CITY OF MANHATTAN BEACH DEPARTMENT OF COMMUNITY DEVELOPMENT MEMORANDUM

TO:	Planning Commission
FROM:	Anne McIntosh, Director of Community Development
THROUGH:	Laurie B Jester, Planning Manager
BY:	Ted Faturos, Assistant Planner
DATE:	June 12, 2019
SUBJECT:	Proposed Use Permit for a New Restaurant with On-Site Beer and Wine Service and Beer and Wine Sales for Off-Site Consumption at 924 N. Sepulveda Boulevard (The Source Cafe/Caudle)

RECOMMENDATION

Staff recommends that the Planning Commission **CONDUCT** the Public Hearing and **ADOPT** the attached Resolution approving the Use Permit subject to certain conditions.

APPLICANT/OWNER

The Source Cafe/Amber Caudle 924 N Sepulveda Boulevard Manhattan Beach, CA 90266

BACKGROUND

On March 6, 2019, the Community Development Department received an application requesting a Use Permit to establish an Eating and Drinking Establishment use at an existing vacant tenant space which was formerly operated as a banquet room for a neighboring restaurant, located at 924 N. Sepulveda Boulevard. The applicant's proposed restaurant would be located in between two other restaurant uses on the property, India's Tandoori (916 N. Sepulveda Boulevard) and Big Wok (under construction- 926 N. Sepulveda Boulevard). The applicant is proposing a restaurant use with on-site beer and wine consumption and beer and wines sales for off-site consumption. The retail sales of beer and wine for off-site consumption is not the main focus of the applicant's business. No live entertainment is proposed, and the proposed hours of operation are 7am - 10pm Sunday through Thursday, and 7am - 11pm Friday and Saturday. The subject property is located in the "CG" (General Commercial) zoning district in Area District I.

PROJECT OVERVIEW

LOCATION

Location:	924 N Sepulveda Boulevard (See Vicinity Map- Attachment C)			
Legal Description	Lots 8, 9, 10, 11, & 12, Block 10, Tract No. 142			
	LAND USE			
General Plan: Zoning: Area District: Land Use: Neighboring Zoning and	General Commercial CG, General Commercial I <u>Existing</u> 1,277 sq. ft. Vacant (Banquet)	<u>Proposed</u> 1.277 sq. ft. Restaurant		
Land Uses: North (across 10 th St) South East West (across Sepulveda Blvd)	CG: General Commercial (Medical Office) CG: General Commercial (The Wave Hotel) RM: Residential Medium Density (Condominiums) CG: General Commercial (Barsha/El Gringo/Montage/ Baskin Robins) PROJECT DETAILS			
Alcohol Service Live Entertainment: Hours of Operation:	Existing (BZA 85-14) Full Alcohol None Close at 12am, Sun – Thu Close at 1am, Fri – Sat	<u>Proposed</u> On-Site Beer & Wine Off-Site Beer & Wine Sales None 7am – 10pm, Sun – Thu 7am – 11pm, Fri – Sat		
Parking	<u>Minimum</u> 70 spaces	Provided 79 spaces		

DISCUSSION

The applicant (The Source Cafe) is requesting a Use Permit to establish a new restaurant with onsite beer and wine consumption and sales of beer and wine for off-site consumption. The existing tenant space is vacant and was used in the past as a banquet facility as part of a larger restaurant space that was occupied by Szechuan Chinese restaurant for many years, followed by various restaurant tenants (American Farmhouse, Cantina Real, The Bridge, etc). This large restaurant space was governed by Resolution No. BZA 85-14, which allowed for full alcohol service and closing hours of 12am, Sunday through Thursday and 1am, Friday and Saturday. The landlord, Stuart Sackley, divided this large restaurant space into two spaces, a 3,630 square foot restaurant currently undergoing a tenant improvement (Big Wok), and a 1,277 square foot area that the applicant has requested be turned into a separate restaurant with its own Use Permit. Big Wok will operate under Resolution No. BZA 85-14, and India's Tandoor will continue to operate under its separate resolution (Planning Commission Resolution No. PC 00-38) that also alcohols for beer and wine service.

The applicant operates an existing Source Café in Hermosa Beach that serves juices, coffee, baked goods, and healthy meals. The applicant has programmed the proposed restaurant space with about 295 square feet of seating area, which includes a small bar area, as part of the 1,277 square foot tenant space. The applicant is proposing hours of operations between 7am and 10pm, Sunday through Thursday; and 7am - 11pm, Friday and Saturday. The applicant is also requesting the ability to serve beer and wine, and to also have the ability to sell beer and wine for off-site consumption, as a specialty item since their focus is on organic and sustainable beer and wine. The retail sales of beer and wine for off-site consumption is not the focus of the applicant's business. There is no live entertainment proposed. The cumulative required parking of all three restaurants is 70 parking spaces, and the current site has 79 existing parking spaces. The existing building is largely aligned with the goals of the Sepulveda Boulevard Design Guidelines, including building orientation, parking standards, and visual aesthetics.

The Eating and Drinking Establishment use, as well as any alcohol-related use, requires a Use Permit. The Draft Resolution (Attachment A) implements the latest conditions the City places on eating and drinking establishments.

OTHER DEPARTMENT COMMENTS

The Police Department has reviewed the applicant's request and has no objections to the applicant's proposed use or operating characteristics.

REQUIRED FINDINGS

Section 10.84.010 of the Manhattan Beach Municipal Code states that "Use Permits are required for use classifications typically having unusual site development features or operating characteristics requiring special consideration so that they may be designed, located, and operated compatibly with uses on adjoining properties and in the surrounding area."

The following findings must be met in order to grant the Use Permit Amendment.

1. The proposed location of the use is in accord with the objectives of this title and the purposes of the district in which the site is located;

2. The proposed location of the use and the proposed conditions under which it would be operated or maintained will be consistent with the General Plan; will not be detrimental to the public health, safety or welfare of persons residing or working on the proposed project site or in or adjacent to the neighborhood of such use; and will not be detrimental to properties or improvements in the vicinity or to the general welfare of the city;

3. The proposed use will comply with the provisions of this title, including any specific condition required for the proposed use in the district in which it would be located; and

4. The proposed use will not adversely impact nor be adversely impacted by nearby properties. Potential impacts are related but not necessarily limited to: traffic, parking, noise, vibration, odors, resident security and personal safety, and aesthetics, or create demands exceeding the capacity of public services and facilities which cannot be mitigated.

Staff suggests the following findings in support of the Use Permit Amendment for the project:

- 1. The Source Cafe will be an Eating and Drinking establishment (restaurant) use located in the CG General Commercial zone.
- 2. The Source Cafe will be a commercial use consistent with the General Plan's General Commercial land use designation assigned to the project lot and the neighboring lots. The proposed use is consistent and complimentary with neighboring uses, as the neighboring lots have also been developed with commercial uses, many of which are eating and drinking establishments that serve food and alcohol. The General Plan encourages uses along Sepulveda Boulevard that "meet the needs of local residents and businesses", and The Source Cafe can be part of the commercial mix of businesses that helps create a dynamic commercial corridor along Sepulveda Boulevard.
- 3. The Source Cafe will be an Eating and Drinking Establishment use that complies with all provisions of the Municipal Code's Title 10 Planning and Zoning.
- 4. The proposed tenant, The Source Cafe, will be an eating and drinking establishment located on the busy Sepulveda Boulevard commercial corridor, with some of the surrounded businesses having similar operating characteristics. Significant buffers exist between The Source Cafe and neighboring residences, with Sepulveda Boulevard, 10th Street, a large rear parking lot, and other businesses providing sound barriers that help minimize any impacts associated with the use.

General Plan

The General Plan encourages Downtown businesses that offer "services and activities to our residents and visitors". The project is specifically consistent with General Plan Policies as follows:

LU-6: Maintain the viability of the commercial areas of Manhattan Beach.

LU-8: Maintain Sepulveda Boulevard, Rosecrans Avenue, and commercial areas of Manhattan Village as regional-serving commercial districts.

PUBLIC COMMENT

A public notice for tonight's hearing was published in the Beach Reporter on May 30, 2019 and mailed to all property owners within a 500' radius. As of the writing of this report, staff has not received any public comments.

ENVIRONMENTAL DETERMINATION

The Project is Categorically Exempt from the requirements of the California Environmental

Quality Act (CEQA), pursuant to Existing Facilities Section 15301 based on Staff's determination that there is no expansion of use associated with the Project.

CONCLUSION

Staff recommends that the Planning Commission conduct the public hearing, discuss the applicant's request, and approve the attached draft Resolution approving the Use Permit subject to certain conditions.

Attachments:

- A. Draft Resolution No. PC 19-
- B. Applicant's Written Documents
- C. Vicinity Map
- D. The Source Café's Plans

THIS PAGE

INTENTIONALLY

LEFT BLANK

Page 6 of 24 PC MTG 06-12-19

ATTACHMENT A

RESOLUTION NO. PC 19-

RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF MANHATTAN BEACH APPROVING A USE PERMIT FOR A NEW EATING AND DRINKING ESTABLISHMENT WITH ON-SITE BEER AND WINE SERVICE AND OFF-SITE BEER AND WINE SALES AT 924 N. SEPULVEDA BOULEVARD (THE SOURCE CAFE/CAUDLE)

THE PLANNING COMMISSION OF THE CITY OF MANHATTAN BEACH DOES HEREBY RESOLVE AS FOLLOWS:

SECTION 1. The Planning Commission of the City of Manhattan Beach hereby makes the following findings:

- A. The Planning Commission of the City of Manhattan Beach conducted a public hearing on June 12, 2019, received testimony, and considered an application for a Use Permit to allow a new eating and drinking establishment with on-site beer and wine consumption and beer and wine sales for off-site consumption at 924 N. Sepulveda Boulevard.
- B. The subject property is legally described as Lots 8, 9, 10, 11, and 12, Block 10, Tract No. 142 in the City of Manhattan Beach, County of Los Angeles.
- C. The applicant for the subject project is The Source Cafe, the owner of the business (hereafter referred to as "the owner").
- D. The Project is Categorically Exempt from the requirements of the California Environmental Quality Act (CEQA), pursuant to Existing Facilities Section 15301 based on Staff's determination that there is no expansion of use associated with the Project.
- E. The project will not individually nor cumulatively have an adverse effect on wildlife resources, as defined in Section 711.2 of the Fish and Game Code.
- F. The existing tenant space was used as a banquet facility as part of a larger restaurant space formerly occupied by various restaurants. The site also has two existing eating and drinking establishments (Big Wok and India's Tandoori).
- G. The subject property is located in Area District I and is zoned CG, General Commercial. The surrounding properties are zoned CG to the North (across 10th Street), CG to the South, RM Residential Medium Density to the East, and CG to the West (across Sepulveda Boulevard).
- H. The use is permitted in the CG zone subject to a Use Permit and is in compliance with the City's General Plan designation of General Commercial.
- I. The General Plan designation for the property is General Commercial. The General Plan encourages businesses along Sepulveda Boulevard that "offer "services and activities to our residents and visitors". The project is specifically consistent with General Plan Policies as follows:

LU-6: Maintain the viability of the commercial areas of Manhattan Beach.

LU-8: Maintain Sepulveda Boulevard, Rosecrans Avenue, and commercial areas of Manhattan Village as regional-serving commercial districts.

- J. The Planning Commission makes the following findings required to approve the Use Permit pursuant to MBMC Section 10.84.060:
 - 1. The proposed location of the use is in accord with the objectives of this title and the purposes of the district in which the site is located.

The Source Cafe will be an Eating and Drinking establishment (restaurant) use located in the CG General Commercial zone.

2. The proposed location of the use and the proposed conditions under which it would be operated or maintained will be consistent with the General Plan; will not be detrimental to the public health, safety or welfare of persons residing or working on the proposed project site or in or adjacent to the neighborhood of such use; and will not be detrimental to properties or improvements in the vicinity or to the general

welfare of the city.

The Source Cafe will be a commercial use consistent with the General Plan's General Commercial land use designation assigned to the project lot and the neighboring lots. The proposed use is consistent and complimentary with neighboring uses, as the neighboring lots have also been developed with commercial uses, many of which are eating and drinking establishments that serve food and alcohol. The General Plan encourages uses along Sepulveda Boulevard that "meet the needs of local residents and businesses", and The Source Cafe can be part of the commercial mix of businesses that helps create a dynamic commercial corridor along Sepulveda Boulevard.

3. The proposed use will comply with the provisions of this title, including any specific condition required for the proposed use in the district in which it would be located.

The Source Cafe will be an Eating and Drinking Establishment use that complies with all provisions of the Municipal Code's Title 10 Planning and Zoning.

4. The proposed use will not adversely impact or be adversely impacted by nearby properties. Potential impacts are related but not necessarily limited to: traffic, parking noise, vibration, odors, resident security and personal safety, and aesthetics, or create demands exceeding the capacity of public services and facilities which cannot be mitigated.

The proposed tenant, The Source Cafe, will be an eating and drinking establishment located on the busy Sepulveda Boulevard commercial corridor, with some of the surrounded businesses having similar operating characteristics. Significant buffers exist between The Source Cafe and neighboring residences, with Sepulveda Boulevard, 10th Street, a large rear parking lot, and other businesses providing sound barriers that help minimize any impacts associated with the use.

- K. The project shall comply with all applicable provisions of the Manhattan Beach Municipal Code.
- L. This Resolution, upon its effectiveness, constitutes the Use Permit for the subject project.

<u>SECTION 2.</u> The Planning Commission of the City of Manhattan Beach hereby **APPROVES** the Use Permit subject to the following conditions:

- 1. The project shall be in substantial conformance with the plans and project description submitted to, and approved by the Planning Commission on June 12, 2019 as amended and conditioned. Any substantial deviation from the approved plans and project description, as conditioned, shall require review by the Community Development Director to determine if approval from the Planning Commission is required.
- 2. Any questions of intent or interpretation of any condition will be reviewed by the Community Development Director to determine if Planning Commission review and action is required.

