

**CITY OF MANHATTAN BEACH
DEPARTMENT OF COMMUNITY DEVELOPMENT
MEMORANDUM**

TO: Planning Commission

FROM: Anne McIntosh, Director of Community Development

THROUGH: Laurie B Jester, Planning Manager

BY: Rafael Garcia, Assistant Planner

DATE: April 10, 2019

SUBJECT: Appeal of the Director's Approval of Coastal Development Permit No. CA 18-09 for the Demolition of a Single Family Residence and Construction of a new Three-story Single Family Residence with a Two-car Garage and Basement at 205 Rosecrans Place (Appellant Eggers).

RECOMMENDATION

Staff recommends that the Planning Commission uphold the Community Development Director's decision to **APPROVE** the construction of the a new single family residence and **DENY** the subject appeal.

APPELLANT

William H. Eggers
3208 Maple Avenue
Manhattan Beach, CA 90266

APPLICANT

Anthony Mets
205 Rosecrans Place
Manhattan Beach, CA 90266

BACKGROUND

On March 23, 2018, a Coastal Development Permit application was submitted to the Community Development Department to demolish an existing single family residence with garage and construct a new three-story single family residence with an enclosed two-car garage and basement. A Coastal Development Permit is required for the project since the lot is located in the Coastal non-appealable area of the City, where Coastal Development Permits are not appealable to the California Coastal Commission. The project is located in Area District III and zoned Residential High Density (RH). The lot is a half lot (30.03' x 45.00') totaling approximately 1,351 square feet in area. The original existing structure was built in 1941. The surrounding area is a mix of two and three story multi-family as well as single family residences.

Staff reviewed the submitted plans and sent a notice of the proposed project on January 28, 2019 to the surrounding neighbors within the required 100 feet of the subject property. The Coastal Development Permit approving the demolition of the existing structures and construction of the new single family residence was approved by the Director of Community Development and issued on February 25, 2019. On March 11, 2019, an appeal was filed by the property owner at 204

Rosecrans Place located across Rosecrans Place to the south of the subject property. According to Section A.96.160 of the City of Manhattan Beach Local Coastal Program, Appeals, the decision of the Community Development Department Director may be appealed to the Planning Commission. The appellant indicated in a comment email during the Directors review period that the new development would adversely impact the existing parking condition of his property across the alley (204 Rosecrans Place) and has therefore submitted the appeal request. (Attachment) No additional information regarding reasons for the appeal were submitted with the appeal application.

DISCUSSION

Proposed Building

The proposed structure is a three story, single family residence with an attached two-car garage and basement. Garage access will be provided from Rosecrans Place, a 20-foot wide alley. The total living area will be 2,226.93 square feet which includes a 200 square foot basement. Per the Zoning Code requirements, the basement is not included in the maximum allowed Buildable Floor Area (BFA) calculation and the proposed BFA of 2,026.93 is more than 270 square feet less than the 2,297.69 square feet of allowed BFA. The total proposed open space of 352.4 square feet will consist of ground level patios and a balcony on the third floor. The total open space will comply with the required 15 percent of the total living area, and exceed the minimum square footage by more than 22 square feet. The allowable maximum height limit for the building is 128.75. The proposed height of the building is 128.75, which complies with the maximum height limit. The new home meets all the setback, garage backup and other Zoning Code requirements as well as the Coastal Permit findings and regulations as indicated in the Coastal Development Permit approved by the Director (Attachment).

Subject Appeal

Appellant William H. Eggers, property owner of 204 Rosecrans Place, is appealing the project claiming that the development of the new single family residence at 205 Rosecrans Place would adversely impact the existing parking condition of his property located across the alley from the project site. During the noticing process staff had multiple conversations with the appellant in an attempt to provide an overview of the project and address the appellant's concerns.

The appellant has stated that the new development will worsen the parking situation in the area, stating that his tenant, across the alley from the project site, parallel parks in front of his own garage. There is not adequate width on private property for the tenant to park which results in the vehicle encroaching onto the public right of way, the 20 foot wide Rosecrans Place alley. This has led to disagreements and conflict between the appellant and the applicant, in that the vehicles which parallel park across the alley from the project site encroach onto the public alley which makes it difficult to access and turn out of the applicants garage. Parking is not allowed in this public alley. Staff has indicated to both parties that this is a civil matter and not subject to review as part of the Coastal Development Permit. Furthermore, the project complies with all applicable provision of the City's zoning ordinance and Local Coastal Program.

Public Comments

Staff received no other comments as of the writing of this report other than the comments from the appellant, stating that the proposed building will adversely impact his property's parking.

CONCLUSION

The proposed project complies with all of the required Zoning codes, the Local Coastal Program and development standards and therefore, staff recommends that the Planning Commission uphold the Community Development Director's decision to **APPROVE** the Coastal Permit for 205 Rosecrans Place (CA 18-09) and **DENY** the subject appeal.

