

**CITY OF MANHATTAN BEACH
DEPARTMENT OF COMMUNITY DEVELOPMENT
MEMORANDUM**

TO: Planning Commission

FROM: Anne McIntosh, Director of Community Development

THROUGH: Laurie B Jester, Planning Manager

BY: Ted Faturos, Assistant Planner

DATE: June 12, 2019

SUBJECT: Proposed Use Permit for a New Restaurant with On-Site Beer and Wine Service and Beer and Wine Sales for Off-Site Consumption at 924 N. Sepulveda Boulevard (The Source Cafe/Caudle)

RECOMMENDATION

Staff recommends that the Planning Commission **CONDUCT** the Public Hearing and **ADOPT** the attached Resolution approving the Use Permit subject to certain conditions.

APPLICANT/OWNER

The Source Cafe/Amber Caudle
924 N Sepulveda Boulevard
Manhattan Beach, CA 90266

BACKGROUND

On March 6, 2019, the Community Development Department received an application requesting a Use Permit to establish an Eating and Drinking Establishment use at an existing vacant tenant space which was formerly operated as a banquet room for a neighboring restaurant, located at 924 N. Sepulveda Boulevard. The applicant's proposed restaurant would be located in between two other restaurant uses on the property, India's Tandoori (916 N. Sepulveda Boulevard) and Big Wok (under construction- 926 N. Sepulveda Boulevard). The applicant is proposing a restaurant use with on-site beer and wine consumption and beer and wines sales for off-site consumption. The retail sales of beer and wine for off-site consumption is not the main focus of the applicant's business. No live entertainment is proposed, and the proposed hours of operation are 7am – 10pm Sunday through Thursday, and 7am – 11pm Friday and Saturday. The subject property is located in the "CG" (General Commercial) zoning district in Area District I.

PROJECT OVERVIEW

LOCATION

Location: 924 N Sepulveda Boulevard
(See Vicinity Map- Attachment C)

Legal Description: Lots 8, 9, 10, 11, & 12, Block 10, Tract No. 142

LAND USE

General Plan: General Commercial
 Zoning: CG, General Commercial
 Area District: I
 Land Use: Existing 1,277 sq. ft. Proposed 1,277 sq. ft.
 Vacant (Banquet) Restaurant

Neighboring Zoning and Land Uses:

North (across 10th St) CG: General Commercial (Medical Office)
 South CG: General Commercial (The Wave Hotel)
 East RM: Residential Medium Density (Condominiums)
 West (across Sepulveda Blvd) CG: General Commercial (Barsha/El Gringo/Montage/Baskin Robins)

PROJECT DETAILS

	<u>Existing (BZA 85-14)</u>	<u>Proposed</u>
Alcohol Service	Full Alcohol	On-Site Beer & Wine Off-Site Beer & Wine Sales
Live Entertainment:	None	None
Hours of Operation:	Close at 12am, Sun – Thu Close at 1am, Fri – Sat	7am – 10pm, Sun – Thu 7am – 11pm, Fri – Sat
	<u>Minimum</u>	<u>Provided</u>
Parking	70 spaces	79 spaces

DISCUSSION

The applicant (The Source Cafe) is requesting a Use Permit to establish a new restaurant with on-site beer and wine consumption and sales of beer and wine for off-site consumption. The existing tenant space is vacant and was used in the past as a banquet facility as part of a larger restaurant space that was occupied by Szechuan Chinese restaurant for many years, followed by various restaurant tenants (American Farmhouse, Cantina Real, The Bridge, etc). This large restaurant space was governed by Resolution No. BZA 85-14, which allowed for full alcohol service and closing hours of 12am, Sunday through Thursday and 1am, Friday and Saturday. The landlord, Stuart Sackley, divided this large restaurant space into two spaces, a 3,630 square foot restaurant

currently undergoing a tenant improvement (Big Wok), and a 1,277 square foot area that the applicant has requested be turned into a separate restaurant with its own Use Permit. Big Wok will operate under Resolution No. BZA 85-14, and India's Tandoor will continue to operate under its separate resolution (Planning Commission Resolution No. PC 00-38) that also allows for beer and wine service.

The applicant operates an existing Source Café in Hermosa Beach that serves juices, coffee, baked goods, and healthy meals. The applicant has programmed the proposed restaurant space with about 295 square feet of seating area, which includes a small bar area, as part of the 1,277 square foot tenant space. The applicant is proposing hours of operations between 7am and 10pm, Sunday through Thursday; and 7am – 11pm, Friday and Saturday. The applicant is also requesting the ability to serve beer and wine, and to also have the ability to sell beer and wine for off-site consumption, as a specialty item since their focus is on organic and sustainable beer and wine. The retail sales of beer and wine for off-site consumption is not the focus of the applicant's business. There is no live entertainment proposed. The cumulative required parking of all three restaurants is 70 parking spaces, and the current site has 79 existing parking spaces. The existing building is largely aligned with the goals of the Sepulveda Boulevard Design Guidelines, including building orientation, parking standards, and visual aesthetics.

The Eating and Drinking Establishment use, as well as any alcohol-related use, requires a Use Permit. The Draft Resolution (Attachment A) implements the latest conditions the City places on eating and drinking establishments.

OTHER DEPARTMENT COMMENTS

The Police Department has reviewed the applicant's request and has no objections to the applicant's proposed use or operating characteristics.

REQUIRED FINDINGS

Section 10.84.010 of the Manhattan Beach Municipal Code states that "Use Permits are required for use classifications typically having unusual site development features or operating characteristics requiring special consideration so that they may be designed, located, and operated compatibly with uses on adjoining properties and in the surrounding area."

The following findings must be met in order to grant the Use Permit Amendment.

1. The proposed location of the use is in accord with the objectives of this title and the purposes of the district in which the site is located;
2. The proposed location of the use and the proposed conditions under which it would be operated or maintained will be consistent with the General Plan; will not be detrimental to the public health, safety or welfare of persons residing or working on the proposed project site or in or adjacent to the neighborhood of such use; and will not be detrimental to properties or improvements in the vicinity or to the general welfare of the city;
3. The proposed use will comply with the provisions of this title, including any specific condition required for the proposed use in the district in which it would be located; and

4. The proposed use will not adversely impact nor be adversely impacted by nearby properties. Potential impacts are related but not necessarily limited to: traffic, parking, noise, vibration, odors, resident security and personal safety, and aesthetics, or create demands exceeding the capacity of public services and facilities which cannot be mitigated.

Staff suggests the following findings in support of the Use Permit Amendment for the project:

1. The Source Cafe will be an Eating and Drinking establishment (restaurant) use located in the CG General Commercial zone.
2. The Source Cafe will be a commercial use consistent with the General Plan's General Commercial land use designation assigned to the project lot and the neighboring lots. The proposed use is consistent and complimentary with neighboring uses, as the neighboring lots have also been developed with commercial uses, many of which are eating and drinking establishments that serve food and alcohol. The General Plan encourages uses along Sepulveda Boulevard that "meet the needs of local residents and businesses", and The Source Cafe can be part of the commercial mix of businesses that helps create a dynamic commercial corridor along Sepulveda Boulevard.
3. The Source Cafe will be an Eating and Drinking Establishment use that complies with all provisions of the Municipal Code's Title 10 Planning and Zoning.
4. The proposed tenant, The Source Cafe, will be an eating and drinking establishment located on the busy Sepulveda Boulevard commercial corridor, with some of the surrounded businesses having similar operating characteristics. Significant buffers exist between The Source Cafe and neighboring residences, with Sepulveda Boulevard, 10th Street, a large rear parking lot, and other businesses providing sound barriers that help minimize any impacts associated with the use.

General Plan

The General Plan encourages Downtown businesses that offer "services and activities to our residents and visitors". The project is specifically consistent with General Plan Policies as follows:

LU-6: Maintain the viability of the commercial areas of Manhattan Beach.

LU-8: Maintain Sepulveda Boulevard, Rosecrans Avenue, and commercial areas of Manhattan Village as regional-serving commercial districts.

PUBLIC COMMENT

A public notice for tonight's hearing was published in the Beach Reporter on May 30, 2019 and mailed to all property owners within a 500' radius. As of the writing of this report, staff has not received any public comments.

ENVIRONMENTAL DETERMINATION

The Project is Categorically Exempt from the requirements of the California Environmental

Quality Act (CEQA), pursuant to Existing Facilities Section 15301 based on Staff's determination that there is no expansion of use associated with the Project.

CONCLUSION

Staff recommends that the Planning Commission conduct the public hearing, discuss the applicant's request, and approve the attached draft Resolution approving the Use Permit subject to certain conditions.

Attachments:

- A. Draft Resolution No. PC 19-
- B. Applicant's Written Documents
- C. Vicinity Map
- D. The Source Café's Plans

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ATTACHMENT A

RESOLUTION NO. PC 19-

RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF MANHATTAN BEACH APPROVING A USE PERMIT FOR A NEW EATING AND DRINKING ESTABLISHMENT WITH ON-SITE BEER AND WINE SERVICE AND OFF-SITE BEER AND WINE SALES AT 924 N. SEPULVEDA BOULEVARD (THE SOURCE CAFE/CAUDLE)

THE PLANNING COMMISSION OF THE CITY OF MANHATTAN BEACH DOES HEREBY RESOLVE AS FOLLOWS:

SECTION 1. The Planning Commission of the City of Manhattan Beach hereby makes the following findings:

- A. The Planning Commission of the City of Manhattan Beach conducted a public hearing on June 12, 2019, received testimony, and considered an application for a Use Permit to allow a new eating and drinking establishment with on-site beer and wine consumption and beer and wine sales for off-site consumption at 924 N. Sepulveda Boulevard.
- B. The subject property is legally described as Lots 8, 9, 10, 11, and 12, Block 10, Tract No. 142 in the City of Manhattan Beach, County of Los Angeles.
- C. The applicant for the subject project is The Source Cafe, the owner of the business (hereafter referred to as "the owner").
- D. The Project is Categorically Exempt from the requirements of the California Environmental Quality Act (CEQA), pursuant to Existing Facilities Section 15301 based on Staff's determination that there is no expansion of use associated with the Project.
- E. The project will not individually nor cumulatively have an adverse effect on wildlife resources, as defined in Section 711.2 of the Fish and Game Code.
- F. The existing tenant space was used as a banquet facility as part of a larger restaurant space formerly occupied by various restaurants. The site also has two existing eating and drinking establishments (Big Wok and India's Tandoori).
- G. The subject property is located in Area District I and is zoned CG, General Commercial. The surrounding properties are zoned CG to the North (across 10th Street), CG to the South, RM Residential Medium Density to the East, and CG to the West (across Sepulveda Boulevard).
- H. The use is permitted in the CG zone subject to a Use Permit and is in compliance with the City's General Plan designation of General Commercial.
- I. The General Plan designation for the property is General Commercial. The General Plan encourages businesses along Sepulveda Boulevard that "offer "services and activities to our residents and visitors". The project is specifically consistent with General Plan Policies as follows:

LU-6: Maintain the viability of the commercial areas of Manhattan Beach.

LU-8: Maintain Sepulveda Boulevard, Rosecrans Avenue, and commercial areas of Manhattan Village as regional-serving commercial districts.

- J. The Planning Commission makes the following findings required to approve the Use Permit pursuant to MBMC Section 10.84.060:

- 1. **The proposed location of the use is in accord with the objectives of this title and the purposes of the district in which the site is located.**

The Source Cafe will be an Eating and Drinking establishment (restaurant) use located in the CG General Commercial zone.

- 2. **The proposed location of the use and the proposed conditions under which it would be operated or maintained will be consistent with the General Plan; will not be detrimental to the public health, safety or welfare of persons residing or working on the proposed project site or in or adjacent to the neighborhood of such use; and will not be detrimental to properties or improvements in the vicinity or to the general**

welfare of the city.

The Source Cafe will be a commercial use consistent with the General Plan’s General Commercial land use designation assigned to the project lot and the neighboring lots. The proposed use is consistent and complimentary with neighboring uses, as the neighboring lots have also been developed with commercial uses, many of which are eating and drinking establishments that serve food and alcohol. The General Plan encourages uses along Sepulveda Boulevard that “meet the needs of local residents and businesses”, and The Source Cafe can be part of the commercial mix of businesses that helps create a dynamic commercial corridor along Sepulveda Boulevard.

- 3. The proposed use will comply with the provisions of this title, including any specific condition required for the proposed use in the district in which it would be located.**

The Source Cafe will be an Eating and Drinking Establishment use that complies with all provisions of the Municipal Code’s Title 10 Planning and Zoning.