Operation

- 3. The management of the property shall police the property and all areas adjacent to the business during the hours of operation to keep it free of litter and food debris.
- 4. The operators of the business shall provide adequate management and supervisory techniques to prevent loitering and other security concerns outside the subject business.
- 5. All rooftop mechanical equipment shall be screened from the public right-of-way.
- 6. All mats shall be cleaned on the premises with no outside cleaning of mats permitted. If any floor mats cannot be cleaned within the premises, a service company must be contracted.
- 7. Hours of operation for the establishment shall be permitted as follows:

Sunday – Thursday	7:00am – 10:00pm
Friday – Sunday	7:00am – 11:00pm

- 8. The owner shall be in substantial compliance with all restrictions imposed by the Alcohol Beverage Control Board (ABC) for the Type 41 "On Sale Beer & Wine- Eating Place" license and Type 20 "Off Sale Beer & Wine" license.
- 9. The owner shall be permitted to serve beer and wine for on-site consumption and sell beer and wine for off-site consumption in accordance with the Alcohol Beverage Control Board (ABC) licenses.
- 10. Alcohol service shall be conducted only in conjunction with food service during all hours of operation.
- 11. Food service shall be available at all seats, and no specific bar area serving exclusively alcohol shall be permitted.
- 12. At all times the business shall identify itself as a "restaurant" and will not identify itself as a "bar" in public advertisements.
- 13. Live entertainment is prohibited.
- 14. Noise emanating from the property shall be within the limitations prescribed by the City Noise Ordinance and shall not create a nuisance to nearby property owners. Noise shall not be audible beyond the premises.
- 15. The restaurant management shall control the volume of any background music.
- 16. At any time in the future, the Planning Commission or City Council may review the Use Permit for the purpose of revocation or modification in accordance with the requirements of the MBMC Chapter 10.104. Modification may consist of conditions deemed reasonable to mitigate or alleviate impacts to adjacent land uses.
- 17. The Community Development Department staff shall be allowed to inspect the site at any time.

Refuse

- 18. The management shall arrange for special on-site pickup as often as necessary to ensure that the refuse area has adequate space to accommodate the needs of the subject business.
- 19. No refuse generated at the subject site shall be located in the non-alley Public Right-of-Way for storage or pickup, including the disposal of refuse in any refuse container established for public use.

Signage

- 20. All new signs and alterations to existing signs shall receive permits, and shall be in compliance with the City's sign code.
- 21. A-frame or other sidewalk signs in the public right-of-way shall be prohibited.
- 22. No temporary banner or other signs shall be placed on the site without City permit and approval.

Procedural

- 23. The owner shall be required to obtain a City of Manhattan Beach right-of-way encroachment permit for any projections into the public right-of-way.
- 24. This Resolution shall become effective when all time limits for appeal as set forth in MBMC Section 10.100.030 have expired
- 25. This Use Permit shall lapse two years after its date of approval, unless implemented or extended pursuant to 10.84.090 of the Municipal Code.
- 26. Pursuant to Public Resources Code section 21089(b) and Fish and Game Code section 711.4(c), the project is not operative, vested or final until the required filing fees are paid.
- 27. The Planning Commission's decision is based upon each of the totally independent and separate grounds stated herein, each of which stands alone as a sufficient basis for its decision.

- 28. The Secretary of the Planning Commission shall certify to the adoption of this Resolution and shall forward a copy of this Resolution to the owner. The Secretary shall make this resolution readily available for public inspection.
- 29. Terms and Conditions are Perpetual; Recordation of Covenant. The provisions, terms and conditions set forth herein are perpetual, and are binding on the owner, its successors-in-interest, and, where applicable, all tenants and lessees of the site. Further, the owner shall submit the covenant, prepared and approved by the City, indicating its consent to the conditions of approval of this Resolution, and the City shall record the covenant with the Office of the County Clerk/Recorder of Los Angeles. Owner shall deliver the executed covenant, and all required recording and related fees, to the Department of Community Development within 30 days of the adoption of this Resolution. Notwithstanding the foregoing, the Director may, upon a request by owner, grant an extension to the 30-day time limit. The project approval shall not become effective until recordation of the covenant.
- 30. Indemnity, Duty to Defend and Obligation to Pay Judgments and Defense Costs, Including Attorneys' Fees, Incurred by the City. The owner shall defend, indemnify, and hold harmless the City, its elected officials, officers, employees, volunteers, agents, and those City agents serving as independent contractors in the role of City officials (collectively "Indemnitees") from and against any claims, damages, actions, causes of actions, lawsuits, suits, proceedings, losses, judgments, costs, and expenses (including, without limitation, attorneys' fees or court costs) in any manner arising out of or incident to this approval, related entitlements, or the City's environmental review thereof. The owner shall pay and satisfy any judgment, award or decree that may be rendered against City or the other Indemnitees in any such suit, action, or other legal proceeding. The City shall promptly notify the owner of any claim, action, or proceeding and the City shall reasonably cooperate in the defense. If the City fails to promptly notify the owner of any claim, action, or proceeding, or if the City fails to reasonably cooperate in the defense, the owner shall not thereafter be responsible to defend, indemnify, or hold harmless the City or the Indemnitees. The City shall have the right to select counsel of its choice. The owner shall reimburse the City, and the other Indemnitees, for any and all legal expenses and costs incurred by each of them in connection therewith or in enforcing the indemnity herein provided. Nothing in this Section shall be construed to require the owner to indemnify Indemnitees for any Claim arising from the sole negligence or willful misconduct of the Indemnitees. In the event such a legal action is filed challenging the City's determinations herein or the issuance of the approval, the City shall estimate its expenses for the litigation. The owner shall deposit said amount with the City or enter into an agreement with the City to pay such expenses as they become due.

I hereby certify that the following is a full, true, and correct copy of the Resolution as **ADOPTED** by the Planning Commission at its regular meeting on **June 12, 2019** and that said Resolution was adopted by the following vote:

AYES:

NOES:

ABSTAIN:

ABSENT:

Anne McIntosh Secretary to the Planning Commission

Rosemary Lackow Recording Secretary

ATTACHMENT B

#7 – Complete Written Description

The Source Cafe is a casual restaurant with order at the counter service and take out options. The Source is founded on the belief that healthy food should still be be delicious. We encourage the nourishment of the body and the mind. Our food, juices, coffee and baked goods are nongmo and we only use organic or local ingredients, emphasizing ingredients obtained at our local South Bay Farmers Markets.

Operating hours will be 7 am - 10 pm Sunday through Thursday and 7 am - 11 pm Friday and Saturday. The peak hours are generally 7 am - 9 am as well as 12 pm - 2 pm. The Source will have a Type 41 beer & wine license and will be serving organic beer and wine on the premises. Sales of beer & wine will be restricted to 11 am - 10 pm Sunday through Thursday and until 11 pm on Friday & Saturday. The seating capacity is 32 fixed seats covering 237 square feet. There are no additional factors necessary to insure compatibility to the surrounding land uses.

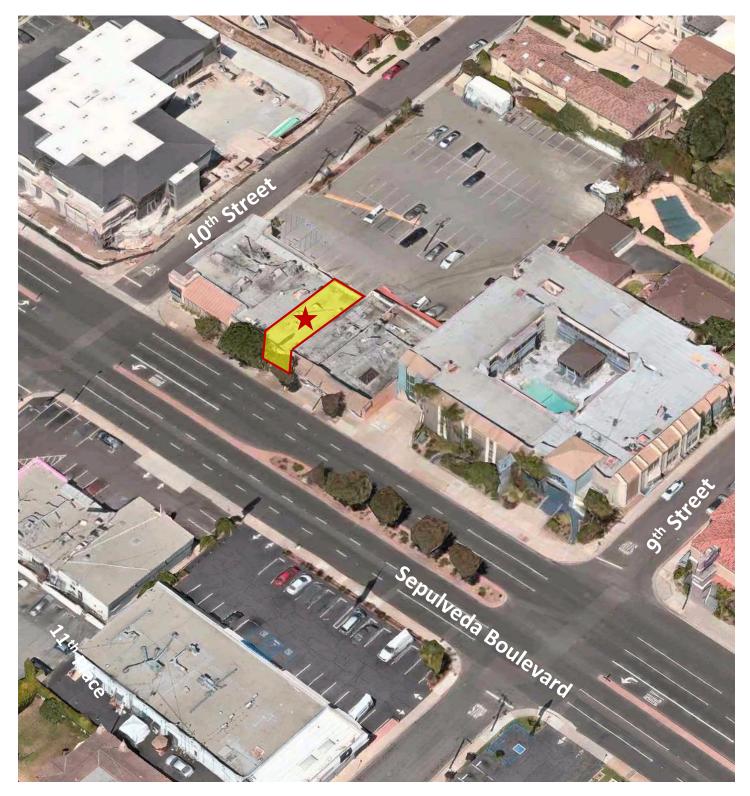
#8 - Written Description of how Findings will be met

The Source confirms the following:

- 1. Yes, the proposed location of the use is in accord with the objectives of this title and the purposes of the district in which the site is located.
- 2. Yes, the proposed location of the use and the proposed conditions under which it would be operated or maintained will be consistent with the General Plan; will not be detrimental to the public health, safety or welfare of persons residing or wording in or adjacent to the neighborhood of such use; and will not be detrimental to the properties or improvements in the vicinity or to the general welfare of the city.
- 3. Yes, the proposed use will comply with the provisions of this title, including any specific condition required for the proposed use in the district in which it would be located.
- 4. Yes, the proposed use will not adversely impact nor be adversely impacted by nearby properties. Potential impacts are related but not necessarily limited to: traffic, parking, noise, vibration, odors, resident security and personal safety, and aesthetics, or create demands exceeding the capacity of public services and facilities which cannot be mitigated.

