

**CITY OF MANHATTAN BEACH
DEPARTMENT OF COMMUNITY DEVELOPMENT
STAFF REPORT**

TO: Planning Commission

FROM: Anne McIntosh, Director of Community Development

THROUGH: Laurie B. Jester, Planning Manager

BY: Ted Faturos, Assistant Planner

DATE: July 24, 2019

SUBJECT: Consideration of a Use Permit and Vesting Tentative Parcel Map No. 82600 for Three New Residential Condominium Units Located at 1843 11th Street (Golden Hills Land, LLC/Jeff Widmann)

RECOMMENDATION

Staff recommends that the Planning Commission **CONDUCT** the Public Hearing and **ADOPT** the attached resolution approving the project subject to certain conditions.

APPLICANT/OWNER

Golden Hills Land, LLC/Jeff Widmann
P.O. Box 1447
Manhattan Beach, CA 90266

BACKGROUND

The subject site consists of a 6,500 square foot lot located on 11th Street near Aviation Boulevard. The applicant proposes to demolish the existing single family home and construct three attached residential condominiums units. Section 10.12.020 of the City's Zoning Code requires Use Permit approval for condominium projects of three or more units.

PROJECT OVERVIEW

L O C A T I O N

Location 1843 11th Street between Harkness St. & N Aviation Ave. (See Vicinity Map- Attachment B)

Legal Description Lot 21, Block 1, Redondo Villa Tract #3

L A N D U S E- BOTH LOTS

General Plan: High Density Residential
 Zoning: RH-D2, High Density Residential and Design Overlay- 11th Street
 Area District: I

	<u>Existing</u>	<u>Proposed</u>
Land Use:	One Single Family Home	Three Residential Condominium Units
Neighboring Zoning/ Land Uses:	North South (across 11 th Street) East West	CG/Commercial RS/Single Family Homes CG/Commercial RH-D2/Condominiums

P R O J E C T D E T A I L S

	<u>Proposed</u>	<u>Requirement (Staff Rec)</u>
Parcel Size:	6,500 sq. ft. (existing legal lot)	7,500 sq. ft. min.
Residential Density:	1 unit /2,166 sq. ft. lot area	1 unit/1,800 sq. ft. lot area (*)
Building Floor Area:	5,187 sq. ft.	7,800 sq. ft. max
Height:	26 ft.	26 ft. max (*)
Setbacks		
Front:	20 ft.	20 ft.
Rear:	19 ft.	19 ft. from P/L
East side:	5 ft.	5 ft.
West side:	5 ft.	5 ft.
Parking:	2 spaces/1 guest space per unit	2 spaces/1 guest space per unit
Open Space:	20 - 29% of unit area	15% of unit area min.

(*) D-2 Overlay District restricts the maximum height to 26 feet and the density to one unit per 1,800 square feet of lot area.

DISCUSSION

The submitted plans show a three-unit condominium building proposed on the lot. The project requires a Vesting Tentative Parcel Map and Use Permit. The site is to be redeveloped with a 5,187 square foot two story building containing three attached condominium units, with each unit having two enclosed parking spaces and one unenclosed guest parking space.

The project conforms to the City's requirements for use, height, floor area, setbacks, parking, landscaping, and open space (MBMC 10.12.030). The project issues that warrant discussion include the Use Permit findings and project design.

At the September 12, 2018 Planning Commission meeting, the Planning Commission approved two projects on the 1800 block of 11th Street that are nearly identical to the applicant's project. Those projects, 1823 and 1827 11th Street, were also designed by the same architectural team as the applicant's project.

Use Permit:

Section 10.12.020 of the City's Zoning Code requires a Use Permit for condominium projects of three or more units. The Planning Commission must make the following findings in order to approve a Use Permit for each project:

1. The proposed location of the use is in accord with the objectives of this title and the purposes of the district in which the site is located;
2. The proposed location of the use and the proposed conditions under which it would be operated or maintained will be consistent with the General Plan; will not be detrimental to the public health, safety or welfare of persons residing or working on the proposed project site or in or adjacent to the neighborhood of such use; and will not be detrimental to properties or improvements in the vicinity or to the general welfare of the city;
3. The proposed use will comply with the provisions of this title, including any specific condition required for the proposed use in the district in which it would be located; and
4. The proposed use will not adversely impact nor be adversely impacted by nearby properties. Potential impacts are related but not necessarily limited to: traffic, parking, noise, vibration, odors, resident security and personal safety, and aesthetics, or create demands exceeding the capacity of public services and facilities which cannot be mitigated.

Staff's suggests the following findings in support of the Use Permit for the project:

1. The applicant's project is providing relatively dense residential housing in a RH High-Density Residential District with the D2 Overlay.
2. The proposed location of the use is a consistent with the General Plan's High Density Residential land use designation assigned to the project lot and the neighboring lots. The proposed use is consistent with neighboring uses, as the neighboring lots have also been

developed with residential condominiums.

3. The proposed use meets all the development standards found in Title 10- Planning and Zoning, including but not limited to setbacks, maximum height, density, required parking, and open space, including the D2 Design Overlay reduced height and density requirements.
4. The proposed use does not adversely impact neighboring properties, as it is consistent with surrounding condominiums in the RH High Density Residential zone and D2 Overlay District in terms of density, height, bulk, and other property development standards.

General:

The General Plan encourages residential development that provides for housing of a more intensive form, including apartments, condominiums, and senior housing. The project is specifically consistent with General Plan Policies as follows:

- LU-1.1 Limit the height of new development to three stories where the height limit is thirty feet, or to two stories where the height limit is twenty-six feet, to protect the privacy of adjacent properties, reduce shading, protect vistas of the ocean, and preserve the low-profile image of the community.
- LU-1.2 Require the design of all new construction to utilize notches, balconies, rooflines, open space, setbacks, landscaping, or other architectural details to reduce the bulk of buildings and to add visual interest to the streetscape.
- LU-2.2: Preserve and encourage private open space on residential lots citywide.
- LU-3.1: Continue to encourage quality design in all new construction.

Project Design:

The applicant's design incorporates a mezzanine into each condominium unit. MBMC 10.04.030 Definitions defines a mezzanine as "an intermediate floor placed within a room, and meeting the requirements of a mezzanine contained in the Building Regulations." A mezzanine that meets the Building Code's definition of a mezzanine is not considered to be a story condition. Building and Safety staff have reviewed the applicant's plans and have confirmed the applicant's design meets the Building Code's definition of a mezzanine. Each condominium thus qualifies as a two story structure as required in this area with the 26 foot height limit.

Each condominium unit has a designated area for trash cans that is located inside the garage as required by MBMC 10.52.110 Residential Condominium Standards. Each condominium unit is providing at least 150 cubic feet of storage area as required by MBMC 10.52.110 Residential Condominium Standards, with the storage area accessible from the garage area, but not obstructing required parking. The one required guest parking spot is provided in front of each unit's garage. Each guest parking spot is a parallel parking spot that exceeds the minimum parallel parking space dimension of 8 feet wide by 22 feet long. The City's Traffic Engineer has

reviewed the project's parking layout.

Public Input:

A public notice for each project was mailed to property owners within 500 feet of the site and published in the Beach Reporter newspaper. As of the writing of this report, Staff has received one public comment against the project (Attachment D), with specific concerns about an increase in density on the street.

ENVIRONMENTAL DETERMINATION

The Project is Categorically Exempt from the requirements of the California Environmental Quality Act (CEQA), pursuant to Sections 15303 and 15332 based on staff's determination that the project is a small infill development within an urbanized area.

CONCLUSION

Staff recommends that the Planning Commission conduct the public hearing, discuss the project, and adopt the attached resolution approving the project subject to certain conditions.

Attachments:

- A. Draft Resolution No. PC 19-
- B. Vicinity Map
- C. Applicant's Written Documents
- D. Public Comment
- E. Plans- 1843 11th Street

c: Howard Crabtree, Architect
Jeff Widman, Owner

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Attachment A

RESOLUTION NO. PC 19-

RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF MANHATTAN BEACH APPROVING A USE PERMIT AND VESTING TENTATIVE PARCEL MAP FOR CONSTRUCTION OF A NEW THREE-UNIT RESIDENTIAL CONDOMINIUM BUILDING ON THE PROPERTY LOCATED AT 1843 11th STREET (GOLDEN HILLS LAND, LLC/WIDMANN)

THE PLANNING COMMISSION OF THE CITY OF MANHATTAN BEACH DOES HEREBY RESOLVE AS FOLLOWS:

SECTION 1. The Planning Commission of the City of Manhattan Beach hereby makes the following findings:

- A. The Planning Commission of the City of Manhattan Beach conducted a public hearing on July 24, 2019, received testimony, and considered an application for a Use Permit and Vesting Tentative Parcel Map No. 82600 for construction of a proposed 5,187 square foot 3-unit residential condominium building at 1843 11th Street in the City of Manhattan Beach. Said public hearing was advertised pursuant to applicable law, testimony was invited and received.
- B. The existing legal description of the site is Lot 21, Block 1, Redondo Villa Tract #3.
- C. The applicant for the subject project is Golden Hills Land, LLC/Jeff Widmann, the owner of the property (hereafter referred to as "the owner").
- D. The Project is Categorically Exempt from the requirements of the California Environmental Quality Act (CEQA), pursuant to Sections 15303 and 15332 based on staff's determination that the project is a small infill development within an urbanized area.
- E. The project will not individually nor cumulatively have an adverse effect on wildlife resources, as defined in Section 711.2 of the Fish and Game Code.
- F. The property is located within Area District I and is zoned RH-D2, High Density Residential Design Overlay- 11th Street. The use is permitted by the zoning code and is consistent, as conditioned, with the high density residential area. The surrounding private land uses consist of Multi-Family and Single-Family Residential dwellings, and commercial development.
- G. The General Plan designation for the property is High Density Residential. The General Plan encourages residential development for such areas that provide for housing of a more intensive form, including apartments, condominiums, and senior housing. The project is specifically consistent with General Plan Policies as follows:
 - LU-1.1 Limit the height of new development to three stories where the height limit is thirty feet, or to two stories where the height limit is twenty-six feet, to protect the privacy of adjacent properties, reduce shading, protect vistas of the ocean, and preserve the low-profile image of the community.
 - LU-1.2 Require the design of all new construction to utilize notches, balconies, rooflines, open space, setbacks, landscaping, or other architectural details to reduce the bulk of buildings and to add visual interest to the streetscape.
 - LU-2.2 Preserve and encourage private open space on residential lots citywide.
 - LU-3.1: Continue to encourage quality design in all new construction.
- H. The Planning Commission makes the following findings required to approve the Use Permit pursuant to MBMC Section 10.84.060:
 - 1. The proposed location of the use is in accord with the objectives of this title and the purposes of the district in which the site is located.**

The applicant's project is providing relatively dense residential housing in a RH High-Density Residential District with the D2 Overlay.
 - 2. The proposed location of the use and the proposed conditions under which it would be operated or maintained will be consistent with the General Plan; will not be detrimental to the public health, safety or welfare of persons residing or working on the proposed project site or in or adjacent to the neighborhood of such use; and will not be detrimental to properties or improvements in the vicinity or to the general welfare of the city.**

The proposed location of the use is consistent with the General Plan's High Density Residential land use designation assigned to the project lot and the neighboring lots. The proposed use is consistent with neighboring uses, as the neighboring lots have also been developed with residential condominiums.

3. The proposed use will comply with the provisions of this title, including any specific condition required for the proposed use in the district in which it would be located.

The proposed use meets all the requirements found in Title 10- Planning and Zoning, including but not limited to setbacks, maximum height, density, required parking, and open space, including the D2 Design Overlay reduced height and density requirements.

4. The proposed use will not adversely impact or be adversely impacted by nearby properties. Potential impacts are related but not necessarily limited to: traffic, parking noise, vibration, odors, resident security and personal safety, and aesthetics, or create demands exceeding the capacity of public services and facilities which cannot be mitigated.

The proposed use does not adversely impact neighboring properties, as it is consistent with surrounding condominium projects in the RH High Density Residential zone and D2 Overlay District in terms of density, height, bulk, and other performance standards

- I. The project shall comply with all applicable provisions of the Manhattan Beach Municipal Code.
- J. This Resolution, upon its effectiveness, constitutes the Use Permit for the subject project.

Section 2. The Planning Commission hereby **APPROVES** the subject Use Permit and Vesting Tentative Parcel Map No. 82600 application for the above described residential condominium building, subject to the following conditions (*indicates a site specific condition):

Site Preparation / Construction

- 1. The project shall be constructed and operated in substantial compliance with the submitted plans and project description as approved by the Planning Commission on July 24, 2019. Any other substantial deviation from the approved plans or project description must be reviewed and approved by the Planning Commission.
- 2. A Construction Management and Parking Plan (CMPP) shall be submitted by the applicant with the submittal of plans to plan check. The CMPP shall be reviewed and approved by the City, including but not limited to, the City Traffic Engineer, Planning, Fire, Police and Public Works, prior to permit issuance. The Plan shall include, but not be limited to, provisions for the management of all construction related traffic, parking, staging, materials delivery, materials storage, and buffering of noise and other disruptions. The Plan shall minimize construction related impacts to the surrounding neighborhood, and shall be implemented in accordance with the requirements of the Plan.
- 3. All electrical, telephone, cable television system, and similar service wires and cables shall be installed underground to the appropriate utility connections in compliance with all applicable Building and Electrical Codes, safety regulations, and orders, rules of the Public Utilities Commission, the serving utility company, and specifications of the Public Works Department.
- 4. During building construction of the site, the soil shall be watered in order to minimize the impacts of dust on the surrounding area.
- 5. The siting of construction related equipment (job site offices, trailers, materials, etc.) shall be subject to the approval from the Director of Community Development prior to the issuance of any building permits.
- 6. A site landscaping and irrigation plan, utilizing drought tolerant plants, including large-box-sized trees, shall be submitted for review and approval by the Community Development and Public Works Departments concurrent with the building permit application. All plants shall be identified on the plan by the Latin and common names. Protected trees shall be maintained or removed subject to issuance of a Tree Permit. A micro-spray or drip irrigation system shall be installed in the landscaped areas, which shall not cause any surface run-off. Landscaping and irrigation shall be installed per the approved plan prior to building final.
- 7. Landscape maintenance shall be provided by the condominium homeowners association, and shall include removal of yard waste off-site as determined to be appropriate by the Public Works Department. This requirement shall be stated in the project Covenants Conditions & Restrictions documents.

8. Backflow prevention valves shall be installed as required by the Department of Public Works, and the locations of any such valves or similar devices shall be subject to approval by the Community Development Department prior to issuance of building permits.
9. All defective, damaged, inadequate or substandard curb, gutter, street paving, sidewalk improvements, catch basins or similar public infrastructure shall be removed and replaced with standard improvements, subject to the review and approval of the Public Works Department. Adjacent sidewalks shall be installed or replaced with landscaping enhancements, and disabled access improvements as determined by the City's Traffic Engineer and Public Works Department.
10. No waste water shall be permitted to be discharged from the premises. Waste water shall be discharged into the sanitary sewer system.
11. Property line clean outs, mop sinks, erosion control, and other sewer and storm water items shall be installed and maintained as required by the Department of Public Works or Building Official. Oil clarifiers and other post construction water quality items may be required.
12. Security lighting for the site shall be provided in conformance with Municipal Code requirements including glare prevention design.

Condominium Conditions

13. Each new condominium shall have separate water and sewer laterals as required by the Director of Public Works.
14. Vesting Tentative Parcel Map No. 82600 shall be approved for an initial period of 3 years with the option of future extensions. The final map shall be recorded prior to condominium occupancy.
15. The Fire Department Check Valve will not be placed in the front setback, and will be screened from public view and incorporated into the design of the building.

Procedural

16. This Resolution shall become effective when all time limits for appeal as set forth in MBMC Section 10.100.030 have expired
17. This Use Permit shall lapse three years after its date of approval, unless implemented or extended pursuant to 10.84.090 of the Municipal Code.
18. Pursuant to Public Resources Code section 21089(b) and Fish and Game Code section 711.4(c), the project is not operative, vested or final until the required filing fees are paid.
19. The Secretary shall certify to the adoption of this Resolution and shall forward a copy of this Resolution to the applicant. The Secretary shall make this resolution readily available for public inspection.
20. Terms and Conditions are Perpetual; Recordation of Covenant. The provisions, terms and conditions set forth herein are perpetual, and are binding on the owner, its successors-in-interest, and, where applicable, all tenants and lessees of the site. Further, the owner shall submit the covenant, prepared and approved by the City, indicating its consent to the conditions of approval of this Resolution, and the City shall record the covenant with the Office of the County Clerk/Recorder of Los Angeles. Owner shall deliver the executed covenant, and all required recording and related fees, to the Department of Community Development within 30 days of the adoption of this Resolution. Notwithstanding the foregoing, the Director may, upon a request by owner, grant an extension to the 30-day time limit. The project approval shall not become effective until recordation of the covenant.
21. *Indemnity, Duty to Defend and Obligation to Pay Judgments and Defense Costs, Including Attorneys' Fees, Incurred by the City.* The owner shall defend, indemnify, and hold harmless the City, its elected officials, officers, employees, volunteers, agents, and those City agents serving as independent contractors in the role of City officials (collectively "Indemnitees") from and against any claims, damages, actions, causes of actions, lawsuits, suits, proceedings, losses, judgments, costs, and expenses (including, without limitation, attorneys' fees or court costs) in any manner arising out of or incident to this approval, related entitlements, or the City's environmental review thereof. The owner shall pay and satisfy any judgment, award or decree that may be rendered against City or the other Indemnitees in any such suit, action, or other legal proceeding. The City shall promptly notify the owner of any claim, action, or proceeding and the City shall reasonably cooperate in the defense. If the City fails to promptly notify the owner of any claim, action, or proceeding, or if the City fails to reasonably cooperate in the defense, the owner shall not thereafter be responsible to defend, indemnify, or hold harmless the City or the Indemnitees. The City shall have the right to select

counsel of its choice. The owner shall reimburse the City, and the other Indemnitees, for any and all legal expenses and costs incurred by each of them in connection therewith or in enforcing the indemnity herein provided. Nothing in this Section shall be construed to require the owner to indemnify Indemnitees for any Claim arising from the sole negligence or willful misconduct of the Indemnitees. In the event such a legal action is filed challenging the City's determinations herein or the issuance of the approval, the City shall estimate its expenses for the litigation. The owner shall deposit said amount with the City or enter into an agreement with the City to pay such expenses as they become due.