Attachments:

Exhibit A – Vicinity Map

Exhibit B – Coastal Development Permit CA 18-09- (Directors approval)

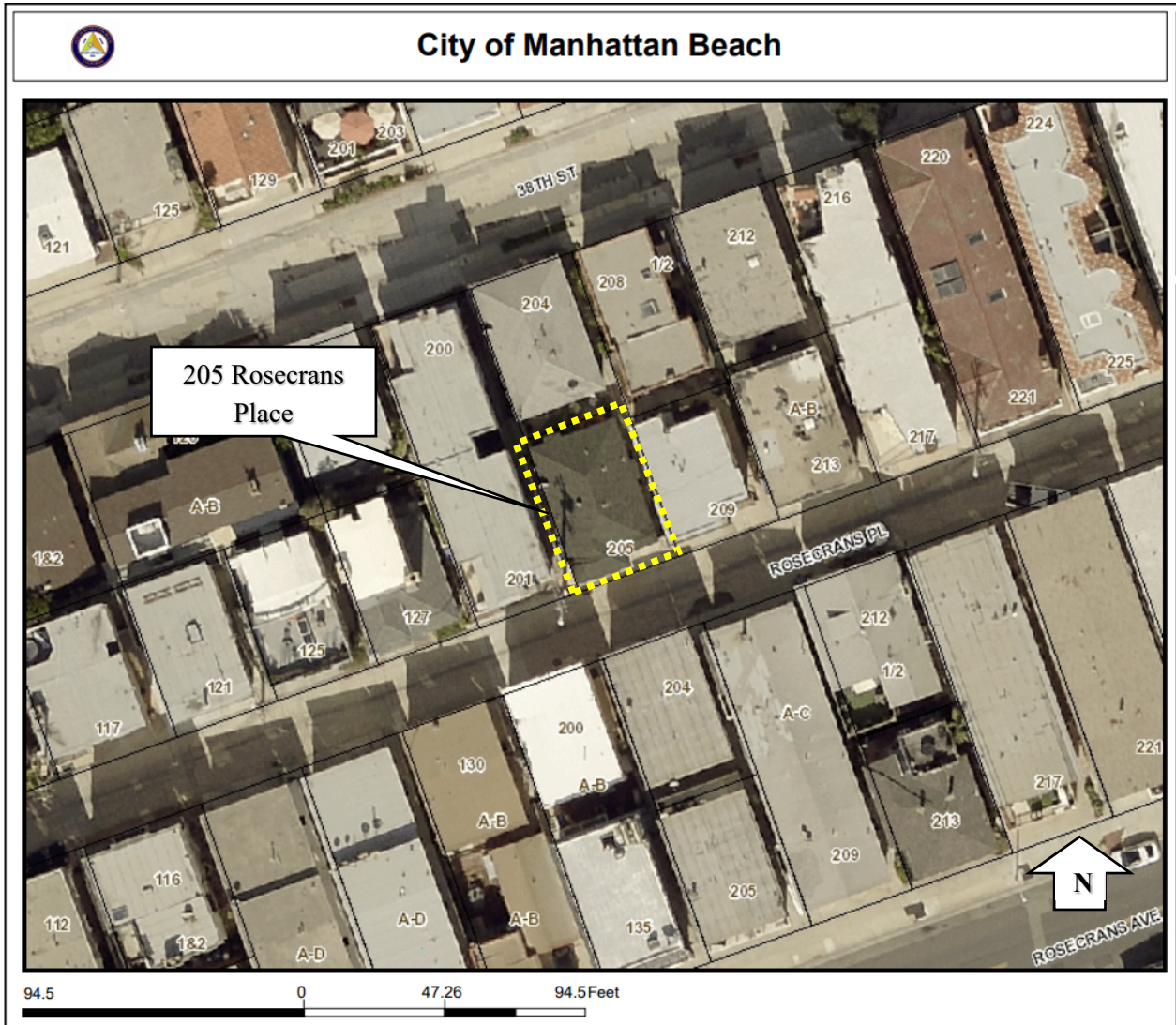
Exhibit C – Appellant’s Application Request for Appeal and original email comment

Exhibit D – Coastal Development Permit CA 18-09 Draft- (Commissions approval)

Exhibit E – Architectural Plans

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VICINITY MAP



ATTACHMENT A
PC MTG 04-10-19

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City Hall 1400 Highland Avenue Manhattan Beach, CA 90266-4795
Telephone (310) 802-5000 FAX (310) 802-5001 TDD (310) 802-3501

COASTAL DEVELOPMENT PERMIT

Project No: CA18-09
Page 1 of 4

On February 25, 2019, the Community Development Department of the City of Manhattan Beach granted Anthony Mets, (property owner) this permit for the development described below, subject to the attached Standard and Special conditions.

Site: 205 Rosecrans Place, Manhattan Beach, CA

Description: Demolition of an existing single family residence and construction of a new three-story single family residence with a two-car garage and basement.

Issued by: Rafael Garcia, Assistant Planner

COMMUNITY DEVELOPMENT DEPARTMENT
Anne McIntosh, Director

Acknowledgment:

The undersigned permittee acknowledges receipt of this permit and agrees to abide by all terms and conditions thereof.

Signature of Permittee:

Date:

2/27/19

ATTACHMENT B
PC MTG 04-10-19

Required Findings: (Per Section A.96.150 of the Local Coastal Program)

Written findings are required for all decisions on Coastal Development Permits. Such findings must demonstrate that the project, as described in the application and accompanying material, or as modified by any conditions of approval, conforms with the certified Manhattan Beach Local Coastal Program.