- 4. The proposed use will not adversely impact or be adversely impacted by nearby properties. Potential impacts are related but not necessarily limited to: traffic, parking noise, vibration, odors, resident security and personal safety, and aesthetics, or create demands exceeding the capacity of public services and facilities which cannot be mitigated.**

The proposed tenant, The Source Cafe, will be an eating and drinking establishment located on the busy Sepulveda Boulevard commercial corridor, with some of the surrounded businesses having similar operating characteristics. Significant buffers exist between The Source Cafe and neighboring residences, with Sepulveda Boulevard, 10th Street, a large rear parking lot, and other businesses providing sound barriers that help minimize any impacts associated with the use.

K. The project shall comply with all applicable provisions of the Manhattan Beach Municipal Code.

L. This Resolution, upon its effectiveness, constitutes the Use Permit for the subject project.

SECTION 2. The Planning Commission of the City of Manhattan Beach hereby **APPROVES** the Use Permit subject to the following conditions:

- 1. The project shall be in substantial conformance with the plans and project description submitted to, and approved by the Planning Commission on June 12, 2019 as amended and conditioned. Any substantial deviation from the approved plans and project description, as conditioned, shall require review by the Community Development Director to determine if approval from the Planning Commission is required.
- 2. Any questions of intent or interpretation of any condition will be reviewed by the Community Development Director to determine if Planning Commission review and action is required.

Operation

- 3. The management of the property shall police the property and all areas adjacent to the business during the hours of operation to keep it free of litter and food debris.
- 4. The operators of the business shall provide adequate management and supervisory techniques to prevent loitering and other security concerns outside the subject business.
- 5. All rooftop mechanical equipment shall be screened from the public right-of-way.
- 6. All mats shall be cleaned on the premises with no outside cleaning of mats permitted. If any floor mats cannot be cleaned within the premises, a service company must be contracted.
- 7. Hours of operation for the establishment shall be permitted as follows:

Sunday – Thursday 7:00am – 10:00pm
Friday – Sunday 7:00am – 11:00pm

8. The owner shall be in substantial compliance with all restrictions imposed by the Alcohol Beverage Control Board (ABC) for the Type 41 "On Sale Beer & Wine- Eating Place" license and Type 20 "Off Sale Beer & Wine" license.
9. The owner shall be permitted to serve beer and wine for on-site consumption and sell beer and wine for off-site consumption in accordance with the Alcohol Beverage Control Board (ABC) licenses.
10. Alcohol service shall be conducted only in conjunction with food service during all hours of operation.
11. Food service shall be available at all seats, and no specific bar area serving exclusively alcohol shall be permitted.
12. At all times the business shall identify itself as a "restaurant" and will not identify itself as a "bar" in public advertisements.
13. Live entertainment is prohibited.
14. Noise emanating from the property shall be within the limitations prescribed by the City Noise Ordinance and shall not create a nuisance to nearby property owners. Noise shall not be audible beyond the premises.
15. The restaurant management shall control the volume of any background music.
16. At any time in the future, the Planning Commission or City Council may review the Use Permit for the purpose of revocation or modification in accordance with the requirements of the MBMC Chapter 10.104. Modification may consist of conditions deemed reasonable to mitigate or alleviate impacts to adjacent land uses.
17. The Community Development Department staff shall be allowed to inspect the site at any time.

Refuse

18. The management shall arrange for special on-site pickup as often as necessary to ensure that the refuse area has adequate space to accommodate the needs of the subject business.
19. No refuse generated at the subject site shall be located in the non-alley Public Right-of-Way for storage or pickup, including the disposal of refuse in any refuse container established for public use.

Signage

20. All new signs and alterations to existing signs shall receive permits, and shall be in compliance with the City's sign code.
21. A-frame or other sidewalk signs in the public right-of-way shall be prohibited.
22. No temporary banner or other signs shall be placed on the site without City permit and approval.

Procedural

23. The owner shall be required to obtain a City of Manhattan Beach right-of-way encroachment permit for any projections into the public right-of-way.
24. This Resolution shall become effective when all time limits for appeal as set forth in MBMC Section 10.100.030 have expired
25. This Use Permit shall lapse two years after its date of approval, unless implemented or extended pursuant to 10.84.090 of the Municipal Code.
26. Pursuant to Public Resources Code section 21089(b) and Fish and Game Code section 711.4(c), the project is not operative, vested or final until the required filing fees are paid.
27. The Planning Commission's decision is based upon each of the totally independent and separate grounds stated herein, each of which stands alone as a sufficient basis for its decision.

- 28. The Secretary of the Planning Commission shall certify to the adoption of this Resolution and shall forward a copy of this Resolution to the owner. The Secretary shall make this resolution readily available for public inspection.
- 29. Terms and Conditions are Perpetual; Recordation of Covenant. The provisions, terms and conditions set forth herein are perpetual, and are binding on the owner, its successors-in-interest, and, where applicable, all tenants and lessees of the site. Further, the owner shall submit the covenant, prepared and approved by the City, indicating its consent to the conditions of approval of this Resolution, and the City shall record the covenant with the Office of the County Clerk/Recorder of Los Angeles. Owner shall deliver the executed covenant, and all required recording and related fees, to the Department of Community Development within 30 days of the adoption of this Resolution. Notwithstanding the foregoing, the Director may, upon a request by owner, grant an extension to the 30-day time limit. The project approval shall not become effective until recordation of the covenant.
- 30. *Indemnity, Duty to Defend and Obligation to Pay Judgments and Defense Costs, Including Attorneys' Fees, Incurred by the City.* The owner shall defend, indemnify, and hold harmless the City, its elected officials, officers, employees, volunteers, agents, and those City agents serving as independent contractors in the role of City officials (collectively "Indemnitees") from and against any claims, damages, actions, causes of actions, lawsuits, suits, proceedings, losses, judgments, costs, and expenses (including, without limitation, attorneys' fees or court costs) in any manner arising out of or incident to this approval, related entitlements, or the City's environmental review thereof. The owner shall pay and satisfy any judgment, award or decree that may be rendered against City or the other Indemnitees in any such suit, action, or other legal proceeding. The City shall promptly notify the owner of any claim, action, or proceeding and the City shall reasonably cooperate in the defense. If the City fails to promptly notify the owner of any claim, action, or proceeding, or if the City fails to reasonably cooperate in the defense, the owner shall not thereafter be responsible to defend, indemnify, or hold harmless the City or the Indemnitees. The City shall have the right to select counsel of its choice. The owner shall reimburse the City, and the other Indemnitees, for any and all legal expenses and costs incurred by each of them in connection therewith or in enforcing the indemnity herein provided. Nothing in this Section shall be construed to require the owner to indemnify Indemnitees for any Claim arising from the sole negligence or willful misconduct of the Indemnitees. In the event such a legal action is filed challenging the City's determinations herein or the issuance of the approval, the City shall estimate its expenses for the litigation. The owner shall deposit said amount with the City or enter into an agreement with the City to pay such expenses as they become due.

I hereby certify that the following is a full, true, and correct copy of the Resolution as **ADOPTED** by the Planning Commission at its regular meeting on **June 12, 2019** and that said Resolution was adopted by the following vote:

AYES:

NOES:

ABSTAIN:

ABSENT:

Anne McIntosh
Secretary to the Planning Commission

Rosemary Lackow
Recording Secretary

ATTACHMENT B

#7 – Complete Written Description

The Source Cafe is a casual restaurant with order at the counter service and take out options. The Source is founded on the belief that healthy food should still be be delicious. We encourage the nourishment of the body and the mind. Our food, juices, coffee and baked goods are non-gmo and we only use organic or local ingredients, emphasizing ingredients obtained at our local South Bay Farmers Markets.

Operating hours will be 7 am - 10 pm Sunday through Thursday and 7 am - 11 pm Friday and Saturday. The peak hours are generally 7 am - 9 am as well as 12 pm - 2 pm. The Source will have a Type 41 beer & wine license and will be serving organic beer and wine on the premises. Sales of beer & wine will be restricted to 11 am - 10 pm Sunday through Thursday and until 11 pm on Friday & Saturday. The seating capacity is 32 fixed seats covering 237 square feet. There are no additional factors necessary to insure compatibility to the surrounding land uses.

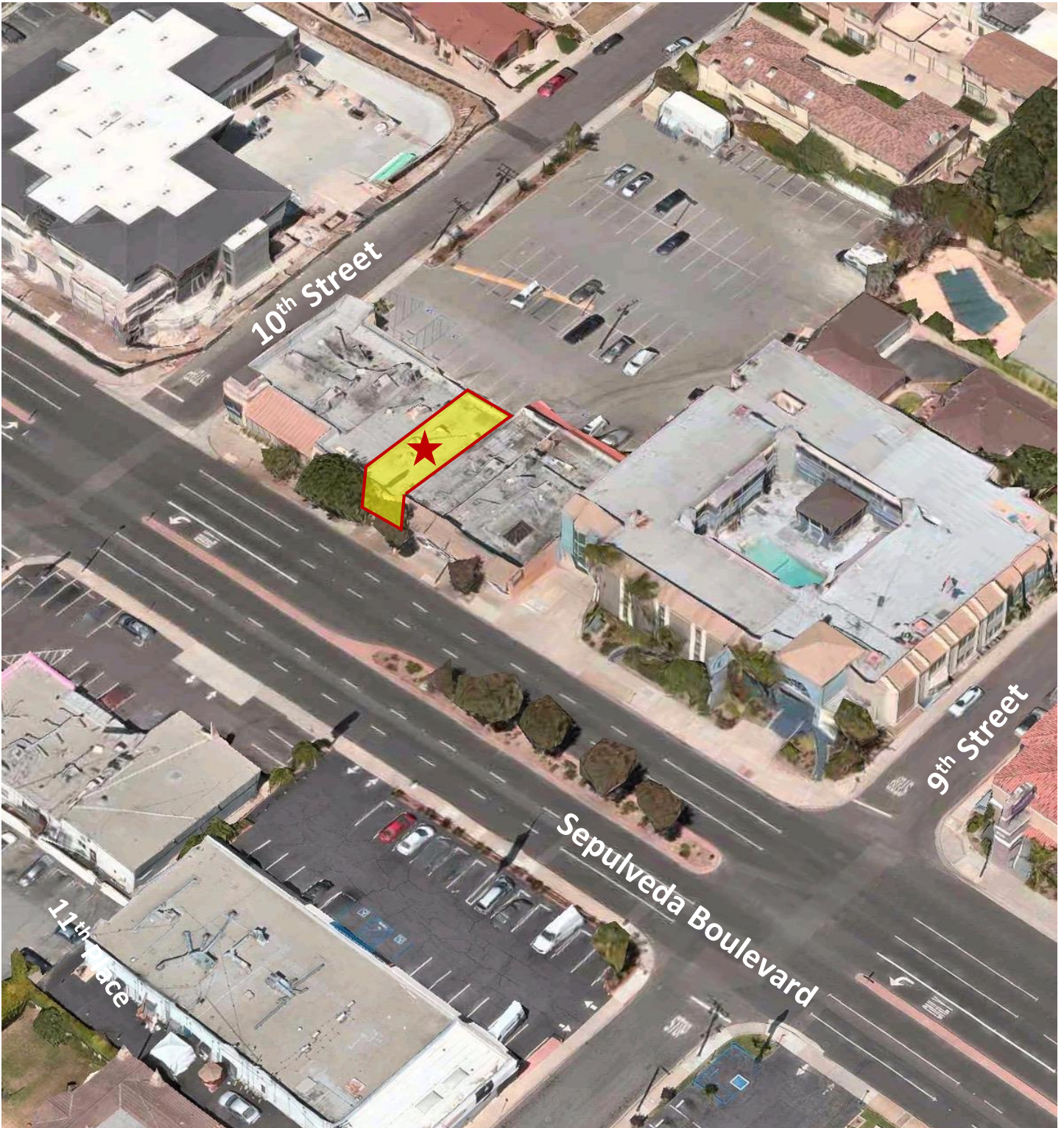
#8 - Written Description of how Findings will be met

The Source confirms the following:

1. Yes, the proposed location of the use is in accord with the objectives of this title and the purposes of the district in which the site is located.
2. Yes, the proposed location of the use and the proposed conditions under which it would be operated or maintained will be consistent with the General Plan; will not be detrimental to the public health, safety or welfare of persons residing or working in or adjacent to the neighborhood of such use; and will not be detrimental to the properties or improvements in the vicinity or to the general welfare of the city.
3. Yes, the proposed use will comply with the provisions of this title, including any specific condition required for the proposed use in the district in which it would be located.
4. Yes, the proposed use will not adversely impact nor be adversely impacted by nearby properties. Potential impacts are related but not necessarily limited to: traffic, parking, noise, vibration, odors, resident security and personal safety, and aesthetics, or create demands exceeding the capacity of public services and facilities which cannot be mitigated.