ATTACHMENT C

Vicinity Map



THIS PAGE

INTENTIONALLY

LEFT BLANK

Page 14 of 24 PC MTG 06-12-19

ABBREVIATIONS TITLE 24 DATA

								510					
@ AC AO	ous.	AT ACOUSTICAL TILE ACOUSTIC	LIGHTING & ENVELOPE NOTES NONRESIDENTIAL STANDARDS COMPLIANCE	10. ALL ROOMS WITH WINDOWS AND SKYLIGHTS, THAT ARE GREATER THAN 250 SQUARE FEET, AND THAT ALLOW FOR THE EFFECTIVE USE OF DAYLIGHT	3. PIPING, EXCEPT THOSE CONVEYING FLUIDS AT TEMPERATURES BETWEEN 60°F AND 105°F, OR WITHIN HVAC EQUIPMENT, SHALL BE INSULATED IN	BUILDING DEPARTMENT	PUBLIC WORKS	SHE	IT DRAWING TITLE	SCALE	PLANNING SUBMITTAL	PLANNING RESUBMITTAL	HEAL SUBM
A.D AD AFF ALT	D. JJ. F T.	AREA DRAIN ADJUSTABLE ABOVE FINISH FLOOR ALTERNATE	(TITLI 24. PAR. 6, CH. I -MANDATORY MIASURIS) 1. INSTALLED INSULATING MATERIAL SHALL HAVE	IN THE AREA SHALL HAVE 50% OF THE LAMPS IN EACH DAYLIT AREA CONTROLLED BY A SEPARATE SWITCH OR	ACCORDANCE WITH STANDARDS SECT. 123. 4. AIR HANDLING DUCT SYSTEMS SHALL BE	MANHATTAN BEACH BUILDING DEPARTMENT 1400 HIGHLAND AVENUE MANHATTAN BEACH, CA	PUBLIC WORKS DEPARTMENT BUREAU OF ENGINEERING HYDRAULIC SECTION	A 0.0 A 0.1	COVER SHEET GENERAL CONDITIONS	NTS NTS	3/6/19 NOT ISSUED	4/24/19 NOT ISSUED	
ALL	UM. PROX.	ALUMINUM APPROXIMATE	BEEN CERTIFIED BY THE MANUFACTURER TO COMPLY WITH THE CALIFORNIA QUALITY STANDARDS FOR INSULATING MATERIAL.	11. THE EFFECTIVE USE OF DAYLIGHT THROUGH CANNOT BE ACCOMPLISHED BECAUSE THE WINDOWS ARE CONTINUOUSLY SHADED BY A	CONSTRUCTED, INSTALLED, SEALED, AND INSULATED AS PROVIDED IN CHAPTER 10 OF THE UNIFORM MECHANICAL CODE.	WWW.CITYMB.INFO PHONE: (310) 802-5505 OR (310) 802-5504		A 0.2 A 0.3	GC-OWNER RESPONSIBILITY CHART FIRE DEPT NOTES	NTS NTS	NOT ISSUED	NOT ISSUED	
BD. BLK BLK BM	KG.	BOARD BLOCK BLOCKING RFAM	2. ALL INSULATING MATERIALS SHALL BE INSTALLED IN COMPLIANCE WITH THE FLAME SPREAD RATING	BUILDING ON THE ADJACENT LOT. DIAGRAM OF SHADING DURING DIFFERENT TIME OF YEAR IS	5. OUTSIDE AIR CERTIFICATION: THE SYSTEM SHALL PROVIDE THE MINIMUIN OUTSIDE AIR AS SHOWN		HEALTH DEPARTMENT COUNTY OF LOS ANGELES	A 0.4 A 0.5 A 0.6	SPECIFICATIONS	NTS NTS NTS	NOT ISSUED NOT ISSUED NOT ISSUED	NOT ISSUED NOT ISSUED	
BM BO CB	~	BEAM BOTTOM CABINET	AND SMOKE DENSITY REQUIREMENTS OF SECTIONS 1712 AND 1713 OF THE LIBC. 3. ALL EXTERIOR JOINTS AND OPENINGS IN THE	INCLUDED ON PLANS. 12. EXTERIOR MOUNTED FIXTURES SERVED FROM THE	ON THE MECHANICAL DRAWINGS, AND SHALL BE MEASURED AND CERTIFIED BY THE INSTALLING LICENSED C-20 MECHANICAL CONTRACTOR.	WATER MANHATTAN BEACH UTILITIES DIVISION	DEPARTMENT OF ENVIRONMENTAL HEALTH MANAGEMENT	A 0.7 A 0.8	DISABLED ACCESS CBC CH. 10 DISABLED ACCESS CBC CH. 10	NTS NTS	NOT ISSUED	NOT ISSUED	
CE/ CE/ CE/	M. M.PLAS. R.	CEMENT CEMENT PLASTER CERAMIC CUBIC FEET	3. ALL EXTERIOR JOINTS AND OPENINGS IN THE BUILDING ENVELOPE THAT ARE OBSERVABLE SOURCES OF AIR LEAKAGE SHALL BE CAULKED, GASKETED, WEATHER-STRIPPED OR OTHERWISE	ELECTRICAL PANEL INSIDE THE BUILDING ARE CONTROLLED WITH A DIRECTIONAL PHOTO CELL CONTROL ON THE ROOF AND A CORRESPONDING RELAY IN THE ELECTRICAL PANEL.	HVAC CONTROLS NOTES	WWW.CITYMB.INFO/DEPARTMENTS/PUBLIC-WORKS PHONE: (310) 802-5300	WWW.LAPUBLICHEALTH.ORG/EH/PROGS/DES/PLANCHCK/CONTE NTS.HTML	A 0.9 A 0.10 A 0.11	DISABLED ACCESS CBC CH. 10 DISABLED ACCESS CBC CH. 11B DISABLED ACCESS CBC CH. 11B	NTS NTS NTS	NOT ISSUED NOT ISSUED NOT ISSUED	NOT ISSUED NOT ISSUED NOT ISSUED	
CIR CL CLC	RC. G.	CIRCLE CENTER LINE CEILING	GASKEIED, WEATHER-STRIPPED OR OTHERWISE SEALED. 4. SITE CONSTRUCTED DOORS, WINDOWS AND	KELAT IN THE ELECTRICAL PANEL.	CONTROLS	ELECTRIC	6851 LENNOX AVE. ROOM 310 VAN NUYS, CA 91405	A 0.12 A 0.13	2 DISABLED ACCESS CBC CH. 11B 3 DISABLED ACCESS CBC CH. 11B	NTS NTS	NOT ISSUED NOT ISSUED	NOT ISSUED NOT ISSUED	
	R. T. DNC. DNTR	CLEAR CARPET CONCRETE CONTRACTOR	4. SHE CONSTRUCTED DOORS, WINDOWS AND SKYLIGHTS SHALL BE CAULKED BETWEEN THE UNIT AND THE BUILDING, AND SHALL BE WEATHER-STRIPPED (EXCEPT FOR UNFRAMED GLASS	MECHANICAL & VINTILATION NOTES	1. EACH SPACE CONDITIONING SYSTEM SERVING BUILDING TYPES SUCH AS OFFICE AND MANUFACTURING FACILITIES (AND ALL OTHERS)	SOUTHERN CALIFORNIA EDISON WWW.SCE.COM PHONE: (310) 800-655-4555	PHONE: (818) 902-4490	A 0.15	4 DISABLED ACCESS CBC CH. 11B 5 GREEN BUILDING 6 GREEN BUILDING	NTS NTS NTS	NOT ISSUED NOT ISSUED NOT ISSUED	NOT ISSUED NOT ISSUED NOT ISSUED	
		CUBIC YARD DIAMETER	DOORS AND FIRE DOORS.	1. CONTROLS SHALL BE PROVIDED TO ALLOW OUTSIDE AIR DAMPERS OR DEVICES TO BE OPERATED	NOT EXPLICITLY EXEMPT FROM THE REQUIREMENTS OF SECT. 112(D) SHALL BE INSTALLED WITH AN AUTOMATIC TIME SWITCH WITH AN ACCESSIBLE	GAS	INDUSTRIAL WASTE	A 0.12 A 0.18	7 GREEN BUILDING 8 TITLE 24 - MECHANICAL AND PLUMBING 9 TITLE 24 - ELECTRICAL	NTS NTS NTS	NOT ISSUED NOT ISSUED NOT ISSUED	NOT ISSUED NOT ISSUED	
DIA DN DR. D S	M. 4. 5.	DIMENSION DOWN DOOR DOWN SPOUT	INSTALLED SHALL HAVE AIR INFILTRATION RATES CERTIFIED BY THE MANUFACTUREP PER 116(A) MANUFACTURED FENESTRATION PRODUCTS MUST	AT THE VENTILATION RATES AS SPECIFIED IN THE PLANS.	MANUAL OVERIDE THAT ALLOWS OPERATION OF THE SYSTEM DURING OFF-HOURS FOR UP TO 4 HOURS. THE TIME SWITCH SHALL BE CAPABLE OF	SOUTHERN CALIFORNIA GAS CO. WWW.SOCALGAS.COM PHONE: (323) 592-2785	DEPARTMENT OF PUBLIC WORKS BUREAU OF SANITATION	A 1.0	SITE PLAN	1" = 10'	3/6/19	4/24/19	
DIA DIA DN DR DS DU DW DW	JP. V. VGS.	DUPLICATE DISHWASHER DRAWINGS	BE LABELED FOR U-VALUE ACCORDING TO NFRC PROCEDURES.	2. GRAVITY OR AUTOMATIC DAMPERS INTERLOCKED AND CLOSED ON FAN SHUTDOWN SHALL BE PROVIDED ON THE OUTSIDE AIR INTAKES AND	PROGRAMMING DIFFERENT SCHEDULES FOR WEEKDAYS AND WEEKENDS; AND HAS PROGRAMMED BACK-UP CAPABILITIES THAT PREVENT	FIRE DEPARTMENT	INDUSTRIAL WASTE MANAGEMENT DIVISION LACITYSAN.ORG/IWMD/HOME/INDEX.HTM	A 1.1 A 2.1	EXISTING/DEMO PLAN	1/4" 1/4"	3/6/19 NOT ISSUED	4/24/19 NOT ISSUED	
(E) EA E J ELV ELE		EXISTING EACH EXPANSION JOINT	6. DEMISING WALL INSULATION SHALL BE INSTALLED IN ALL OPAQUE PORTIONS OF FRAMED WALLS (EXCEPT DOORS).	DISCHARGES OF ALL SPACE CONDITIONING AND EXHAUST SYSTEMS.	THE LOSS OF THE DEVICE'S PROGRAM AND TIME SETTING FOR AT LEAST 10 HOURS IF POWER IS INTERRUPTED.	ANHATTAN BEACH FIRE DEPARTMENT	2714 MEDIA CENTER DRIVE LOS ANGELES, CA 90065	A 2.2 A 2.3	FLOOR FINISH PLAN PROPOSED FLOORPLAN	1/4" 1/4"	NOT ISSUED 3/6/19	NOT ISSUED 4/24/19	Δ
		ELEVATOR ELEVATION ENCLOSURE	LIGHTING.	3. ALL GRAVITY VENTILATING SYSTEMS SHALL BE PROVIDED WITH AUTOMATIC OR READILY ACCESSIBLE MANUALLY OPERATED DAMPERS IN ALL	2 EACH SPACE CONDITIONING SYSTEMSHALL BE INSTALLED WITH AN OCCUPANCY TO CONTROL THE	MANHATTAN BEACH, CA WWW.CITYMB.INFO/DEPARTMENTS/FIRE-DEPARTMENT	PHONE: (323) 342-6200	\sim	ROOF PLAN OCCUPANCY CALCULATION PLAN	1/4"	NOT ISSUED	4/24/19	<u>//\</u>
EQ EQ EXF EXF	e QUIP. PN. P.	EQUAL EQUIPMENT EXPANSION EXPOSED	1. THE BUILDING LIGHTING SHUT-OFF SYSTEM CONSISTS OF AN AUTOMATIC TIME SWITCH WITH A ZONE FOR EACH FLOOR OR	OPENINGS TO THE OUTSIDE, EXCEPT FOR COMBUSTION AIR OPENINGS. 4. AIR BALANCING: ALL SPACE CONDITIONING AND	OPERATING PERIOD OF THE SYSTEM. 3. EACH SPACE CONDITIONING SYSTEM SHALL BE INSTALLED WITH A 4- HOUR TIMER THAT CAN BE	PHONE: (310) 802-5200	AIR QUALITY MANAGEMEN	A 3.2	EXTERIOR ELEVATIONS	3/16" 3/16"	3/6/19 3/6/19	4/24/19 4/24/19	
F.A	LU.	EXTERIOR FORCED AIR UNIT FLOOR DRAIN	2. THE BUILDING IS SEPARATELY METERED AND IS LESS THE 5,000 SQUARE FEET, EXEMPT FOR THE	VENTILATION SYSTEMS SHALL BE BALANCED TO THE QUANTITIES SPECIFIED IN THESE PLANS, IN ACCORDANCE WITH THE NATIONAL	MANUALLY OPERATED TO CONTROL THE OPERATING PERIOD OF THE SYSTEM.	TELEPHONE	WWW.AQMD.GOV 21865 COPI FY DRIVE	A 3.3 A 3.4	SECTIONS	3/16" 3/8"	3/6/19 3/6/19	3/6/19 4/24/19	
FEC F.F. F.G	C. I. 3.	FIRE EXTINGUISHER & CABINET FINISH FLOOR FIXED GLASS	3. THE AUTOMATIC BUILDING SHUT-OFF SYSTEM IS	ENVIRONMENTAL BALANCING BUREAU (NEBB) PROCEDURAL STANDARDS (1983), OR ASSOCIATED AIR BALANCE COUNCIL AABC) NATIONAL	4. EACH SPACE CONDITIONING SYSTEM SHALL BE INSTALLED WITH CONTROLS THAT TEMPORARILY REST AND TEMPORARILY OPERATE THE SYSTEM AS	SBC WWW.SBC.COM	21865 COPLET DRIVE DIAMOND BAR, CA 91765 PHONE: (909) 396-2000	A 4.1 A 4.2	REFLECTED CEILING PLAN DIMENSIONED REFLECTED CEILING PLAN	1/4" 1/4"	NOT ISSUED NOT ISSUED	NOT ISSUED NOT ISSUED	
FEC F.F. F.G. FIN FIX FLA FLA FLA	N. (T. ASH.	FINISH FIXTURE FLASHING FLOOR	PROVIDED WITH A MANUAL, ACCESSIBLE OVERRIDE SWITCH IN SIGHT OF THE LIGHT. THE AREA OF OVERRIDE IS NOT TO EXCEED 5,000 SQUARE FEET.	STANDARDS (1986).	REQUIRED TO MAINTAIN A SETBACK HEATING THERMOSTAT SETPOINT.	SERVICE: (800) 499-2355		A 5.1 A 5.2		3/8" 3/8"	NOT ISSUED NOT ISSUED	NOT ISSUED NOT ISSUED	
		FLOORING FLUORESCENT FLOOR SINK	4. ALL AUTOMATIC CONTROL DEVICES SPECIFIED ARE CERTIFIED, ALL ALTERNATE EQUIPMENT SHALL	EQUIPMENT AND SYSTEMS EFFICIENCY 1. ANY APPLIANCE FOR WHICH THERE IS A	5. EACH SPACE CONDITIONING SYSTEM SHALL BE INSTALLED WITH CONTROLS THAT TEMPORARILY RESTART AND TEMPORARILY OPERATE THE SYSTEM AS	TABLE 601		A 5.3 A 5.4		3/8" 3/8"	NOT ISSUED NOT ISSUED	NOT ISSUED NOT ISSUED	
F.S FT. FTC		FEET, FOOT FOOTING GAUGE	BE CERTIFIED AND INSTALLED AS DIRECTED BY THE MANUFACTURER.	CALIFONIIA STANDARD ESTABLISHED IN THE APPLIANCE EFFICIENCY STANDARDS MAY BE INSTALLED ONLY IF THE MANUFACTURER HAS	REQUIRED TO MAINTAIN A SETBACK COOLING THERMOSTAT SET POINT.	FIRE-RESISTANCE RATING REQUIREMENTS FOR BUILDIN	NG ELEMINTS (hours)	A 6.1 A 6.2	DOOR DETAILS	VARIES VARIES		NOT ISSUED NOT ISSUED	
GA GA GJ GY GW	LV. L	GALVANIZED GALVANIZED IRON (STEEL) GYPSUM	5. ALL FLUORESCENT FIXTURES (FLUORESCCNT BALLAST AND LUMINARIES) SPECIFIED FOR THE PROJECT ARE CERTIFIED AND LISTED IN THE DIRECTORY, ALL INSTALLED FIXTURES SHALL BE	CERTIFIED TO THE COMMISSION, AS SPECIFIED IN THOSE REGULATIONS, THAT THE APPLIANCE COMPLIES WITH THE APPLICABLE STANDARD FOR	6. EACH SPACE CONDITIONING SYSTEM SERVING MULTIPLE ZONES WITH A COMBINED CONDITIONED FLOOR AREA MORE THAN 25,000 SQUARE FEET	BUILDING ELEMENT TYPE I		A 6.3 A 6.4 A 6.5	CEILING DETAILS	VARIES VARIES VARIES	NOT ISSUED NOT ISSUED NOT ISSUED	NOT ISSUED NOT ISSUED NOT ISSUED	