1. The property is located within Area District III (Beach Area) and is zoned High Density Residential, RH.
2. The General Plan and Local Coastal Program/Land Use Plan designation for the property is High Density Residential.
3. The project is consistent with the residential development policies of the Manhattan Beach Local Coastal Program, specifically Policies II. B.1, 2, & 3, as follows:
 - II.B.1: The proposed structure is consistent with the building scale in the coastal zone neighborhood and complies with the applicable standards of the Local Coastal Program-Implementation Plan;
 - II.B.2: The proposed structure is consistent with the residential bulk control as established by the development standards of the Local Coastal Program-Implementation Plan;
 - II.B.3: The proposed structure is consistent with the 30' Coastal Zone residential height limit as required by the Local Coastal Program-Implementation Plan.
4. The project is consistent with the public access and recreation policies of Chapter 3 of the California Coastal Act of 1976, as follows;
 - Section 30212 (a) (2): The proposed structure does not impact public access to the shoreline, adequate public access is provided and shall be maintained along Highland Avenue and Ocean Drive.
 - Section 30221: Present and foreseeable future demand for public or commercial recreational activities that could be accommodated on the property is already adequately provided for in the area.

5. The proposed use is permitted in the RH zone and is in compliance with the City's General Plan designation of High Density Residential; the project will not be detrimental to the public health, safety or welfare of persons residing or working in or adjacent to the neighborhood of such use; and will not be detrimental to properties or improvements in the vicinity or to the general welfare of the City.

Standard Conditions:

1. Notice of Receipt and Acknowledgment. The permit is not valid and development shall not commence until a copy of the permit, signed by the permittee or authorized agent, acknowledging receipt of the permit and acceptance of the terms and conditions, is returned to the Community Development Department.
2. Expiration. The Coastal Development Permit shall expire one-year from the date of approval if the project has not been commenced during that time. The Director of Community Development may grant a reasonable extension of time for due cause. Said time extension shall be requested in writing by the applicant or authorized agent prior to the expiration of the one-year period.
3. Compliance. All development must occur in strict compliance with the proposal as set forth in the application for permit, subject to any special conditions set forth below. Any deviation from the approved plans must be reviewed and approved by the Director of Community Development.
4. Interpretation. Any questions of intent or interpretation of any condition will be resolved by the Director of Community Development.
5. Inspections. The Community Development Department staff shall be allowed to inspect the site and the development during construction subject to 24-hour advance notice.
6. Assignment. The permit may be assigned to any qualified persons subject to submittal of the following information to the Director of Community Development:
 - a. A completed application and application fee as established by the City's Fee Resolution;
 - b. An affidavit executed by the assignee attesting to the assignee's agreement to comply with the terms and conditions of the permit;

- c. Evidence of the assignee's legal interest in the property involved and legal capacity to undertake the development as approved and to satisfy the conditions required in the permit;
 - d. The original permittee's request to assign all rights to undertake the development to the assignee; and,
 - e. A copy of the original permit showing that it has not expired.
7. Terms and Conditions are Perpetual. These terms and conditions shall be perpetual, and it is the intention of the Director of Community Development and the permittee to bind all future owners and possessors of the subject property to the terms and conditions.

Special Conditions:

- 1. The project shall be developed in conformance with all applicable development standards of the RH zoning district, and Chapter 2 of the Local Coastal Program - Implementation Program.
- 2. Any future rooftop solar panels must be within the maximum building height limit as provided on the approved plans.
- 3. No Accessory Dwelling Unit (ADU) shall be allowed in conjunction with this approval.



MASTER APPLICATION FORM

CITY OF MANHATTAN BEACH
COMMUNITY DEVELOPMENT DEPARTMENT

Office Use Only

Date Submitted:
Received By:
F&G Check Submitted:

205 ROSECRANS PLACE
Project Address
Manhattan Beach, CA 90266
Legal Description

General Plan Designation _____ Zoning Designation _____ Area District _____

For projects requiring a Coastal Development Permit, select one of the following determinations¹:

- | | |
|---|---|
| Project located in Appeal Jurisdiction | Project <u>not</u> located in Appeal Jurisdiction |
| <input type="checkbox"/> Major Development (Public Hearing required) | <input type="checkbox"/> Public Hearing Required (due to UP, Var, ME, etc.) |
| <input type="checkbox"/> Minor Development (Public Hearing, if requested) | <input type="checkbox"/> No Public Hearing Required |

Submitted Application (check all that apply)

- | | |
|---|--|
| <input checked="" type="checkbox"/> Appeal to PC/PPIC/BBA/CC 4225 <u>5007</u> | <input type="checkbox"/> Use Permit (Residential) 4330 |
| <input type="checkbox"/> Coastal Development Permit 4341 | <input type="checkbox"/> Use Permit (Commercial) 4330 |
| <input type="checkbox"/> Continuance 4343 | <input type="checkbox"/> Use Permit Amendment 4332 |
| <input type="checkbox"/> Cultural Landmark 4336 | <input type="checkbox"/> Variance 4331 |
| <input type="checkbox"/> Environmental Assessment 4225 | <input type="checkbox"/> Park/Rec Quimby Fee 4425 |
| <input type="checkbox"/> Minor Exception 4333 | <input type="checkbox"/> Pre-application meeting 4425 |
| <input type="checkbox"/> Subdivision (Map Deposit) 4300 | <input type="checkbox"/> Public Hearing Notice 4339 |
| <input type="checkbox"/> Subdivision (Tentative Map) 4334 | <input type="checkbox"/> Lot Merger/Adjust./\$15 rec. fee-4225 |
| <input type="checkbox"/> Subdivision (Final) 4334 | <input type="checkbox"/> Zoning Business Review 4337 |
| <input type="checkbox"/> Subdivision (Lot Line Adjust.) 4335 | <input type="checkbox"/> Zoning Report 4340 |
| <input type="checkbox"/> Telecom (New or Renewed) 4338 | <input type="checkbox"/> Other _____ |