I hereby certify that the foregoing is a full, true, and correct copy of the Resolution as adopted by the Planning Commission at its regular meeting of July 24, 2019 and that said Resolution was adopted by the following vote:

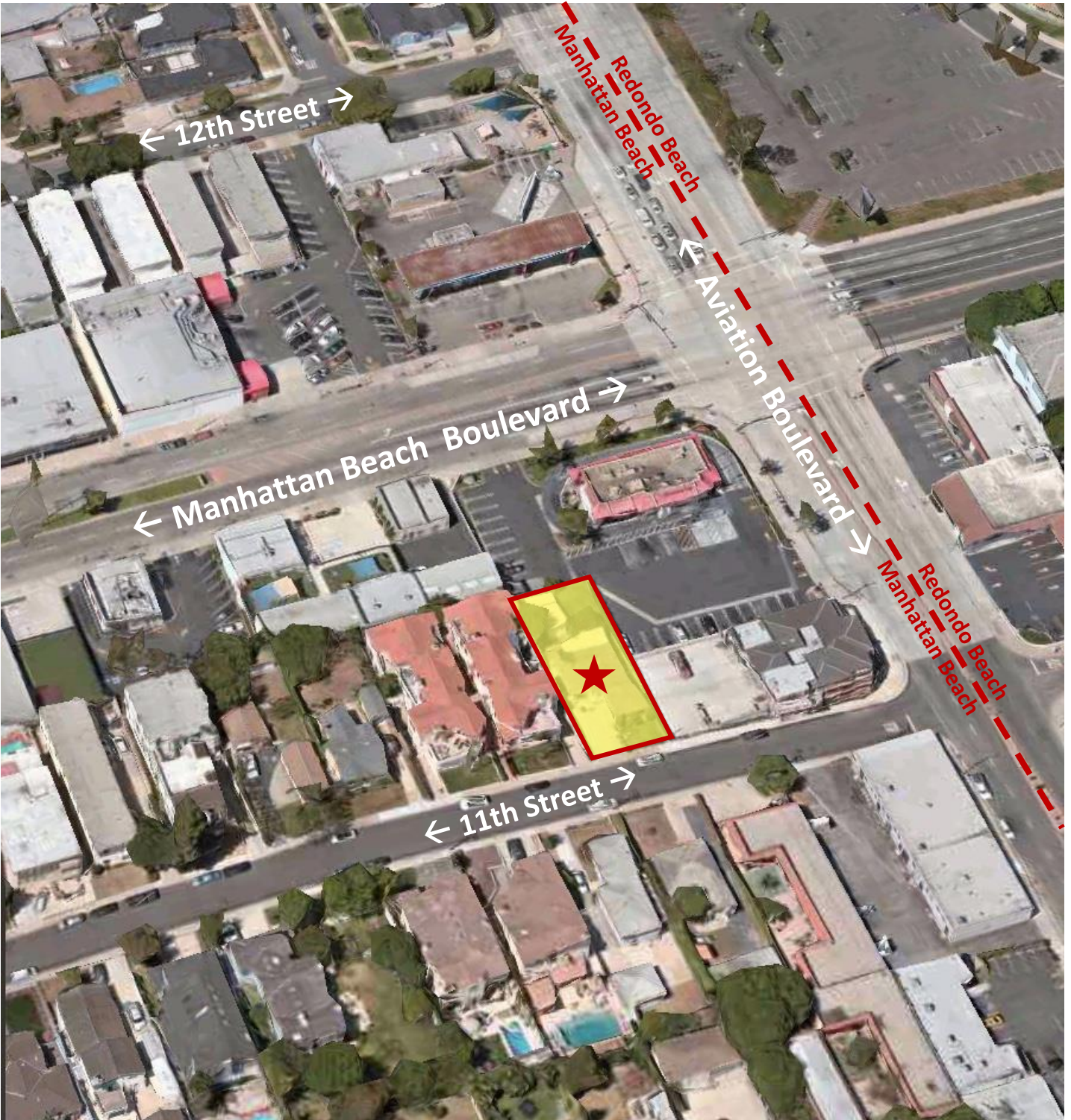
AYES:
NOES:
ABSTAIN:
ABSENT:

ANNE MCINTOSH,
Secretary to the Planning Commission

Rosemary Lackow,
Recording Secretary

ATTACHMENT B

VICINITY MAP



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Attachment C

ATTACHMENT TO APPLICATION FOR 3 UNIT RESIDENTIAL CONDOMINIUM DEVELOPMENT
1843 – 11TH STREET
April 16, 2019

The proposal is for the demolition of existing 66-year-old one-story single family residence, construction of three attached townhouse-style condominium units, and approval of VTPM 82600. Each new unit will contain two stories with a mezzanine level and a private two-car garage and guest parking space adjacent to each garage. The middle unit also contains an open deck adjacent to the mezzanine level. The proposed development is located on the north side of 11th Street between an older condominium project on the west and general commercial development to the north and west.

The north side of 11th Street between Aviation Blvd. and Harkness Street is zoned RH-D2 and is comprised of a variety of multi-unit and single family uses. This block backs up to CG, General Commercial facing Manhattan Beach Blvd. and Aviation Blvd. and is also adjacent to CL, Local Commercial, to the east facing Manhattan Beach Blvd. The south side of 11th Street is zoned R-1, single family, and is comprised predominantly of newer two-story residential structures and some older one-story structures.

The subject 6497 s.f. site consists of an originally subdivided 50 x 130 foot lot in the RH zone of Area District 1. A Design Overlay D-2 designation applies to this area which establishes a 26' height limit and 1800 s.f. minimum lot area per unit calculation. A Use Permit is required for condominium development of three units or more and a vesting tentative parcel map is proposed to subdivide the property into separate ownership for each of the three units. Driveway access will relocate the existing curb cut from the west to the east side of the property to provide shared driveway access to the motor court and private garages and guest parking spaces.

The proposed development responds to the General Plan which encourages multi-family residential development in appropriate areas, including apartments and condominium development. Plans have been designed to comply with all applicable development standards, including the 26' height limit and density as stipulated by the D-2 Design Overlay, as well as floor area, setbacks, parking, landscaping and open space.

The proposal meets guidelines established for approval of the conditional use permit as follows:

- 1. The location is in accord with objectives of the title and purposes of the district in that the subject site will accommodate the proposed three unit development in compliance with all applicable zoning standards including the 26' height limit and 1800 s.f. minimum lot area/unit of the D-Overlay as well as all other criteria such as floor area, setbacks, parking, landscaping and open space requirements. The new homes will offer attractive opportunities for owner-occupied homes.*
- 2. The proposed location and conditions will be consistent with the General Plan: The proposed development is in full compliance with all applicable standards and permitted uses and thus will not be detrimental to public health, safety or welfare of any individuals working or residing in the neighborhood and will not conflict or impact adjacent improvements.*
- 3. The proposed use meets the intention of the RH, High Density Residential District which is to provide opportunities for a type of housing not found in other residential districts. Proposed plans meet all development standards including the D-2 Design Overlay and thus will be compatible w/ the surrounding neighborhood including the single family homes on the south side of 11th St.*
- 4. The proposed use is well within scope of uses intended for the area and is designed in compliance with all applicable standards for the RH-D2 Zone, which are set forth to protect the public health, safety and welfare of other uses throughout the surrounding area. The new homes will result in a negligible effect on the City infrastructure and will not result in any negative impacts on the surrounding community.*

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Attachment D

Public Comment

From: Tella Friend [mailto:tellasemail@gmail.com]

Sent: Tuesday, July 16, 2019 5:19 PM

To: Ted Faturos <tfaturos@citymb.info>

Subject: Application for Use Permit

Regarding the application for a use permit and parcel map for three new residential condos at 1843 11th Street, following is our objection:

Three residential condos will deteriorate the ambiance of one dwelling per lot in that area. We are against it.

Tella & Robert Kulp

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ABBREVIATION

A.B.	ANCHOR BOLT	JAN	JANITOR
A.C.	ASPHALTIC CONCRETE	JST	JOST
ACOUS.	ACOUSTICAL	K.C.	KEENE'S CEMENT
ACS.	ACRES	K.P.	KING POST
A.D.	AREA DRAIN	KIT.	KITCHEN
ALUM.	ALUMINUM	LAM.	LAMINATED
A.T.	ASPHALT TILE	LAV.	LAVATORY
A.U.	ADJUSTABLE	LB	POUND
A.F.F.	ABOVE FINISHED FLOOR	LGTH.	LENGTH
A.F.S.	ABOVE FINISHED SURFACED	LKR.	LOCKER
ABV.	ABOVE	MAS.	MASONRY
BD.	BOARD	MAX.	MAXIMUM
BLK.	BLOCK	MECH.	MECHANICAL
BLKG.	BLOCKING	MEMB.	MEMBRANE
BM.	BEAM	MET.	METAL
BOT.	BOTTOM	MIN.	MINIMUM
BLDG.	BUILDING	MISC.	MISCELLANEOUS
BTWN.	BETWEEN	M.O.	MASONRY OPENING
C.J.	CEILING JOIST	M.R.	MOISTURE RESISTANT
CL.	CENTERLINE	MANUF.	MANUFACTURER
C.B.	CATCH BASIN	N.I.C.	NOT IN CONTRACT
CEM.	CEMENT	NO.(#)	NUMBER
CER.	CERAMIC	NOM.	NOMINAL
C.F.P.	CAST IRON PIPE	N.T.S.	NOT TO SCALE
CLG.	CEILING	OBSC.	OBSCURE
CLO.	CLOSET	O.C.	ON CENTER
COL.	COLUMN	O.D.	OUTSIDE DIAMETER
COM.	COMMON	OFF.	OFFICE
CONC.	CONCRETE	OPN.	OPENING
CONT.	CONTINUOUS	OV.	OVEN
C.W.	COLD WATER	OVFL.	OVERFLOW
C.T.	CERAMIC TILE	OPP.	OPPOSITE
CU.YD.	CUBIC YARD	P.	POST
DET.	DETAIL	PL.	PROPERTY LINE, PLATE
DBL.	DOUBLE	PARTN.	PARTITION
D.F.	DOUGLAS FIR	PLAS.	PLASTER
D.I.	DIAMETER	PLY, PLYWD.	PLYWOOD
DR.FN.	DRINKING FOUNTAIN	PR.	PLASTIC LAMINATE
DIAM.(#)	DIAMETER	R.	RISER
DRWG.	DRAWING	RAD,R.	RADIUS
D.S.	DOWNSPOUT	RAFT,R.R.	RAFTER
D.W.	DISHWASHER	REINF.	REINFORCEMENT
DR.	DOOR	RESIL.	RESILIENT
EA.	EACH	R.D.	ROOF DRAIN
EL.	ELEVATION	RG.	RANGE
ELECT.	ELECTRICAL	RM.	ROOM
ELEV.	ELEVATION	R.O.	ROUGH OPENING
ENCL.	ENCLOSURE	REF.	REFRIGERATOR
EXH.	EXHAUST	S.C.	SOLID CORE
EXIST.	EXISTING	S.	SINK
EXP.	EXPANSION	SEL STR.	SELECT STRUCTURAL
EXT.	EXTERNAL	SHT.	SHEET
E.J.	EXPANSION JOINT	SHWR.	SHOWER
F.D.	FLOOR DRAIN	SHW.	SIMILAR
F.G.	FUEL GAS	SHTG.	SHEATING
F.J.	FLOOR JOIST	SO.	SQUARE
FIN.	FINISH	STD.	STANDARD
F.L.	FLOOR	STL.	STEEL
FLRG.	FLOORING	STRUCT.	STRUCTURAL
FT.	FOOT	S.ST.	STAINLESS STEEL
FTG.	FOOTING	SUSP.	SUSPENSION
F.GL.	FIXED GLASS	SPECS.	SPECIFICATIONS
F.S.	FLOOR SINK	SERV.	SERVICE
FLOOR.	FLOORING	SVSK	SERVICE SINK
F.O.C.	FACE OF CONCRETE	S.S.	SELECT STRUCTURAL
F.O.S.	FACE OF STUD	STOR.	STORAGE
FF.	FINISHED FLOOR	S.T.C.	SOUND TRANSMISSION CLASS
GA.	Gauge	SO.FT.	SQUARE FOOT(FEET)
GAL.V.	GALVANIZED	TEL.	TELEPHONE
G.I.	GALVANIZED IRON	TERR.	TERRAZZO
GL.	GLASS	T & G.	TONGUE AND GROOVE
GR.	GRADE	T.O.C.	TOP OF CONCRETE
GYP.	GYP-SUM	T.O.W.	TOP OF WALL
G.W.B.	GYP-SUM WALL BOARD	TRYP.	THROUGH
GAR.	GARAGE	TRU.	THROUGH
GAR.DISP.	GARAGE DISPOSAL	TEMP.	TEMPERED
H.B.	HOSE BIBB	T.O.P.	TOP OF PARAPET
HD.	HARD WOOD	T.	TREAD
HGT.	HEIGHT	U.	URINAL
H.P.T.	HIGH POINT	VERT.	VERTICAL
HDR.	HEADER	VEST.	VESTIBULE
HTR.	HEATER	VERT.	VERTICAL GRAIN DOUGLAS FIR
H.W.	HOT WATER	V.G.D.F.	V.G.D.F.
HORIZ.	HORIZONTAL	W/	WITH
H.C.	HOLLOW CORE	W.C.	WATER CLOSET
I.D.	INSIDE DIAMETER	W.D.	WINDOW DIMENSION
IN.	INCH	W.H.	WATER HEATER
INT.	INTERIOR	WP.	WATERPROOF
INSUL.	INSULATION		
INV.	INVERT		

CONSULTANTS

ARCHITECT :	912 Architecture, Inc Howard G Crabtree 627 AVIATION WAY MANHATTAN BEACH, CA 90266 PH: (310) 376-9171
CONTRACTOR:	
SURVEY:	DENN Engineers Gary J. Roehl 3914 DEL AMO BLVD., SUITE 921 TORRANCE, CA 90503 PH: (310) 659-0871
STRUCTURAL:	James C. Orland Civil Engineer 952 MANHATTAN BEACH BLVD., #230 MANHATTAN BEACH, CA 90266 PH: (310) 545-8808
GEOTECHNICAL:	NORCAL Engineering Soils & Geotechnical Consultants 10641 HUMBOLT STREET LOS ALAMITOS, CA 90720 PH: (562) 799-9469
TITLE-24	Newton Energy Chad Campbell 1401 19th STREET MANHATTAN BEACH, CA 90267 PH: (310) 375-2699
HYDROLOGY:	PERU Consultants Christian Perez TORRANCE, CA 90502 PH: (310) 270-0811

PUBLIC WORKS NOTES

- All landscape irrigation backflow devices must meet current City requirements for proper installation.
- No discharge of construction wastewater, building materials, debris, or sediment from the site is permitted. No refuse of any kind generated on a construction site may be deposited in residential, commercial, or public release containers at any time. The utilization of weekly refuse collection service by the city's hauler for any refuse generated at the construction site is strictly prohibited. Full documentation of all materials/trash landfilled and recycled must also be taken to prevent street surface water entering the site.
- Erosion and sediment control devices BMPs (Best Management Practices) must be implemented around the construction site to prevent discharges to the street and adjacent properties. BMPs must be identified and shown on the plan. Control measures must also be taken to prevent street surface water entering the site.
- All storm water, nuisance water, etc. drain lines installed within the street right of way must be constructed of 3" cast iron pipe, and labeled on the site plan. Drains must be shown on plans. Connecting on-site drainage line to sewer lateral is strictly prohibited.
- All runoff water from the roof and side yards and patios must discharge onto 11th Street through the drain lines and must be shown on the plans with all required outlet flow line elevations at the discharge point.
- Impervious surface shall be sloped away from the building at 2% minimum slope for a minimum distance of 10'; lot shall be graded to drain surface water away from foundation walls - per CRC Section R401.3.
- Sidewalk, driveway, curb, and gutter construction, repairs or replacement must be completed per Public Works Specifications. See City Standard Plans ST-1, ST-2, ST-3 and ST-10. The plans must have a profile of the driveway, percentage (%) of slope on driveway, and driveway elevations for each side and the middle. In the case where the garage level is below the street drainage flow lines, the combined slope of public and private approach shall not exceed 15% (City recommends that Garage Finish Floor elevation per design plans be higher than existing street grades, in order to minimize possibility of any future flooding of the garage). City Plans/Survey must show elevations for each adjoining property. No deviations in elevations between properties of more than 1'.
- Driveway profiles exceeding 10% grade will be staked and verified by a licensed professional land surveyor. Verification of driveway grades will be done prior to pouring garage slab. Driveway grades exceeding 15% are not permitted.
- The back of driveway approach must be six inches higher than the flow line on the street. M.B.M.C. 9.76.030. The driveway approach on 11th street must be improved per City Standard Plans.
- Contractor to protect in place all existing property corners during construction. If any of the property corners are removed or destroyed during construction, it would be the responsibility of the contractor to restore them.
- All existing or construction related damages or displaced curb/butter, sidewalk or driveway approach must be replaced and shown on the plans. Additional public improvements may be required during and/or near the completion of construction per M.B.M.C. 9.72 as determined by the Public Works Inspector based on conditions of the public improvements.
- It is the responsibility of the contractor to protect all the street signs, street lamps/lights, walls/fences, and/or trees around the property. If they are damaged, lost or removed, it is the responsibility of the contractor to replace them at the contractor's expense. The contractor is also responsible for any street markings that are damaged or removed by the contractor's operations. Contact the Public Works Inspector for sign specification and suppliers.
- Separate water service lines and sanitary sewer laterals must be installed on each unit. Condominiums with three or more units shall use a common sanitary sewer lateral. Lateral shall conform to C.P.C. 717.0 using Table 7-8.
- Condominiums shall include a reciprocal utility right of way corridor between units in order to ensure that each unit has authorized use to access main line utilities for individual services.
- New VCP 6" sanitary sewer lateral will be installed if the existing lateral is less than 6" in diameter. Sewer cleanout should be located within private property lines. A backwater valve is required on the sanitary sewer lateral if the discharges from fixtures with flood level rims are located below the next upstream manhole cover of the public sewer. (Per City Standard Plan ST-24).
- If any existing sewer lateral (6" minimum) is used, it must be televised to check its structural integrity prior to any demolition work. The tape must be made available for review by the Public Works Department and must show proof of the location of where it was shot. The Public Works Department will review the tape and determine at that time if the sanitary lateral needs repairing, replaced, or that it is structurally sound and can be used in its present condition. Videoing of lateral must be in its original state. No cleaning, flushing or altering prior to videoing is permitted.
- If a new sewer lateral is to be installed at a different location on the sewer main line, the old lateral must be capped at the property line and at the main line. Prior to structure demolition a sewer cap verification and approval from Public Works Inspector is required.
- Water meters MUST remain accessible for meter readers during construction. Water meters shall be placed near the property line and out of the driveway approach whenever possible. Water meter placement must be shown on the plans. See City Standard Plan ST-15. For existing water service relocations and/or abandonment, water service must be capped at the main and at the meter.
- The water meter box must be purchased from the City, and must have a traffic rated lid if the box is located in the driveway.
- Condominiums with less than 9 units must provide an enclosed storage area for refuse containers. These areas must be constructed to meet the requirements of M.B.M.C. 5.24.030. The area must be shown in detail on the plans before a permit is issued.
- Condominiums with 9 or more units shall have a trash and recycling storage area. Trash and recycling storage enclosures shall be enclosed, have a roof, built in such a manner that stormwater will not enter, and a drain installed that empties into the sanitary sewer system. Floor drain or similar traps directly connected to the drainage system shall be provided with an approved automatic means of maintaining their water seals. See 1007.0 trap seal protection in the uniform plumbing code. Contact the city's refuse contractor for sizing of the enclosure. Drawings of the trash enclosure must be on the plan, and must be approved by the public works department before a permit is issued. See standard plan ST-25.
- All work done within the public right-of-way shall be done by a licensed contractor with a Class A, C-12 or C-34 license for all trenching and paving or a Class C-08 license for all concrete work. A Class B license may be acceptable for minor curb, gutter and sidewalk work constructed in conjunction with a single-family residential structure.
- Plan holder must have the plans rechecked and stamped for approval by the Public Works Department before the building permit is issued.
- The contractor shall monitor, supervise and control all construction and construction supportive activities, so as to prevent these activities from causing a public nuisance, including but not limited to, insuring strict adherence to the following:
 - removal of dirt, debris, or other construction material deposited on any public street no later than the end of each working day.
 - all excavations shall be backfilled at the end of each working day and roads opened to vehicular traffic unless otherwise approved by the City Engineer.
 - all dust control measures per South Coast Air Quality Management District (SCAQMD) requirements shall be adhered to during the construction operations.
 - all construction to be in conformance with the regulations of Cal-OSHA.

NOTE* PLEASE INSERT PUBLIC WORKS COMMENTS BELOW IN ITS ENTIRETY AND ORDER SENT

PUBLIC WORKS CORRECTIONS: Must show driveway elevation points at both edges and at the center of driveway. It must show from the center line of the street to the curb flow line and from the curb flow line to the garage floor finish grade.

It shall be the duty of every person cutting or making an excavation in or upon any public place, to place and maintain barriers and warning devices for the safety of the general public. M.B.M.C. 17.16.80. If any excavation is made across any public street, alley, or sidewalk, adequate crossings shall be maintained for vehicles and pedestrians. M.B.M.C. 17.16.100.