ATTACHMENT C

Vicinity Map



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1. FINISH FLOOR [+0'-0"] SHALL BE A MINIMUM OF 6" ABOVE FINISHED GRADE EXCEPT AS NOTED.
2. THE GENERAL CONTRACTOR SHALL VERIFY WITH OWNER, LANDSCAPE DESIGNER ALL PROPOSED IRRIGATION, LANDSCAPE LIGHTING, AND PLANTER DETAILS AND PROVIDE NECESSARY ELECTRICAL AND PLUMBING CONNECTIONS AS REQUIRED.
3. FOR SITE UTILITIES, CONFIRM ALL LOCATIONS AND CONNECTIONS WITH UTILITY COMPANIES PRIOR TO DEMOLITION OR EXCAVATION. INDICATE LOCATIONS ON REPRODUCIBLE COPIES OF THIS SITE PLAN OF EXISTING AND PROPOSED UTILITIES AND SUPPLY COPIES TO ARCHITECT, OWNER, AND ANY OTHER AFFECTED TRADE.
4. NO TRENCHES OR EXCAVATIONS 5'-0" OR MORE IN DEPTH INTO WHICH A PERSON IS REQUIRED TO DESCEND.
5. NEW AND EXISTING RAMPS SHALL NOT EXCEED 8.33% (1:12) IN SLOPE AND SHALL BE AT LEAST 36 INCHES WIDE WITH REQUIRED LANDINGS AT BOTH TOP AND BOTTOM. REFER TO DISABLED ACCESS DETAILS.
6. NEW AND EXISTING RAMPS OF GREATER THAN 1:15 SLOPE SHALL HAVE CONTINUOUS HANDRAILS (1-1/2" DIAMETER) ON BOTH SIDES EXTENDING 12 INCHES BEYOND TOP AND 12 INCHES PLUS TREAD DEPTH BEYOND BOTTOM WITH RETURN ENDS AND BE LOCATED BETWEEN 32-36 INCHES ABOVE SURFACE OF THE RAMP.
7. MAINTAIN EXISTING DISABLED ACCESS AND EXITING AS SHOWN ON PLANS TO PUBLIC RIGHTS-OF-WAY.
8. REFER TO ELECTRICAL DRAWINGS FOR SWITCHBOARD AND TRANSFORMER REQUIREMENTS.
9. RESTRIKE PARKING LOT AS REQD TO MEET CURRENT CITY CODES (TYP.).
10. REFER TO PLUMBING DRAWINGS FOR GREASE INTERCEPTOR LOCATION AND CONNECTION TO CITY SEWER.
11. EXISTING TRASH ENCLOSURE TO REMAIN.
12. EXISTING PARKING LOT LIGHTING TO MEET MIN. CITY ILLUMINATION REQUIREMENTS.

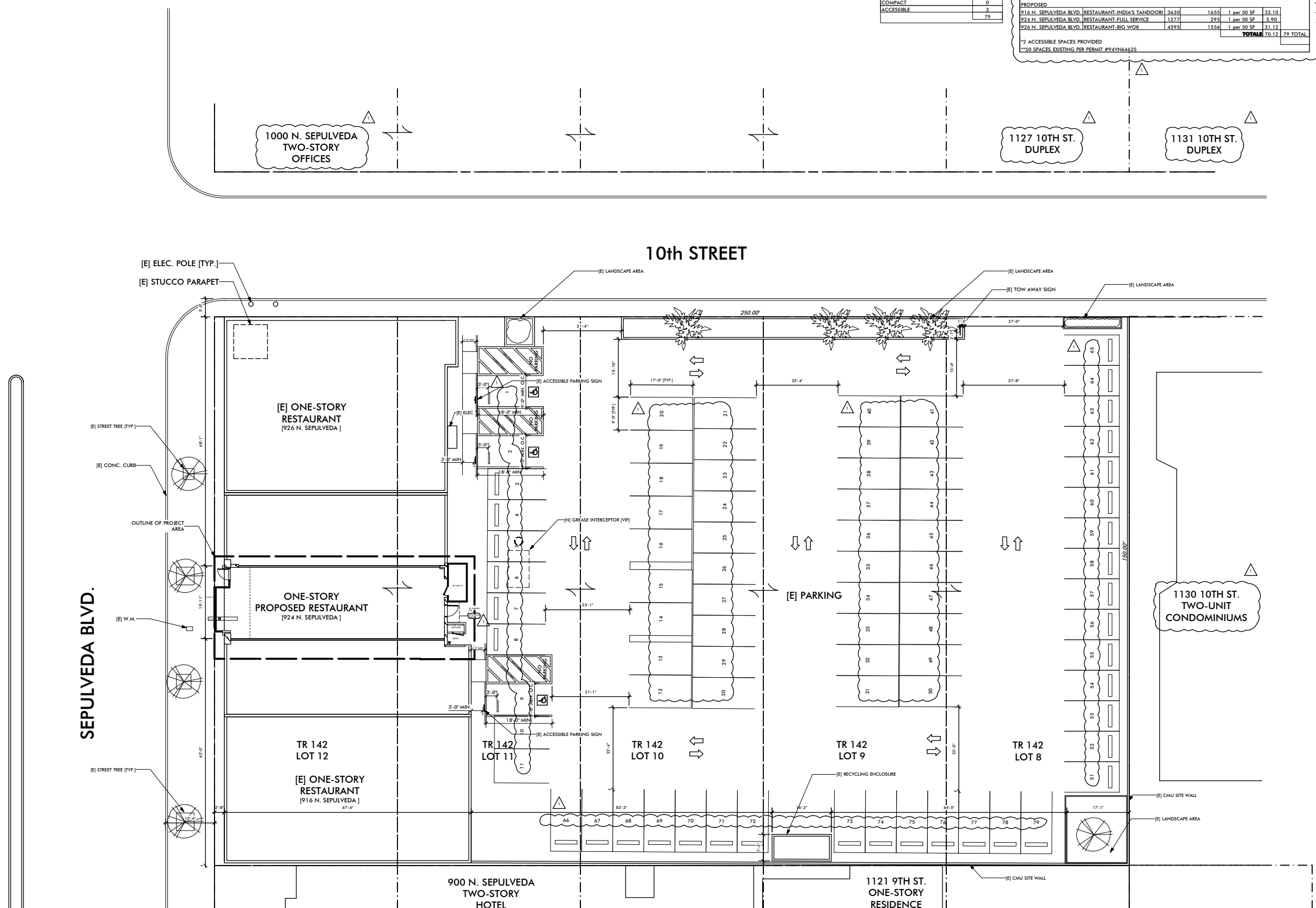
PARKING SUMMARY

TYPE	QUANTITY
STANDARD	75
COMPACT	0
ACCESSIBLE	3
	79

PARKING CALCULATIONS

SUITE ADDRESS	CURRENT USE	AREA	SEATING AREA	PARKING LOAD	REQD	PROVIDED
PROPOSED:						
916 N. SEPULVEDA BLVD.	RESTAURANT-INDIA'S TANDOORI	3630	1,655	1 per 50 SF	33.10	
924 N. SEPULVEDA BLVD.	RESTAURANT-FULL SERVICE	1277	299	1 per 50 SF	5.90	
926 N. SEPULVEDA BLVD.	RESTAURANT-BIG WOK	4595	1556	1 per 50 SF	31.12	
					TOTAL 70.12	79 TOTAL

*2 ACCESSIBLE SPACES PROVIDED
 **50 SPACES EXISTING PER PERMIT #94V64625



PLANNING RESUBMITTAL	24 April 2019
PLANNING SUBMITTAL	6 March 2019
ISSUE / REVISION LOG	DATE

THE SOURCE CAFE - MB
 924 N. Sepulveda Blvd., Manhattan Beach, CA 90266

THE SOURCE CAFE
 509 Pier Avenue Hermosa Beach, CA 90254
 Tel: 310-318-1600 www.thesourcecafehb.com

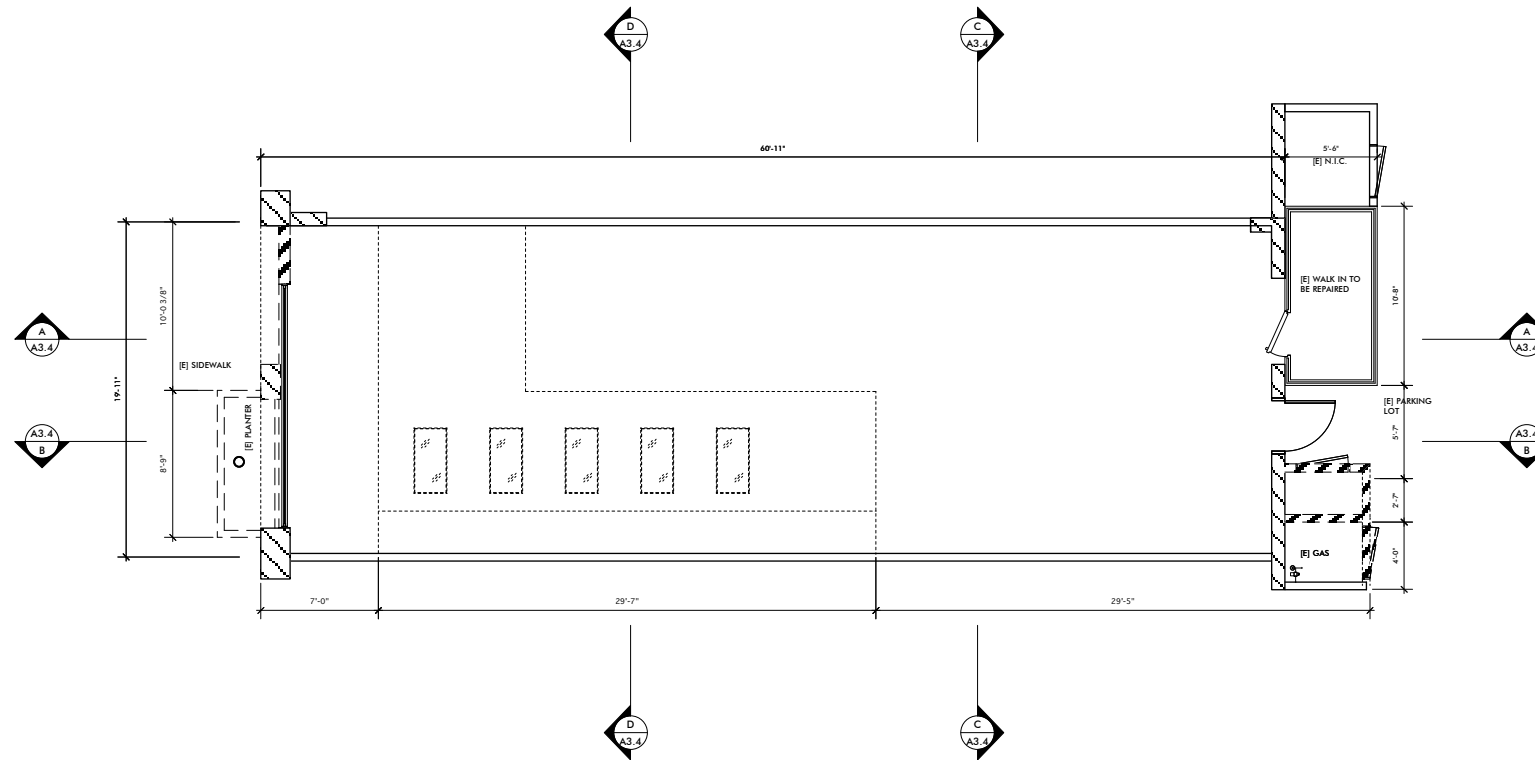
RALPH GENTILE ARCHITECTS
 665 Ullian Way, Los Angeles, California 90004
 Tel: 323-954-8291 www.rgstudio.com



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**18-000 THE SOURCE CAFE - MANHATTAN BEACH, CA
DEMOLITION PLAN - GENERAL NOTES**