Fee Summary: (See fees on reverse side)

Total Amount: \$ _____ (less Pre-Application Fee if applied within past 3 months)
Receipt Number: _____ Date Paid: _____ Cashier: _____

Applicant(s)/Appellant(s) Information

William H. Eggen, Jr
Name

2209 Maple Ave
Mailing Address

Manhattan Beach, CA 90266
Applicant(s)/Appellant(s) Relationship to Property

William H. Eggen, Jr 310-503-2447
Contact Person (include relation to applicant/appellant) Phone number / email

(Same)
Address

William H. Eggen 3/10/19 310-503-2447
Applicant(s)/Appellant(s) Signature Phone number/.email

Complete Project Description- including any demolition (attach additional pages as necessary)

~~APPEAL~~ Coastal Development decision APPEAL!
Please see email sent to RAFAEL for
more details of this situation

¹ An Application for a Coastal Development Permit shall be made prior to, or concurrent with, an application for any other permit or approvals required for the project by the City of Manhattan Beach Municipal Code. (Continued on reverse)

cc: Kirk Sir

OWNER'S AFFIDAVIT

A notary public or other officer completing this certificate verifies only the identity of the individual who signed the document to which this certificate is attached, and not the truthfulness, accuracy, or validity of that document.

STATE OF CALIFORNIA
COUNTY OF LOS ANGELES

I/We William H. Eggers, Jr being duly sworn, depose and say that I am/we are the owner(s) of the property involved in this application and that the foregoing statements and answers herein contained and the information herewith submitted are in all respects true and correct to the best of my/our knowledge and belief(s).


Signature of Property Owner(s) – (Not Owner in Escrow or Lessee)

William H. Eggers Jr.
Print Name

3208 MAPLE AVENUE Manhattan Beach, CA 90266
Mailing Address

310 503-2447 / WCHIP EGGERS@aol.com
Telephone/email

Subscribed and sworn to (or affirmed) before me this _____ day of _____, 20____

by _____, proved to me on

the basis of satisfactory evidence to be the person(s) who appeared before me.

Signature _____
Notary Public

see attached

SEAL

Fee Schedule Summary

Below are the fees typically associated with the corresponding applications. Additional fees not shown on this sheet may apply – refer to current City Fee Resolution (contact the Planning Division for assistance.) Fees are subject to annual adjustment.

Submitted Application (circle applicable fees, apply total to Fee Summary on application)

Coastal Development Permit

- Public hearing – no other discretionary approval required: \$ 4,871 ☒
- Public hearing – other discretionary approvals required: 2,142 ☒
- No public hearing required – administrative: 1,324 ☒

Use Permit

- Use Permit: \$ 6,396 ☒
- Master Use Permit: 9,875 ☒
- Master Use Permit Amendment: 5,126 ☒
- Master Use Permit Conversion: 4,704 ☒

Variance

- Filing Fee: \$ 6,184 ☒

Minor Exception

- Without notice: \$ 1,477
- With notice: 1,985 ☒

Subdivision

- Certificate of Compliance: \$ 1,653
- Final Parcel Map + mapping deposit: 539
- Final Tract Map + mapping deposit: 748
- Mapping Deposit (paid with Final Map application): 500
- Merger of Parcels or Lot Line Adjustment: 1,153

CALIFORNIA JURAT WITH AFFIANT STATEMENT

GOVERNMENT CODE § 8202

- See Attached Document (Notary to cross out lines 1-6 below)
- See Statement Below (Lines 1-6 to be completed only by document signer[s], not Notary)

1 _____
 2 _____
 3 _____
 4 _____
 5 _____
 6 _____

Signature of Document Signer No. 1 _____ Signature of Document Signer No. 2 (if any) _____

A notary public or other officer completing this certificate verifies only the identity of the individual who signed the document to which this certificate is attached, and not the truthfulness, accuracy, or validity of that document.

State of California
 County of Los Angeles

Subscribed and sworn to (or affirmed) before me
 on this 9th day of March, 2019,
 by William H. Eggers, Jr.
 (1) _____
 (and (2) _____),
 Name(s) of Signer(s)



Place Notary Seal and/or Stamp Above

proved to me on the basis of satisfactory evidence to be the person(s) who appeared before me.
 Signature _____
 Signature of Notary Public

OPTIONAL

Completing this information can deter alteration of the document or fraudulent reattachment of this form to an unintended document.

Description of Attached Document

Title or Type of Document: Owners Affidavit
 Document Date: 3/9/19 Number of Pages: 1
 Signer(s) Other Than Named Above: _____

Rafael Garcia

From: W. Chip Eggers <Wchipeggers@aol.com>
Sent: Wednesday, February 6, 2019 1:10 PM
To: Rafael Garcia; Anne McIntosh
Subject: 205 Rosecrans Place Coastal Development Permit Application

Thank you for sharing the written communication from Commissioner McIntosh that was mailed on January 29, 2019.