Attachment E



PROJECT DATA

PROJECT DATA			
OWNER:	JEFF WIDMANN		
PROJECT ADDRESS:	1843 11TH STREET MANHATTAN BEACH, CA. 90266		
APN:	4164-001-021		
LEGAL DESCRIPTION:	LOT 21, BLOCK 1 REDONDO VILLA TRACT #3 M.B. 10-185		
CONSTRUCTION:	TYPE - V B, SPRINKLERED		
OCCUPANCY:	R-2 / U		
ZONING:	RH-D2, AREA DISTRICT I		
NO. OF STORIES:	TWO STORIES + MEZZANINE		
SCOPE OF WORK:	PROPOSED TWO STORY + MEZZANINE 3-UNIT CONDOMINIUMS W/ ATTACHED 2-CAR GARAGES		
AREA TABULATION:			
LOT SIZE:	50.0 FT x 130.0 FT		
LOT AREA:	6,498.0 SF		
DENSITY:	6,498.0 SF ÷ 1,800 SF/UNIT = 3.61 (3 UNITS)		
ALLOWABLE B.F.A.:	6,498.0 x 1.2 = 7,797.6 SF		
PROPOSED B.F.A.:	5,187.0 SF		
FLOOR AREAS: (SEE BFA DIAGRAM @ SHEET A-4.0)			
	(UNIT A) (UNIT B) (UNIT C)		
FIRST FLOOR	389.1 SF	150.1 SF	405.4 SF
SECOND FLOOR	1267.5 SF	1,092.7 SF	1,267.5 SF
MEZZANINE	213.6 SF	187.5 SF	213.6 SF
TOTAL FLOOR AREA	1870.2 SF	1430.3 SF	1886.5 SF
GARAGE AREA	390.9 SF	410.5 SF	390.9 SF
SECOND FLOOR DECK	41.2 SF	0.0 SF	41.2 SF
ROOF DECK	169.8 SF	199.7 SF	169.8 SF
BUILDING SETBACK INFORMATION:			
REQUIRED SIDEYARD:	10% LOT WIDTH (3'-0" MIN, 10'-0" MAX)	50.00' x 10% = 5.00'	
REQUIRED REARYARD:	LOT DEPTH x 0.5) - 20 = (130.00' x 0.5) - 20 = 19.0'		
REQUIRED FRONTYARD:	20.0'		
PROVIDED SIDEYARD:	5.00'		
PROVIDED REARYARD:	19.00'		
PROVIDED FRONTYARD:	20.00'		
MAXIMUM ALLOWABLE BUILDING HEIGHT:			
	AVERAGE GRADE AT PROPERTY CORNERS + 26.00'		
	99.83'		
	104.67'		
	105.23'		
	± 101.11'		
	410.84' ÷ 4 = 102.71'		
	+ 26.00'		
	128.71'		
PROPOSED BUILDING HEIGHT:			
	128.54'		
OPEN SPACE (FLOOR AREAx15%):			
	(UNIT A) (UNIT B) (UNIT C)		
REQUIRED OPEN SPACE:	280.5 SF	214.5 SF	283.0 SF
PROVIDED OPEN SPACE:	0.0 SF	0.0 SF	0.0 SF
DECK AT SECOND FLOOR:	140.2 SF	107.3 SF	141.5 SF
ROOF DECK (MAX 1/2 REQ'D)	0.0 SF	0.0 SF	0.0 SF
PRIVATE REAR YARD	0.0 SF	0.0 SF	412.7 SF
1/2 COMMON REAR YARD	247.0 SF	247.0 SF	0.0 SF
TOTAL	387.2 SF	354.3 SF	554.2 SF
PARKING TABULATION:			
REQUIRED PARKING SPACES:	2 SPACES (IN GARAGE) + 1 GUEST FOR EACH UNIT = 9 SPACES		
PROVIDED PARKING SPACES:	2 SPACES (IN GARAGE) + 1 GUEST FOR EACH UNIT = 9 SPACES		
THIS PROJECT SHALL COMPLY WITH:			
	2016 C.B.C., 2016 C.M.C., 2016 C.E.C., 2016 C.P.C., U.F.C., 2016 TITLE-24, 2016 CALIFORNIA GREEN CODE WITH STATE OF CALIFORNIA AND CITY OF MANHATTAN BEACH AMENDMENTS.		
SEPARATE PERMITS AND PLANS ARE REQUIRED FOR:			
	SEPARATE PERMITS AND PLANS ARE REQUIRED FOR SPAS, POOLS, SOLAR SYSTEMS, DEMOLITION AND SEWER CAP OF EXISTING BUILDINGS. IF SUCH IMPROVEMENTS OR DEMOLITION IS REQUIRED AS A CONDITION OF APPROVAL FOR DISCRETIONARY ACTIONS OR TO COMMENCE BUILDING THEN SUCH PERMITS MUST BE OBTAINED BEFORE OR AT THE TIME THIS PROPOSED PERMIT IS ISSUED.		
ALSO SEPARATE PERMITS ARE REQUIRED FOR:			
	MECHANICAL ELECTRICAL PLUMBING SITE WORK - INCLUDING SITE WALLS FIRE SPRINKLERS LANDSCAPE GRADING		

SHEET SCHEDULE

T - 1	TITLE SHEET
T - 2	GENERAL NOTES
T - 3	DOOR SCHEDULE
T - 4	WINDOW SCHEDULE
T - 5	TITLE-24 CF-1R FORMS
T - 6	TITLE-24 CF-1R FORMS
T - 7	RESOLUTION NO. PC 18-14
T - 8	GREEN BUILDING PROGRAM
C - 0	SITE SURVEY
C - 1	GRADING AND DRAINAGE PLAN
C - 2	UTILITY PLAN
C - 3	DRAINAGE DETAILS
C - 4	CITY OF MB PUBLIC WORKS NOTES & DETAILS
C - 5	CITY OF MB PUBLIC WORKS NOTES & DETAILS
C - 6	DRIVEWAY PROFILES & SECTIONS
C - 7	EROSION CONTROL PLAN
C - 8	EROSION CONTROL NOTES & DETAILS
A-1.0	SITE PLAN
A-2.0	PROPOSED FIRST FLOOR PLAN
A-2.1	PROPOSED SECOND FLOOR PLAN
A-2.2	PROPOSED MEZZANINE PLAN
A-3.0	ROOF PLAN
A-4.0	BUILDING SECTIONS / BFA DIAGRAM
A-4.1	BUILDING SECTIONS
A-4.2	BUILDING SECTIONS
A-5.0	UNPROTECTED OPENING ANALYSIS
A-6.0	EXTERIOR ELEVATIONS
A-6.1	EXTERIOR ELEVATIONS
A-7.0	ARCHITECTURAL DETAILS
A-7.1	ARCHITECTURAL DETAILS
A-7.2	ARCHITECTURAL DETAILS
S-0.0	STRUCTURAL NOTES
S-0.1	STRUCTURAL NOTES
S-0.2	STRUCTURAL NOTES
S-1.0	FOUNDATION PLAN
S-1.1	SECOND FLOOR FRAMING PLAN
S-1.2	MEZZANINE FLOOR FRAMING PLAN
S-1.3	ROOF FRAMING PLAN
S-2.0	STRUCTURAL DETAILS
S-2.1	STRUCTURAL DETAILS
S-2.2	STRUCTURAL DETAILS
S-2.3	STRUCTURAL DETAILS
WSW1	SIMPSON WOOD STRONGWALL DETAILS
WSW1.1	SIMPSON WOOD STRONGWALL DETAILS
WSW2	SIMPSON WOOD STRONGWALL DETAILS
E-1.0	FIRST FLOOR ELECTRICAL PLAN
E-1.1	SECOND FLOOR ELECTRICAL PLAN
E-1.2	MEZZANINE ELECTRICAL PLAN
L - 1	LANDSCAPE PLAN

SYMBOLS

	ROOM NAME
	SECTION DESIGNATION
	SHEET NUMBER
	DETAIL NUMBER
	SHEET NUMBER
	WINDOW LETTER
	DOOR NUMBER
	KEY NOTE

VICINITY MAP



912
 architecture
 627 Aviation Way
 Manhattan Beach, CA 90266
 T: 310.376.1822
 www.912arch.com

Revisions:

- △
- △
- △
- △
- △
- △

11th Street CONDOMINIUMS
 1843 11th Street, Manhattan Beach, CA, 90266

Title Sheet

Date: 7/15/19
Name of File: Preliminary

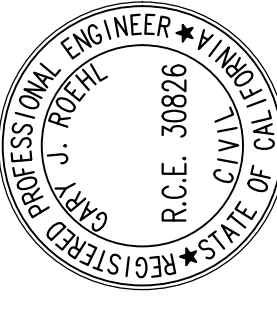
T-1

SCALE: 1" = 10'

VESTING TENTATIVE

SHEET 1 OF 1 SHEET

PARCEL MAP NO.82600



IN THE CITY OF MANHATTAN BEACH
COUNTY OF LOS ANGELES
STATE OF CALIFORNIA

ENGINEER

DENN ENGINEERS

3914 DEL AMO BLVD., STE. 921
TORRANCE, CA 90503
310-542-9433

FOR CONDOMINIUM PURPOSES

SUBDIVIDER
WIDMANN DEVELOPMENT INC.
C/O. JEFF WIDMANN
PO BOX 1447
MANHATTAN BEACH, CA 90287

LEGAL DESCRIPTION
LOT 21, BLOCK 1
REDONDO VILLA TRACT #3
M.B. 10-185
APN 4164-001-021

JOB ADDRESS
1843 11TH STREET
MANHATTAN BEACH, CA 90286

GARY J. ROEHL
R.C.E. 30826
DATE 2/8/2019

SET L&T RCE 30826
IN SLY FACE OF WALL
0.62' SLY & 2.00' ELY
OF PROP. CORNER
TAG ELEV = 105.57'

NOTE:
1. ALL EXISTING STRUCTURES TO BE
REMOVED UNLESS OTHERWISE NOTED.
2. ALL UTILITIES ARE LOCATED IN
ADJACENT STREETS.
3. THIS IS A 3 UNIT CONDOMINIUM
PROJECT.

* BLOCK 1
REDONDO VILLA TRACT #3
M.B. 10-185

** TRACT NO. 46919
M.B. 1135-58-59

NOTE:
A TITLE POLICY HAS BEEN PROVIDED AND
REVIEWED BY DENN ENGINEERS AT THE
TIME OF THIS SURVEY. ANY READILY
AVAILABLE ITEMS AFFECTING THIS
PROPERTY HAVE BEEN PLOTTED BASED
ON PROVIDED DOCUMENTS.

④ ITEM #4 - EASEMENT GRANTED TO
GENERAL TELEPHONE COMPANY FOR
PUBLIC UTILITIES AND RIGHTS INCIDENTAL
RECORDED MAY 13, 1957 AS INSTRUMENT
NO. 3353 OF O.R.

CONSUMERS TITLE COMPANY
ORDER NO. 19-106168-01
DATED JANUARY 8, 2019

TO FOUND S&W @ MANHATTAN BEACH BLVD.
PER PWFB 0717-1898, 1899

N 00°10'26"W 302.10'

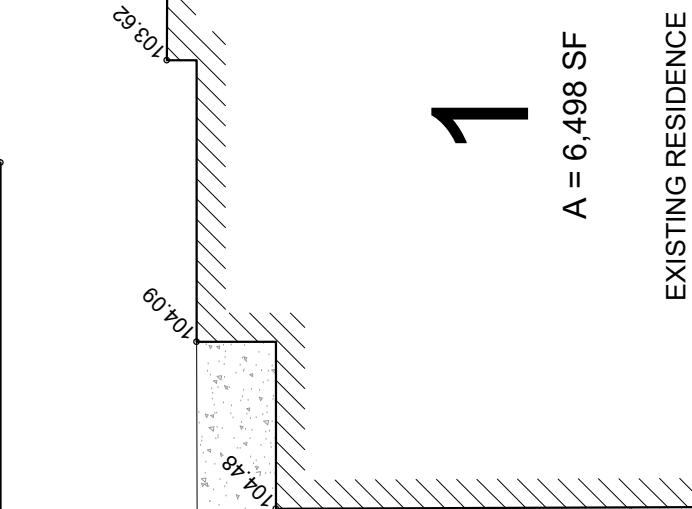
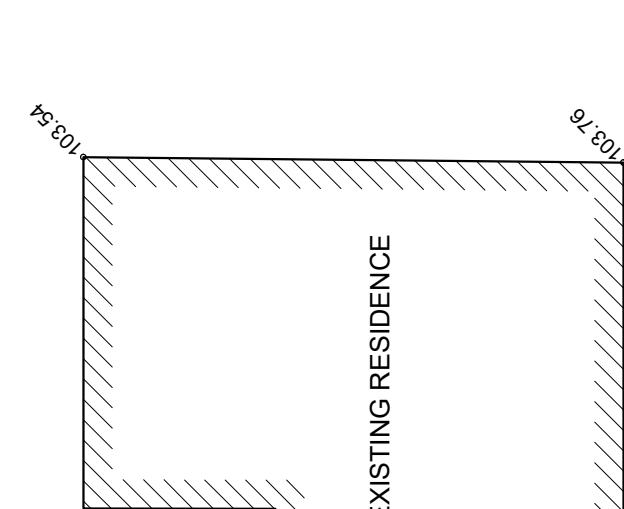
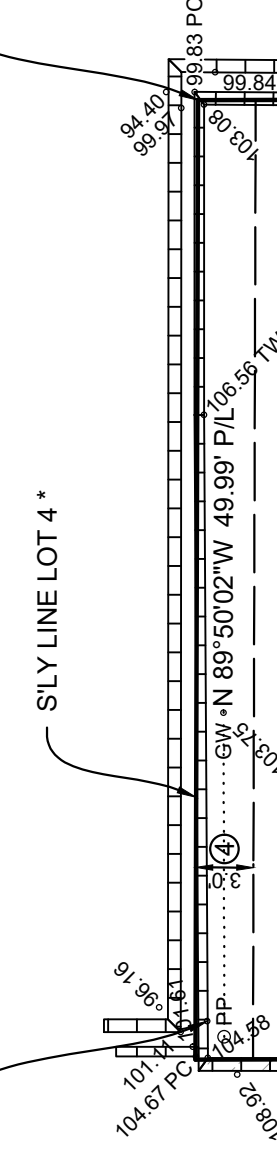
HARKNESS STREET

LEGEND	
	EXISTING BUILDING
	CONCRETE
	BRICK
	WOOD DECK
	EXISTING ELEVATION
	EXISTING CONTOUR
	BLOCK WALL
	EXISTING FENCE
	ELY
	ELY OF CORNER
	FOUND
	PD
	FL
	GF
	LH
	L&T
	MH
	PC
	PL
	P&W
	SAW
	SK
	STK
	TW
	TX
	WM

NOTE: ALL SETBACK DIMENSIONS SHOWN
OF BUILDINGS UNLESS OTHERWISE NOTED.
BOUNDARY MONUMENTS ARE NOT NECESSARILY
SET ON PROPERTY CORNERS. PLEASE REFER TO
DISTANCES IN THERE ARE ANY QUESTIONS.
ENGINEERS FOR CLARIFICATION AT
(310) 542-9433 M-F 8:00AM TO 5:00PM.

SET L&T RCE 30826
ON TOP OF WALL
ON PROP. CORNER
TAG ELEV = 109.04'

SLY LINE LOT 4 *



ELY LINE LOT 2 **

WLY LINE LOT 22 *

AVIATION BOULEVARD

SET L&T RCE 30826
1.00' SLY OF CORNER
ON PROP. LINE PROD.
TAG ELEV = 101.13'

SET L&T RCE 30826
1.00' SLY OF CORNER
ON PROP. LINE PROD.
TAG ELEV = 105.13'

FOUND S&W PER PWFB 0717-1898, 1899

11TH STREET

FOUND PK SPK PER PWFB 0717-1898, 1899

19-038

EXIT ANALYSIS:

OCCUPANT LOAD FACTOR: 1 / 200 GROSS SF

UNIT FLOOR AREAS:	UNIT A	UNIT B	UNIT C
TOTAL (SF):	1,837.1	1,431.9	1,653.4
UNIT OCCUPANT LOAD (OCC)	9	7	9
TRAVEL DISTANCE			
MAX COMMON PATH OF TRAVEL:	64 FT	63 FT	62 FT

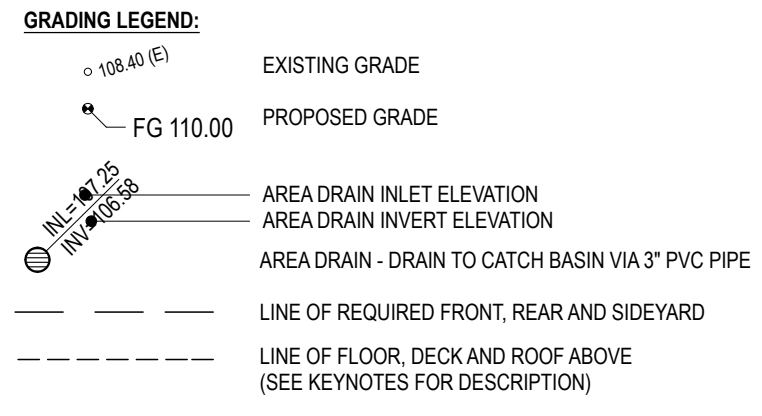
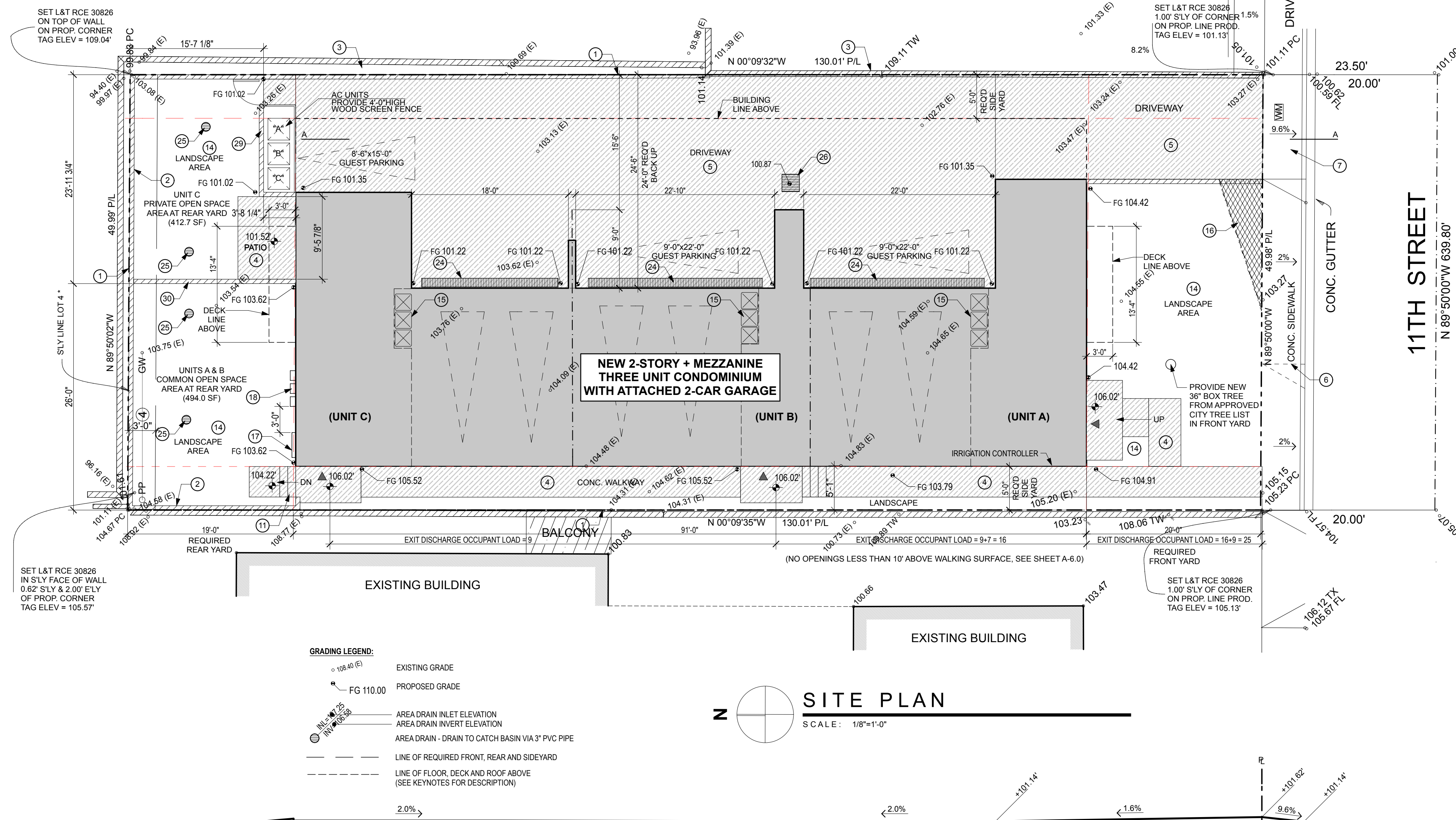
PER CBC TABLE 1006.2.1, 1 EXIT ALLOWED FROM SPACES IN R-2 OCCUPANCIES IN SPRINKLERED BUILDINGS WITH AN OCCUPANT LOAD OF 10 OR LESS AND COMMON PATH OF TRAVEL DISTANCE LESS THAN 125 FT.