1. THE GENERAL CONTRACTOR SHALL PERFORM ALL REMOVAL AND RELATED WORK SHOWN ON DRAWINGS, DESCRIBED IN THESE NOTES, AND INFERRED AS NECESSARY TO COMPLETE THE WORK FOR THE PROJECT.
2. THE GENERAL CONTRACTOR SHALL PROVIDE AND MAINTAIN FEEBEBARR PROTECTION AS REQUIRED BY THE CITY OF LOS ANGELES. PRIOR TO DEMOLITION, THE CONTRACTOR SHALL OBTAIN AND PAY FOR ALL REQUIRED PERMITS FOR SIDEWALK PROTECTION AND STREET USE.
3. THE EXISTING CONDITIONS AND DIMENSIONS SHOWN ON THESE PLANS REPRESENT ACTUAL EXISTING CONDITIONS AS ACCURATELY AS FEASIBLE PRIOR TO DEMOLITION. HOWEVER, IT IS THE GENERAL CONTRACTOR'S SOLE RESPONSIBILITY TO VERIFY IN THE FIELD ALL DIMENSIONS, LOCATIONS AND CONDITIONS PRIOR AND DURING THE COURSE OF DEMOLITION. THESE INCLUDE BUT NOT LIMITED TO LOCATION AND DIMENSIONS OF FOOTINGS AND STRUCTURE, SITE AND BUILDING UTILITIES SUCH AS SEWER LINES, WATER LINES, IRRIGATION LINES, ELECTRICAL CONDUIT, DATA/TELEPHONE LINES. THE CONTRACTOR SHALL CONTACT WHY DIGALERT.ORG AND ALL SIMILAR SERVICES TO IDENTIFY SITE UTILITIES PRIOR TO THE START OF DEMOLITION.
4. IF ANY CONDITIONS ARISE WHICH REQUIRE THE REMOVAL OF ADDITIONAL EXISTING STRUCTURE OR FINISHES FOR THE COMPLETION OF THE WORK AS OBTAINED BY THESE DOCUMENTS, THE CONTRACTOR SHALL INFORM THE ARCHITECT AND OWNER PRIOR TO COMMENCING ANY ADDITIONAL DEMOLITION OR MODIFICATION.
5. DEMOLITION AND REMOVAL OF EXISTING STRUCTURES, CONCRETE SLABS, RAILING AND EQUIPMENT SHALL INCLUDE REMOVAL OF ALL FOUNDATIONS AND SUBSURFACE CONSTRUCTION, AS REQUIRED.
6. REQUIRED DEMOLITION AND REMOVAL SHALL BE DONE IN STRICT ACCORDANCE WITH THE CITY OF LOS ANGELES ORDINANCES DURING APPROVED HOURS ONLY. CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO MINIMIZE NOISE, DUST, AND OTHER NUISANCES TO ADJOINING PROPERTIES AND TO THE PUBLIC RIGHT-OF-WAY.
7. THE GENERAL CONTRACTOR SHALL INSPECT AND BE RESPONSIBLE FOR PROTECTING AND MAINTAINING ALL NEW AND EXISTING CONSTRUCTION, FACILITIES AND IMPROVEMENTS WITHIN THE AREAS INDICATED. ANY DISTURBANCE OR DAMAGE TO THE WORK, THE EXISTING BUILDINGS AND IMPROVEMENTS, OR ANY IMPAIRMENT OR DIFFICULTIES RESULTING DIRECTLY OR INDIRECTLY FROM THE CONTRACTOR'S OPERATIONS SHALL BE PROMPTLY RESTORED, REPAIRED, OR REPLACED TO THE SATISFACTION OF THE ARCHITECT AND WITH NO COST TO THE OWNER.
8. ALL DAMAGED EXISTING AREAS TO REMAIN SHALL BE PATCHED AS REQUIRED TO MATCH IMMEDIATELY ADJACENT EXISTING AREAS IN MATERIAL, FIRE RATING, FINISH AND COLOR UNLESS OTHERWISE NOTED.
9. ALL HAZARDOUS MATERIALS OR DEBRIS SUCH AS ASBESTOS OR PCBs SHALL BE DISPOSED IN ACCORDANCE WITH STATE AND LOCAL LAWS GOVERNING THE HANDLING AND DISPOSAL OF HAZARDOUS MATERIALS AND PERFORMED BY CONTRACTORS LICENSED TO DO THE WORK. GENERAL CONTRACTOR SHALL SUPPLY COMPLETE TEST RESULTS AND CONTRACTOR LICENSE NUMBERS TO BOTH ARCHITECT AND OWNER.
10. REMOVE ALL INTERIOR FINISHES, WINDOWS, DOORS, CABINETWORK, PLUMBING FIXTURES, ELECTRICAL FIXTURES AND OTHER FIXTURES AS SHOWN ON PLANS OR AS DIRECTED BY ARCHITECT.
11. REMOVE, PROTECT AND STORE ALL BUILDING ELEMENTS AS SHOWN ON PLANS OR AS DIRECTED BY ARCHITECT. DISCUSS MEANS OF STORAGE WITH OWNER.
12. GENERAL CONTRACTOR TO CAP AND ABANDON IN AN APPROVED MANNER ALL DISCONNECTED PLUMBING, ELECTRICAL AND MECHANICAL WORK NOT INDICATED FOR REMOVAL.
13. PROTECT ALL VEGETATION NOT INDICATED FOR REMOVAL. VERIFY EXTENT OF VEGETATION TO REMAIN AND MEANS OF PROTECTION WITH OWNER.
14. ALL MATERIAL AND DEBRIS TO BE REMOVED MUST BE DONE SO ALONG THE APPROVED PATH OF TRAVEL WITH ALL NECESSARY PROTECTION DURING AGREED UPON WORK HOURS AND WITH MINIMUM DISRUPTION TO NEIGHBORING TENANTS OPERATIONS/CUSTOMERS.
15. WHERE PLUMBING FIXTURES OR LINES ARE BEING REMOVED OR ABANDONED CAP LINES AT LOCATIONS WHICH DO NOT REQUIRE NEW ACCESS PANELS. WHERE FIRE STOPPING IS REMOVED PROVIDE REQUIRED FIRE RESISTIVE PATCHING TO MAINTAIN REQUIRED FIRE RESISTIVE ASSEMBLY.
16. WHERE EXISTING ELECTRICAL IS BEING REMOVED OR ABANDONED REMOVE ALL WIRING AND DEVICES AND SEAL CONDUIT AS REQUIRED.
17. DEMOLISH ALL INTERIOR FINISHES TO BARE CONCRETE SLAB, COLUMN OR UNDERSIDE OF SLAB ABOVE AND PREPARE AS NECESSARY EXISTING SURFACES TO RECEIVE NEW FINISHES.
18. DEMOLITION OF ALL MECHANICAL, PLUMBING, ELECTRICAL AND FIRE SPRINKLER SYSTEMS TO BE COMPLETED IN SUCH A MANNER AS TO NOT AFFECT THE REST OF THE BUILDING OR THE NEIGHBORING TENANTS OPERATIONS.
19. PROVIDE ALL NECESSARY TEMPORARY PROTECTION REQUIRED TO COMPLETE THE WORK AS SHOWN ON THESE DRAWINGS.
20. SEE MECHANICAL, ELECTRICAL AND PLUMBING DRAWINGS FOR ADDITIONAL DEMOLITION REQUIREMENTS.
21. SEE STRUCTURAL DRAWINGS FOR ADDITIONAL DEMOLITION AND SHORING REQUIREMENTS.
22. NON-RESIDENTIAL ADDITIONS AND ALTERATIONS SHALL REQUIRE VERIFICATION THAT CALIFORNIA PROHIBITED UNIVERSAL WASTE MATERIALS ARE DISPOSED OF PROPERLY AND DIVERTED FROM LANDFILLS.
23. NO STRUCTURE TO BE DEMOLISHED.



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EXISTING/
DEMOLITION
PLAN

A1.1
AT D PLANS

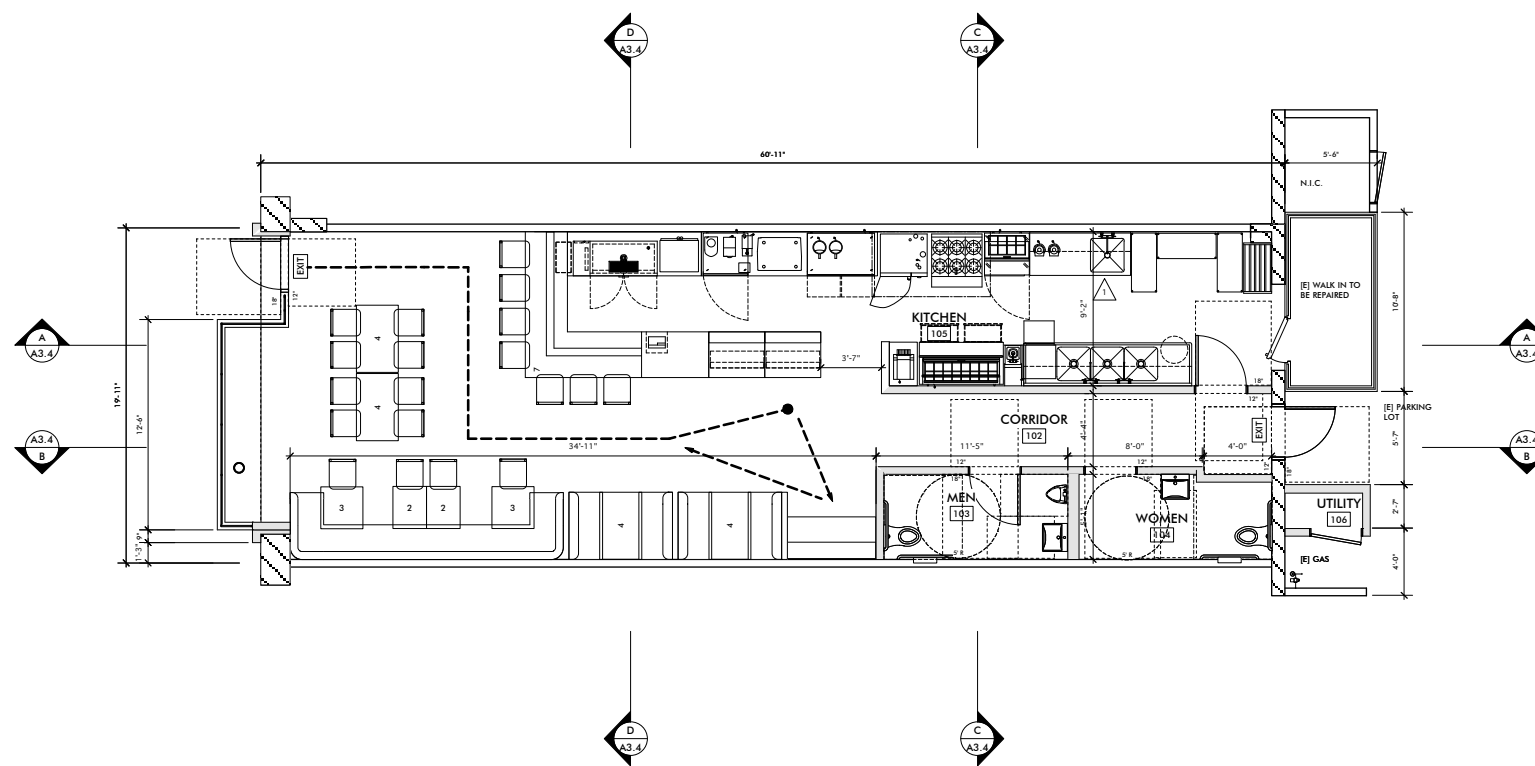
1 EXISTING/DEMO FLOOR PLAN
SCALE: 3/32" = 1'-0"