GW H.B H.C		GYPSUM WALL BOARD HOSE BIBB HOLLOW CORE	DIRECTORY: ALL INSTALLED FIXTURES SHALL BE CERTIFIED. 6. ALL ONE AND THREE LAMP FLUORESCENT	THAT APPLIANCE. INCLUDED ARE ROOM AIR CONDITIONERS, CENTRAL AIR CONDITIONING HEAT PUMPS (REGARDLESS OF CAPACITY, EXCEPT THAT REQUIREMENTS FOR CENTRAL AIR CONDITIONING	SHALL BE PROVIDED WITH ISOLATION ZONES. EACH ZONE SHALL NOT EXEED 25,000 SQUARE FEET; SHALL BE PROVIDED WITH ISOLATING DEVICES, SUCH AS VALVES OR DAMPER SUPPLY OF HEATING	Structural Frame (a) 3b Bearing Walls Exterior (g) 3	2	A 6.6		VARIES	NOT ISSUED	NOT ISSUED	
HD HD	D DWD M. DRIZ. L VAC	HEAD/HEADDER HARDWOOD HOLLOW METAL	6. ALL ONE AND THREE DAMP FLUORESCENT FIXTURES ARE TANDEM WIRED WITH TWO (2) LAMP BALLAST WHERE REQUIRED BY STANDARDS SECT.	HEAT PUMPS WITH COOLING CAPACITY OF 135,000 BTU/HR OR MORE APPLY TO HEATING PERFORMANCE BUT NOT COOLING PERFORMANCE),	OR COOLING TO BE SET BACK OR SHUT OF HEATING OR COOLING TO BE SET BACK OR SHUT OFF INDEPENDENTLY OF OTHER ISOLATION AREAS; AND SHALL BE CONTROLLED BY THE TIME CONTROL	Interior 3b	1	A 7.0	SCHEDULES	N/A	NOT ISSUED	NOT ISSUED	
		HORIZONTAL HOUR AIR CONDITIONING	7. ALL THREE LAMP FLUORESCENT FIXTURES ARE SPECIFIED WITH ELECTRONIC HIGH-FREQUENCY	OTHER CENTRAL AIR CONDITIONERS WITH A COOLING CAPACITY LESS THAN 135,000 BTU/HR, FAN TYPE CENTRAL FURNACES WITH INPIT PATE	DEVICE AS DESCRIBED ABOVE. 7. EACH SPACE CONDITIONING ZONE SHALL BE	Nonbearing Walls & Partions Exteriors Nonbearing Walls & Partitions Interior (f) 0	2	TI	TITLE SHEET EQUIPMENT FLOOR PLAN	NTS	NOT ISSUED	NOT ISSUED	
I.D. INC INS). C. SUL	INSIDE DIAMETER INCORPORATED INSULATION	BALLASTS AND ARE EXEMPT FROM TWO-LAMP TANDEM WIRING REQUIREMENTS.	LESS THAN 400,000 BTU, BOILERS, WALL FURNACES, FLOOR FURNACES, ROOM HEATERS, UNIT HEATERS, AND DUCT FURNACES SHALL HAVE BEEN CERTIFIED	CONTROLLED BY AN INDIVIDUAL THERMOSTATIC CONTROL THAT RESPONDS TO TEMPERATURE WITHIN THE ZONE. WHERE USED TO CONLROL	Floor Construction		K1 K2 K3	EQUIPMENT FLOOR PLAN EQUIPMENT SCHEDULE PLUMBING ROUGH-IN PLAN	1/4" NTS 1/4"	NOT ISSUED NOT ISSUED NOT ISSUED	NOT ISSUED NOT ISSUED NOT ISSUED	
JT. JST		INTERIOR JOINT JOIST	8. EACH ROOM AND AREA IN THIS BUILDING IS EQUIPPED WITH A SEPARATE SWITCH OR OCCUPANCY SENSOR DEVICE FOR EACH AREA WITH	TO THE CALIFORNIA ENERGY COMMISSION BY ITS MANUFACTURER TO COMPLY WITH THE APPLIANCE EFFICIENCY STANDARDS.	HEATING, THE CONTROL SHALL BE ADJUSTABLE DOWN TO 50°F OR LOWER. FOR COOLING, THE CONTROL SHALL BE ADJUSTABLE UP TO 85°F OR	Including Supporting Beams and Joists 2 Roof Construction	1	K4 K5 K6	ELECTRICAL ROUGH-IN PLAN WALL BACKING PLAN HOOD DATA PLAN	1/4" 1/4" 1/4"	NOT ISSUED NOT ISSUED NOT ISSUED	NOT ISSUED NOT ISSUED NOT ISSUED	
144		LAMINATED	FLOOR-TO-CEILING WALLS. 9. ALL ROOMS AND AREAS GREATER THAN 100	2. THE FOLLOWING SPACE, CONDITIONING EQUIPMENT MAY BE INSTALLED ONLY IF THE	HIGHER. WHERE USED TO CONTROL BOTH HEATING AND COOLING, THE CONTROL SHALL BE CAPABLE OF PROVIDING A DEAD BAND OF AT LEAST 5°F	Including Supporting Beams and Joists 1.5 (c)		K6.1 K6.2	HOOD DATA PLAN HOOD DATA PLAN	1/4" VARIES	NOT ISSUED NOT ISSUED	NOT ISSUED	
LAV LT. LV8		LIGHT LOUVER MAXIMUM	SQUARE FEET AND MORE THAN 1.2 WATTS PER SQUARE FOOT OF LIGHTING LOAD SHALL BE CONTROLLED WITH BI-LEVEL SWITCHING FOR	MANUFACTURER HAS CERTIFIED THAT THE EQUIPMENT MEETS OR EXEEDS ALL APPLICABLE EFFICIENCY REQUIREMENTS LISTED IN SECT. 112 OF	WITHIN WHICH THE SUPPLY OF HEATING AND COOLING IS SHUT OFF OR REDUCED TO A MINIMUM.	1. OSHA AND CAL OSHA	NCE	K6.3 K7	HOOD DATA PLAN EQUIPMENT ELEVATIONS	VARIES 1/4"	NOT ISSUED NOT ISSUED	NOT ISSUED	
ME	ICH. IMB. IG.	MECHANICAL MEMBRANE MANUFACTURER MAN HOLE	UNIFORM REDUCTION OF LIGHTING WITHIN THE ROOM.	THE ENERGY EFFICIENCY STANDARDS: ALL AIR CONDITIONERS, HEAT PUMPS AND CONDENSING UNITS > 135,000 BTU/HR, ALL WATER CHILLERS; ALL GAS-FIRED BOLIERS >300,000 BTU/HR, ALL	8. THERMOSTATS SHALL HAVE NUMERIC SETPOINTS IN °F.	2. UL STANDARDS		\$ 1.0		NTS	NOT ISSUED	NOT ISSUED	
MA ME MF MI MT	n. N. IG.	MINIMUM MOUNTING METAL		OIL-FIRED BOILERS >225,000 BTU/HR, ALD OIL-FIRED BOILERS >225,000 BTU/HR; AND ALL WARM AIR FURNACES AND COMBINATION WARM AIR FURNACES/AIR CONDITIONING UNITS >225,000	9. THERMOSTATS SHALL HAVE ADJUSTABLE SETPOINT STOPS ACCESSIBLE ONLY TO AUTHORIZED PERSONNEL	3. ICBO/ICC STANDARDS 4. CALIFORNIA CODE AND TITLE 24		\$ 2.1 \$ 2.2 \$ 3.0	FRAMING PLAN	1/4" 1/4" 1"	NOT ISSUED NOT ISSUED NOT ISSUED	NOT ISSUED NOT ISSUED NOT ISSUED	
		NEW NOT IN CONTRACT		BTU/HR. FAN TYPE CENTRAL FURNACES SHALL NOT HAVE A PILOT LIGHT.	10. HEAT PUMPS SHALL BE INSTALLED WITH CONTROLS TO PREVENT ELECTRIC RESISTANCE	CALIFORNIA BUILDING CODE 2016 CALIFORNIA FIRE CODE 2016		M0 0			NOT ISSUED	NOT ISSUED	
		NOT TO SCALE OVER			SUPPLEMENTARY HEATER OPERATION WHEN THE HEATING LOAD CAN BE MET BY THE HEAT PUMP ALONE. ELECTRIC RESISTANCE SUPPLEMENTARY	CALIFORNIA PLUMBING CODE 2016 CALIFORNIA MECHANICAL CODE 2016		M0.0 M0.1 M1.0	MECHANICAL SPECIFICATIONS & DETAIL	NTS NTS NTS	NOT ISSUED NOT ISSUED	NOT ISSUED	
0/ 0.0 0.1 0P	C. D. PP.	ON CENTER OVERFLOW DRAIN OPPOSITE OVERHEAD			HEATER OPERATION IS PERMITTED DURING TRANSIENT PERIODS, SUCH AS START-UPS AND FOULOWING ROOM THERMOSTAT SETPOINT	CALIFORNIA ELECTRICAL CODE 2016 2017 CITY OF MB AMENDMENTS TO ALL THE ABOVE MENT	IONED STATE CODES ALONG	M2.0 M2.1 M3.0	HVAC ROOF PLAN	NTS	NOT ISSUED NOT ISSUED NOT ISSUED	NOT ISSUED NOT ISSUED NOT ISSUED	
		PLATE PROPERTY LINE			ADVANCE, WHEN CONTROLS ARE PROVIDED WHICH USE PREFERENTIAL RATE CONTROL, INTELLIGENT RECOVERY, STAGING, RAMPING, OR SIMILAR CONTROL MECHANISMS DESIGNED TO PRECLUDE	WITH ANY OTHER LOCAL AND STATE LAWS AND REGULATI ALTERATION TO THE EXISTING STRUCTURE REQUIRE COMP	LIANCE WITH THE MINIMUM	M3.0 M3.1		NTS	NOT ISSUED	NOT ISSUED	
PLA PL I PL. PL A	T AS. LAM . GLS. AST. /D. IL. CST. EEAB	PLASTER PLASTIC LAMINATE PLATE GLASS PLASTER	SYMBOLS	CONSULTANTS	CONTROL MECHANISMS DESIGNED TO PRECLUDE THE UNNECESSARY OPERATION OF SUPPLEMENTARY HEATING DURING THE RECOVERY PERIOD. SUPPLEMENTARY HEATER OPERATION IS ALSO	GREEN BUILDING REQUIREMENTS OF THE MANHATTAN BE MANUAL	ACH GREEN BUILDING	P0.0 P0.1	PLUMBING SPECIFICATIONS PLUMBING SPECIFICATIONS & DETAIL	NTS NTS	NOT ISSUED	NOT ISSUED	
PW PNI PR.	/D. IL.	PLYWOOD PANEL PAIR	[E] CONCRETE WALLS	KITCHEN CONSULTANT	PERMITTED DURING DEFROST.			P1.0 P2.0	EQUIPMENT SCHEDULE AND DETAIL PLUMBING WATER FLOOR PLAN	NTS	NOT ISSUED	NOT ISSUED	
PRC PRE %	CST. EFAB.	PRECAST PREFABRICATED PERCENT	NEW FRAME WALLS	SHAMBRA RESTAURANT CONSULTING John Shambra 2352 South Robertson Blvd.		DEFERRED SUBMITTALS		P2.1 P2.2 P3.0	PLUMBING GAS FLOOR PLAN PLUMBING SEWER AND VENT FLOOR PLAN PLUMBING RISER PLAN		NOT ISSUED NOT ISSUED NOT ISSUED	NOT ISSUED NOT ISSUED	
QT R. RAI		QUANTITY RISER RADIUS	NEW LOW WALLS	Los Angeles, CA 90034 Tel: [310] 204-1201 www.src.design.com		-SIGNAGE -STOREFRONT							
R.A RD	A.S.	RETURN AIR GRILLE ROAD ROOF DRAIN		STRUCTURAL CONSULTANT PARKER RESNICK Leo Parker		-SIOREFRONI		E1.1 E2.1 E3.1	ELECTRICAL FRONT SHEET SINGLE LINE DIAGRAM LIGHTING PLAN	NTS NTS	NOT ISSUED NOT ISSUED NOT ISSUED	NOT ISSUED NOT ISSUED NOT ISSUED	
RFE REC REF REF REC RE	CP. F. FRIG.	RECEPTACLE REFERENCE REFRIGERATOR PECICIER		1927 Pontius Ave. Los Angeles, CA 90025 Tel: [310] 478.8372 www.parkeresnick.com				E4.1 E5.1 E6.1	POWER PLAN ROOF PLAN ELECTRICAL DETAILS	VARIES	NOT ISSUED NOT ISSUED NOT ISSUED	NOT ISSUED NOT ISSUED	
REI REG RES	INF. QD S.FLR.	REGISTER REINFORCEMENT REQUIRED RESILIANT FLOORING		MECHANICAL & PLUMBING CONSULTANT AMD ENGINEERING SOLUTIONS, INC.				E6.2 E7.1	ELECTRICAL DETAILS TITLE 24 COMPLIANCE FORMS	VARIES NTS	NOT ISSUED	NOT ISSUED	
RF.	i. 	RETAINING ROOF ROOFING ROOM		Art Dilanchian 2529 Orange Ave		PROJECT DATA	SCOPE OF WORK	E7.2 E8.1	TITLE 24 COMPLIANCE FORMS ELECTRICAL SPECIFICATIONS	NTS NTS	NOT ISSUED	NOT ISSUED	
RM RO R.C		ROOM ROUGH ROUGH OPENING SOLID CORE	EL + 100.00	La Crescenta, CA 91214 Tel: [818] 919-2219 www.AMD-engineering.com		ADDRESS 924 N. SEPULVEDA BLVD., BEACH, CA 90266	MANHATTAN CHANGE OF USE AND TENANT IMPROVEMENT OF EXISTING 1301 SF BANQUET ROOM TO RESTAURANTAND BAKERY SERVING BEER AND WINE						
S.C S.D SH' SH	с. D. IT. ITG	SOLID CORE STORM DRAIN SHEET SHEETING	DOOR NUMBER	ELECTRICAL CONSULTANT AMD ENGINEERING SOLUTIONS, INC. Kunle Olofinboba		LANDLORD AMBER CAUDLE THE SOURCE CAFE							
S.C S.D SH SH SIM SPE SPE SPE SPE SPE SPE SPE SPE SPE SPE	W. ECS. RKL	SIMILAR SPECIFICATIONS SPRINKLER SQUARE INCH		2529 Orange Ave. La Crescenta, CA 91214 Tel: [818] 919-2219 www.AMD-engineering.com		amber@thesourcecafehb.co 1860 West 220th St., Suite 4 Torrance. CA 90501	m 35						
SQ ST. ST.	D.	SQUARE FOOT STREET STANDARD	BUILDING SECTION			Tel: [310] 406-6808							
STE STL STC STR STR SUS S45	L. OR. RUCT.	STEEL STORAGE STRUCTURAL SUSPENDED	e (PARKING CALCULATIONS	AREA SEATING AREA PARKING LOAD REQ'D PROVIDED					~		Δ	
т		SMOOTH FOUR SIDES		PROPOSED 916 N. SEPULVEDA BLVD. RESTAURANT-INDIA'S TANDOORI 3	D	FIRE DISTRICT NO. 1 NO 2	924 N. SEPULVEDA BLVD. MANHATTAN BEACH, CA, —		18-020 THE SOURCE		~~~~~		
T&E T.C T.C T.C	D.B. D.CU.	TOP AND BOTTOM TOP OF BEAM TOP OF CURB TOP OF CONCRETE	CEILING HEIGHT	924 N. SEPULVEDA BLVD. RESTAURANT-FULL SERVICE	3630 1655 1 per 50 SF 33.10 1277 295 1 per 50 SF 5.90 4595 1556 1 per 50 SF 31.12	/) FIRE HAZARD LRA - Incorporated		1				={	
TEL TEA TÃO	J.C. L MP. G IK. IRESH. P.	TELEPHONE TEMPERED TONGUE AND GROOVE		*2 ACCESSIBLE SPACES PROVIDED	TOTALS 70.12 79 TOTAL	SEVERITY ZONE			SEATING TYPE QTY. NO. OF SEATS 2 TOP 2 4 3 TOP 2 6	R	MARKS	={	
		THICK THRESHOLD TYPICAL		**50 SPACES EXISTING PER PERMIT #94VN64625		BLOCK/LOT/TRACT BLK 10/LOT 8 THRU 12/TR		+ {	4 TOP 2 8 PULLMAN 2 8				
	NT.	UNDERWRITER'S LABEL UNFINISHED VENTILATOR	↓ F			BUILDING AREA 9,585 SF		1	BAR 7 7 TOTAL SEAT COUNT 33			±۲	
VEF VEF VO V.T	RT. DL. r.	VENTICAL VOLUME VINYL TILE				TENANT AREA 1265 SF RESTAURANT 2 AREA 4107 SF RESTAURANT 3 AREA 4213 SF				~~			
W/ W.0	c.	WITH WATER CLOSET	ID. CALL OUT										
WE W.I W/ WP	H. I. (O	WOOD WATER HEATER WROUGHT IRON WITH OUT			ī	BUILDING HEIGHT 19"-2" MAX. LOT AREA 37,500 SF							
WP WS WT WT	S T.	WATERPROOFING WEATHERSTRIPPING WEIGHT WHAT THE FOOL	-	PLUMBING CALCULATION OCCUPANT LOAD 74/2 = 37 MEN, 37 WOMEN		OCCUPANCY TYPE A2		-					
YD.	ŀ.	YARD	FIRE EXTINGUISHER CAB	POTURE TYPE REQUIRED PROVIDED MALE WC'S 1 1		USE RESTAURANT/RETAIL		i					
			{	MALE URINALS 1 1 MALE LAVATORIES 1 1		STORIES ONE STORY		1					
			{	FEMALE WCS 1 1 FEMALE LAVATORIES 1 1									
			C	EMPLOYEE WC 0 0 EMPLOYEE LAVATORY 0 0	1								
					_								