I've been aware of Mr. Mets intention to develop a 3 story house and build a two car garage across from our property since he purchased the constrained parcel piece with a one car garage over a year ago. I recently visited your office (unfortunately, you were unavailable) and reviewed his intended construction plans for 205 Rosecrans Place.

Seeing the plans in person brought up many obvious concerns ranging from previous individuals who attempted to develop this location and were denied due to height requirements and passageway restrictions on the narrow lane.

Mr. Mets has a documented history of engaging in many disruptive conversations with owners and tenants, primarily about density, trash and parking issues. These nuisances of law have occurred since his arrival and are primarily due to Rosecrans Place's narrow passage way that is more like an alley than an actual street.

Rafael, it would be helpful and very much appreciated if you could respond and clarify what specific rights I have, and describe how my tenant's parking spot in front of my 204 Rosecrans Place garage (in the shared access space that we have utilized for over 25 years) will be effected with the proposal of Mr. Mets project both during and after the proposed construction periods.

Moreover, I ask that you REJECT the Mets proposal for development at [205 Rosecrans Place](#).

I share the belief with others that the city may be moving too quickly and without proper discussion and consideration for others involved. We believe that there are many more issues to uncover on this topic and our neighborhood group would like the opportunity to be heard.

Thank you again for all of your time and efforts on the above mentioned parking clarification and your support to reject this proposal.

My best,

W. Chip Eggers
MB resident for 30 years



COASTAL DEVELOPMENT PERMIT

Project No: CA18-09
Page 1 of 4

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Issued by: Rafael Garcia, Assistant Planner

COMMUNITY DEVELOPMENT DEPARTMENT
Anne McIntosh, Director

Acknowledgment:

The undersigned permittee acknowledges receipt of this permit and agrees to abide by all terms and conditions thereof.

Signature of Permittee: _____ Date: _____

ATTACHMENT D
PC MTG 04-10-19

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 - b. An affidavit executed by the assignee attesting to the assignee's agreement to comply with the terms and conditions of the permit;

- c. Evidence of the assignee's legal interest in the property involved and legal capacity to undertake the development as approved and to satisfy the conditions required in the permit;
 - d. The original permittee's request to assign all rights to undertake the development to the assignee; and,
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Special Conditions:

- 1. The project shall be developed in conformance with all applicable development standards of the RH zoning district, and Chapter 2 of the Local Coastal Program - Implementation Program.
- 2. Any future rooftop solar panels must be within the maximum building height limit as provided on the approved plans.
- 3. No Accessory Dwelling Unit (ADU) shall be allowed in conjunction with this approval.