PER CBC TABLE 1006.3.2(1), 1 EXIT ALLOWED FROM BASEMENT, FIRST SECOND OR THIRD STORY ABOVE GRADE PLANE IN SPRINKLERED BUILDINGS WITH A MAXIMUM OF 4 DWELLING UNITS AND COMMON PATH OF TRAVEL DISTANCE LESS THAN 125 FT.

REQUIRED NUMBER OF EXITS: UNIT A: 1, UNIT B: 1, UNIT C: 1
 EXIT DISCHARGE:
 MINIMUM EXIT DISCHARGE WIDTH: 44"
 PROVIDED EXIT DISCHARGE WIDTH: 60"

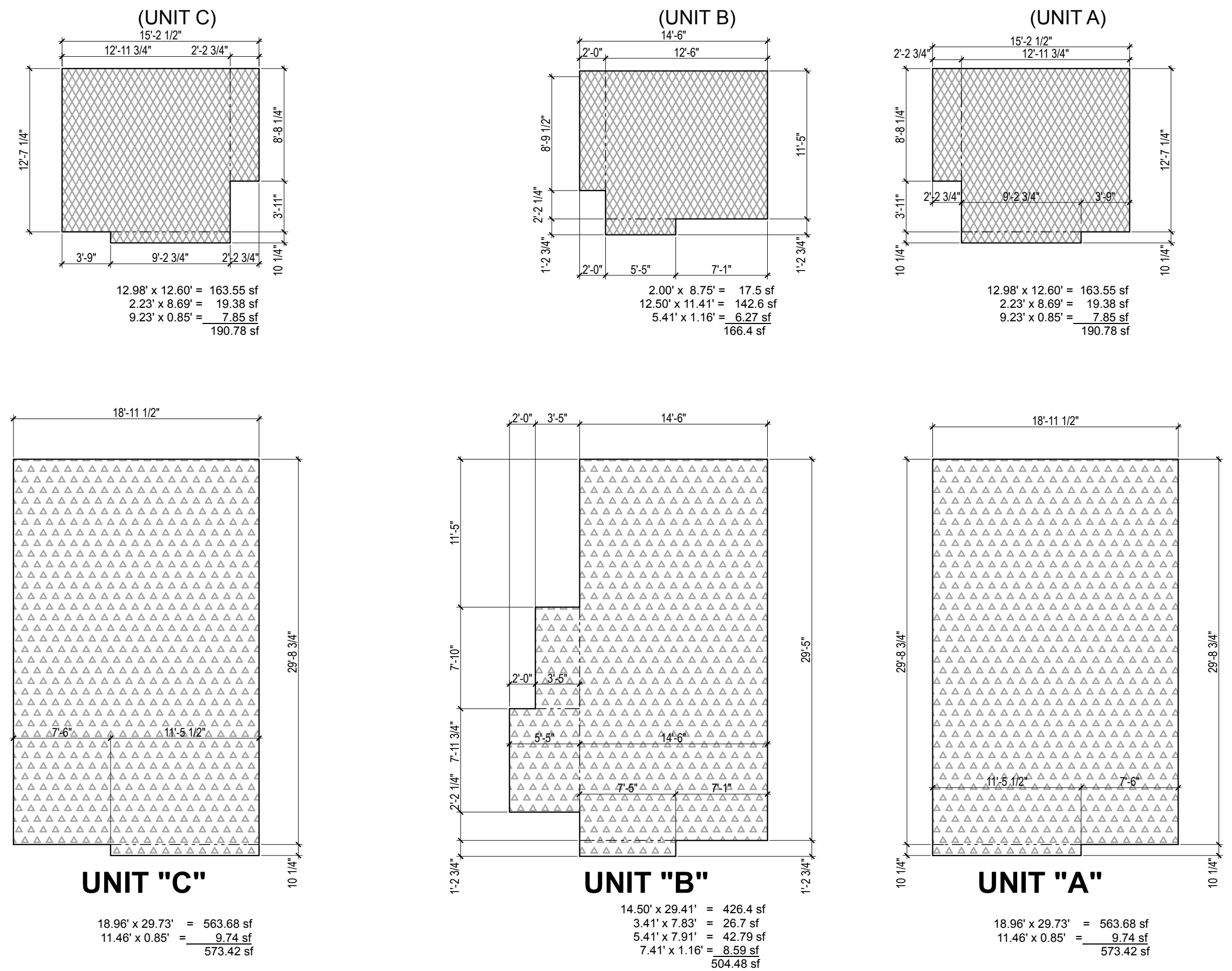
PER CBC 1028.4.2 EXIT DISCHARGE COURT WITH WIDTH OF LESS THAN 10'-0" SHALL BE PROTECTED BY A 1-HOUR FIRE RATED WALL TO A MINIMUM HEIGHT OF 10'-0" AND SHALL BE UNOBSTRUCTED TO A HEIGHT OF 7'-0" OPENINGS IN THAT RATED WALL SHALL BE 3/4 HOUR RATED MINIMUM.

EXCEPTION 1: EXIT DISCHARGE COURTS WITH AN OCCUPANT LOAD OF LESS THAN 10 SEE SITE PLAN AT SHEET A-1.0 FOR EXIT DISCHARGE COURT OCCUPANT LOAD. SEE FLOOR PLANS AT SHEETS A-2.0 AND A-2.1 FOR RATING OF EXTERIOR WALL AT DISCHARGE COURT. SEE EXTERIOR ELEVATION AT SHEET A-6.0 FOR OPENING LOCATIONS (NONE IN RATED WALL)



MEZZANINE CALC
SCALE: 1/8" = 1'-0"

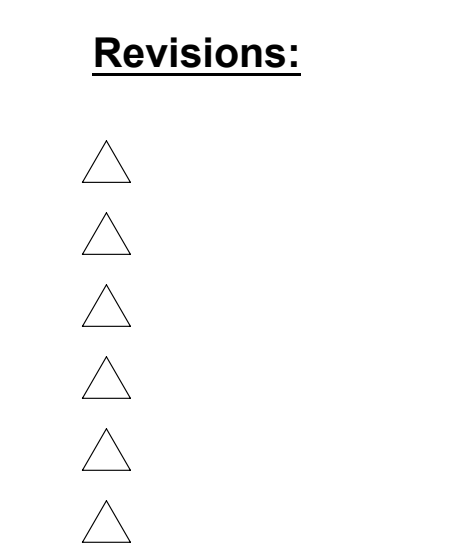
NOTE: ALLOWABLE MEZZANINE AREA IS TAKEN FROM INSIDE OF WALL AND IS THEREFORE DIFFERENT FROM BFA FLOOR AREA @ T-1



UNIT	ROOM BELOW	MEZZANINE	TOTAL
UNIT "C"	573.42 SQ. FT.	191.1 SQ. FT.	764.52 SQ. FT.
UNIT "B"	504.48 SQ. FT.	168.16 SQ. FT.	672.64 SQ. FT.
UNIT "A"	573.42 SQ. FT.	191.1 SQ. FT.	764.52 SQ. FT.

SITE PLAN NOTES:

- PROPERTY LINE
- NEW CMU PROPERTY LINE WALL SEE DETAIL
- EXISTING CMU / WOOD FENCE OVER CMU WALL TO REMAIN (NO CHANGE IN HEIGHT)
- NEW CONCRETE WALKWAY / PATIO PROVIDE NEW SAW CUTS AS SHOWN
- NEW CONCRETE DRIVEWAYS PROVIDE NEW SAW CUTS AS SHOWN
- EXISTING CURB CUT TO BE REMOVED
- NEW CURB CUT PROVIDE NEW CURB CUT AS SHOWN PER CITY OF MANHATTAN BEACH PUBLIC WORKS NOTES
- LINE OF ROOF EAVE ABOVE
- LINE OF BALCONY ABOVE
- LINE OF SECOND FLOOR ABOVE
- EXTERIOR CONCRETE STAIR SEE DETAILS INDICATED ON PLAN
- EXISTING WATER METER LOCATION PROVIDE TRAFFIC RATED LID, SEE PUBLIC WORKS NOTES @ T-6
- DECOMPOSED GRANITE PERMEABLE SURFACE
- LANDSCAPED AREA SEE LANDSCAPE PLAN FOR REQUIRED PLANT MATERIALS AND SIZES. ALL LANDSCAPED AREAS SHALL BE PROVIDED WITH AN AUTOMATIC SPRINKLER SYSTEM
- TRASH AREA TRASH AREA FOR A MINIMUM OF THREE 4' TALL 2'X2' TRASH CANS AT GARAGE. REFUSE AREA SHALL NOT INTRUDE INTO REQUIRED PARKING DIMENSIONS. (MIMC 5.24.030) SEE A-1.0 (GROUND FLOOR / GARAGE PLAN) FOR EXACT LOCATION INSIDE THE GARAGE.
- DRIVEWAY VISIBILITY TRIANGLE PROVIDE UNOBSTRUCTED TRIANGLE OF SIGHT VISIBILITY (5' x 15') ADJACENT TO DRIVEWAY AND BEHIND THE ULTIMATE PROPERTY LINE WHEN EXISTING AREAS WITHOUT WALL COLUMNS OR LANDSCAPING OF 36" HIGH. ALL PLANTERS NEXT TO DRIVEWAY MUST CONFORM TO THIS REQUIREMENT. (PER MIMC 10.64.150)
- NEW ELECTRIC METER SERVICE PANEL WITH A 3" DIAMETER STUD OUT CONDUIT MIN. 200 AMP SERVICE. WATERPROOF METAL CONTAINER (FLUSH MOUNT) PAINT TO MATCH ADJACENT WALL. ELECTRICIAN SHALL PROVIDE PANEL SCHEDULE AND LOAD CALCULATIONS. REFER TO M.E.P. SHEETS, PER ARTICLE 220, NEC
- NEW GAS METER SELECT TO GAS COMPANY APPROVAL. SEE DETAILS 8 & 9 / A-7.1
- SEWER LATERAL - SEE PUBLIC WORKS NOTES @ T-6
- NEW PROPERTY LINE CLEAN OUT PROVIDE NEW PROPERTY LINE CLEAN OUT PER CITY OF MANHATTAN BEACH PUBLIC WORKS NOTES @ T-6
- CERTIFICATES CERTIFICATES OF INSTALLATION (CF2R-ENV, CF2R-LTG AND CF2R-MECH) SHALL BE COMPLETED BY THE APPLICABLE CONTRACTORS INSTALLING ENERGY FEATURES WHEN COMPLIANCE REQUIRES HERS FIELD VERIFICATION AND/OR TESTING. ALL CF2R FORMS SHALL BE SUBMITTED ELECTRONICALLY TO AN APPROVED HERS FIELD VERIFIER DATA REGISTRY. THE CF2R FORMS SHALL BE POSTED AT THE JOB SITE IN A CONSPICUOUS LOCATION.
- CERTIFICATE OF VERIFICATION (CF3R) SHALL BE COMPLETED REGISTERED AND SIGNED/CERTIFIED BY THE HERS RATER. THE REGISTERED CF3R FORM SHALL BE MADE AVAILABLE TO THE BUILDING DEPARTMENT AND BUILDER.
- SEPARATE PERMITS SEPARATE PERMITS AND PLANS ARE REQUIRED FOR SPAS, POOLS, SOLAR SYSTEMS, DEMOLITION AND SEWER CAP OF EXISTING BUILDINGS. IF SUCH IMPROVEMENTS OR DEMOLITION IS REQUIRED AS A CONDITION OF APPROVAL FOR DISCRETIONARY ACTIONS OR TO COMMENCE BUILDING, THEN SUCH PERMITS MUST BE OBTAINED BEFORE OR AT THE TIME THIS PROPOSED BUILDING PERMIT IS ISSUED.
- FENCE / WALL / HANDRAIL AND HEDGE HEIGHTS, AS MEASURED FROM THE LOWEST FINISHED GRADE ADJACENT TO EACH SECTION OF THESE STRUCTURES, MAY BE A MAXIMUM OF 42" IN THE FRONT YARD SETBACK, AND 6' AT ALL OTHER LOCATIONS ON SITE (3' IN DRIVEWAY VISIBILITY TRIANGLE AND IN THE TRAFFIC VISION CLEARANCE TRIANGLE).
- NEW TRENCH DRAIN WITH TRAFFIC RATED GRATE DRAIN TO SUMP BASIN VIA 3" Ø PVC PIPE
- AREA DRAIN DRAIN TO SUMP BASIN VIA 3" Ø PVC PIPE
- CATCH BASIN WITH SUMP PUMP 30" X 34" X 4" DEEP PREFAB CATCH BASIN W/ 24" SQ. GRATE PROVIDE (2) ZOELLER MODEL #161 SUMP PUMPS PER HYDROLOGY BY PERU CONSULTANTS OUTLET TO STREET VIA (2) 3" Ø PVC PIPES TO PROPERTY LINE THEN (2) 3" Ø DUCTILE IRON PIPES THROUGH CURB FACE. NOTE: SUBMIT HYDRAULIC CALCULATIONS AND DETAIL FOR SUMP / PUMP TO BUILDING DEPARTMENT FOR APPROVAL PRIOR TO FABRICATION
- PEDESTRIAN PROTECTION DURING CONSTRUCTION COMPLY WITH UBC SECT. 3303 REGARDING PROTECTION OF PEDESTRIANS.
- BUILDING ADDRESS BUILDING ADDRESS SHALL BE PROVIDED ON THE BUILDING IN SUCH POSITION AS TO BE PLAINLY VISIBLE AND LEGIBLE FROM THE STREET PER SECTION 501.2
- WOOD FENCE AND GATE PROVIDE 5'-0" HIGH WOOD FENCE WITH 3'-0" x 5'-0" WOOD GATE
- NEW COMBINATION CMU / WOOD FENCE PROVIDE 6'-0" HIGH SEPARATION FENCE SEE DETAIL



11th Street Condominiums
1843 11th Street, Manhattan Beach, CA, 90266

Site Plan
Date: 7/15/19
Name of File: Preliminary

A-1.0

FLOORPLAN NOTES:

VERIFY ALL PLUMBING FIXTURES WITH OWNER

- NEW ELECTRIC METER SERVICE PANEL WITH A 3" DIAMETER STUB OUT CONDUIT**
MIN. 200 AMP SERVICE.
WATERPROOF METAL CONTAINER.
PAINT TO MATCH ADJACENT WALL.
ELECTRICIAN SHALL PROVIDE PANEL SCHEDULE AND LOAD CALCULATIONS.
REFER TO M. & P. SHEETS.
PER ARTICLE 220, NEC.
- GROUND FAULT INTERRUPTER (GFI) OUTLETS**
SHALL BE PROVIDED IN BATHROOMS, GARAGES, CRAWL SPACES, EXTERIOR, AND WITHIN 6' OF KITCHEN SINKS.
REFER TO M. & P. SHEETS.
PER SECT. 210-8a, NEC.
- SEPARATE BRANCH CIRCUIT FOR APPLIANCES**
APPLIANCES SUCH AS KITCHEN SINK FOOD GRINDERS, DISHWASHERS, MICROWAVE OVENS, TRASH COMPACTORS, WASHING MACHINES DRYERS, REFRIGERATORS, FREEZERS, AIR CONDITIONERS, FAUCS, BUILT-IN HEATERS OR ANY FIXED APPLIANCE WITH MOTOR LARGER THAN 1/4 HP SHALL BE ON A SEPARATE BRANCH CIRCUIT SUPPLIED BY A MIN. NUMBER 12 AWG WIRE.
- GENERAL LIGHTING @ KITCHEN AND BATH**
PROVIDE HIGH EFFICIENCY LIGHTING AT NOT LESS THAN 40 LUMENS PER WATT.
REFER TO ELECTRICAL PLANS.
PER SECT. 2-5352) T-24
- MECHANICAL VENTILATION @ BATHROOMS**
BATHROOMS SHALL BE MECHANICALLY VENTILATED OR PROVIDED WITH WINDOW AREA NOT LESS THAN 3 SQ.FT. AT LEAST 50% OPENABLE. PER SECTION 303.3.

BATHROOMS, WATER CLOSET COMPARTMENTS, LAUNDRY ROOMS SHALL BE PROVIDED WITH MECHANICAL VENTILATION IN ACCORDANCE WITH THE CALIFORNIA MECHANICAL CODE PER SECT. 1203.4.2.1, C.B.C.
- ONE-HOUR FIRE RESISTIVE WALL / CEILING**
GARAGE BENEATH HABITABLE ROOMS SHALL BE SEPARATED FROM ALL HABITABLE ROOMS BY NOT LESS THAN 5/8" TYPE "X" GYPSUM BOARD.
PER TABLE R302.6.
5/8" TYPE "X" GYP. WALL BOARD AT ALL WALLS AND CEILING BETWEEN GARAGE AND ALL ADJACENT LIVING SPACES, AND ENCLOSING ALL STRUCTURAL MEMBERS.
PER SECT. 406.1.4, C.B.C.
PENETRATIONS THROUGH FIRE RATED WALL COMPLY WITH SECTION 714. SEE DETAILS 40 / A-7.2 & 43 / A-7.2
WALL SEPARATING DWELLING UNITS SHALL BE 1-HOUR FIRE RATED PER SECTION R402.2. SEE DETAILS 42 / A-7.2 & 45 / A-7.2
EXTERIOR WALL LOCATED LESS THAN 10 FT AWAY FROM PROPERTY LINE SHALL BE 1-HOUR FIRE RATED. PER TABLE 602. SEE DETAILS 32 / A-7.2 & 33 / A-7.2
- STAIRWAY**
PROVIDE 1 LAYER 5/8" TYPE "X" G.W.B. AT ALL WALLS AND SOFFIT FOR ENCLOSED USABLE SPACE BENEATH STAIRWAY.
PER SECT. 1009, C.B.C.
- STAIR HANDRAIL (MATERIAL T.B.D.)**
SEE DETAIL 5 / A-7.0

STAIR HANDRAIL SHALL BE 34" TO 38" ABOVE TREAD. NOSING CIRCULAR HANDRAIL SHALL HAVE AN OUTSIDE DIAMETER OF AT LEAST 1.25" AND NOT GREATER THAN 2". IF THE HANDRAIL IS NOT CIRCULAR, IT SHALL HAVE A PERIMETER DIMENSION OF AT LEAST 4" AND NOT GREATER THAN 6.25" WITH A MAXIMUM CROSS SECTION DIMENSION OF 2.25". EDGES SHALL HAVE A MINIMUM RADIUS OF 0.01". PER CBC SECT. 1014.3.