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FLOOR PLAN - GENERAL NOTES

1. CONFIRM EXTENT OF ALL INTERIOR FLOOR, CEILING AND PARTITION FIRE ASSEMBLY RATINGS AND REQUIREMENTS AND REPORT ANY DISCREPANCIES TO THE ARCHITECT PRIOR TO LAYOUT OR ROUGH FRAMING.
2. FIELD MEASURE ALL EXISTING CONDITIONS AND COMPARE TO DIMENSIONS PROVIDED ON THESE DRAWINGS. REPORT ANY DISCREPANCIES TO THE ARCHITECT PRIOR TO LAYOUT OR ROUGH FRAMING.
3. WHERE MINIMUM OR MAXIMUM ADA CLEARANCES ARE SHOWN, CONFIRM THAT FINAL CONSTRUCTION WILL ACHIEVE THESE DIMENSIONS. REPORT ANY DISCREPANCIES TO THE ARCHITECT PRIOR TO LAYOUT OR ROUGH FRAMING.
4. ALL MILLWORK, CABINETWORK, METAL AND STONE FROM APPROVED SHOP DRAWINGS, FIELD MEASUREMENTS AND APPROVED MATERIAL AND FINISH SAMPLES ONLY. FINISH ALL STONE WITH APPROVED SEALER.
5. GC TO PROVIDE FOR INSTALLATION OF RETAIL FIXTURES, SIGNS, LIGHTS, JETWORK AND HIREWORK BY OTHERS AS SHOWN ON DRAWINGS. GC TO PROVIDE SOLID BLOCKING AND FASTENERS FOR ALL WALL HUNG OR WALL MOUNTED UNITS.
6. ALL GLASS AND GLAZING TO BE OF AN IMPACT-RESISTANT TYPE UNLESS NOTED OTHERWISE.
7. ALL DECORATIONS SHALL BE NON-COMBUSTIBLE OR FLAME PROOFED IN AN APPROVED MANNER. PROVIDE NECESSARY CERTIFICATION PER CODE.
8. ALL INTERIOR FINISHES SHALL BE OF COMMERCIAL GRADE AND FOR HOSPITALITY USE. ALL ASSEMBLY AREAS SHALL HAVE A MAXIMUM END POINT FLAME SPREAD RATING OF 200+ CLASS II WITH A MAXIMUM SMOKE DENSITY OF 300. ALL CORRIDOR FINISHES SHALL HAVE A MAXIMUM END POINT FLAME SPREAD RATING OF 75+ CLASS II WITH MAXIMUM SMOKE DENSITY OF 300. WHERE SPECIFIC MATERIALS HAVE BEEN FLOORPROOFED THE CERTIFICATE SHALL BE MADE AVAILABLE FOR RECORDS TO THE GOVERNING AGENCY.
9. CONFIRM EXTENT OF ALL INTERIOR FINISHES, TRIM, AND MILLWORK SHOWN ON PLANS AND INTERIOR ELEVATIONS WITH ARCHITECT PRIOR TO FABRICATION, INSTALLATION OR APPLICATION.
10. FIELD MEASURE FOR ALL INTERIOR FINISHES AND MILLWORK AND REPORT ANY DISCREPANCIES TO THE ARCHITECT PRIOR TO FABRICATION OR INSTALLATION.



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PROPOSED FLOOR PLAN

A2.3
A2.0 PLANS

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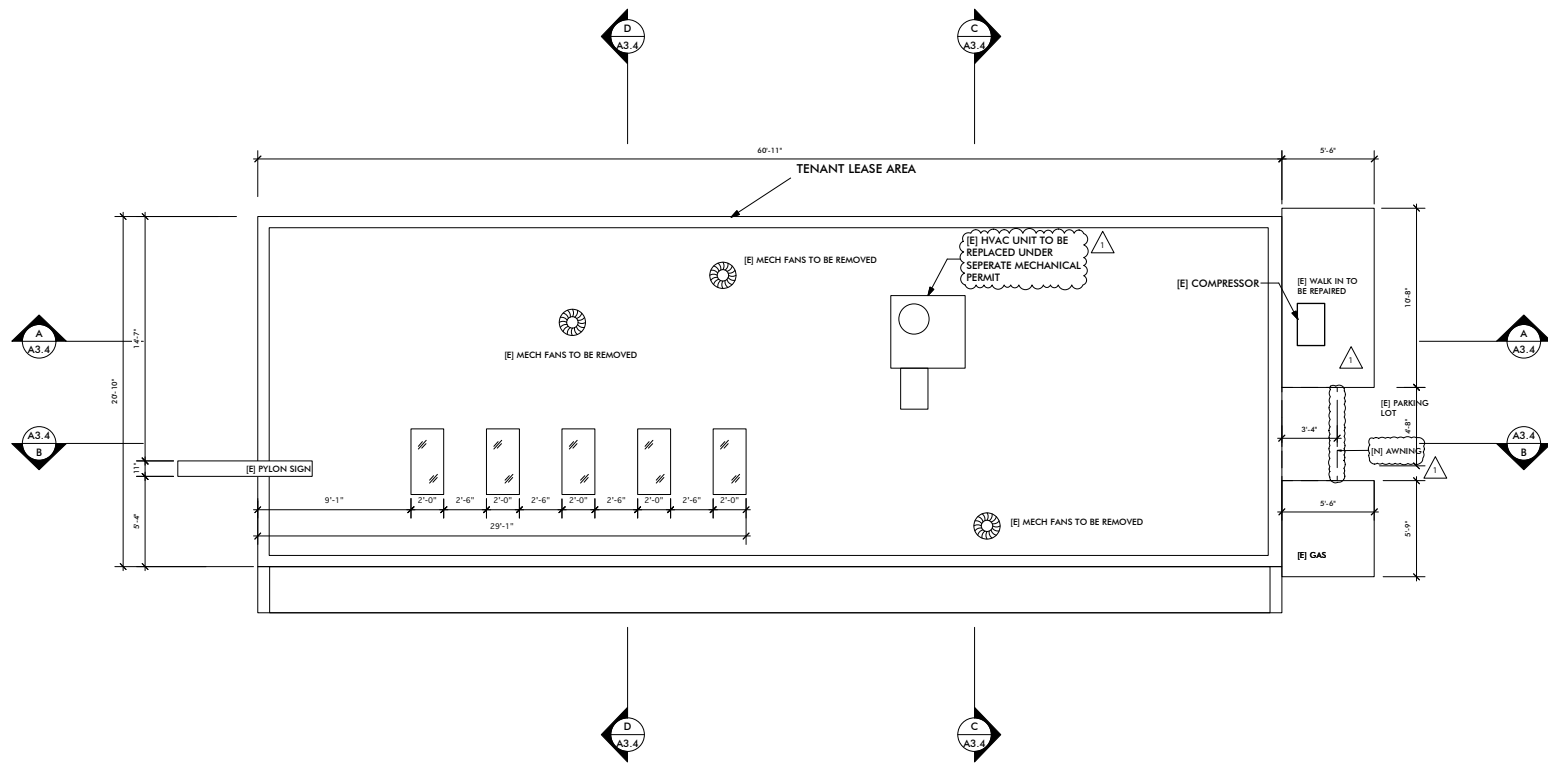
1 PROPOSED FLOOR PLAN
SCALE: 3/32" = 1'-0"



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ROOF PLAN - GENERAL NOTES

1. THE EXISTING CONDITIONS AND DIMENSIONS SHOWN ON THESE PLANS REPRESENT ACTUAL EXISTING CONDITIONS AS ACCURATELY AS POSSIBLE. HOWEVER, IT IS THE GENERAL CONTRACTOR'S RESPONSIBILITY TO VERIFY IN THE FIELD ALL DIMENSIONS AND CONDITIONS PRIOR TO DEMOLITION, INCLUDING BUT NOT LIMITED TO LOCATION OF UTILITIES, SEWER LINES, WATER LINES, IRRIGATION LINES, AND ELECTRICAL SERVICE.
2. THE GENERAL CONTRACTOR SHALL VERIFY WITH OWNER, LANDSCAPE DESIGNER ALL PROPOSED IRRIGATION, LANDSCAPE LIGHTING, AND PLANTER DETAILS AND PROVIDE NECESSARY ELECTRICAL AND PLUMBING CONNECTIONS AS REQUIRED.
3. FIRE RETARDANT ROOFING ASSEMBLY (CLASS A) ROOF SHALL BE CLASS A BUILT-UP ROOF CONSISTING OF MINIMUM OF 5-PLY MODIFIED BITUMEN ASPHALT ROOFING SYSTEM WITH MINERAL CAP SHEET. CONTRACTOR TO CONFORM WITH ALL MANUFACTURER'S RECOMMENDATIONS FOR SUBSTRATE, SURFACE PREPARATION, APPLICATION, FLASHING, ETC. FINAL COLOR TO BE APPROVED BY ARCHITECT.
4. PROVIDE 4" MINIMUM CANT STRIP, REGLET AND COUNTER FLASHING AT JUNCTURE OF ROOF AND ALL VERTICAL SURFACES.
5. ALL CRACKETS TO BE EXTENSION PLYWOOD CONSTRUCTION OVER SIPERS, MINIMUM SLOPE 1/2" PER FOOT TO APPROVED DRAINS.
6. LOCATIONS OF ALL ROOF PENETRATIONS SUCH AS PLUMBING VENTS, ATIC VENTILATORS, SKYLIGHTS, MECHANICAL DUCTS, ETC. TO BE APPROVED IN FIELD BY ARCHITECT.
7. PROVIDE 2" MINIMUM CURB AT ALL ROOF MOUNTED EQUIPMENT WITH 2" GA. GS COVER. PAINT ALL DUCTS IN COLOR TO MATCH ROOF SURFACE AS APPROVED BY ARCHITECT.
8. LOCATION OF ALL ROOF MOUNTED EQUIPMENT AND DUCTING SHOWN ON THESE PLANS ARE FOR GENERAL LOCATION AND REQUIRED CLEARANCES ONLY. SOME MINOR ADJUSTMENTS IN THE FIELD MAY BE NEEDED BASED ON FIELD CONDITIONS OR CHANGES IN UNIT SIZES OR ARRANGEMENTS. FINAL LOCATIONS OF ALL ROOF MOUNTED EQUIPMENT, DUCTS, SKYLIGHTS, ETC. ARE TO BE APPROVED IN THE FIELD PRIOR TO ROUGH IN. FINAL UNIT LOCATIONS ARE TO BE CONFIRMED WITH STRUCTURAL ENGINEER IF RELOCATED.
9. ALL UNITS ARE TO BE CONCEALED OR SCREENED FROM PUBLIC VIEW. PAINT ALL DUCTS IN COLOR TO MATCH ROOF SURFACE AS APPROVED BY ARCHITECT.
10. FOR PLUMBING AND MECHANICAL SYSTEMS, ROOF DRAINS, VENTS, ETC. SEE CONSULTANT DRAWINGS.
11. ROOF MUST HAVE A POSITIVE DRAINAGE SLOPE OF 1/4" HORIZONTAL TO 1" VERTICAL (2 PERCENT SLOPE) TO AVOID WATER PONDING.



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1 ROOF PLAN
SCALE: 3/32" = 1'-0"