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NEW SINGLE FAMILY RESIDENCE

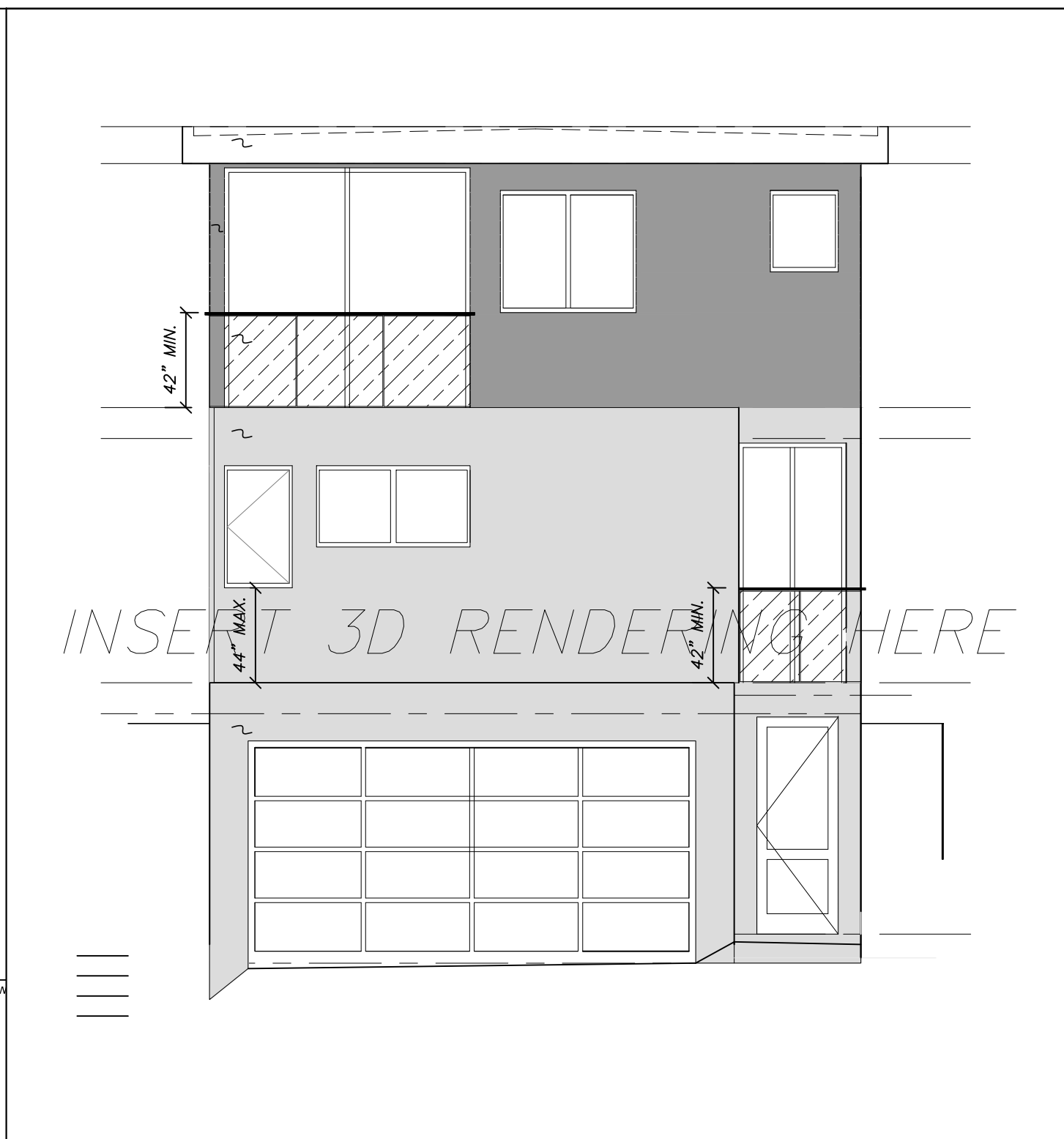