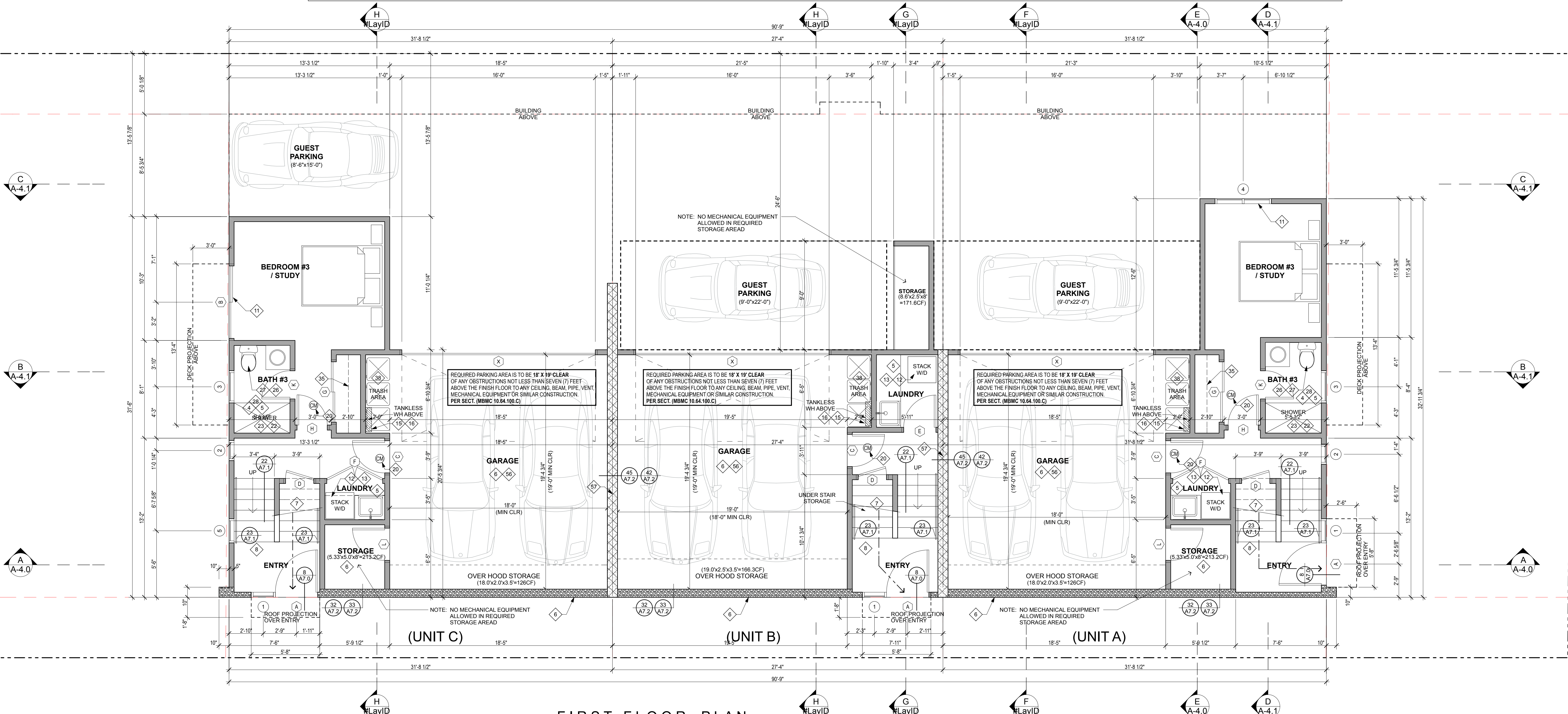
HANDRAIL ASSEMBLIES SHALL BE ABLE TO RESIST A SINGLE CONCENTRATED LOAD OF 200 POUNDS, APPLIED IN ANY DIRECTION IN ANY POINT ALONG THE TOP AND HAVE ATTACHMENT DEVICES AND SUPPORTING STRUCTURE TO TRANSFER THIS LOADING TO APPROPRIATE STRUCTURAL ELEMENTS OF THE BUILDING PER 1607.7.1, & 1607.1.1.
- GUARDRAIL (42" HIGH U.N.O.)**
SEE DETAIL: 18 / A-7.1 & 25 / A-7.1

GUARDRAIL SHALL NOT BE LESS THAN 42" HIGH AND SHALL HAVE BALLUSTERS OR ORNAMENTAL PATTERNS SUCH THAT A 4" DIAMETER SPHERE CANNOT PASS THROUGH ANY OPENING.
PER CBC SECTION 1013.

GUARDRAIL ASSEMBLIES SHALL BE ABLE TO RESIST A SINGLE CONCENTRATED LOAD OF 200 POUNDS, APPLIED IN ANY DIRECTION IN ANY POINT ALONG THE TOP AND HAVE ATTACHMENT DEVICES AND SUPPORTING STRUCTURE TO TRANSFER THIS LOADING TO APPROPRIATE STRUCTURAL ELEMENTS OF THE BUILDING PER 1607.7.1, & 1607.1.1.
- CORRIDOR / HALL WIDTH**
MINIMUM CLEAR WIDTH 36" (REQ'D)
PER SECT. 1005.2, C.B.C.
- WINDOWS AT BEDROOMS (EGRESS)**
MIN. CLR. OPENING, 5.7 sq. ft.
MIN. CLR. HEIGHT, 24"
MIN. CLR. WIDTH, 20"
FINISHED SILL HEIGHT TO BE NOT MORE THAN 44" ABOVE FINISHED FLOOR REFER TO WINDOW / DOOR SCHEDULE.
PER SECT. 1026, C.B.C.
- DRYER VENT**
EXHAUST TO OUTSIDE AIR @ WALL.
PROVIDE LINT TRAP/ACCESS POINT TO MATCH EXTERIOR FINISH.
INSTALL PER MANUF. SPECS. VERIFY LOCATION WITH ARCHITECT.
PER SECT. 504.3 & 908, C.M.C.
- WASHER**
HOT AND COLD WATER VALVES, PROVIDE SMITTY PAN WITH DRAIN.
- FORCED AIR UNIT**
GAS FIRED.
(INTERMITTENT ELECTRONIC IGNITION)
"B" VENT THRU FLOOR TO ROOF.
PAINT TO MATCH EXTERIOR FIN.
INSTALLATION CLEARANCES PER MANUF. SPECS @ GARAGE - PROVIDE 18" HIGH PLATFORM.
PER SECT. 308, C.M.C. & C.P.C.
- WATER HEATER**
SIZE: PER TITLE-24 CALCS, SEE CF-1R FORMS HIGH RECOVERY WITH RECIRCULATION PUMP GAS FIRED.
(INTERMITTENT ELECTRONIC IGNITION)
PROVIDE SEISMIC STRAPS
"B" VENT THRU FLOOR TO ROOF.
PAINT TO MATCH EXTERIOR FIN.
INSTALLATION CLEARANCES PER MANUF. SPECS @ GARAGE - PROVIDE 18" HIGH PLATFORM.
PER SECT. 510.1, C.P.C. & SECT. 308.2, C.M.C.
INSTALL ON THE COLD WATER SUPPLY PIPE AT THE TOP OF WATER HEATER CAPPED "T" FITTING TO PLUMB FOR FUTURE SOLAR WATER HEATING.
- COMBUSTION AIR VENTS**
PROVIDE VENTS FOR TOP & BOTTOM COMBUSTION AIR. TOP VENT LOCATED WITHIN 12" OF CEILING, BOTTOM VENT LOCATED WITHIN 12" OF PLATFORM. SIZE PER CM. PER CHAPTER 7, U.M.C. and U.P.C.
- RETURN AIR GRILLE**
SIZE PER CODE.
VERIFY LOCATION WITH ARCHITECT.
- AIR SUPPLY DUCT**
2 sq. ft. PER 1000 BTU REQUIRED @ F.A.U.
SIZE PER CODE.
PER SECT. 317, U.M.C.
- LIGHT and VENTILATION @ BEDROOMS**
NATURAL LIGHT BY MEANS OF EXTERIOR GLAZED OPENINGS WITH AN AREA OF NOT LESS THAN 1/10 OF THE FLOOR AREA (MIN. 10 sq. ft.) NATURAL VENTILATION BY MEANS OF OPENABLE EXTERIOR OPENINGS WITH AN AREA OF NOT LESS THAN 1/20 OF THE FLOOR AREA (MIN. 5 sq. ft.)
PER SECT. 1203 C.B.C.
- COMBINATION SMOKE AND CARBON MONOXIDE ALARM**
SMOKE ALARMS AND CARBON MONOXIDE ALARMS SHALL BE INSTALLED INSIDE ALL BEDROOMS, ON THE CEILING OR WALL OUTSIDE OF EACH BEDROOM AND IN EVERY STORY.
PER SECTION R314.3; R315.1;
SMOKE ALARMS AND CARBON MONOXIDE ALARMS SHALL RECEIVE THEIR PRIMARY POWER FROM THE BUILDING WIRING, AND SHALL BE EQUIPPED WITH A BATTERY BACKUP AND INTERCONNECTED.
PER SECTION R314.3; R314.4; R315.1;

SMOKE DETECTORS ARE REQUIRED IN EACH ROOM USED FOR SLEEPING AND CENTRALLY LOCATED IN THE WALL OR CEILING IN CORRIDORS PROVIDING ACCESS TO EACH SLEEPING AREA, AT EACH FLOOR OR BASEMENT LEVEL AND IN CLOSE PROXIMITY TO THE STAIRWAY. SMOKE DETECTORS SHALL BE CONNECTED TO THE BUILDING WIRING SYSTEM IN ALL NEW CONSTRUCTION AND BE PROVIDED WITH BATTERY BACKUP. SHALL SOUND AN ALARM AUDIBLE IN ALL AREAS OF THE BUILDING OR BE INTERCONNECTED.
PER SECT 907.2.10, C.B.C.

KEY NOTES CONTINUED AT SHEET A-2.1



FIRST FLOOR PLAN

SCALE: 1/4" = 1'-0"

Revisions:

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First Floor Plan

Date: 7/15/19
Name of File: Preliminary

A-2.0

11th Street CONDOMINIUMS
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FLOORPLAN NOTES:
(CONTINUED FROM SHEET A-2.0)

- | | | | | |
|---|--|--|---|--|
| <p>21. PLUMBING WALL
BATHROOMS SHALL BE EQUIPPED WITH AN EXHAUST FAN CONTROLLED BY A HUMIDISTAT PER 2013 C.G.B.S.C.</p> <p>22. SHOWERS & TUB SHOWERS
CONTROL VALVES FOR SHOWERS AND TUB SHOWERS SHALL BE OF THE PRESSURE BALANCE OR THERMOSTATIC MIXING VALVE TYPE PER CPC SEC 410.7
PROVIDE APPROVED SMOOTH HARD NON ABSORBENT FINISH TO CEILING (VERIFY WITH ARCHITECT)
PROVIDE 1-LAYER "GREENBOARD" MOISTURE RESISTANT GYPSUM WALLBOARD PER UBC SEC 097.1.3</p> <p>23. FRAMESLESS TEMPERED GLASS ENCLOSURE
@ SHOWER WITH DOOR @ TUB SHOWER COMBINATION PER SECT. 2406 & 2407, U.B.C.</p> <p>24. BATH TUB
MANUF. MODEL:
INSTALL PER MANUF SPECS</p> <p>25. TUB TRAP ACCESS
12" x 12" PREFABRICATED SHEET METAL PAINT TO MATCH ADJACENT WALL.</p> <p>26. WATER CLOSETS
1.28 GALLON FLUSH, MAX. PER H & S CODE, SECT. 17921.30</p> <p>27. ACCESS TO TOILETS
30" CLEAR WIDTH REQUIRED
24" CLEARANCE IN FRONT REQUIRED. PER SECT. 2902.6 & 2904, C.B.C.</p> <p>28. EXHAUST FAN
BATHROOMS SHALL BE EQUIPPED WITH AN EXHAUST FAN CONTROLLED BY A HUMIDISTAT PER 2013 C.G.B.S.C.</p> | <p>29. DISHWASHER
HOT WATER STUB-OUT SMITTY PAN WITH DRAIN PER SECTION R310.4</p> <p>30. REFRIGERATOR SPACE
COLD WATER STUB-OUT (ICE MAKER) PER AOMD RULE 445</p> <p>31. KITCHEN SINK
DOUBLE BASIN
MANUF. MODEL:
PROVIDE GARBAGE DISPOSAL</p> <p>32. COOK - TOP
MANUF. MODEL:
PROVIDE GAS STUB-OUT THROUGH ROOF PER MANUF SPECS
OR
DOWNDRAFT VENT DUCT TO OUTSIDE AIR THRU WALL PAINT TO MATCH EXTERIOR FINISH
VERIFY LOCATION OF VENT WITH ARCHITECT.
SEE ENERGY CONFORMANCE NOTES</p> <p>33. CONVECTION OVEN
MANUF. MODEL:
PROVIDE GAS STUB-OUT DUCT TO OUTSIDE AIR THRU WALL PAINT TO MATCH EXTERIOR FINISH
VERIFY LOCATION OF VENT WITH ARCHITECT</p> <p>34. UNDER-COUNTER MICROWAVE OVEN</p> <p>35. SHelf AND POLE (40" HIGH) (T.B.D.)
1 1/2" DIA WOOD POLE WITH 1/4" WOOD SHELF
PAINT TO MATCH ADJACENT WALL FINISH
OPTION: CLOSET ORGANIZER HARDWARE CONFIRM WITH OWNER</p> | <p>36. GAS FIREPLACE (VENT THROUGH ROOF)
MANUFACTURER: LENOX
MODEL: SYMMETRY GAS ONLY
APPROVAL: ANSI Z21.38 - 2003
INSTALL PER MANUFACTURERS SPECIFICATIONS.
USE THIS PRODUCT OR APPROVED EQUAL TO BE DETERMINED BY OWNER / ARCHITECT.
PER SECTION R310.4
WOOD BURNING FIREPLACES ARE NOT PERMITTED PER AOMD RULE 445</p> <p>37. DRAINAGE FIXTURES LOCATED BELOW THE NEXT UPSTREAM MANHOLE OR BELOW THE MAIN SEWER LEVEL REQUIRES INVESTIGATION TO ASCERTAIN THE NECESSITY FOR SEWER BACKWATER DEVICE INSTALLATION PER 2016 CPC SECTION 710.0</p> <p>38. TRASH CANS
TRASH AREA FOR A MINIMUM OF (3) 4' TALL 2'X2' TRASH CANS
REFUSE AREA SHALL NOT INTRUDE TO INTO REQUIRED PARKING DIMENSIONS.</p> <p>39. STAIR REQUIREMENTS
A. MAX 7.75" RISE & MIN. 10" RUN
B. MIN. 36" CLEAR WIDTH
C. HANDRAILS 34" TO 38" HIGH ABOVE TREAD NOSING.
D. HANDGRIP PORTION OF HANDRAIL SHALL BE NOT LESS THAN 1 1/4" NOR MORE THAN 2" GROSS SECTIONAL DIAM. DIMENSION HAVING A SMOOTH SURFACE WITH NO SHARP CORNERS. (1003.3.2.3,4,6)</p> <p>40. LANDING AT EGRESS DOOR
LANDING AT EGRESS SHALL NOT BE MORE THAN 1 1/2' LOWER THAN TOP OF THRESHOLD.
(EXCEPTION: THRESHOLD HEIGHT CAN BE 7.75" MAX. IF DOOR IS NOT A REQUIRED EXIT OR DOOR DOES NOT SWING OVER THE LANDING.)
PER CRC SECTION R311.3.1</p> <p>41. LAUNDRY ROOM
DRIP PANS OR OTHER DEVICES FOR LAUNDRY ROOM, WATER HEATERS, AND DISHWASHERS MUST BE PROVIDED.</p> | <p>42. CABLE BOX</p> <p>43. GAS METER</p> <p>44. BACKWATER VALVE
AN APPROVED BACKWATER VALVE IS REQUIRED FOR DRAINAGE PIPING SERVING FIXTURES LOCATED BELOW THE ELEVATION OF THE NEXT UPSTREAM MANHOLE COVER. FIXTURES ABOVE SUCH ELEVATION SHALL NOT DISCHARGE THROUGH THE BACKWATER VALVE. (UPC 710.1)</p> <p>45. GARAGE FLOOR
GARAGE FLOOR SHALL BE SLOPED TO FACILITATE MOVEMENT OF LIQUIDS TOWARD A DRAIN OR VEHICLE ENTRY DOORWAY CBC SECT. 406.1.3.</p> <p>46. DECK WATERPROOFING
MANUF. CROSSFIELD PRODUCTS CORP.
PRODUCT: DEX-O-TEX ROOF WATERPROOFING MEMBRANE
ICB: ESR 1757
SLOPE: 1/4" FT. MIN.
CLASS: A
INSTALL PER MANUF SPECS
USE THIS PRODUCT OR APPROVED EQUAL PER SECT. 1402, C.B.C</p> <p>47. DECK DRAINS
MANUF. THUNDERBIRD
MODEL: 3" DIA. COPPER DECK DRAIN WITH STRAINER
PROVIDE DRAIN LINE TO DRAINAGE SYSTEM
INSTALL PER MANUF SPECS
USE THIS PRODUCT OR APPROVED EQUAL SEE DETAIL 28/A-7.1</p> <p>48. LANDING AT EXTERIOR DOORS
LANDING ON EACH SIDE OF EXTERIOR DOOR SHALL HAVE A LENGTH IN DIRECTION OF TRAVEL OF NOT LESS THAN 36" SECTION R311.3.</p> <p>49. WATER METER SERVICE
SEE LOCATION ON SITE PLAN AT A-1.0</p> <p>50. OPEN RAILING
BALCONIES SHALL HAVE OPEN RAILINGS OR GLASS</p> | <p>51. 1-HOUR COMMON / SEPARATION WALL
WALL BETWEEN INDIVIDUAL UNITS SHALL BE 1-HOUR CONSTRUCTION AND SHALL HAVE SOUND TRANSMISSION COEFFICIENT (STC) RATING OF 51C AS MINIMUM. SEE DETAILS 42 & 45 / A-7.2 FOR CONSTRUCTION
COMMON WALL BETWEEN UNITS SHALL BE FREE FROM PLUMBING, MECHANICAL EQUIPMENT DUCT OR VENT PER CRC SECT R-302.2
COMMON WALL SHALL EXTEND FROM FOUNDATION TO UNDERSIDE OF ROOF SHEATHING PER CRC SECT R-302.2.1 (UPC 710.1)</p> <p>52. WHOLE HOUSE VENTILATION
WHOLE HOUSE MECHANICAL VENTILATION SYSTEM PER 2016 CALIFORNIA RESIDENTIAL COMPLIANCE MANUAL, THE BUILDING SHALL BE PROVIDED WITH A WHOLE HOUSE VENTILATION SYSTEM.
EXHAUST FANS AT THE LAUNDRY ROOM SHALL BE 75 CFM MIN. (PER TABLE 4-14) AND SHALL OPERATE CONTINUOUSLY
FAN SHALL BE RATED TO OPERATE AT A MAX. NOISE LEVEL OF 1.0 SONE.
OR -
PROVIDE WHOLE HOUSE VENTILATION SYSTEM @ FAU FORCED AIR UNIT TO PROVIDE REQUIRED WHOLE HOUSE VENTILATION SYSTEM.
UNIT MUST BE INSTALLED WITH A SUMMER SWITCH AT THE AIR HANDLER AND AN OUTSIDE AIR DUCT DIRECTLY TO THE RETURN AIR PLENUM.
UNIT MUST BE EQUIPPED WITH CONTROLS WHICH ENSURE THAT THE AIR HANDLER RUNS EVEN WHEN THERE IS NO HEATING OR COOLING.
OUTDOOR AIR DUCT INLET SHALL BE PLACED TO AVOID DRAWING AIR FROM KNOWN AREAS OF CONTAMINANTS, SUCH AS CHIMNEYS, GARBAGES, EXHAUST FANS, ETC.
INSTALLER SHALL MEASURE THE VENTILATION FLOW RATE INDUCED TO ENSURE THAT IT MEETS THE VENTILATION RATE REQUIREMENTS UNDER NORMAL HEATING AND COOLING OPERATING CONDITIONS.</p> <p>53. FUTURE SOLAR ELECTRICAL CONDUIT
PROVIDE ELECTRICAL CONDUIT FOR EACH UNIT FROM ROOF TO ELECTRICAL SERVICE PANEL FOR FUTURE SOLAR</p> <p>54. PLUMBING FIXTURES
ALL NEW PLUMBING FIXTURES SHALL BE WATER CONSERVING PER 2016 CPC 402.0</p> |
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Revisions:

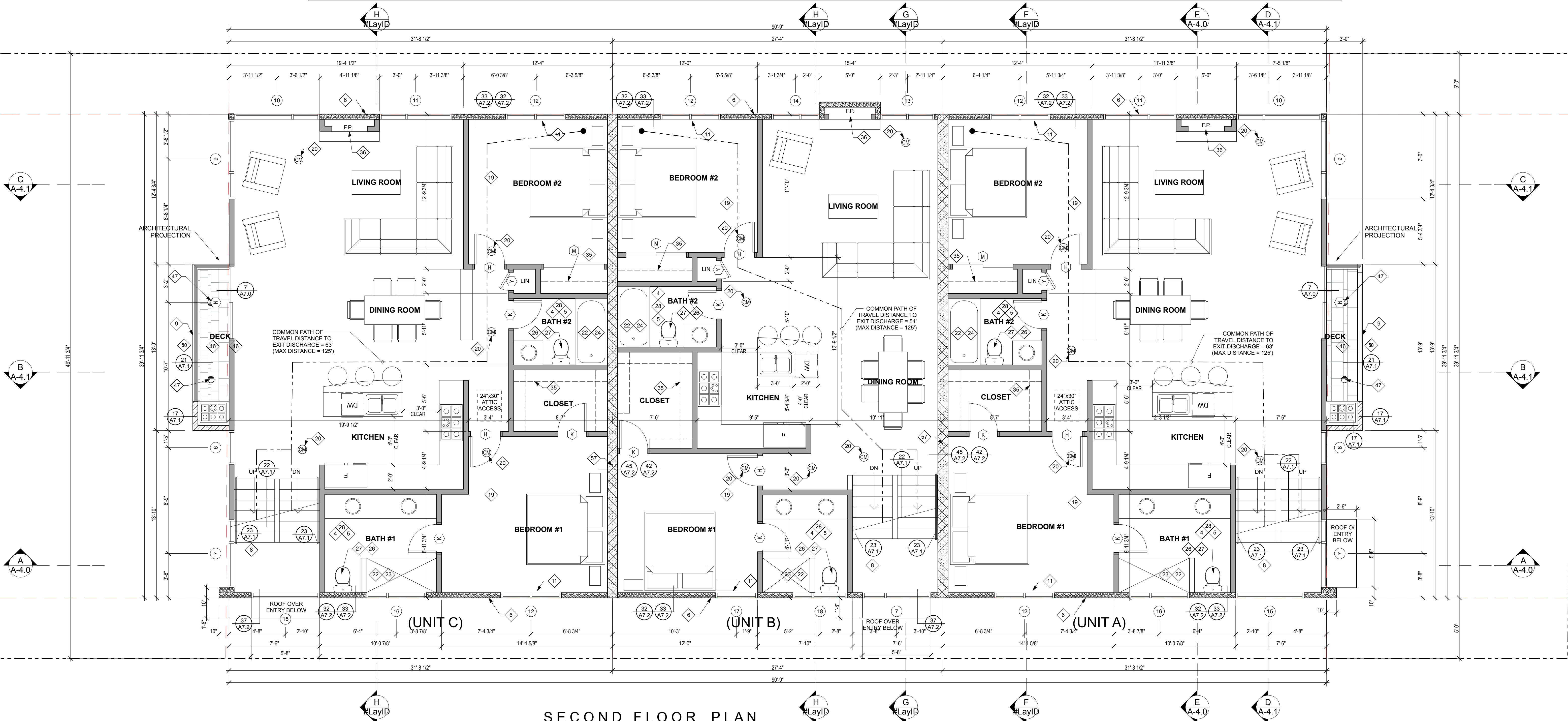
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11th Street CONDOMINIUMS
 1843 11th Street, Manhattan Beach, CA, 90266

Second Floor Plan

Date: 7/15/19
 Name of File: Preliminary

A-2.1



SECOND FLOOR PLAN

SCALE: 1/4" = 1'-0"

- 55. **DECK OVERFLOW**
DECK SHALL BE DRAINED BY DRAINS AND OVERFLOW DRAIN OR SCUPPER PER SECTION R903.4.
- 56. **DUCTS PENETRATING WALL**
DUCTS PENETRATING WALL OR CEILING PENETRATIONS BETWEEN GARAGE AND DWELLING UNIT SHALL BE CONSTRUCTED OF 0.019 INCH MINIMUM SHEET METAL AND SHALL HAVE NO OPENING INTO THE GARAGE - PER SECTION 406.3.4.3.
- 57. **AIRBORNE SOUND RATING**
WALLS SEPARATING DWELLING UNITS FROM EACH OTHER SHALL HAVE AN AIRBORNE SOUND RATING OF STC 50 MINIMUM AND IMPACT SOUND RATING OF MINIMUM - PER SECTION 1207.

Revisions:

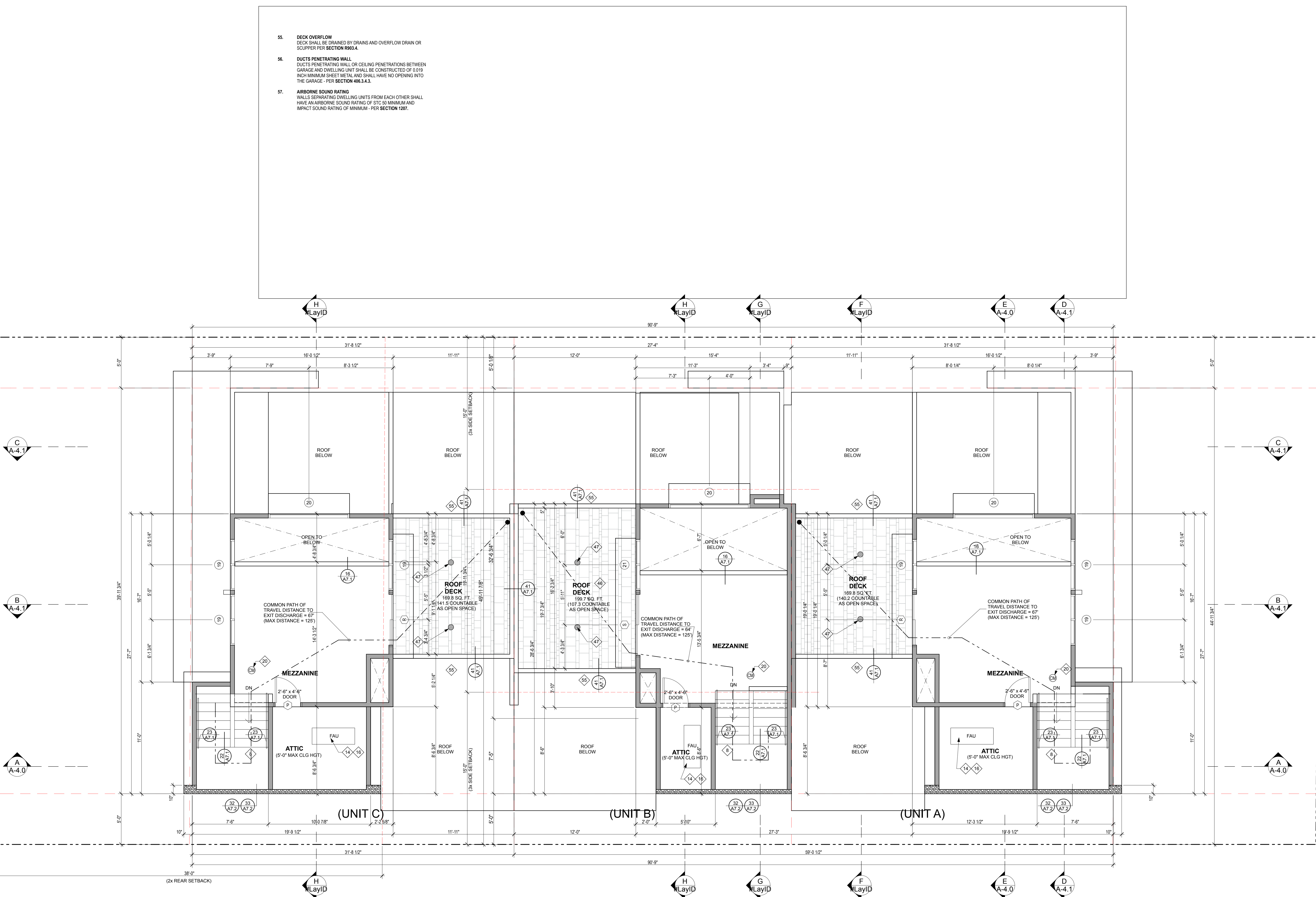
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Mezzanine Plan

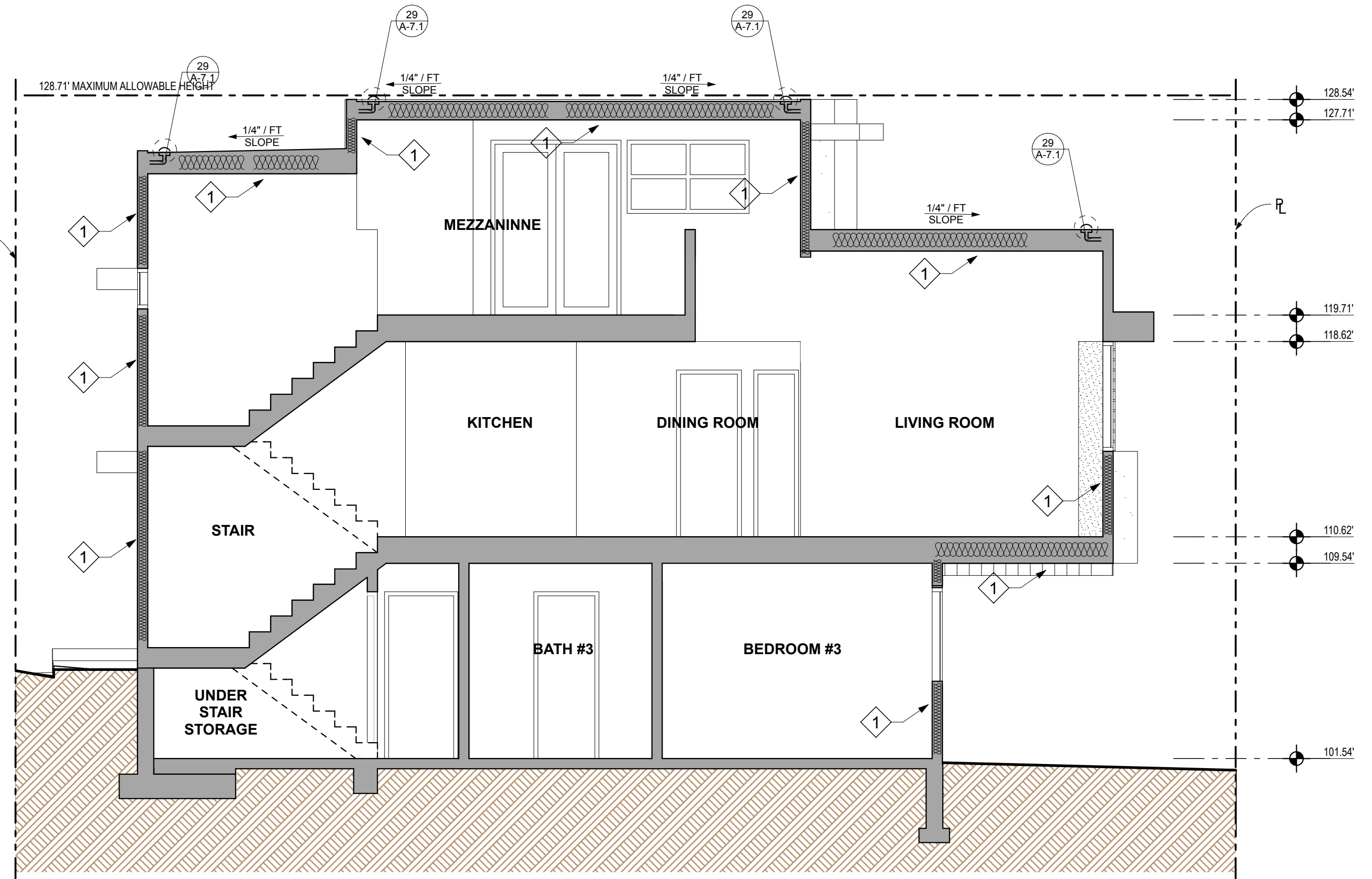
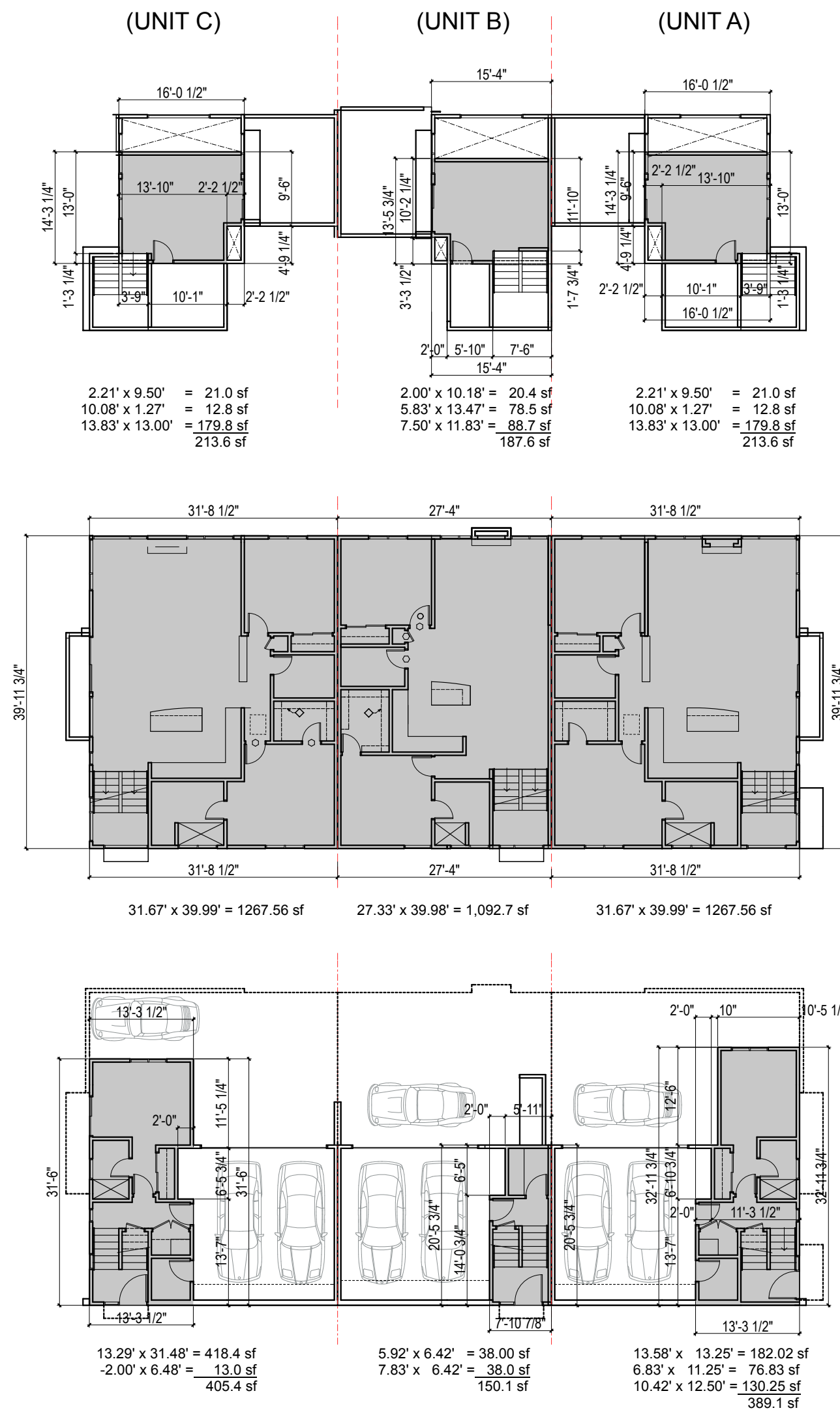
Date: 7/15/19
Name of File: Preliminary

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MEZZANINE FLOOR PLAN
SCALE: 1/4" = 1'-0"

BFA DIAGRAM
SCALE: 1/16"=1'-0"

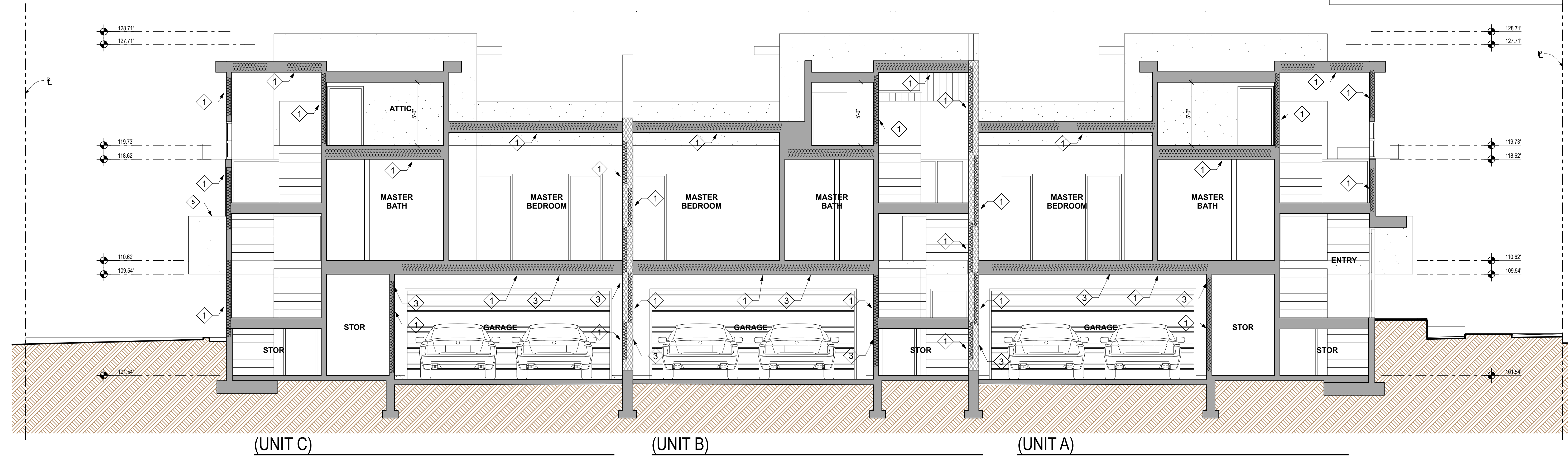


- INSULATION REQUIREMENTS**
FOIL-BACKED BATT INSULATION
INSTALL PER MANUF. SPECS
PROVIDE: ROOF / CEILING R-30 PER CF-1R FORM
EXTERIOR WALL R-13
INTERIOR WALL (WHERE SPECIFIED) R-13
RAISED WD FLOOR R-19 PER CF-1R FORM
FLR @ OVERHANGS R-19 PER CF-1R FORM
SLAB EDGE INSUL. N/A
REFER TO CF-1R FORMS, SEE SHEET T-6
- WATERPROOFING @ FOUNDATION WALL**
MANUF: DMX AG WATER PROOFING SYSTEM
ICCA: ESR 2896
PROVIDE 4" DIA. PERFORATED PIPE DRAIN IN FILTER FABRIC WRAP SET IN GRAVEL BED
OUTLET DRAIN @ STREET THROUGH APPROVED NON-EROSIVE DEVICE, SEE CIVIL DRWGS.
INSTALL PER MANUF. SPECS
USE THIS PRODUCT OR APPROVED EQUAL.
- ONE-HOUR FIRE RESISTIVE WALL**
5/8" TYPE "X" GYP. WALL BOARD
AT ALL WALLS AND CEILING BETWEEN GARAGE AND ALL ADJACENT LIVING SPACES, AND ENCLOSING ALL STRUCTURAL MEMBERS
PER SECT. 302.4, C.B.C.
- HANDRAIL**
TOP OF RAIL @ 34" TO 38" ABOVE TREAD
NOSING ONE RAIL TO EXTEND 6" BEYOND TOP AND BOTTOM RISER, AND SHALL TERMINATE IN A NEWEL POST OR WALL
HANDGRIP CROSS-SECTIONAL AREA OF TOP RAIL: 1 1/2" MIN TO 2" MAX
MIN 1 1/2" CLEAR BETWEEN RAIL AND WALL @ OPEN RAIL, SEE GUARDRAIL NOTE
PER SECT. 1006, C.B.C.
- GUARDRAIL (42" HIGH U.N.O.)**
TOP RAIL SHALL SUPPORT 20 LBS. PER LIN. FT.
PER SECT. 705, C.B.C.
SEE HAND RAIL NOTE FOR TOP RAIL
OPEN RAIL SHALL HAVE INTERMEDIATE RAILS, SO THAT A 4" DIA. SPHERE CANNOT PASS THRU.
PER SECT. 509.1, C.B.C.
- PROPOSED NEW ROOF FINISH**
MANUF: DAVINCI ROOFSCAPES
PRODUCT: SLATE GRAY ECO-BLEND MULTI-WIDTH SLATE
OVER 2-LAYERS 30# FELT
ESR-2119
6 IN 12
CLASS: A
INSTALL PER MANUF. SPECS
USE THIS PRODUCT OR APPROVED EQUAL
PER SECT. 1402, C.B.C.
- CHIMNEY**
TOP OF CHIMNEY MUST EXTEND A MINIMUM OF 2' ABOVE ANY PART OF THE BUILDING
WITHIN 10' CHIMNEY MAY EXCEED THE MAX PERMITTED BUILDING HEIGHT BY NO MORE THAN 5' PROVIDED THE WIDTH AND DEPTH DO NOT EXCEED 3' AND 5' RESPECTIVELY.
- PROPOSED NEW ROOF FINISH**
MANUF: CROSSFIELD PRODUCTS CORP.
PRODUCT: DEX-O-TEX ROOF WATERPROOFING MEMBRANE
ESR 1757
1/4" FT. MIN.
CLASS: A
INSTALL PER MANUF. SPECS
USE THIS PRODUCT OR APPROVED EQUAL
PER SECT. 1402, C.B.C.
- PROPOSED NEW DECK FINISH**
MANUF: CROSSFIELD PRODUCTS CORP.
PRODUCT: TILE OR STONE OVER THINSET MORTAR OVER DEX-O-TEX DECK WATERPROOFING MEMBRANE
ESR 1757
1/4" FT. MIN.
CLASS: A
INSTALL PER MANUF. SPECS
USE THIS PRODUCT OR APPROVED EQUAL
PER SECT. 1402, C.B.C.