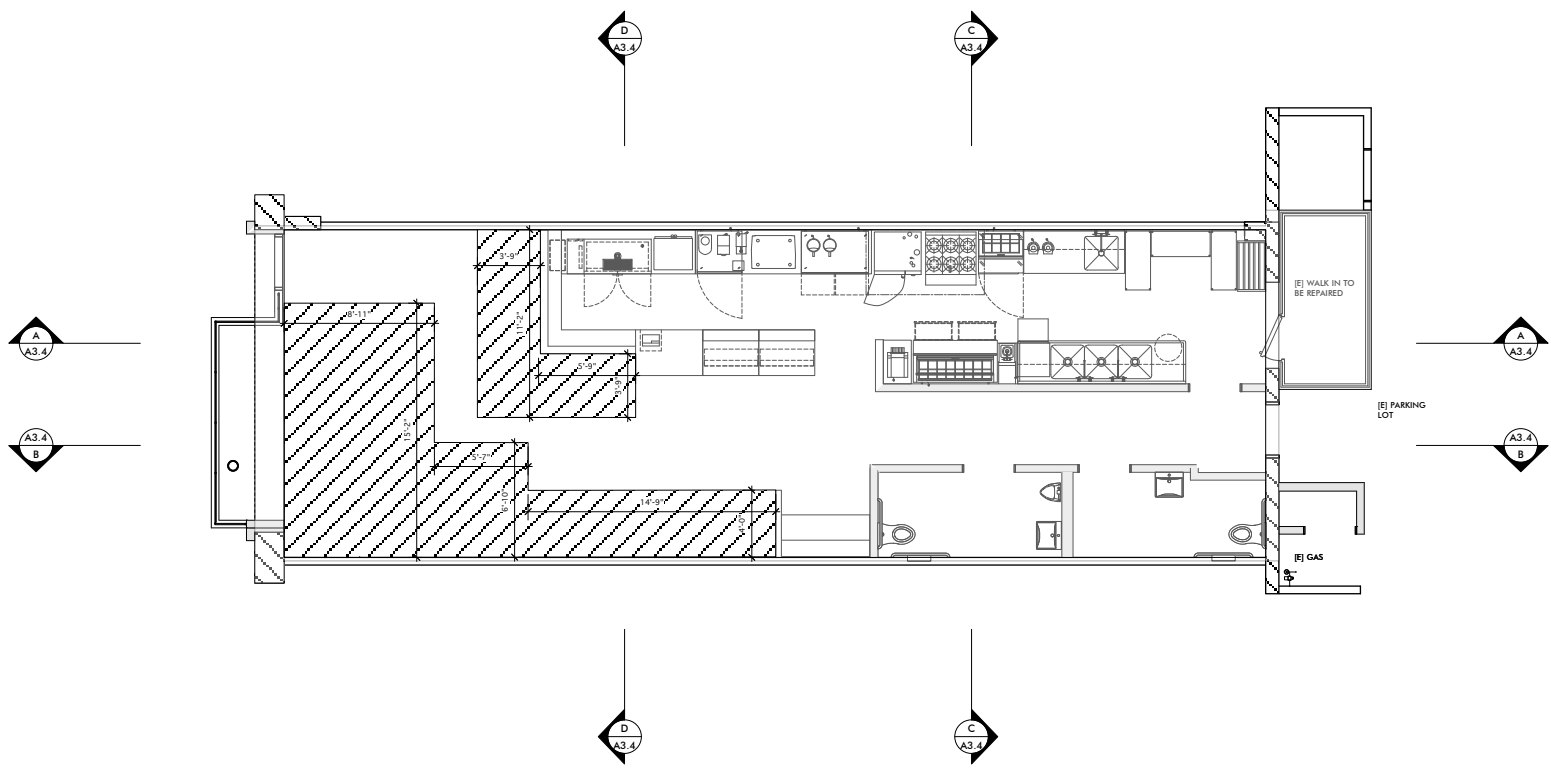
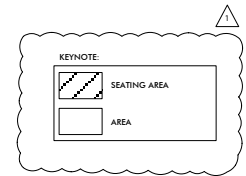
A2.4
A2.0 PLANS

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FLOOR PLAN - GENERAL NOTES

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2. FIELD MEASURE ALL EXISTING CONDITIONS AND COMPARE TO DIMENSIONS PROVIDED ON THESE DRAWINGS. REPORT ANY DISCREPANCIES TO THE ARCHITECT PRIOR TO LAYOUT OR ROUGH FRAMING.
3. WHERE MINIMUM OR MAXIMUM ADA CLEARANCES ARE SHOWN CONFIRM THAT FINAL CONSTRUCTION WILL ACHIEVE THESE DIMENSIONS. REPORT ANY DISCREPANCIES TO THE ARCHITECT PRIOR TO LAYOUT OR ROUGH FRAMING.
4. ALL MILLWORK, CABINETWORK, METAL AND STONE FROM APPROVED SHOP DRAWINGS. FIELD MEASUREMENTS AND APPROVED MATERIAL AND FINISH SAMPLES ONLY. FINISH ALL STONE WITH APPROVED SEALER.
5. GC TO PROVIDE FOR INSTALLATION OF RETAIL FIXTURES, SIGLATS, JETWORK AND HIBBERS BY OTHERS AS SHOWN ON DRAWINGS. GC TO PROVIDE SOLID BLOCKING AND FASTENERS FOR ALL WALL HUNG OR WALL MOUNTED UNITS.
6. ALL GLASS AND GLAZING TO BE OF AN IMPACT RESISTANT TYPE UNLESS NOTED OTHERWISE.
7. ALL DECORATIONS SHALL BE NON-COMBUSTIBLE OR FLAME PROOFED IN AN APPROVED MANNER. PROVIDE NECESSARY CERTIFICATION PER CODE.
8. ALL INTERIOR FINISHES SHALL BE OF COMMERCIAL GRADE AND FOR HOSPITALITY USE. ALL ASSEMBLY AREAS SHALL HAVE A MAXIMUM END POINT FLAME SPREAD RATING OF 200- CLASS III WITH A MAXIMUM SMOKE DENSITY OF 300. ALL CORRIDOR FINISHES SHALL HAVE A MAXIMUM END POINT FLAME SPREAD RATING OF 75- CALL IT WITH MAXIMUM SMOKE DENSITY OF 300. WHERE SPECIFIC MATERIALS HAVE BEEN FLEAMPROOFED THE CERTIFICATE SHALL BE MADE AVAILABLE FOR RECORDS TO THE GOVERNING AGENCY.
9. CONFIRM EXTENT OF ALL INTERIOR FINISHES, TRIM, AND MILLWORK SHOWN ON PLANS AND INTERIOR ELEVATIONS WITH ARCHITECT PRIOR TO FABRICATION, INSTALLATION OR APPLICATION.
10. FIELD MEASURE FOR ALL INTERIOR FINISHES AND MILLWORK AND REPORT ANY DISCREPANCIES TO THE ARCHITECT PRIOR TO FABRICATION OR INSTALLATION.

PARKING CALCULATIONS					
SUITE ADDRESS	CURRENT USE	AREA	SEATING AREA	PARKING LOAD	REQ'D / PROVIDED
PROPOSED					
916 N. SEPULVEDA BLVD.	RESTAURANT-INDIA'S TANDOORI	3630	1655	1 per 50 SF	33.10
924 N. SEPULVEDA BLVD.	RESTAURANT-FULL SERVICE	1277	295	1 per 50 SF	5.90
926 N. SEPULVEDA BLVD.	RESTAURANT-BIG WOK	4995	1556	1 per 50 SF	31.12
				TOTAL	70.12
				**50 SPACES PROVIDED	79 TOTAL
**50 SPACES EXISTING PER PERMIT #94VN64625					



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1 PARKING CALCULATION PLAN
 SCALE: 3/32"=1'-0"
 0 5 10ft

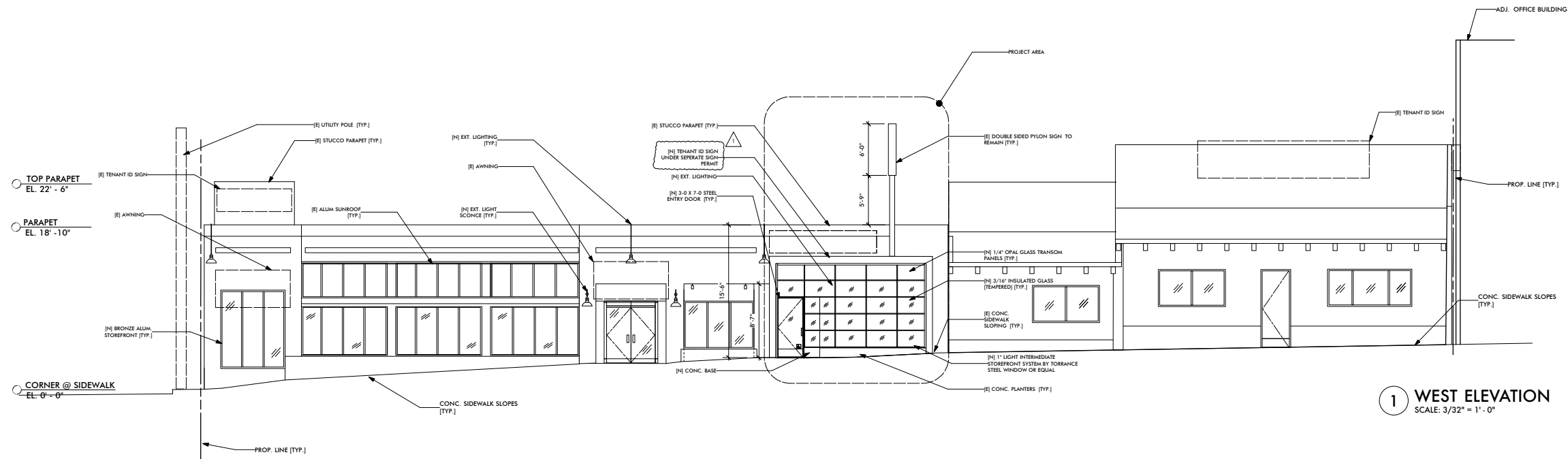
NORTH

A2.5
 A2.5 PLANS

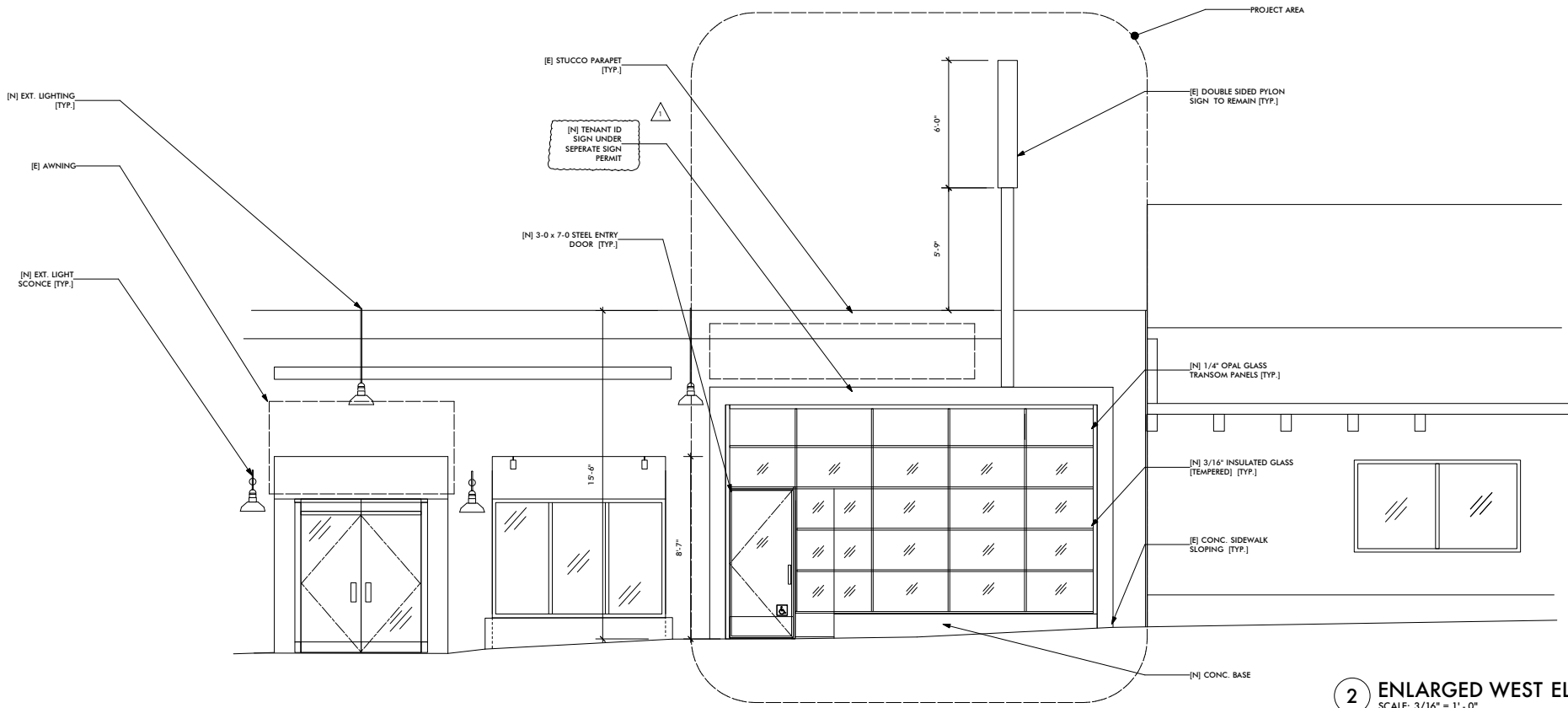
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ELEVATIONS - GENERAL NOTES