DRAWING INDEX

ATTACHMENT D

PLANNING RESUBMITTAL PLANNING SUBMITTAL ISSUE / REVISION LOG

24 April 2019 6 March 2019 DATE

THE SOURCE CAFE - MB

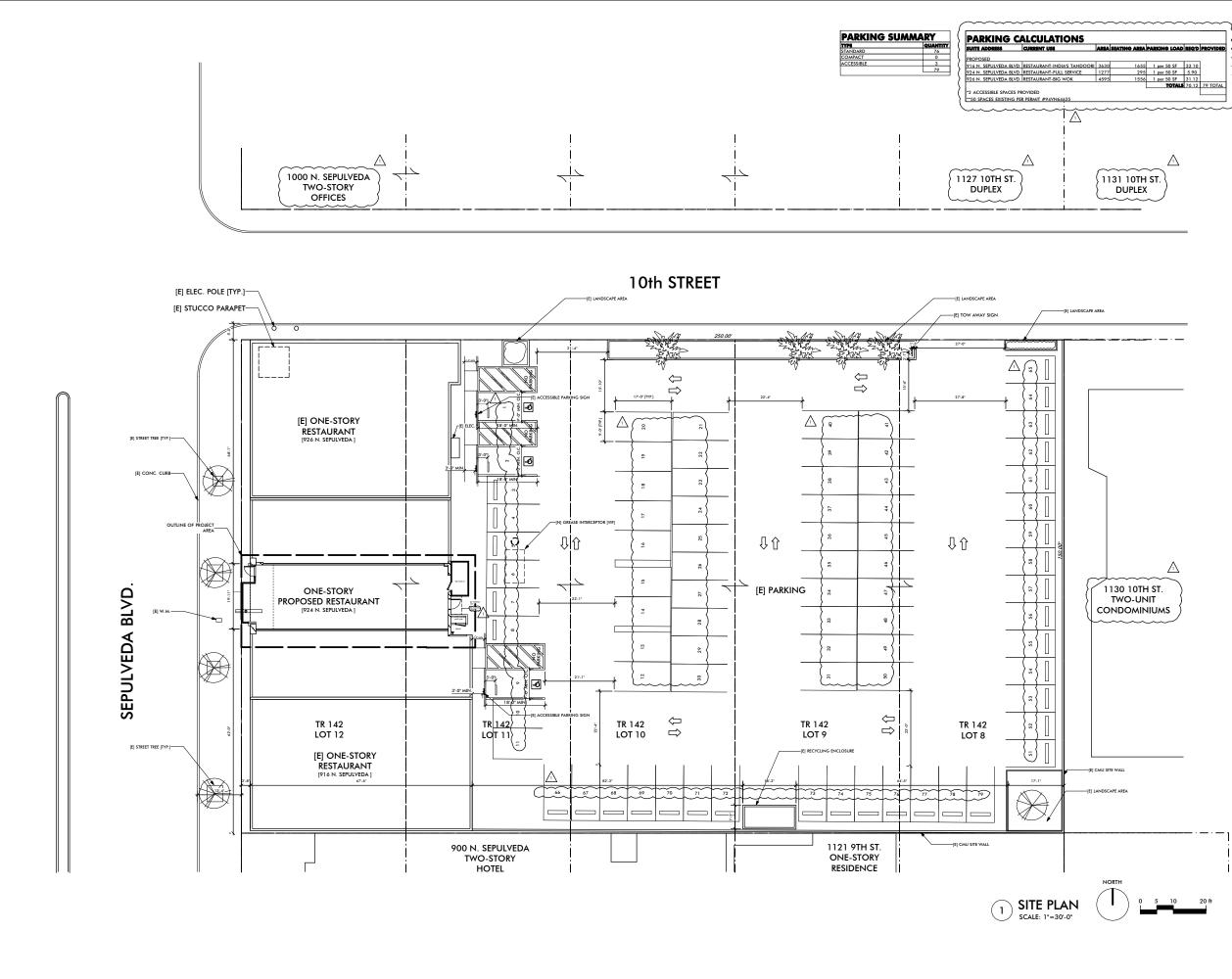
THE SOURCE CAFE 509 Pier Avenue Tel: 310-318-1600 Hermosa Beach, CA 90254 www.thesourcecafehb.com

RALPH GENTILE • ARCHITECTS 665 Lillian Way, Los Angeles, California 90004 Tel: 323-954-8291 www.rgastudio.com



This drawing is an instrument of service and the property of Raiph Gentile Architects. The use and publication of this drawing is limited to the original site for which it was prepared. Changes, publication or ansigning to any this porty of this drawing and other use is not permitted without written consert of the Architect. © 2019

Page 15 of 24 PC MTG 06-12-19



SITE PLAN - GENERAL NOTES

1. FINISH FLOOR [+0'-0"] SHALL BE A MINIMUM OF 6" ABOVE FINISHED GRADE EXCEPT AS NOTED.

2. THE GENERAL CONTRACTOR SHALL VERIFY WITH 2. THE GENERAL CONTRACTOR SHALL VERIFY WITH OWNER, LANDSCAPE DESIGNER ALL REPOPOSED IRRIGATION, LANDSCAPE LIGHTING, AND PLANTER DETAILS AND PROVIDE NECESSARY ELECTRICAL AND PLUMBING CONNECTIONS AS REQUIRED.

3. FOR SITE UTILITIES, CONFIRM ALL LOCATIONS AND CONNECTIONS WITH UTILITY COMPANIES PRIOR TO DEMOLITION OR EXCAVATION. INDICATE LOCATIONS ON REPRODUCIBLE COPIES OF THIS SITE PLAN OF EXITING AND ROPOSED UTILITIES AND SUPPLY COPIES TO ARCHITECT, OWNER, AND ANY OTHER AFFECTED TRADE.

4. NO TRENCHES OR EXCAVATIONS 5'-0" OR MORE IN DEPTH INTO WHICH A PERSON IS REQUIRED TO DESCEND.

5. NEW AND EXISTING RAMPS SHALL NOT EXCEED 8.33% (1:12) IN SLOPE AND SHALL BE AT LEAST 36 INCHES WIDE WITH REQUIRED LANDINGS AT BOTH TOP AND BOTTOM. REFER TO DISABLED ACCESS DETAILS.

6. NEW AND EXISTING RAMPS OF GREATER THAN 1:15 SLOPE SHALL HAVE CONTINUOUS HANDRAILS (1-1/27 DIAMERIQ ON BOTH SUBSE XTENDING 12 INCHES BEYOND TOP AND 12 INCHES FULS TREAD DEPTH BEYOND BOTTOM WITH RETURN ENDS AND BE LOCATED BETWEEN 32-36 INCHES ABOVE SURFACE OF THE RAMP.

7. MAINTAIN EXISTING DISABLED ACCESS AND EXITING AS SHOWN ON PLANS TO PUBLIC RIGHTS-OF-WAY.

8. REFER TO ELECTRICAL DRAWINGS FOR SWITCHBOARD AND TRANSFORMER REQUIR

9. RESTRIPE PARKING LOT AS REQ'D TO MEET CURRENT CITY CODES [TYP.].

10. REFER TO PLUMBING DRAWINGS FOR GREASE INTERCEPTOR LOCATION AND CONNECTION TO CITY SEWER.

11. EXISTING TRASH ENLCOSURE TO REMAIN

12. EXISTING PARKING LOT LIGHTING TO MEET MIN CITY ILLUMINATION REQUIREMENTS.

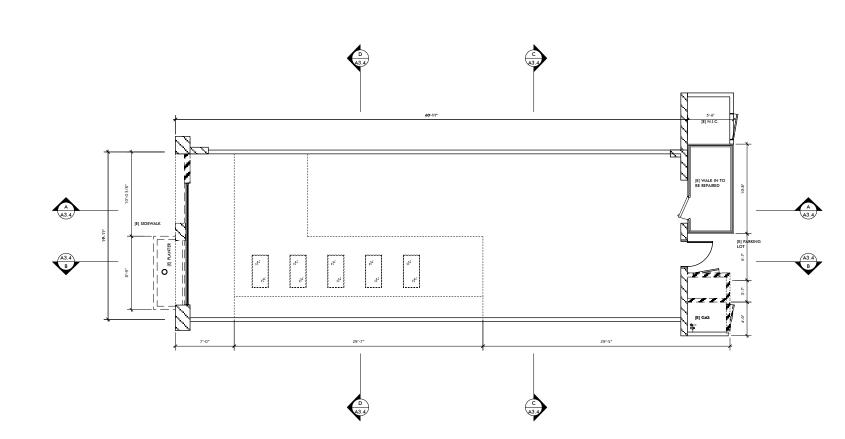


24 April 2019 6 March 2019

PLANNING RESUBMITTAL PLANNING SUBMITTAL

This drawing use and pub Changes, pu permitted wi - g iii do some billocation of this drawing is some-publication of this drawing is some-publication or assigning to any finit party of this down without written consent of the Architect. © 2019

Page 16 of 24 PC MTG 06-12-19





1. THE GENERAL CONTRACTOR SHALL PERFORM ALL REMOVAL AND RELATED WORK SHOWN ON DRAWINGS, DESCRIBED IN THESE NOTES, AND INFERRED AS NECESSARY TO COMPLETE THE WORK FOR THE PROJECT.

2. THE GENERAL CONTRACTOR SHALL PROVIDE AN PEDESTRIAN PROTECTION AS REQUIRED BY THE CI SHALL PROVIDE AND MAINTAIN QUIRED BY THE CITY OF LOS IN, THE CONTRACTOR SHALL JIRED PERMITS FOR SIDEWALK ANGELES. PRIOR TO DEMOLITU-OBTAIN AND PAY FOR ALL REQUI PROTECTION AND STREET USE.

THESE PLAN ACCURATEL THE GENERA THE FIELD ALL PRIOR AND D NCLUDE BUT FEASIBLE PRIOR TO DEMOLITION. HOWEVER IT I DNTRACTOR'S SOLE RESPONSIBILITY TO VERIFY IN OR SHALL RVICES TO

ANY CONDITION ASSE WITCH EQUIE THE EMOVAL OF TOTAL EXISTING STUCTURE OF REMOVAL OF TOTAL EXISTING STUCTURE OF INVISIONS FOR THE "AETION OF THE WORK AS OUTLINED IN THESE WHITS, THE CONTENTION ASSESSMENT WHITS, THE CONTENTION AS A MODIFICATION TION OR MODIFICATION.

5. DEMOLITION AND REMOVAL OF EXISTING STRUCTURES, CONCRETE SLABS, PAVING AND EQUIPMENT SHALL INCLUDI REMOVAL OF ALL FOUNDATIONS AND SUBSURFACE CONSTRUCTION, AS REQUIRED.

6. REQUIRED DEMOLITION AND REMOVAL STRUCT ACCORDANCE WITH THE CITY OF L L SHALL BE DONE IN ORDINANCES DURING APPROVED HOURS ONLY. CONTRACTOR SHALL TAKE ALL NECESSAR' PRECAUTIONS TO MINIMIZE NOISE, DUST, AND OTHER NUISANCES TO ADJOINING PROPERTIES AND TO THE PUBLIC RIGHT-OF-WAY.

7. THE GENERAL CONTRACTOR SHALL I RESPONSIBLE FOR PROTECTING AND M 7. THE GROUP OF THE CONTRACTOR OF THE CONTRACT OF THE CONTRACT OF THE CONTRACT ON CONTRACT ON SHALL BE NDIRECTL PROMPTLY SATISFACT DWNER. INTRACTOR'S OPERATIONS STALL SE VAIRED, OR REPLACED TO THE INTHITECT AND WITH NO COST TO THE

8. ALL DAMAGED EXISTING AREAS TO REMAIN SHALL BE PATCHED AS REQUIRED TO MATCH IMMEDIATELY ADJACENT EXISTING AREAS IN MATERIAL, FIRE RATING, FINISH AND COLOR UNLESS OTHERWISE NOTED.