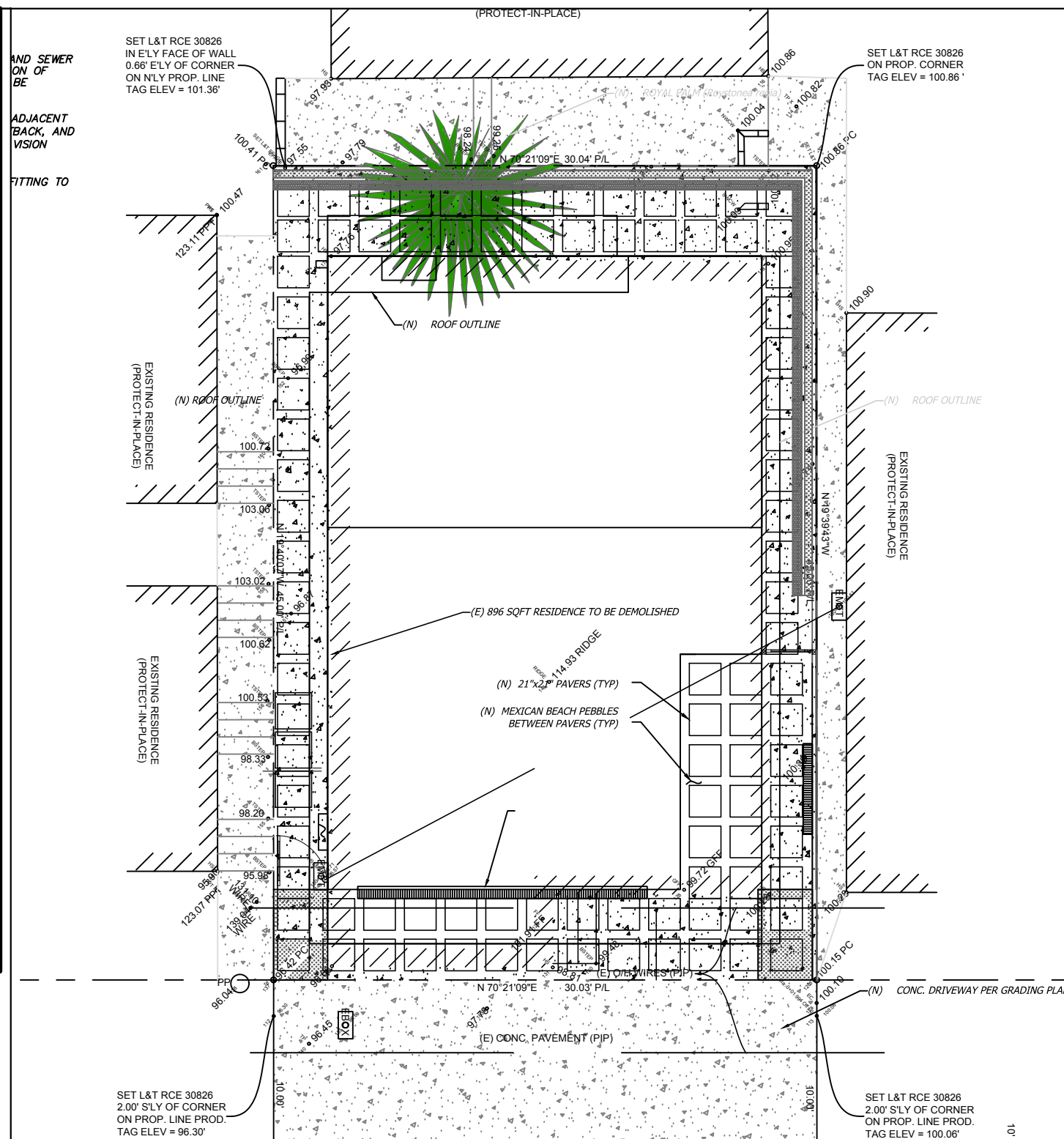
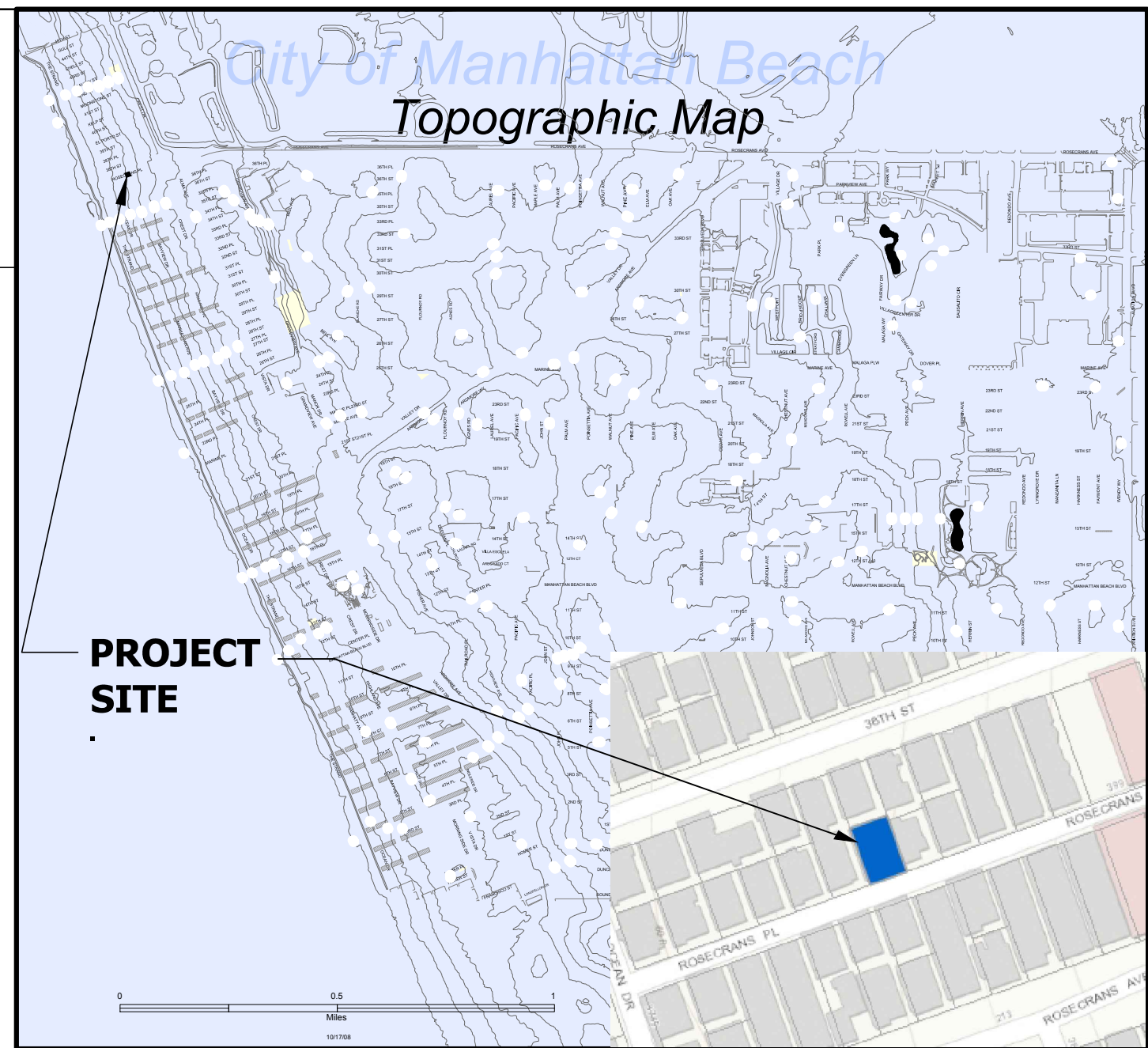
205 ROSECRANS PLACE, MANHATTAN BEACH, CA