1. GLASS DOORS, GLAZED PANELS WITHIN 12" OF DOORS, AND ALL GLAZED OPENINGS WITHIN 18" OF THE ADJACENT FLOOR SHALL BE OF GLASS APPROVED FOR IMPACT HAZARD.
2. ALL PLASTERING, LATHING AND THE INSTALLATION OF WALLBOARD SHALL COMPLY WITH THE GOVERNING BUILDING CODES.
3. CONFIRM LOCATION OF ALL STUCCO CONTROL JOINTS, PROFILE OF ALL FLASHING AND GUTTER METALWORK, DOWNSPOUT PROFILE PRIOR TO FABRICATION OR INSTALLATION.
4. CONFIRM LOCATION OF ALL ROOF PENETRATIONS SUCH AS PLUMBING VENTS, ATTIC VENTILATORS, SKYLIGHTS, MECHANICAL EQUIPMENT AND DUCT, ETC. PRIOR TO ROUGH IN OR INSTALLATION. CONCEAL AS POSSIBLE SUCH ITEMS FROM VIEW AND PAINT WITH MATCHING COLOR TO REDUCING MATERIAL UNDER SEPARATE ROOF PERMIT.
5. PROVIDE MINIMUM 2X8 CURB AT ALL ROOF MOUNTED EQUIPMENT WITH 22 GA. GALV. COVER PAINTED TO MATCH ROOF SURFACE. UNDER SEPARATE ROOF PERMIT.
6. ALL WOOD IN CONTACT WITH EARTH, CONCRETE OR MASONRY AND ALL WOOD JOISTS LOCATED CLOSER THAN 18" OR WOOD GIRDERS LOCATED CLOSER THAN 12" TO EXPOSED GROUND UNDER FLOOR AREAS SHALL BE APPROVED OF NATURAL RESISTANCE OR PRESSURE TREATED.
7. STAIN, SEAL OR PAINT ALL EXPOSED WOOD SURFACES. COVER AND SEAL WITH AN APPROVED WATERPROOFING SYSTEM ALL EXPOSED BALCONIES, LANDINGS, STAIRWAYS AND SIMILAR SURFACES.
8. PROVIDE 4" MINIMUM CANT STRIP, REGLET AND COUNTER FLASHING AT JUNCTURE OF ROOF AND ALL VERTICAL SURFACES.
9. ALL ROOF MOUNTED MECHANICAL UNITS, FIXTURES, SKYLIGHTS, CURBS, STRUCTURES AND SIMILAR ITEMS ARE TO BE SCREENED FROM VIEW. GC TO CONFIRM LOCATIONS OF ROOF MOUNTED ITEMS PRIOR TO INSTALL AND BRING TO THE ARCHITECTS ATTENTION ANY POSSIBLE ITEMS NOT SCREENED FROM PUBLIC VIEW UNDER SEPARATE ROOF PERMIT.
10. WHERE EXISTING BASE BUILDING MATERIALS NEED TO BE CUT, REMOVED OR MODIFIED IN ORDER TO ACHIEVE TENANT CONSTRUCTION, THE GC SHALL PROVIDE ALL NECESSARY MATERIALS AND LABOR TO MATCH EXISTING FINISHES IN APPEARANCE AND FIRE RESISTANCE.



1 WEST ELEVATION
SCALE: 3/32" = 1' - 0"



2 ENLARGED WEST ELEVATION
SCALE: 3/16" = 1' - 0"

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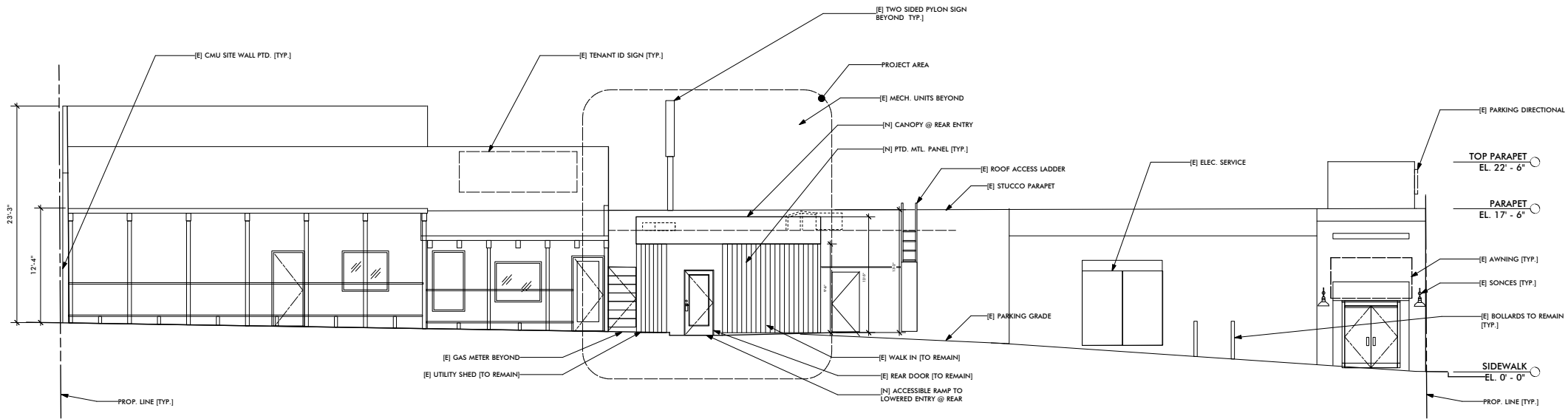


A3.1
A3.0 ELEVATIONS/SECTIONS

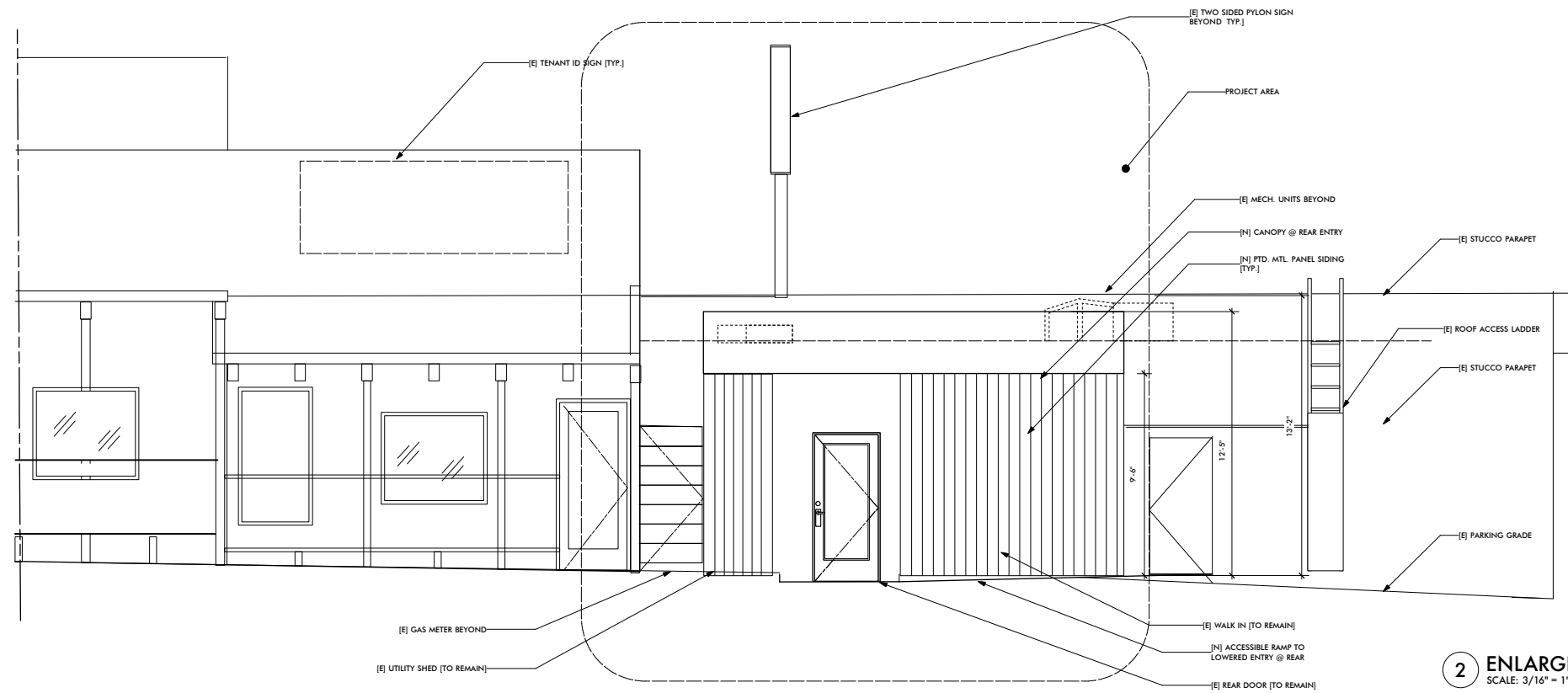
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ELEVATIONS - GENERAL NOTES

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5. PROVIDE MINIMUM 2X8 CURBS AT ALL ROOF MOUNTED EQUIPMENT WITH 22 GA. GALV. COVER PAINTED TO MATCH ROOF SURFACE.
6. ALL WOOD IN CONTACT WITH EARTH, CONCRETE OR MASONRY AND ALL WOOD JOISTS LOCATED CLOSER THAN 18" OR WOOD GRIDERS LOCATED CLOSER THAN 12" TO EXPOSED GROUND UNDER FLOOR AREAS SHALL BE APPROVED OF NATURAL RESISTANCE OR PRESSURE TREATED.
7. STAIN, SEAL OR PAINT ALL EXPOSED WOOD SURFACES. COVER AND SEAL WITH AN APPROVED WATERPROOFING SYSTEM ALL EXPOSED BALCONIES, LANDINGS, STAIRWAYS AND SIMILAR SURFACES.
8. PROVIDE 4" MINIMUM CANT STRIP, REGLET AND COUNTER FLASHING AT JUNCTURE OF ROOF AND ALL VERTICAL SURFACES.
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1 EAST ELEVATION
SCALE: 3/32" = 1'-0"



2 ENLARGED EAST ELEVATION
SCALE: 3/16" = 1'-0"

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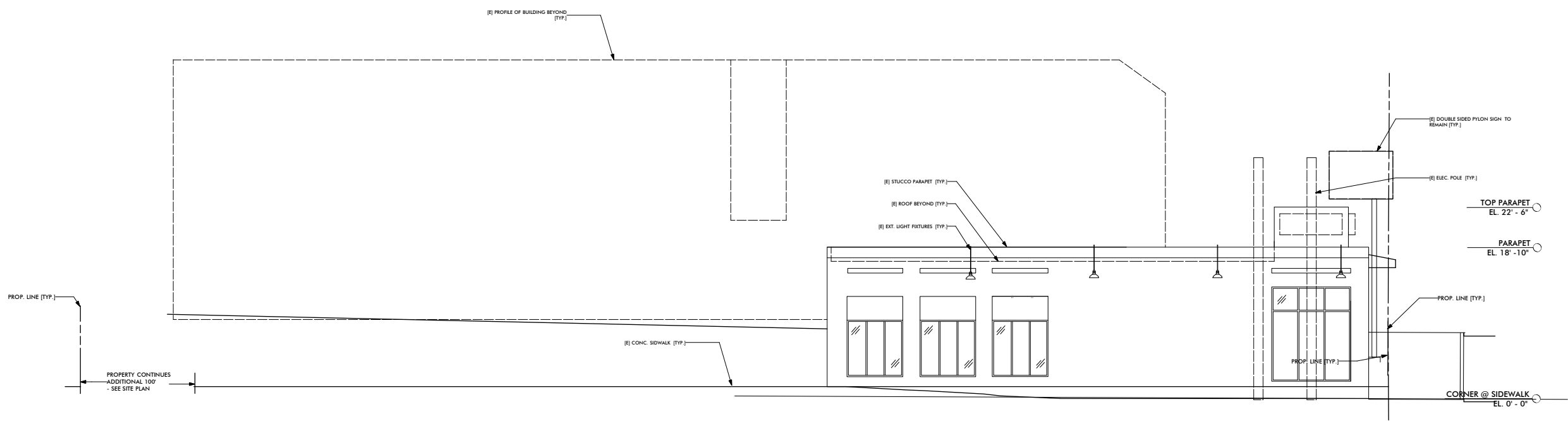
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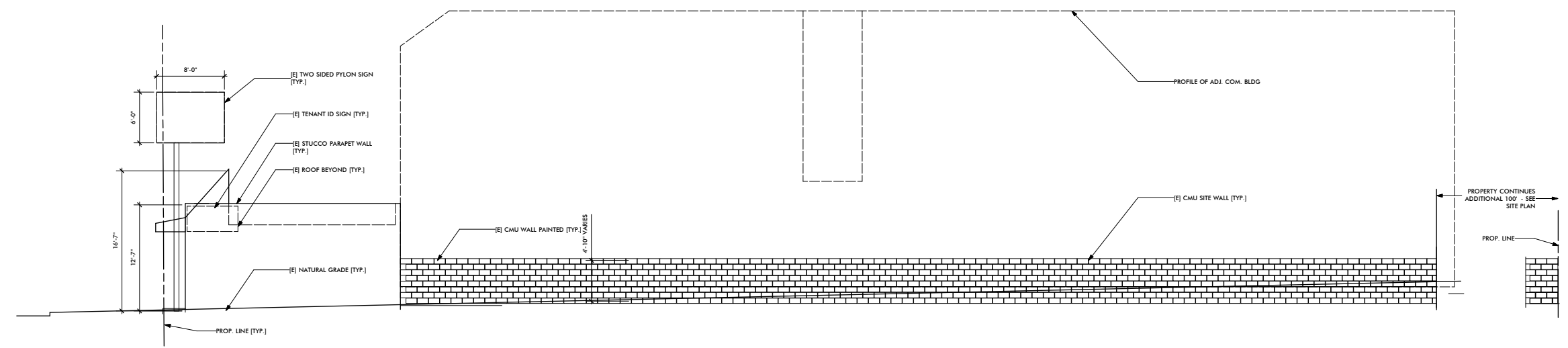
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5. PROVIDE MINIMUM 2X8 CURBS AT ALL ROOF MOUNTED EQUIPMENT WITH 22 GA. GALV. COVER PAINTED TO MATCH ROOF SURFACE.
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1 NORTH ELEVATION
SCALE: 3/32" = 1' - 0"