R SHALL LICENSED TO DO THE WORK. GENERAL CON SUPPLY COMPLETE TEST RESULTS AND CONTR NUMBERS TO BOTH ARCHITECT AND OWNER

INISHES, WINDOWS, DOORS, IXTURES, ELECTRICAL FIXTURES AND ON PLANS OR AS DIRECTED BY CABINETY OTHER FIL

11. REMOVE, PROTECT AND STORE ALL BUILDING ELEMENTS AS SHOWN ON PLANS OR AS DIRECTED BY ARCHITECT. DISCUSS MEANS OF STORAGE WITH OWNER.

12. GENERAL CONTRACTOR TO CAP AND ABANDON IN AN APPROVED MANNER ALL DISCONNECTED PLUMBING, ELECTRICAI AND MECHANCIAL WORK NOT INDICATED FOR REMOVAL. 13. PROTECT ALL VEGETATION NOT INDICATED FOR REMOVAL VERIFY EXTENT OF VEGETATION TO REMAIN AND MEANS OF PROTECTION WITH OWNER.

14. ALL MATERIAL AND DEBRIS TO BE REMOVED MUST BE DONE SO ALONG THE APROVED PATH OF TRAVEL WITH ALL NECESSARY PROTECTION DURING AGREED LIVON WORK HOURS AND WITH MINIMUM DISKUPTION TO NEIGHBOBING TEMANTS' OPERATIONS/CUSTOMES.

15. WHERE PLUMBING FIXTURES OR LINES ARE BEING REMOVED OR ABANDONED CAP LINES AT LOCATIONS WHICH DO NOT REQUIRE NEW ACCESS PANELS. WHERE FIRE STOPPING IS REMOVED PROVIDE REQUIRED INER-RESISTIVE ASSEMBLY.

16. WHERE EXISTING ELECTRICAL IS BEING REMOVED OR ABANDONED REMOVE ALL WIRING AND DEVICES AND SEAL CONDUIT AS REQUIRED.

17. DEMOLISH ALL INTERIOR FINISHES TO BARE CONCRETE SLAE COLUMN OR UNDERSIDE OF SLAB ABOVE AND PREPARE AS NECESSARY EXISTING SURFACES TO RECEIVE NEW FINISHES.

18. DEMOLITION OF ALL MECHANICAL, PLUMBING, ELECTRICAL AND FIRE SPRINKLER SYSTEMS TO BE COMPLETED IN SUCH A MANNER AS TO NOT AFFECT THE REST OF THE BUILDING OR THE NEIGHBORING TENANTS OPERATIONS.

19. PROVIDE ALL NECESSARY TEMPORARY PROTECTION REQUIRED TO COMPLETE THE WORK AS SHOWN ON THESE DRAWINGS.

20. SEE MECHANICAL, ELECTRICAL AND PLUMBING DRAWINGS FOR ADDITIONAL DEMOLITION REQUIREMENTS.

21. SEE STRUCTURAL DRAWINGS FOR ADDITIONAL DEMOLITION AND SHORING REQUIREMENTS.

22. NON-RESIDENTIAL ADDITIONS AND ALTERATIONS SHALL REQUIRE VERIFICATION THAT CALIFORNIA PROHIBITED UNIVERSAL WASTE MATERIALS ARE DISPOSED OF PROPERLY AND DIVERTED FROM LANDFILLS.

23. NO STRUCTURE TO BE DEMOLISHED.

PLANNING RESUBMITTAL PLANNING SUBMITTAL ISSUE / REVISION LOG

24 April 2019 6 March 2019 DATE

THE SOURCE CAFE - MB

THE SOURCE CAFE 509 Pier Avenue Tel: 310-318-1600 www.thesourceafehb.com

RALPH GENTILE • ARCHITECTS 665 Lillian Way, Los Angeles, California 90004 Tel: 323-954-8291 www.rgastudio.com

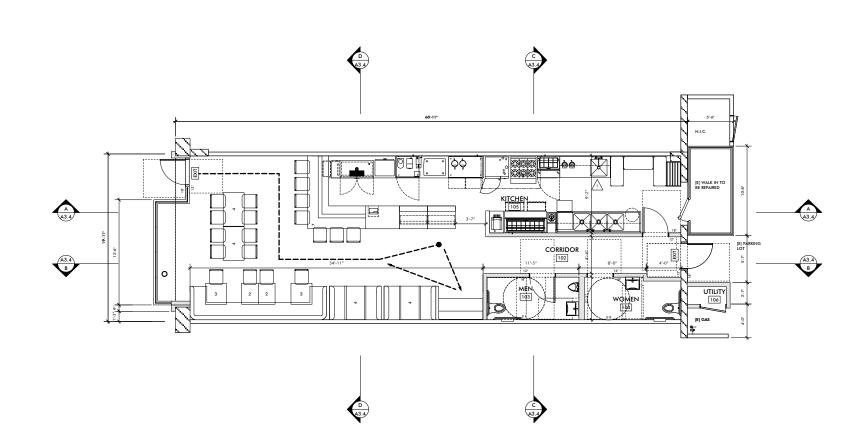


This drawing is an instrument of service and the property of Ralph Gentle Architects. The use and publication of this drawing is limited to the original site for which it was prepared. Changes, publication or assigned to any thicd party of this drawing and other use is not permitted without written consent of the Architect. \odot 2019



NORTH

 \frown





1. CONFIRM EXTENT OF ALL INTERIOR FLOOR, CEILING AND PARTITION FIRE ASSEMBLY RATINGS AND REQUIREMENTS AND REPORT ANY DISCREPANCIES TO THE ARCHITECT PRIOR TO LAYOUT OR ROUGH FRAMMING.

 FIELD MEASURE ALL EXISTING CONDITIONS AND COMPARE TO DIMENSIONS PROVIDED ON THESE DRAWINGS. REPORT ANY DISCREPANCIES TO THE ARCHITECT PRIOR TO LAYOUT OR ROUGH RAMING.

3. WHER NININUM OR MAXIMUM ADA CLEARANCES ARE SHOWN, CONFIRM THAT FINAL CONSTRUCTION WILL ACHIEVE THESE DIMENSIONS. REPORT ANY DISCREPANCIES TO THE ARCHITECT PRIOR TO LAYOUT OR ROUGH FRAMING.

ALL MILLWORK, CABINETWORK, METAL AND STORE PROM PRPOVED SHOP DRAWINGS, FIELD MESUREMENTS AND APPROVED MATERIAL AND FINISH SAMPLES ONLY. FINISH AL STONE WITH APPROVED SEALER.

DISPLATS, ARTWORK AND MIRRORS BY OTHERS AS SHOWN ON DRAWINGS. GC TO PROVIDE SOLD BLOCKING AND FASTENER FOR ALL WALL HUNG OR WALL MOUNTED UNITS. 6. ALL GLASS AND GLAZING TO BE OF AN IMPACT-RESISTANT

 ALL DECORATIONS SHALL BE NON-COMBUSTIBLE OF FLAME-PROOFED IN AN APPROVED MANNER. PROVIDE NECESSARY CERTIFICATION PER CODE.

8. ALL INTERIOR INNERES SHALL BE OF COMMERCIA GRAD AND FOR HOSTINIT USE ALL ASSEMILY AREA SHALL HAVE ANAINAUM END POINT FLAKE SPEAD BATING OF 200- CLASSI WITH A MAXIMUM END POINT FLAKE SPEAD ENTRY A MAXIMUM SNOKE DENSITY OF 300. ALL COBBOR INNERS SHALL HAVE A MAXIMUM END POINT FLAKE SPEAD BATING OF 73-CLAIL INTH MAXIMUM SNOKE DENTY OF 300 WIEBER COFFIC. ALL INTH MAXIMUM SNOKE DENTY OF 300 WIEBER COFFIC. ANAE HER FLAKENCOFED THE GOVERNIG A GREENCY.

 CONFIRM EXTENT OF ALL INTERIOR FINISHES, TRIM, AND MILLWORK SHOWN ON PLANS AND INTERIOR ELEVATIONS WITH ARCHITECT PRIOR TO FABRICATION, INSTALLATION OR

10. FIELD MEASURE FOR ALL INTERIOR FINISHES AND MILLWORK AND REPORT ANY DISCREPANCIES TO THE ARCHITECT PRIOR TO



24 April 2019 6 March 2019 DATE

THE SOURCE CAFE - MB

THE SOURCE CAFE 509 Pier Avenue Tel: 310-318-1600 Hermose Beach, CA 90254 www.thesourceafehb.com

RALPH GENTILE • ARCHITECTS 665 Lillian Way, Los Angeles, California 90004 Tel: 323-954-8291 www.rgastudio.com

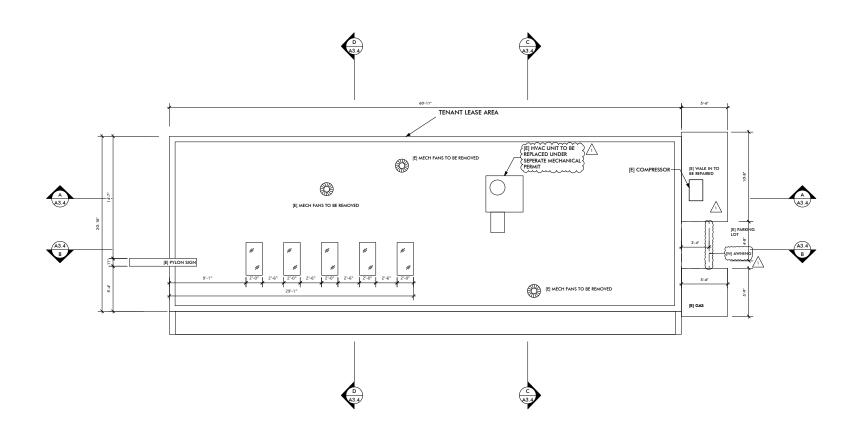


This drawing is as instrument of service and the property of Raiph Genetie Architects. The use and publications of this drawing is lineled to the architects which it was properted. Changes, publication or carginging to any third party of this drawing and other use is not permitted without written consert of the Architect. © 2019

Page 18 of 24 PC MTG 06-12-19









18-020 THE SOURCE CAFE - MANHATTAN BEACH, CA. ROOF PLAN - GENERAL NOTES

 THE BUSTING CONDITIONS AND DIMENSIONS SHOWN ON THESE PLANS REPRESENT ACTUAL BUSTING CONDITIONS AS ACCURATELY AS DOSIBLE MOVEMENT IS THE GREAAL CONTRACTORS REPORTSBUILTY TO YEARITY IN THE RED ALL DECLIDENCE BUST AND ADDRESS AND ADDRESS AND ENCLIDENCE BUST AND THE RED ALL DECLIDENCE BUST AND THE RED ALL DE

 THE GENERAL CONTRACTOR SHALL VERIFY WITH OWNER, ANDSCAPE DESIGNER ALL PROPOSED IRRIGATION, LANDSCAPE JIGHTING, AND PLANTER DETAILS AND PROVIDE NECESSARY INFERTIONS AND PLINNING CONNECTIONS AS REQUIRED.

 FIRE RETARDANT ROOFING ASSEMBLY (CLASS 4) ROOF SHALL BE CLASS A BUILTUP ROOF CONSISTING OF MINIMUM OF 5-M MODIFIED BITUMEN ASPHALT ROOFING SYSTEM WITH MINERAL CAP SHEET. CONTRACTOR TO CONFORM WITH ALL MANUFACTUREES RECOMMENDATIONS FOR SUBSTATA, SUBFACE REFRAATION, APPLICATION, FLASHING, ETC. FINAL COLOR TO BE APPROVED BY ARACHITECT.

4. REOVIDE 4" MINIMUM CAN'T STREP, REGLET AND COUNTER FLASHING AT JUNCTURE OF ROOP AND ALL VERTICAL SURFACES. 5. ALL CRECKETS TO BE EXTERIOR PLYWOOD CONSTRUCTION OVER RIPPERS, MINIMUM SLOPE 1/2" PER FOOT TO APPROVED DRAINS.

6. LOCATIONS OF ALL ROOF PENETRATIONS SUCH AS PLUMBING VENTS, ATTIC VENTILATORS, SKYLIGHTS, MECHANICAL DUCTS, ETC. TO BE APPROVED IN FIELD BY ARCHITECT.

7. PROVIDE 2X8 MINIMUM CURB AT ALL ROOF MOUNTED EQUIPMENT WITH 22 GA. GI COVER. PAINT ALL DUCTS IN COLOF TO MATCH ROOF SURFACE AS APPROVED BY ARCHITECT.

B. LOCATION OF ALL ROOF MOUNTED EQUIPMENT AND DUTING SHOWN ON THESE PLANS ARE FOR GENERAL COLOTION AND REQUIRED CLAMARCES ONLY. SOM, MINOR COLOTION AND REQUIRED CLAMARCES ONLY. SOM, MINOR COLOTIONS OF CHARGES IN UNITED SQUIPMENT, DUTIN SINULINGT, ETC. ART DIS A APARONE IN THE FILE DIRON TO SINULINGT, ST. CALE TO BE APPROVED IN THE FILE DIRON TO WITH STRUCTURAL ENGINEER IF RELOCATED.

9. ALL UNITS ARE TO BE CONCEALLED OR SCREENED FROM PUBLIC VIEW. PAINT ALL DUCTS IN COLOR TO MATCH ROOF SURFACE AS APPROVED BY ARCHITECT.

10. FOR PLUMBING AND MECHANICAL SYSTEMS, ROOF DRAINS, VENTS, ETC. SEE CONSULTANT DRAWINGS.

11. ROOF MUST HAVE A POSITIVE DRAINAGE SLOPE OF 1/4 UNIT VERTICAL TO 12 UNITS HORIZONTAL (2 PERCENT SLOPE) TO AVOID WATER PONDING.