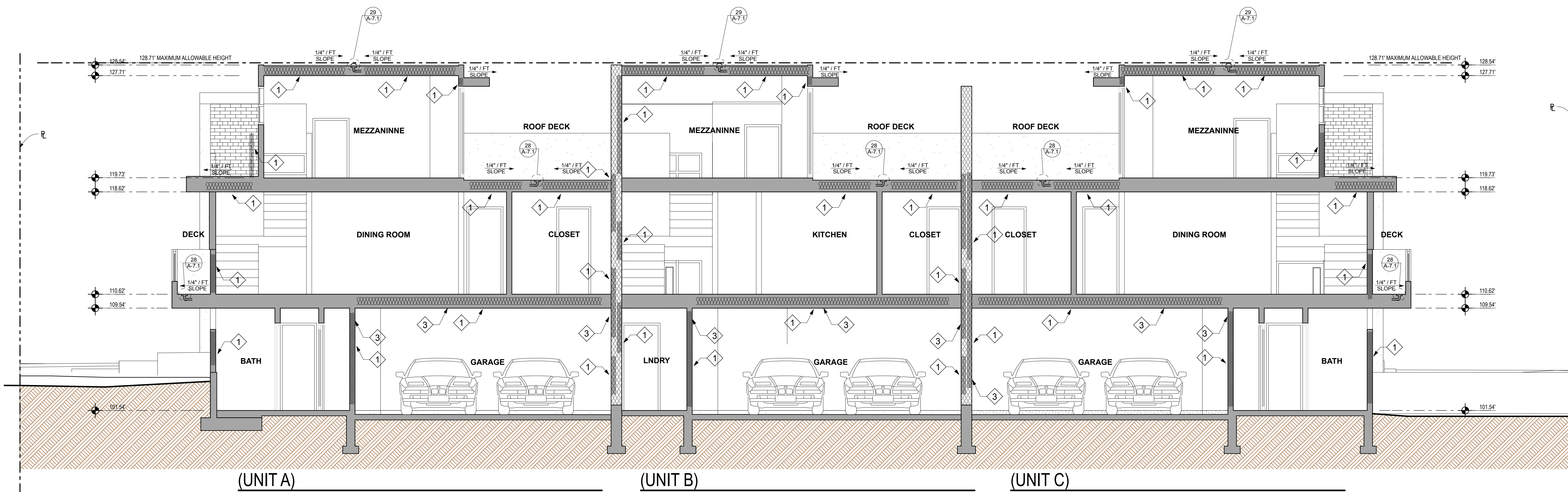
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- Revisions:**
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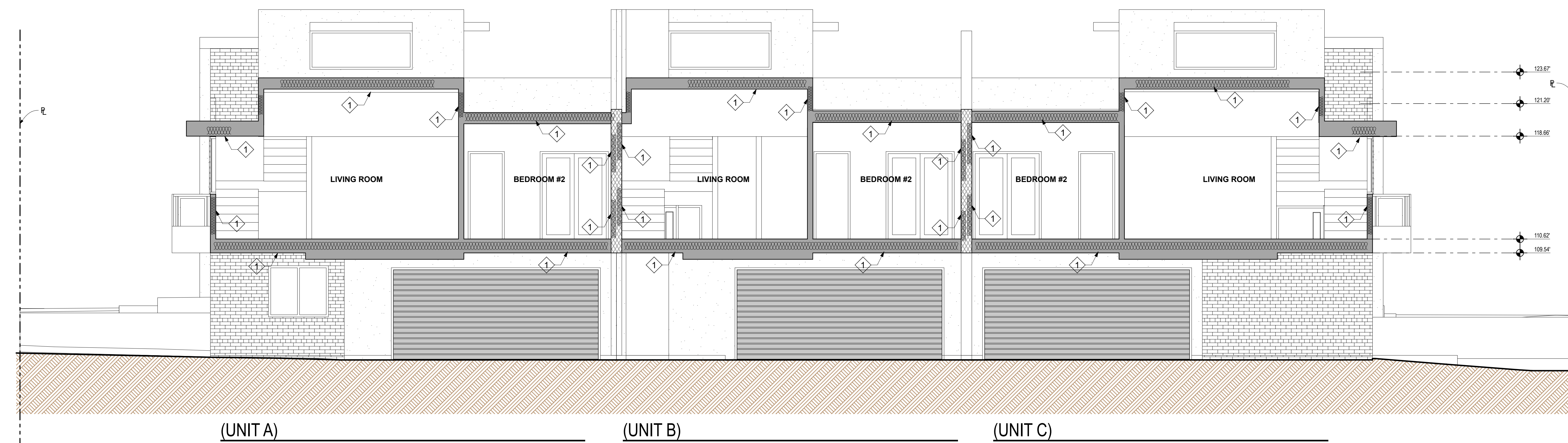


11th Street CONDOMINIUMS
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SECTION B
 SCALE: 1/4"=1'-0"

- Revisions:
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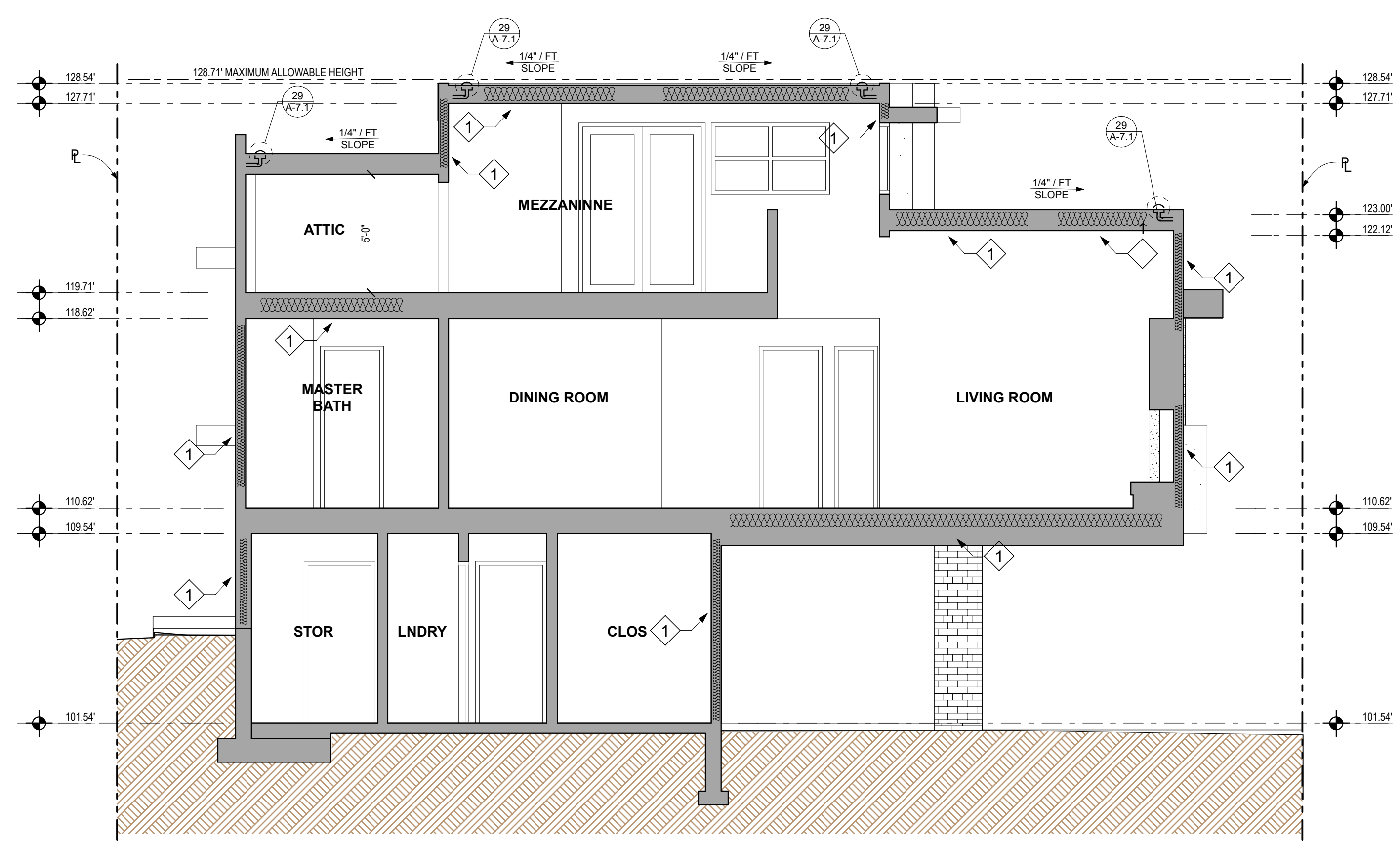


SECTION C
 SCALE: 1/4"=1'-0"

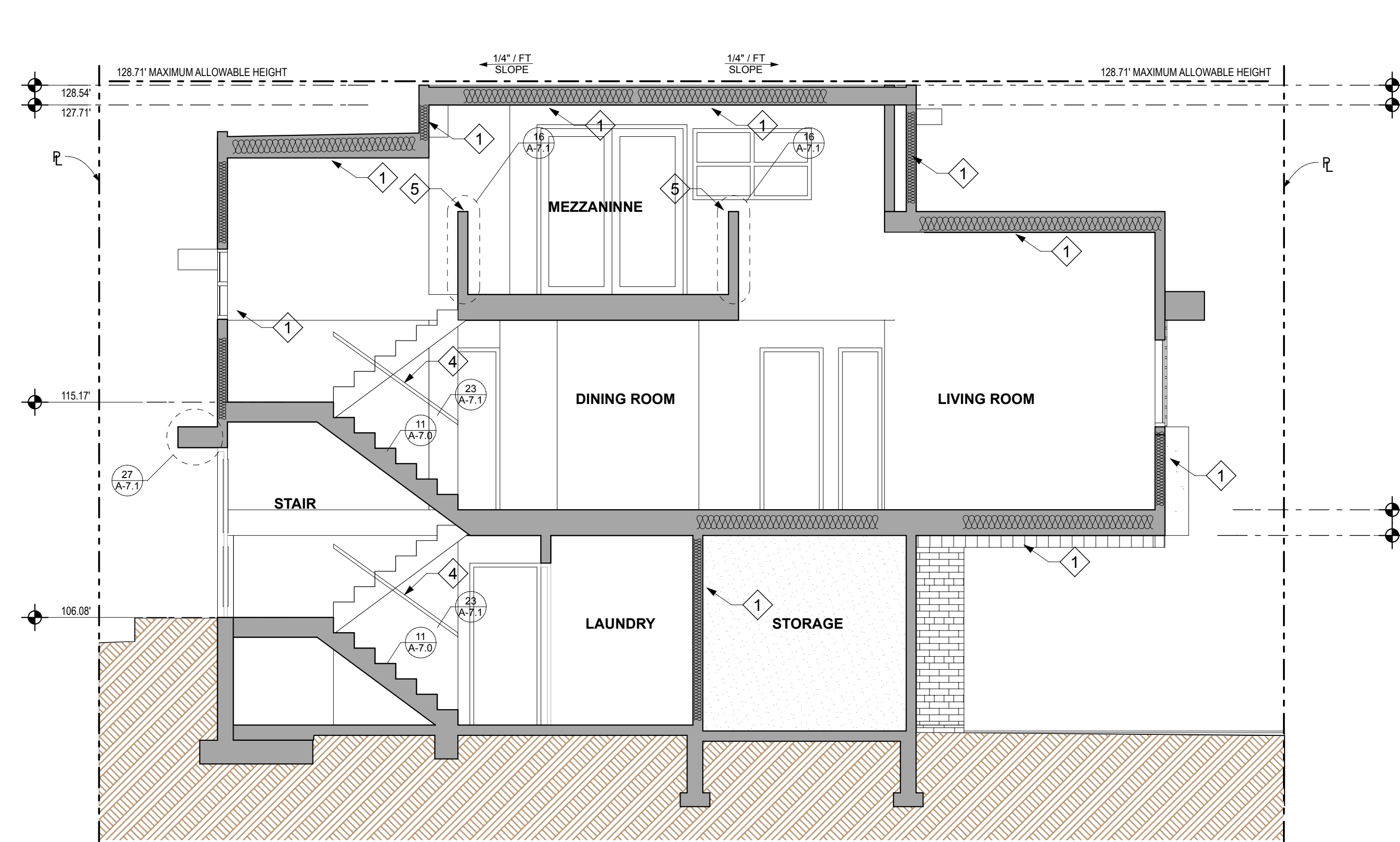
Sections

Date: 7/15/19
 Name of File: Preliminary

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 1843 11th Street, Manhattan Beach, CA, 90266

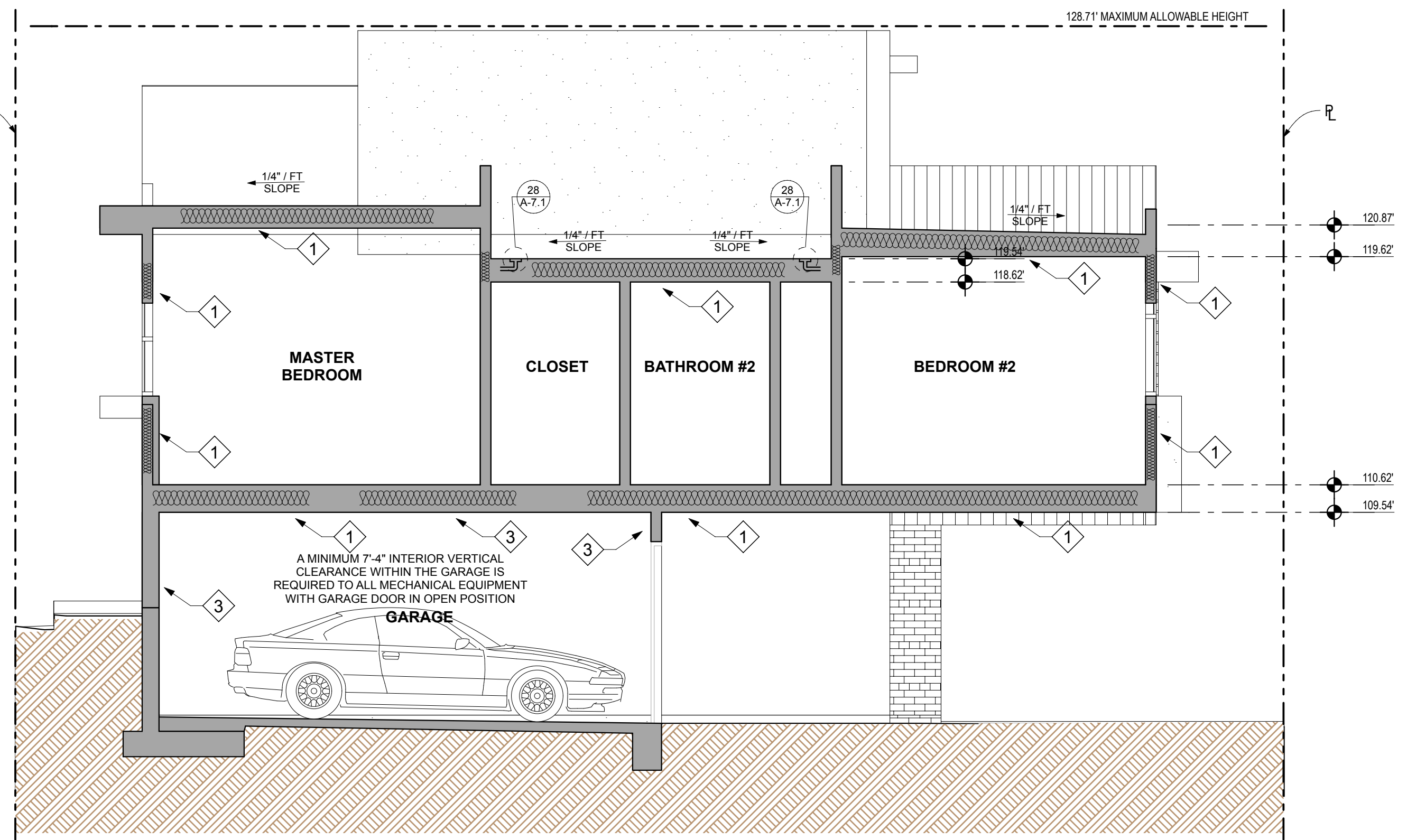


SECTION E (UNIT A)
 SCALE: 1/4"=1'-0"

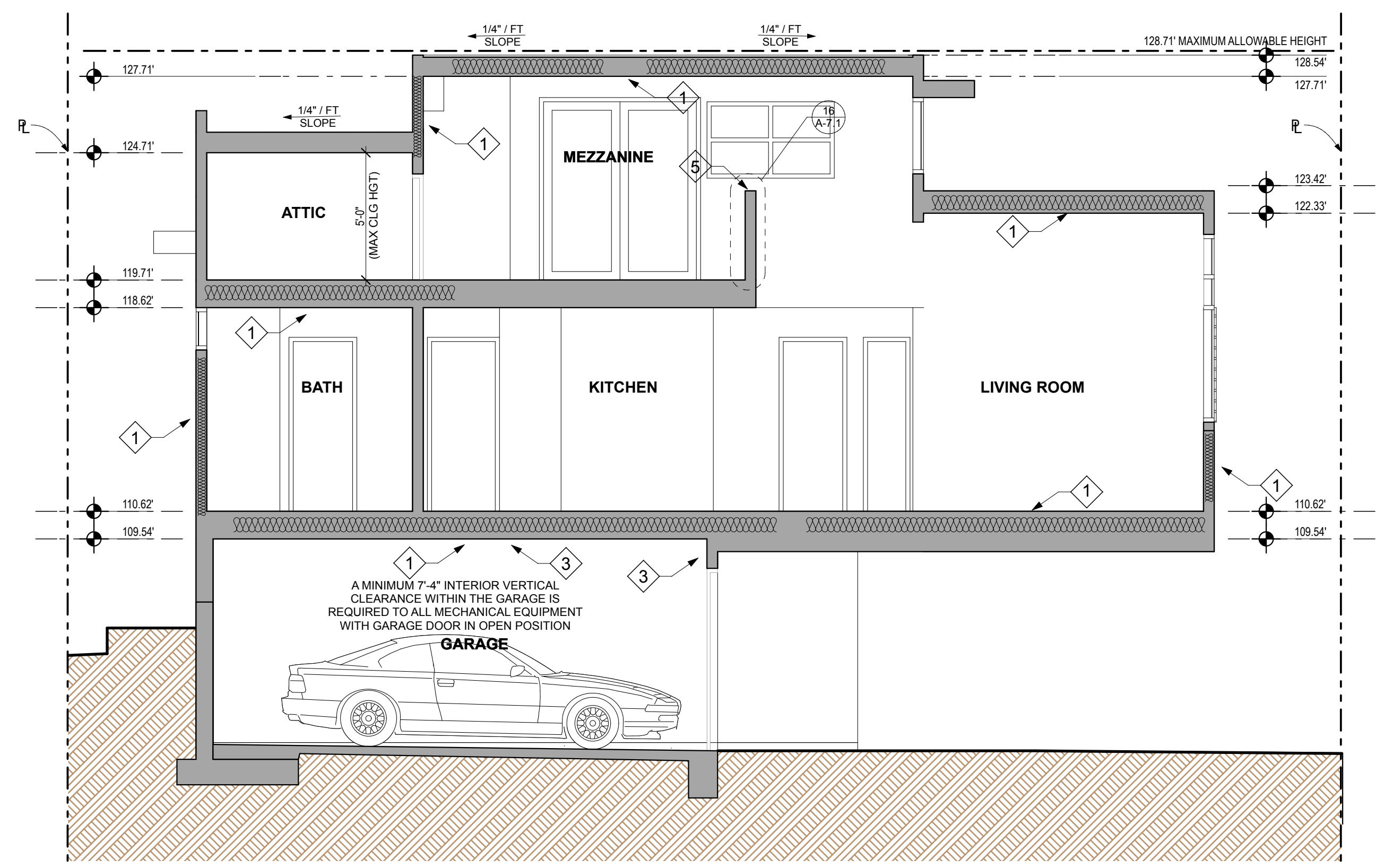


SECTION G (UNIT B)
 SCALE: 1/4"=1'-0"

