO PLANTING LEGEND FOR PLANT MATERIAL NAMES, ABBREVIATIONS, SPECIFIC SIZES, ON-CENTER SPACING, AND ADDITIONAL INFORMATION
  6. CONNECT DRIPLENE PVC PIPING TO PRESSURE REGULATOR UNITS WITH SCHEDULE 40 PVC MALE ADAPTER FITTINGS
  7. PROVIDE COMPRESSION SERIES FITTINGS FOR TUBING TO TUBING CONNECTIONS AND THREADED CONNECTIONS TO PVC PIPING
  8. PROVIDE TWO (2) EMISSION OUTLET EMITTERS TO EVERY VINE AND TREE LOCATE EMITTERS SPACES EQUALLY AT EDGE OF ROOTBALL FOR VINES AND AT 18-INCHES CLEAR FROM TREE TRUNK. CONNECT DRIP EMITTERS AND PVC DISTRIBUTION TUBING TO DRIPLENE TUBING AT LOCATIONS
  9. CONNECT DRIPLENE TUBING TO PVC HARD PIPE WHEN CROSSING PAVEMENT

- GENERAL INSTALLATION NOTES**
1. INSTALL ALL MATERIALS TO COMPLY WITH APPLICABLE CODES AND ORDINANCES AS CALLED FOR IN DETAIL DRAWINGS AND SPECIFICATIONS.
  2. ALL SCALED DIMENSIONS SHOWN ARE APPROXIMATE AND DIAGRAMATIC. COMPONENTS SHOWN WITHIN PAVED AREA ARE DRAWN FOR CLARITY ONLY AND SHALL BE INSTALLED WITHIN PLANTED AREAS WHEREVER POSSIBLE
  3. VERIFY STATIC PRESSURE SHOWN ON DRAWINGS. PRIOR TO CONSTRUCTION, NOTIFY LANDSCAPE ARCHITECT IF LESS THAN THAT SHOWN
  4. FINAL LOCATION OF BACKFLOW PREVENTERS AND CONTROLLERS SHALL BE APPROVED BY LANDSCAPE ARCHITECT, PRIOR TO CONSTRUCTION
  5. THE IRRIGATION CONTRACTOR SHALL NOT INSTALL SPRINKLER SYSTEM AS INDICATED ON DRAWINGS WHEN IT IS OBVIOUS IN THE FIELD THAT THERE WERE UNKNOWN OBSTRUCTIONS, GRADE DIFFERENCES, DISCREPANCIES IN AREA DIMENSIONS, ETC., UNTIL SUCH CONDITIONS ARE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT.
  6. ALL PIPING UNDER PAVED AREAS SHALL BE INSTALLED PRIOR TO PAVING. INSTALL CLASS 315 PVC FOR 2" AND LARGER AND SCH 40 PVC FOR 1.5" AND SMALLER. INSTALL SLEEVING WHERE INDICATED ON DRAWINGS, AND SAND BACKFILL TRENCH OVER PAVED TRAFFIC AREAS
  7. ALL PIPING BETWEEN WATER METER AND BACKFLOW PREVENTER SHALL BE PER LOCAL CODE
  8. INSTALL MAIN LINES 18" BELOW GRADE IN PLANTED AREAS, AND 24" BELOW GRADE, SLEEVED, UNDER PAVED TRAFFIC AREAS
  9. UNLESS OTHERWISE INDICATED, LINE VOLTAGE WILL BE PROVIDED TO CONTROLLER AND PUMP LOCATIONS BY OWNER OR GENERAL CONTRACTOR. IRRIGATION CONTRACTOR SHALL MAKE ALL FINAL CONNECTIONS, AND INSTALL REQ'D EQUIPMENT
  10. INSTALL #14 UP DIRECT-BURIAL IRRIGATION WIRE UNTIL OTHERWISE INDICATED. INSTALL WHITE COMMON AND BLACK PLOT WIRES USE EPOXY-TYPE CONNECTORS, AND BURY WIRE IN MAIN LINE TRENCH, TAPED TOGETHER EVERY 20 POUNDS EACH 1" EXPANSION COILS AT ALL VALVES ANY CHANGE OF DIRECTION AND EVERY 100 FT OF WIRE AT INSTALL WIRES IN PVC SLEEVE UNDER ALL PAVING
  11. ADJUST ALL SPRINKLERS AND VALVES TO PROVIDE REQUIRED COVERAGE WITH MINIMAL OVERSPRAY. PERFORM COVERAGE TEST UPON COMPLETION IN PRESENCE OF INSPECTOR
  12. CONTRACTOR SHALL PROVIDE BLUE-LINE "AS BUILT" DRAWINGS TO OWNER UPON COMPLETION. SHOW LOCATION OF CONTROL VALVES, QUICK COUPLER VALVES AND MAIN LINE, DIMENSIONED FROM NEAREST PERMANENT POINT OF REFERENCE
  13. CONTRACTOR SHALL DELIVER TO OWNER UPON COMPLETION EXTRA MAINTENANCE EQUIPMENT AS NOTED ON DRAWINGS.
  14. CONTRACTOR SHALL GUARANTEE THE ENTIRE SPRINKLER SYSTEM FOR ONE (1) YEAR AGAINST DEFECTIVE MATERIAL AND WORKMANSHIP. ANY REPAIRS REQUIRED DURING THIS PERIOD, IF DUE TO DEFECTIVE MATERIALS OR WORKMANSHIP SHALL BE MADE BY CONTRACTOR AT NO COST TO OWNER.

- TREE PROTECTION REQUIREMENTS:**
- PROTECTED TREES MAY NOT BE REMOVED OR RELOCATED WITHOUT PRIOR APPROVAL.
- TREES SHALL BE PROTECTED WITH REQUIRED FENCING AND ADVISORY SIGNS WITH TREE PROTECTION REQUIREMENTS SHALL BE CLEARLY POSTED ON THE SITE AND PROPERLY MAINTAINED.
- NO TRASH, CONSTRUCTION MATERIAL OR DEBRIS, DIRT, PORTABLE TOILETS, OR ANY OTHER MATERIAL SHALL BE PLACED WITHIN THE PROTECTIVE FENCING AREA.
- PROVIDE 2" MULCH IN PROTECTIVE AREA.
- PROVIDE IRRIGATION (SOAKER HOSE) CIRCLING AROUND PROTECTIVE AREA STARTING AT A MINIMUM DISTANCE OF 1' AWAY FROM THE TRUNK.
- NO GRADING WITHIN THE PROTECTIVE FENCING AREA
- ANY PRUNING OF BRANCHES OR ROOTS MUST COMPLY WITH AMERICAN NATIONAL STANDARDS INSTITUTE (ANSI A300) PRUNING STANDARDS.
- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE APPROVED PLANS. ANY PROPOSED REVISIONS REQUIRE PRIOR APPROVAL BY THE CITY.
- A SECURITY DEPOSIT MAY BE REQUIRED TO ENSURE THE EXISTING TREE(S) ARE PROTECTED.
- VIOLATION OF THE TREE PRESERVATION REGULATIONS MAY RESULT IN FINES UP TO THE COST OF AN EQUAL SIZE REPLACEMENT TREE OR THE APPRAISED VALUE OF THE TREE, WHICHEVER IS HIGHER.



- Revisions:**
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**FOUR - UNIT CONDOMINIUM**  
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**Landscape Plan**

Date: 3/17/20



**L-1**