24 April 2019 6 March 2019 DATE

THE SOURCE CAFE - MB

THE SOURCE CAFE 509 Pier Avenue Tel: 310-318-1600 Hermose Beach, CA 90254 www.thesourceafehb.com

RALPH GENTILE • ARCHITECTS 665 Lillian Way, Los Angeles, California 90004 Tel: 323-954-8291 www.rgastudio.com

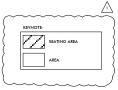


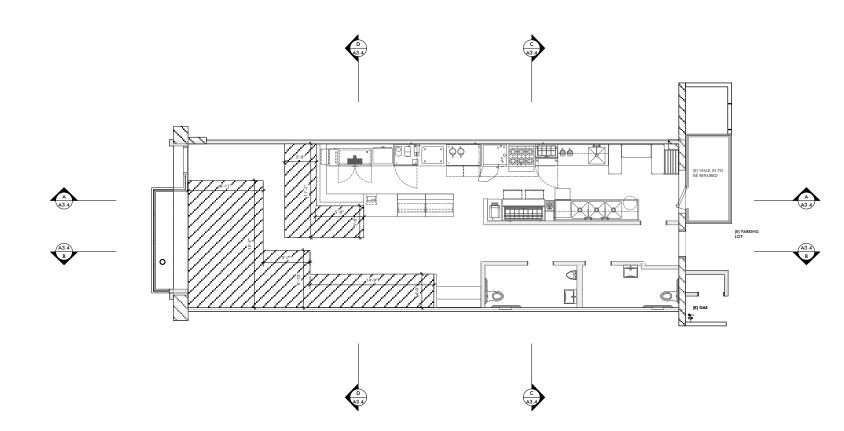
10ft

5

This drawing is as instrument of service and the property of Raiph Genetie Architects. The use and publications of this drawing is lineled to the architects which it was properted. Changes, publication or carginging to any third party of this drawing and other use is not permitted without written consert of the Architect. © 2019