2 SOUTH ELEVATION
SCALE: 3/32" = 1' - 0"

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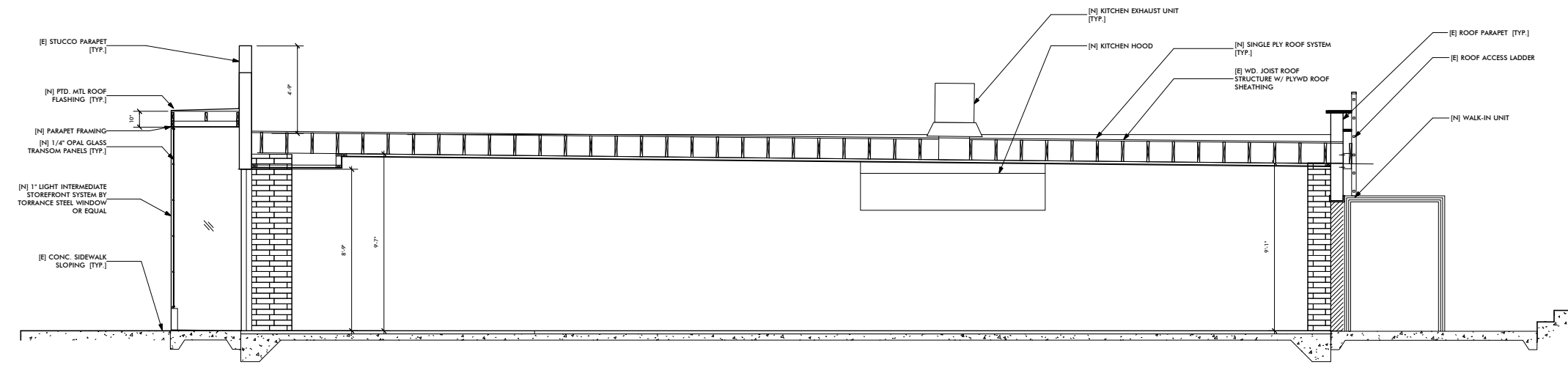


A3.3
A3.3 ELEVATIONS/SECTIONS

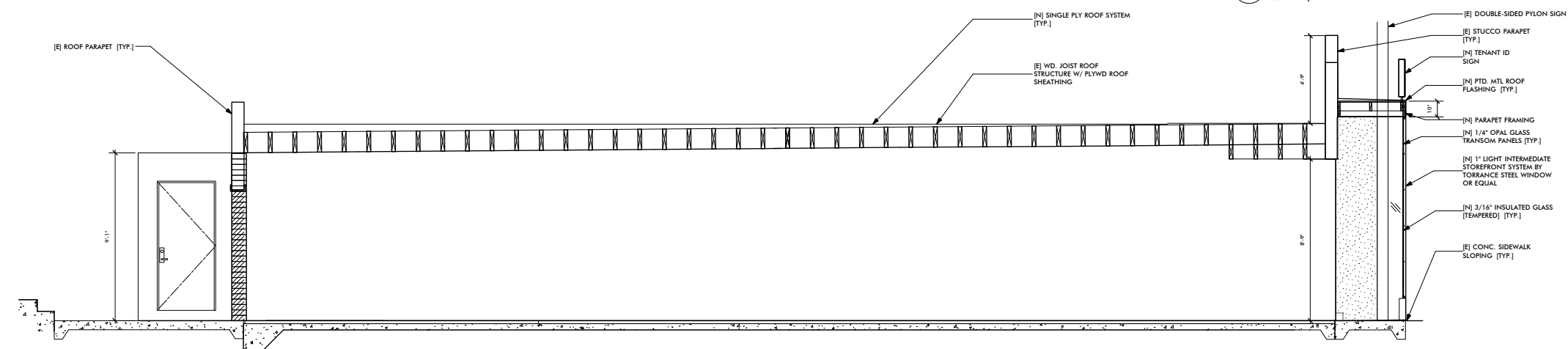
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SECTIONS - GENERAL NOTES

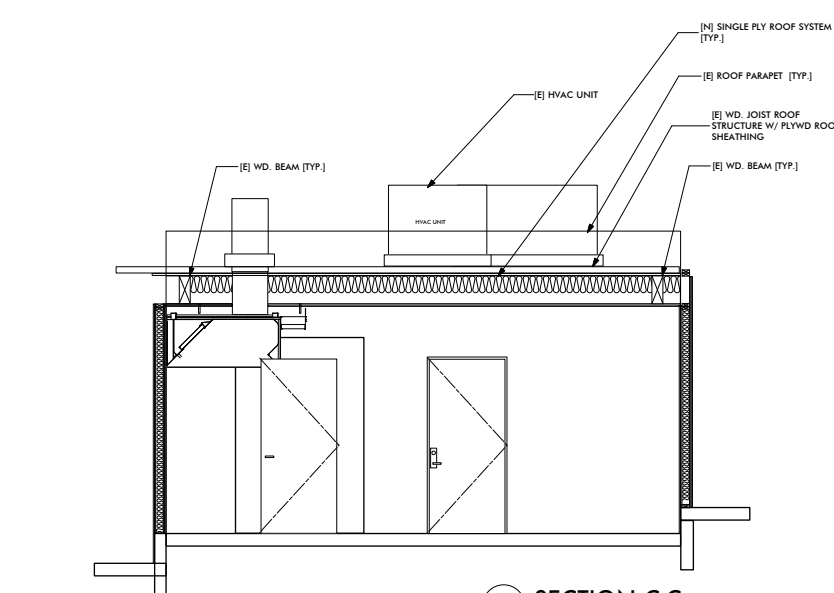
1. GLASS DOORS, GLAZED PANELS WITHIN 12" OF DOORS, AND ALL GLAZED OPENINGS WITHIN 18" OF THE ADJACENT FLOOR SHALL BE OF GLASS APPROVED FOR IMPACT HAZARD.
2. ALL PLASTERING, LATHING AND THE INSTALLATION OF WALLBOARD SHALL COMPLY WITH THE GOVERNING BUILDING CODES.
3. CONFIRM LOCATION OF ALL STUCCO CONTROL JOINTS, PROFILE OF ALL FLASHING AND GUTTER METALWORK, DOWNSPOUT PROFILE PRIOR TO FABRICATION OR INSTALLATION.
4. CONFIRM LOCATION OF ALL ROOF PENETRATIONS SUCH AS PLUMBING VENTS, ATTIC VENTILATORS, SKYLIGHTS, MECHANICAL EQUIPMENT AND DUCT, ETC. PRIOR TO ROUGH IN OR INSTALLATION. CONCEAL AS POSSIBLE SUCH ITEMS FROM VIEW AND PAINT WITH MATCHING COLOR TO ROOFING MATERIAL.
5. PROVIDE MINIMUM 2X8 CURB AT ALL ROOF MOUNTED EQUIPMENT WITH 22 GA. GALV. COVER PAINTED TO MATCH ROOF SURFACE.
6. ALL WOOD IN CONTACT WITH EARTH, CONCRETE OR MASONRY AND ALL WOOD JOISTS LOCATED CLOSER THAN 18" OR WOOD GIRDERS LOCATED CLOSER THAN 12" TO EXPOSED GROUND UNDER FLOOR AREAS SHALL BE APPROVED OF NATURAL RESISTANCE OR PRESSURE TREATED.
7. STAIN, SEAL OR PAINT ALL EXPOSED WOOD SURFACES. COVER AND SEAL WITH AN APPROVED WATERPROOFING SYSTEM ALL EXPOSED BALCONIES, LANDINGS, STAIRWAYS AND SIMILAR SURFACES.
8. PROVIDE 4" MINIMUM CANT STRIP, REGLET AND COUNTER FLASHING AT JUNCTURE OF ROOF AND ALL VERTICAL SURFACES.
9. ALL ROOF MOUNTED MECHANICAL UNITS, FIXTURES, SKYLIGHTS, CURBS, STRUCTURES AND SIMILAR ITEMS ARE TO BE SCREENED FROM VIEW. GC TO CONFIRM LOCATIONS OF ROOF MOUNTED ITEMS PRIOR TO INSTALL AND BRING TO THE ARCHITECT'S ATTENTION ANY POSSIBLE VIEWS NOT SCREENED FROM PUBLIC VIEW.
10. WHERE EXISTING BASE BUILDING MATERIALS NEED TO BE CUT, REMOVED OR ACQUIRED IN ORDER TO ACHIEVE TENANT CONSTRUCTION, THE GC SHALL PROVIDE ALL NECESSARY MATERIALS AND LABOR TO MATCH EXISTING FINISHES IN APPEARANCE AND FIRE RESISTANCE.



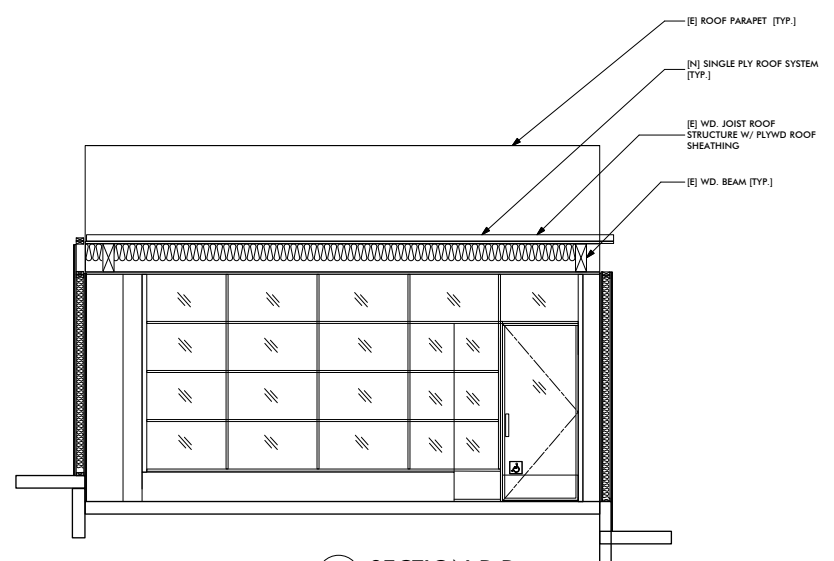
1 SECTION A-A
SCALE: 3/16"=1'-0"



1 SECTION B-B
SCALE: 3/16"=1'-0"



1 SECTION C-C
SCALE: 3/16"=1'-0"



1 SECTION D-D
SCALE: 3/16"=1'-0"

PLANNING RESUBMITTAL	24 April 2019
PLANNING SUBMITTAL	6 March 2019
ISSUE / REVISION LOG	DATE

THE SOURCE CAFE - MB
924 N. Sepulveda Blvd., Manhattan Beach, CA 90266

THE SOURCE CAFE
509 Pier Avenue Hermosa Beach, CA 90254
Tel: 310-318-1600 www.thesourcecafehb.com

RALPH GENTILE ARCHITECTS
665 Lillian Way, Los Angeles, California 90004
Tel: 323-954-8291 www.rgastudio.com



A3.4
A3.0 ELEVATIONS/SECTIONS

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