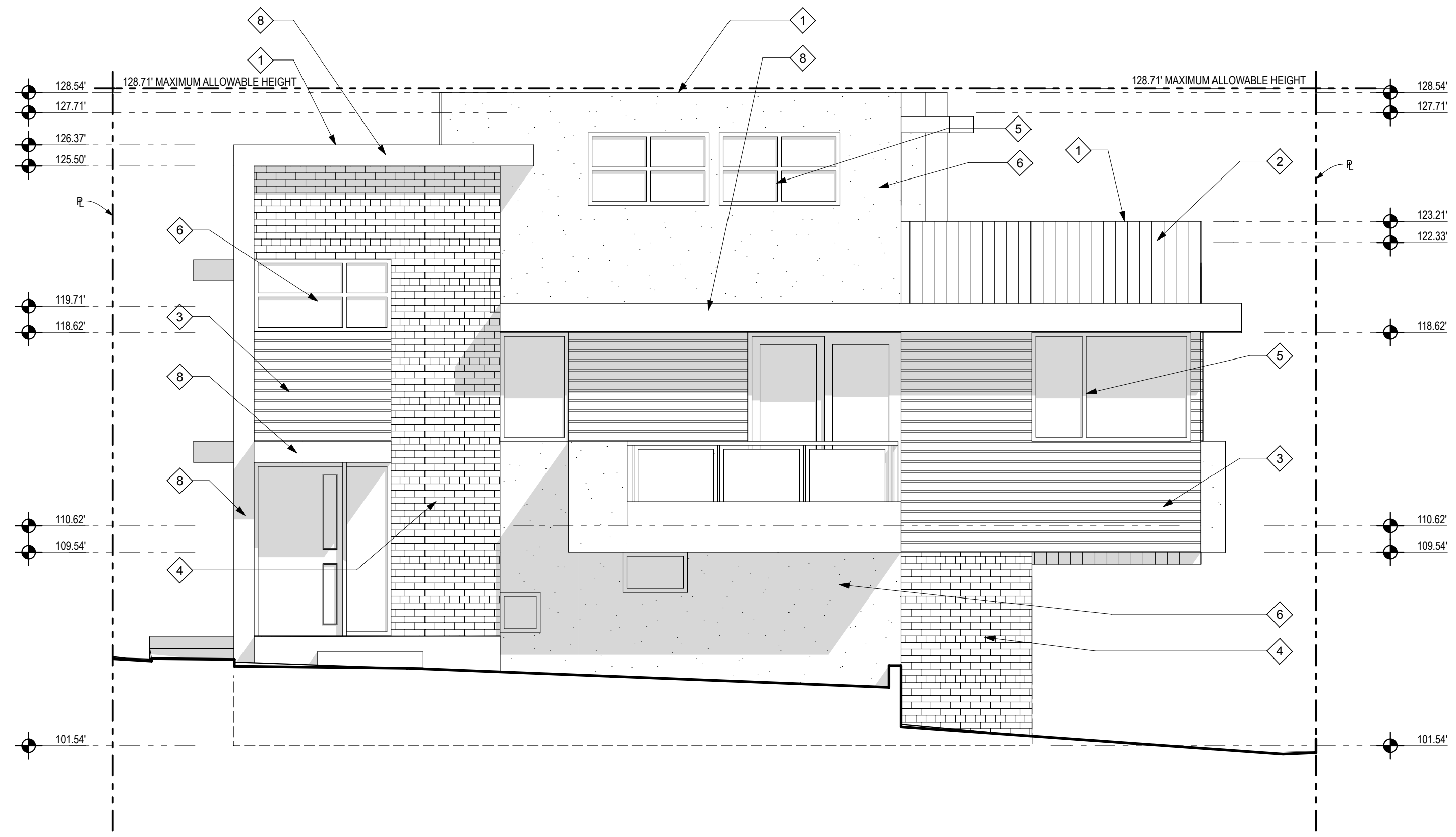
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SECTION F (UNIT A)
 SCALE: 1/4"=1'-0"



SECTION H (UNIT B)
 SCALE: 1/4"=1'-0"



SOUTH (FRONT) ELEVATION

SCALE: 1/4" = 1'-0"

NOTES:
 MAX. PROPERTY LINE WALL HEIGHT 6'-0" ABOVE LOWEST LOCAL GRADE
 (42" MAX. IN FRONT YARD)
 8'-0" MAX HEIGHT ALLOWED WITH APPROVED FENCE HEIGHT AGREEMENT
 PARAPETS, SATELLITE ANTENNAE, RAILS, SKYLIGHTS,
 ROOF EQUIPMENT MUST BE WITHIN THE HEIGHT LIMIT.

ELEVATION NOTES:

1. **PROPOSED NEW ROOF FINISH**
 MANUF: CROSSFIELD PRODUCTS CORP.
 PRODUCT: DEX-O-TEX ROOF WATERPROOFING MEMBRANE
 ICC#: ESR 1757
 SLOPE: 1/4"FT. MIN.
 CLASS: A
 INSTALL PER MANUF SPECS
 USE THIS PRODUCT OR APPROVED EQUAL
 PER SECT. 1402, C.B.C.
2. **BOARD AND BATTEN EXTERIOR SIDING**
 HARD/PANEL BOARD AND BATTEN EXTERIOR SIDING
 OVER TYPAR BUILDING PAPER LAYED SHINGLE FASHION
 SEE DETAIL 23 /A-7.1
3. **HORIZONTAL HARD-PLANK EXTERIOR SIDING**
 HARD-PLANK HORIZONTAL EXTERIOR SIDING
 OVER TYPAR BUILDING PAPER LAYED SHINGLE FASHION
 SEE DETAIL 22 /A-7.1
4. **BRICK VENEER**
 BRICK VENEER IN RUNNING BOND
 OVER BROWN COAT
 SEE DETAIL 21 /A-7.1
5. **BRONZE ANODIZED WINDOW**
 SEE PLAN AND WINDOW SCHEDULE FOR SIZE
 SEE SHEET T-5 FOR CF-1R ENERGY REQUIREMENTS
6. **EXTERIOR STUCCO**
 7/8" THICK EXTERIOR STUCCO
 OVER 2-LAYERS WATERPROOFING PAPER
 FINISH: 2030 SAND
 COLOR: CLOUD GRAY
7. **EXTERIOR STUCCO**
 7/8" THICK EXTERIOR STUCCO
 OVER 2-LAYERS WATERPROOFING PAPER
 FINISH: SMOOTH STEEL TROWEL
 COLOR: BARN SWALLOW
8. **METAL FASCIA**
 BRONZE ANODIZED ALUMINUM FASCIA
 MATCH EXTERIOR WINDOW FRAME FINISH
 USE THIS PRODUCT OR APPROVED EQUAL
 PER SECT. 1402, C.B.C.
9. **CHIMNEY**
 TOP OF CHIMNEY MUST EXTEND A MINIMUM OF 2' ABOVE ANY PART OF THE
 BUILDING WITHIN 10'. CHIMNEY MAY EXCEED THE MAX PERMITTED BUILDING
 HEIGHT BY NO MORE THAN 5' PROVIDED THE WIDTH AND DEPTH DO NOT
 EXCEED 3' AND 5' RESPECTIVELY.
10. **PROPOSED NEW DECK FINISH**
 MANUF: CROSSFIELD PRODUCTS CORP.
 PRODUCT: TILE OR STONE OVER THINSET MORTAR OVER
 DEX-O-TEX DECK WATERPROOFING MEMBRANE
 ICC#: ESR 1757
 SLOPE: 1/4"FT. MIN.
 CLASS: A
 INSTALL PER MANUF SPECS
 USE THIS PRODUCT OR APPROVED EQUAL
 PER SECT. 1402, C.B.C.

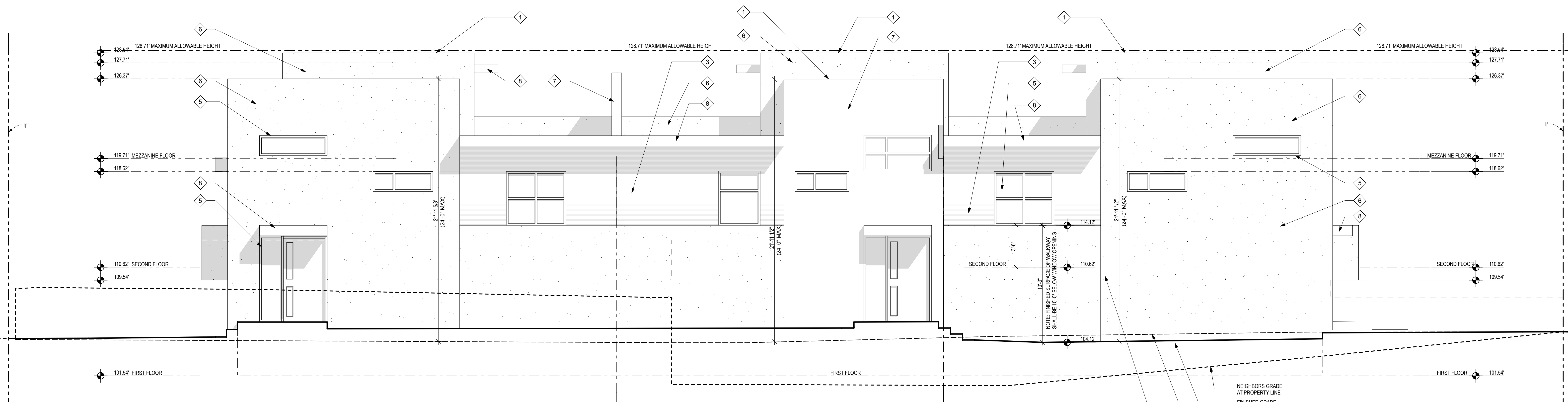
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WEST ELEVATION

SCALE: 1/4" = 1'-0"

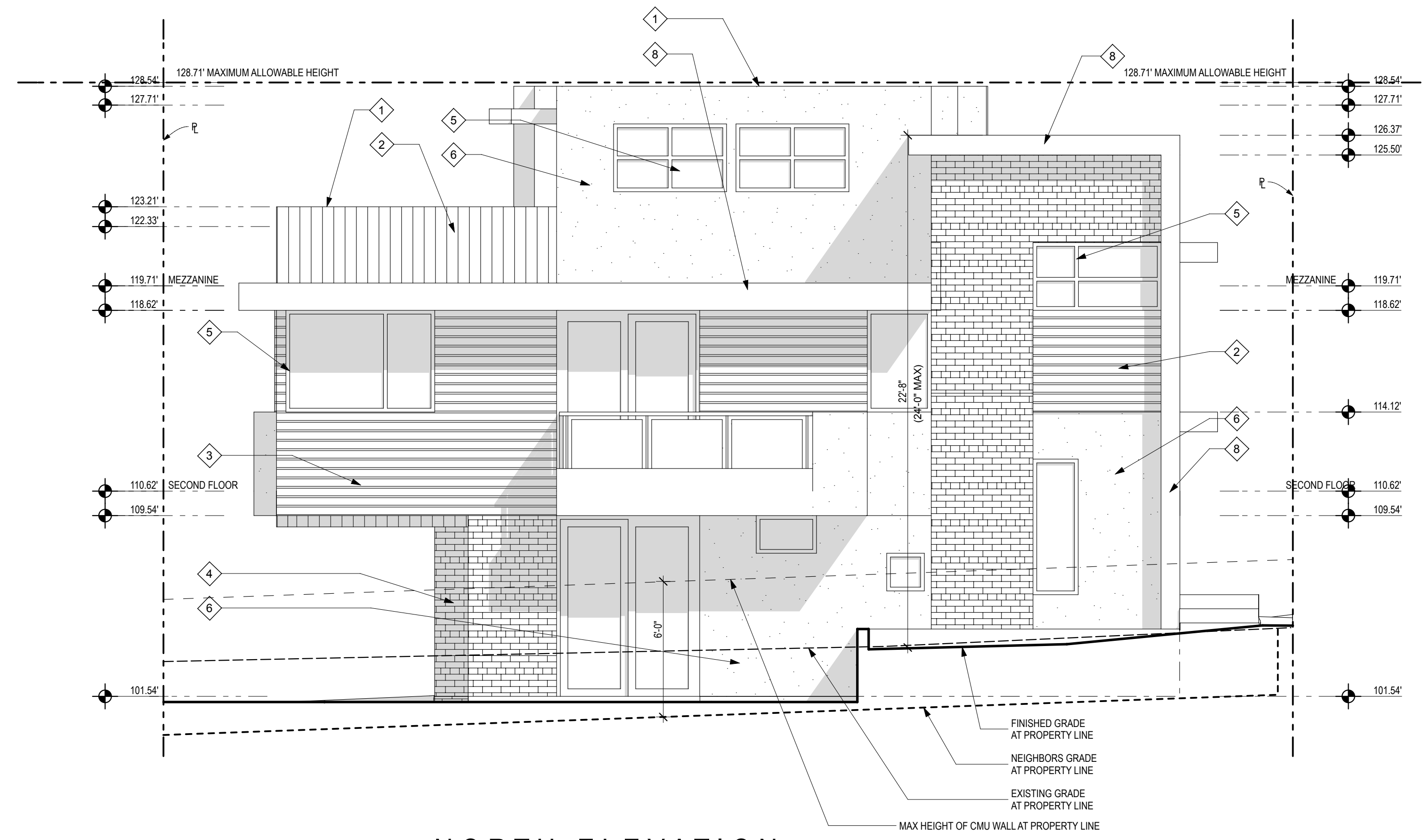
NEIGHBORS GRADE AT PROPERTY LINE
 FINISHED GRADE AT PROPERTY LINE
 EXISTING GRADE AT PROPERTY LINE
 TOP OF EXISTING CMU WALL AT PROPERTY LINE ON NEIGHBOR'S PROPERTY

Exterior Elevations

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A-6.0

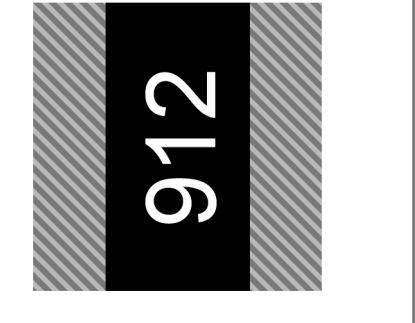


NORTH ELEVATION

SCALE: 1/4"=1'-0"

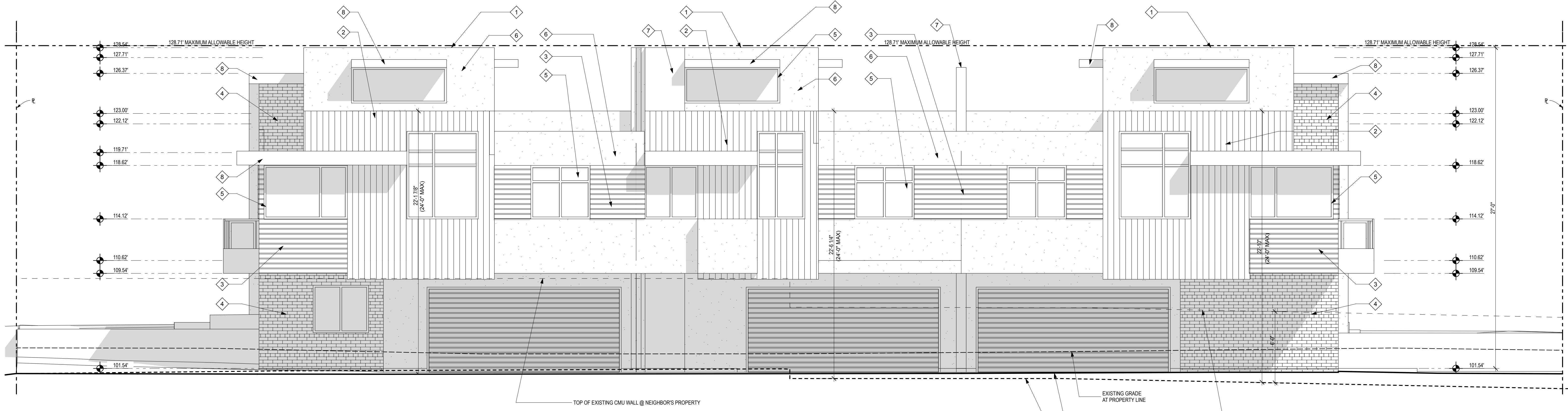
NOTES:
 MAX. PROPERTY LINE WALL HEIGHT 6'-0" ABOVE LOWEST LOCAL GRADE
 (42' MAX IN FRONT YARD)
 8'-0" MAX HEIGHT ALLOWED WITH APPROVED FENCE HEIGHT AGREEMENT
 PARAPETS, SATELLITE ANTENNAE, RAILS, SKYLIGHTS,
 ROOF EQUIPMENT MUST BE WITHIN THE HEIGHT LIMIT.

- ELEVATION NOTES:**
- PROPOSED NEW ROOF FINISH**
 MANUF: CROSSFIELD PRODUCTS CORP
 PRODUCT: DEX-O-TEX ROOF WATERPROOFING MEMBRANE
 ICC#: ESR 1757
 SLOPE: 14"/FT. MIN.
 CLASS: A
 INSTALL PER MANUF SPECS
 USE THIS PRODUCT OR APPROVED EQUAL
 PER SECT. 1402, C.B.C.
 - BOARD AND BATTEN EXTERIOR SIDING**
 HARD-PANEL BOARD AND BATTEN EXTERIOR SIDING
 OVER TYPAR BUILDING PAPER LAYED SHINGLE FASHION
 SEE DETAIL 23 / A-7.1
 - HORIZONTAL HARD-PLANK EXTERIOR SIDING**
 HARD-PLANK HORIZONTAL EXTERIOR SIDING
 OVER TYPAR BUILDING PAPER LAYED SHINGLE FASHION
 SEE DETAIL 22 / A-7.1
 - BRICK VENEER**
 BRICK VENEER IN RUNNING BOND
 OVER BROWN COAT
 SEE DETAIL 21 / A-7.1
 - BRONZE ANODIZED WINDOW**
 SEE PLAN AND WINDOW SCHEDULE FOR SIZE
 SEE SHEET T-5 FOR CF-1R ENERGY REQUIREMENTS
 - EXTERIOR STUCCO**
 7/8" THICK EXTERIOR STUCCO
 OVER 2-LAYERS WATERPROOFING PAPER
 FINISH: 20/30 SAND
 COLOR: CLOUD GRAY
 - EXTERIOR STUCCO**
 7/8" THICK EXTERIOR STUCCO
 OVER 2-LAYERS WATERPROOFING PAPER
 FINISH: SMOOTH STEEL TROWEL
 COLOR: BARN SWALLOW
 - METAL FASCIA**
 BRONZE ANODIZED ALUMINUM FASCIA
 MATCH EXTERIOR WINDOW FRAME FINISH
 USE THIS PRODUCT OR APPROVED EQUAL
 PER SECT. 1402, C.B.C.
 - CHIMNEY**
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 BUILDING WITHIN 10'. CHIMNEY MAY EXCEED THE MAX PERMITTED BUILDING
 HEIGHT BY NO MORE THAN 5' PROVIDED THE WIDTH AND DEPTH DO NOT
 EXCEED 3' AND 5' RESPECTIVELY.
 - PROPOSED NEW DECK FINISH**
 MANUF: CROSSFIELD PRODUCTS CORP
 PRODUCT: TILE OR STONE OVER THINSET MORTAR OVER
 DEX-O-TEX DECK WATERPROOFING MEMBRANE
 ICC#: ESR 1757
 SLOPE: 14"/FT. MIN.
 CLASS: A
 INSTALL PER MANUF SPECS
 USE THIS PRODUCT OR APPROVED EQUAL
 PER SECT. 1402, C.B.C.



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EAST ELEVATION

SCALE: 1/4"=1'-0"

11th Street CONDOMINIUMS
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Exterior Elevations

Name of File: Preliminary

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