					\int_{1}
~~~~	~~~	~~~~	~~~~	$\sim$	
IONS					
	AREA	SEATING AREA	PARKING LOAD	NEQ'D	PROVIDED
IA'S TANDOORI	3630	1655	1 per 50 SF	33.10	
L SERVICE	1277	295	1 per 50 SF	5.90	
WOK	4595	1556	1 per 50 SF	31.12	
			TOTALS	70.12	79 TOTAL
4625					

### 18-020 THE SOURCE CAFE - MANHATTAN BEACH, CA. FLOOR PLAN - GENERAL NOTES

1. CONFIRM EXTENT OF ALL INTERIOR FLOOR, CELING AND PARTITION FIRE ASSEMBLY RATINGS AND REQUIREMENTS AND REPORT ANY DISCREPANCIES TO THE ARCHITECT PRIOR TO LAYOUT OR ROUGH FRAMMING.

2. FIELD MEASURE ALL EXISTING CON DIMENSIONS PROVIDED ON THESE D DISCREPANCIES TO THE ARCHITECT P DISCREPAN FRAMING.

3. WHERI SHOWN CONFIRM THAT FINAL CONSTRUCT THESE DIMENSIONS. REPORT ANY DISCRE ARCHITECT PRIOR TO LAYOUT OR ROUGH

4. ALL MILLWORK, APPROVED SHOP D

5. GC TO PROVIDE FOR INSTALLATION OF RET. DISPLAYS, ARTWORK AND MIRRORS BY OTHERS DRAWINGS. GC TO PROVIDE SOLID BLOCKING FOR ALL WALL HUNG OR WALL MOUNTED UNIT ALL GLASS AND GLAZING TO BE OF A IMPACT R UNLESS NOTED OTHERWISE.

PROOFED IN AN APPROVED MAI SARY CERTIFICATION PER CODE.

INISHES AND MILLWORK IE ARCHITECT PRIOR TO

PLANNING RESUBMITTAL PLANNING SUBMITTAL ISSUE / REVISION LOG

24 April 2019 6 March 2019 DATE

# THE SOURCE CAFE - MB

THE SOURCE CAFE 509 Pier Avenue Tel: 310-318-1600 Hermose Beach, CA 90254 www.thesourceafehb.com

RALPH GENTILE • ARCHITECTS 665 Lillian Way, Los Angeles, California 90004 Tel: 323-954-8291 www.rgastudio.com

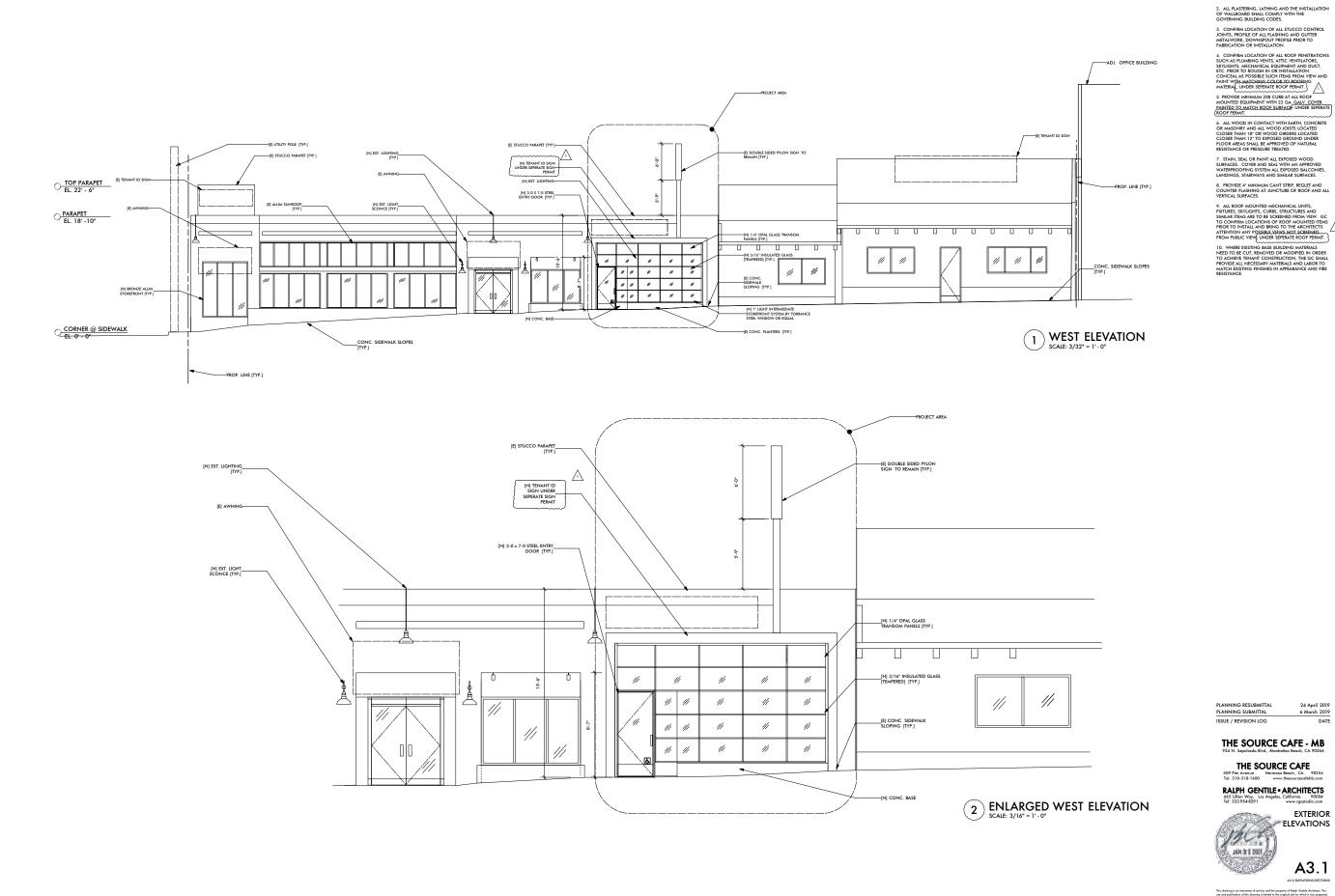


This drawing is an instrument of service and the property of Rolph Gentle Architects. The we and publication of this drawing is limited to the original site for which it was prepared. Changes, publications or assigned to only thid party of this drawing and other use is not permitted without written consent of the Architect. © 2019

Page 20 of 24 PC MTG 06-12-19





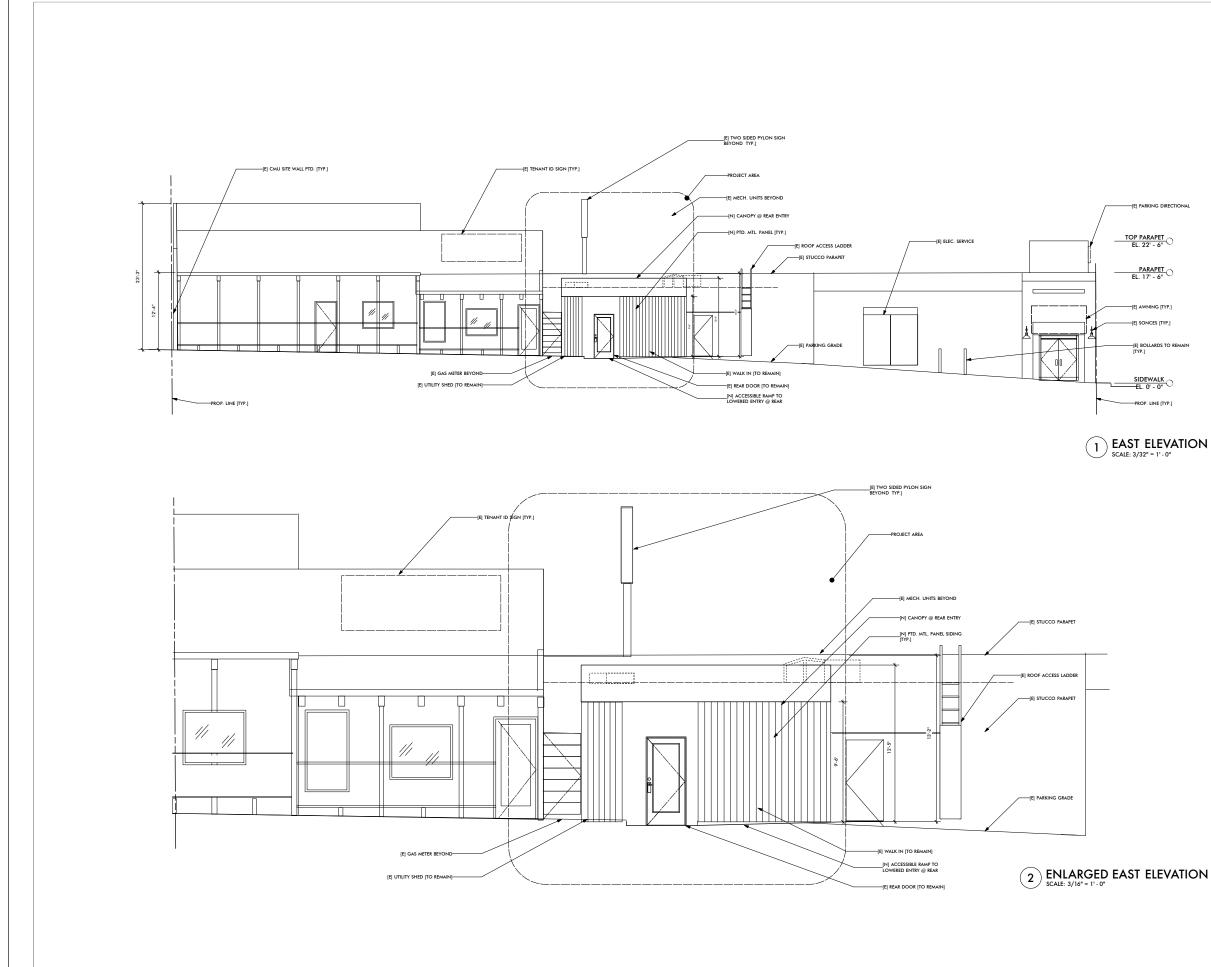


18-020 THE SOURCE CAFE - MANHATTAN BEACH, CA. ELEVATIONS - GENERAL NOTES 1. GLASS DOORS, GLAZED PANELS WITHIN 12" OF DOORS, AND ALL GLAZED OPENINGS WITHIN 18" OF THE ADJACENT FLOOR SHALL BE OF GLASS APPROVED FOR IMPACT HAZARD.

This drawing is an instrument of service and the property of Ralph Gentile Architects. The use and publication of this drawing is limited to the original itse for which it was prepared Changes, publication or assigning to any this porty of this drawing and other use is not permitted without written consert of the Architect. © 2019

Page 21 of 24 PC MTG 06-12-19

0



18-020 THE SOURCE CAFE - MANHATTAN BEACH, CA. ELEVATIONS - GENERAL NOTES

1. GLASS DOORS, GLAZED PANELS WITHIN 12" OF DOORS, AND ALL GLAZED OPENINGS WITHIN 18" OF THE ADJACENT FLOOR SHALL BE OF GLASS APPROVED FOR IMPACT HAZARD.

2. ALL PLASTERING, LATHING AND THE INSTALLATION OF WALLBOARD SHALL COMPLY WITH THE GOVERNING BUILDING CODES.

3. CONFIRM LOCATION OF ALL STUCCO CONTROL JOINTS, PROFILE OF ALL FLASHING AND GUTTER METALWORK, DOWNSPOUT PROFILE PRIOR TO FABRICATION OR INSTALLATION.

A CONFIRM OF INTERACION. 4. CONFIRM COATION OF ALL ROOF PENETRATIONS SUCH AS PLUMBING VENTS, ATTIC VENTLATORS, SYLICHTS, MECHANICAL EQUIVENTI AND DUCT, ETC. FROR TO ROUGH IN OR INSTALLATION. CONFECAL AS POSSIBLE SUCH TIMES FROM YEW AND PAINT WITH MATCHING COLOR TO ROOFING MATERIAL.

5. PROVIDE MINIMUM 2X8 CURB AT ALL ROOF MOUNTED EQUIPMENT WITH 22 GA. GALV. COVER PAINTED TO MATCH ROOF SURFACE.

6. ALL WOOD IN CONTACT WITH EARTH, CONCRETE OR MASONRY AND ALL WOOD JOISTS LOCATED CLOSER THAN 13" TO EXPOSED GROUND UNDER FLOOR AREAS STALLE & APPROVED OF NATURAL RESISTANCE OR PRESSURE TREATED.

7. STAIN, SEAL OR PAINT ALL EXPOSED WOOD SURFACES. COVER AND SEAL WITH AN APPROVED WATERPROOFING SYSTEM ALL EXPOSED BALCONIES, LANDINGS, STAIRWAYS AND SIMILAR SURFACES.

8. PROVIDE 4" MINIMUM CANT STRIP, REGLET AND COUNTER FLASHING AT JUNCTURE OF ROOF AND ALL VERTICAL SURFACES.

VENICAL SUBFACES 9. ALL ROOF AUGUSTED MECHANICAL UNITS, FIXTURES, SKYLIGHTS, CURBS, STRUCTURES AND SIMILAR TREAS ARET DB & SCREENED FROM VIEW. GC TO CONFIRM LOCATIONS OF ROOF MOUNTED ITEMS PRIOR TO INSTALL AND BRING TO THE ARCHTECTS ATTENTION ANY POSSIBLE VIEWS NOT SCREENED FROM FUBIC VIEW.

10. WHERE EXISTING BASE BUILDING MATERIALS NEED TO BE CUT, REMOVED OR MODIFIED IN ORDER TO ACHIEVE TENANT CONSTRUCTION, THE GC SHALL PROVIDE ALL NECESSARY MATERIALS AND LABOR TO MATCH EXISTING FINISHES IN APPEARANCE AND FIRE RESISTANCE.

PLANNING RESUBMITTAL PLANNING SUBMITTAL ISSUE / REVISION LOG

24 April 2019 6 March 2019 DATE

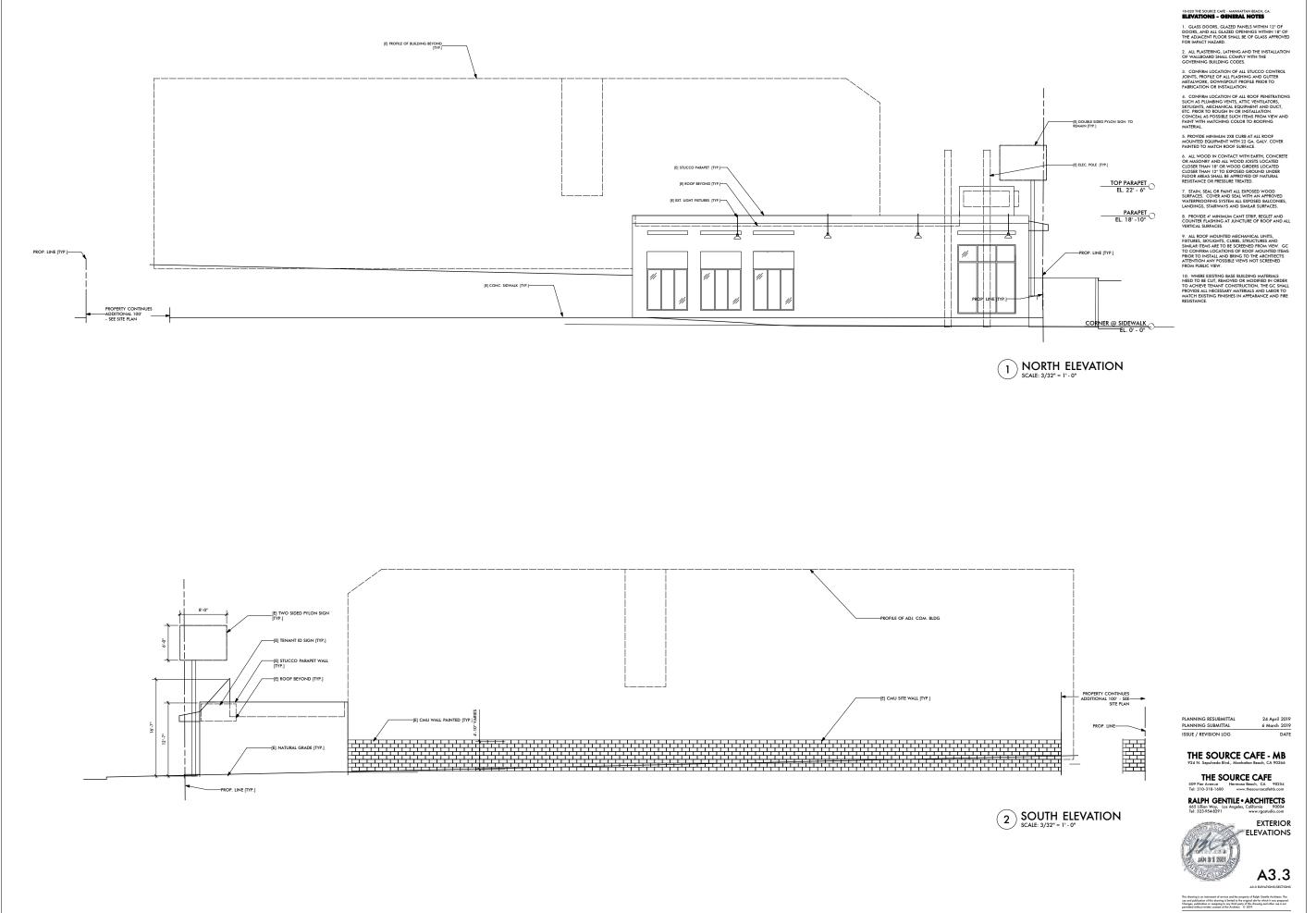
THE SOURCE CAFE - MB

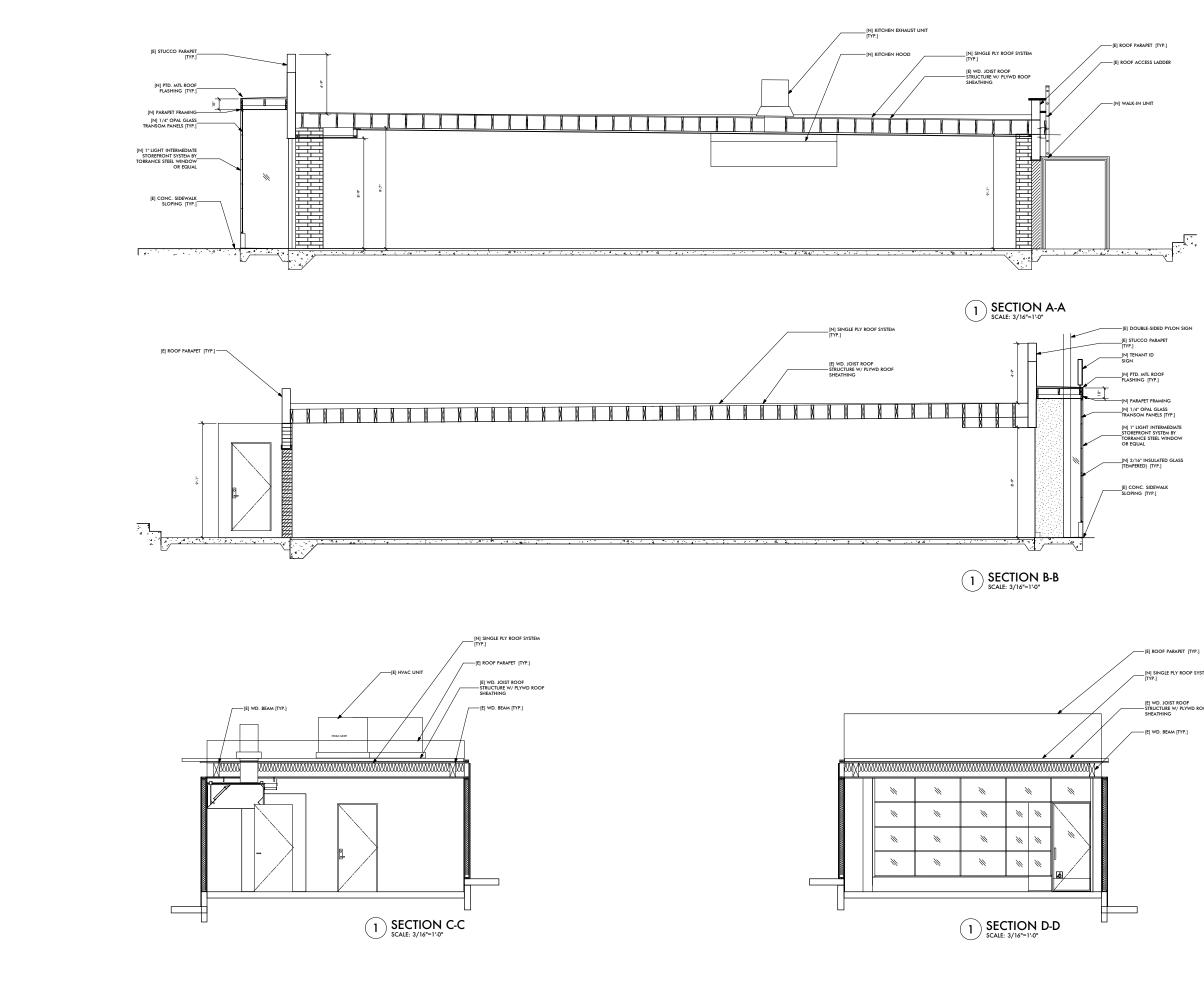
THE SOURCE CAFE 509 Pier Avenue Tel: 310-318-1600 www.thesourcecafehb.com

RALPH GENTILE • ARCHITECTS 665 Lillian Way, Los Angeles, California 90004 Tel: 323-954-8291 www.rgastudio.com



This drawing is an instrument of service and the property of Ralph Geetle Architects. The use and publication of this drawing is limited to the original site for which it was propored. Changes, publication or assigning to any thid party of this drawing and other use is not permitted without written consert of the Architect. © 2019





18-020 THE SOURCE CAFE - MANHATTAN BEACH, CA. SECTIONS - GENERAL NOTES

1. GLASS DOORS, GLAZED PANELS WITHIN 12" OF DOORS, AND ALL GLAZED OPENINGS WITHIN 18" OF THE ADJACENT FLOOR SHALL BE OF GLASS APPROVED FOR IMPACT HAZARD.

2. ALL PLASTERING, LATHING AND THE INSTALLATION OF WALLBOARD SHALL COMPLY WITH THE GOVERNING BUILDING CODES.

3. CONFIRM LOCATION OF ALL STUCCO CONTR JOINTS, PROFILE OF ALL FLASHING AND GUTTER METALWORK, DOWNSPOUT PROFILE PRIOR TO FABRICATION OR INSTALLATION.

4. CONFIRM LOCATION OF ALL ROOF PENETRATIONS SUCH AS PLUMBING VENTS, ATTIC VENTILATORS, SYLIGHTS, MECHANICALE GUINMENT AND DUCT, ETC. FRIOR TO ROUGH IN OR INSTALLATION. CONCEAL AS POSSIBLE SUCH TIMES FROM YEW AND PAINT WITH MATCHING COLOR TO ROOFING MATERIAL.

5. PROVIDE MINIMUM 2X8 CURB AT ALL ROOF MOUNTED EQUIPMENT WITH 22 GA. GALV. COVER PAINTED TO MATCH ROOF SURFACE.

A. ALL WOOD IN CONTACT WITH EARTH, CONCRETE OR MASONRY AND ALL WOOD JOISTS LOCATED CLOSER THAN 13° OR WOOD GIRDERS LOCATED CLOSER THAN 12° TO EXPOSED GROUND UNDER FLOOR AREAS STALLE & APPROVED OF NATURAL RESISTANCE OR PRESSURE TREATED.

7. STAIN, SEAL OR PAINT ALL EXPOSED WOOD SURFACES. COVER AND SEAL WITH AN APPROVED WATERPROOFING SYSTEM ALL EXPOSED BALCONIES LANDINGS, STAIRWAYS AND SIMILAR SURFACES.

8. PROVIDE 4* MINIMUM CANT STRIP, REGLET AND COUNTER FLASHING AT JUNCTURE OF ROOF AND ALL VERTICAL SURFACES.

9. ALL ROOF MOUNTED MECHANICAL UNITS, FIXTURES, SKYLICHTS, CURES, STRUCTURES AND SIMILAR ITEMS ARE TO BE SCREENED FROM YIEW, GC TO CONFIRM LOCATIONS OF ROOF MOUNTED ITEMS PRIOR TO INSTALL AND BRING TO THE ARCHTIECTS ATTENTION ANY POSSIBLE VIEWS NOT SCREENED ROM PUBLIC VIEW

10. WHERE EXISTING BASE BUILDING MATERIALS NEED TO BE CUT, REMOVED OR MODIFIED IN ORDER TO ACHIEVE TENANT CONSTRUCTION, THE GC SHALL PROVIDE ALL NECESSARY MATERIALS AND LABOR TO MATCH EXISTING FINISHES IN APPEARANCE AND FIRE

_	[E] ROOF PARAPET [TYP.]		
/	[N] SINGLE PLY ROOF SYSTEM [TYP.]		
	[E] WD. JOIST ROOF STRUCTURE W/ PLYWD ROOF SHEATHING		
_	[E] WD. BEAM [TYP.]		
		PLANNING RESUBMITTAL PLANNING SUBMITTAL	24 April 2019 6 March 2019
		ISSUE / REVISION LOG	DATE
		THE SOURCE 924 N. Sepulvedo Blvd., Manho THE SOURC 509 Pier Avenue Tel: 310-318-1600	attan Beach, CA 90266
		665 Lillian Way, Los Angeles, Tel: 323-954-8291	
		AN SI 2021	SECTIONS
			A3.0 ELEVATIONS/SECTIONS
		This drawing is an instrument of service and the prop- use and publication of this drawing is limited to the a Changes, publication or assigning to any third party permitted without written consent of the Architect.	erty of Ralph Gentile Architects. The riginal site for which it was propared. of this drawing and other use is not 0 2019

Page 24 of 24 PC MTG 06-12-19