Printed On: Mar 28, 2019 - 6:06pm

SCALE: AS NOTED
DATE: 03-27-19
JOB NO.: 2019-01-1
SHEET: T-1
SHEET # 1 of 1

DRAWING SHEET INDEX

SHEET NO.	SHEET NAME
1 of 25	T-1 Title Sheet
2 of	T-2 Residential Mandatory Measures
3 of	C-1 Topographic Survey
4 of	C-2 Site Plan
5 of	C-3 Shoring Plan
6 of	C-4 Grading Plan, 1 of 2
7 of	C-5 Grading Plan, 2 of 2
8 of	A-1 Planning Analysis
9 of	A-2 Elevation
10 of	A-3 Floor Plans, 1 of 2
11 of	A-4 Floor Plans, 2 of 2
12 of	A-5 Roof and Basement Plan
13 of	A-6 Sections
14 of	E-1 Electrical Plan
15 of	CG - 1 Cal Green Notes
16 of	T-24.1 Title 24, 1 of 2
17 of	T-24.2 Title 24, 2 of 2



VICINITY MAP
SCALE: AS NOTED

SITE PLAN
SCALE: 1"=1/4"

SOUTHWEST FRONT VIEW
SCALE: 1"=1/4"

PLANNING AND BUILDING DEPARTMENT INFORMATION

Type of Construction: Type V, B, R-3, Fully-sprinklered
 Zone: RH, Area District III
 Assessor's Parcel Number (APN): 4137-012-040
 Legal Description: Tract No. 3701 SE 45 ft of Lot 8
 Exist. Structure (to be demolished):

Existing House:	713.40 ft ²
Existing Garage:	182.83 ft ²
Total:	896.23 ft²

Lot Area: 45.00' x (30.04'+30.03')/2 = 1,351.58 ft²
 BFA Allowance per MBMC: 1.7 x 1,351.58 ft² = 2,297.69 ft² (Max Allowed)
 Proposed BFA: 2,026.93 ft² < 2,297.69 ft²; =>OK
 Garage (proposed): 399.75 ft²
 Decks (proposed): 182.07 ft²
 Basement Below-Grade (proposed): 200.00 ft²
 Gross (proposed): 2,226.93 ft² (for Usable Open-Space Calculations Only)
 Usable Open Space (required): .15 x 2,226.93 ft² = 334.04 ft²
 Usable Open Space (proposed): 145.69 ft² + 58.50 ft² + 148.22 ft² = 352.41 ft² > 334.04 ft²; => OK
 Existing BFA (to be demolished): 713.40 ft²

BUILDING HEIGHT ANALYSIS

(1)	(2)	(3)	(4)	(5)	(6)	(7)	(8)
100.15	100.86	97.56	96.42	394.99	98.75	30.00	128.75

TITLE SHEET

OWNER: Anthony Mets, 205 Rosecrans Place, Manhattan Beach, CA 90266, Tel: 310 251 5356, anthony.mets@aecom.com

DESIGNED BY: ATM
 DRAWN BY: ATM
 CHECKED BY: HBD

REGISTERED PROFESSIONAL ENGINEER
 ANTHONY T. METS
 No. C. 70074
 Exp. 9/30/20
 CIVIL
 STATE OF CALIFORNIA

NO.	REVISION	BY	DATE

ENGINEER: Anthony T. Mets, P.E. C70064, 999 Town and Country Road, Orange, CA 92668, Tel: 714.567.2664, email: anthony.mets@aecom.com

PROJECT

SINGLE FAMILY RESIDENCE 205 ROSECRANS PLACE MANHATTAN BEACH, CA 90266

STATUS	CONCEPT	SCHE	PREL	100%	FINAL
	X				

STATUS
CONCEPT
SUB
CHK
CHK
CHK
CHK
FINAL

City of Manhattan Beach Department of Public Works Standard Notes:

From: 205 Rosecrans Place, New SFR with Attached 2-Car Garage
 Subject: 205 Rosecrans Place, New SFR with Attached 2-Car Garage
 Permit No: xx-xxxx Build
 Date: October 8, 2018

ALL THE PUBLIC WORKS NOTES AND CORRECTIONS MUST BE PRINTED ON THE PLAN IN ITS ENTIRETY AND IN ORDER SHOWN AND NOTES ON THE SITE PLAN, WHERE APPLICABLE. NO EXCEPTIONS.

Property was inspected by Public Works staff on XXXXXXXXX and the following items are required and must be listed on plans. Public Works Comments & Conditions subject to change.

- All landscape irrigation backflow devices must meet current City requirements for proper installation.
- No discharge of construction wastewater, building materials, debris, or sediment from the site is permitted. No refuse of any kind generated on a construction site may be deposited in residential, commercial, or public refuse containers at any time. The utilization of weekly refuse collection service by the City's hauler for any refuse generated at the construction site is strictly prohibited. Full documentation of all materials landfilled and recycled must be submitted to the Permits Division in compliance of the City's Construction and Demolition Recycling Ordinance.
- Erosion and sediment control device Best Management Practices (BMPs) must be implemented around the construction site to prevent discharges to the street and adjacent properties. BMPs must be identified and shown on the plan. Control measures must also be taken to prevent street surface water entering the site.
- All stormwater, nuisance water, etc., drain lines installed within the street right-of-way must be constructed of 3" cast-iron pipe and labeled on the Site Plan. Drain lines must be shown on the plans. **Connecting on-site drainage line to sewer lateral is strictly prohibited.**
- All runoff water from the roof and side yards and patios must discharge onto Rosecrans Place through teh drain lines and must be shown on the plans with all required outlet flow line elevations at the discharge point.
- Impervious surface shall be sloped away from the building at 2% minimum slope for a minimum distance of 10 feet: lot shall be graded to drain surface water away from foundation walls - per C.R.C. Section R401.3.
- Sidewalk, driveway, curb, and gutter repairs or replacements must be completed per Public Works Specifications. See City Standard Plans ST-1, ST-2, ST-3 and ST-10. The plans must have a profile of the driveway, percentage (%) of slope on driveway, and driveway elevations for each side and the middle. In the case where the garage level is below the street drainage flow lines, the combined slope of public and private approach shall not exceed 15% (City recommends that Garage Finish Floor elevation per design plans be higher than existing street grades, in order to minimize possibility of any future flooding in the garage). City Plans/Survey must show elevations for each adjoining property. No deviations in elevations between properties shall exceed more than 1/4".
- Driveway profiles exceeding 10% grade will be staked and verified by licensed professional land surveyor. Verification of driveway grades will be done prior to pouring the garage slab. Driveway grades exceeding 15% are not permitted.
- The back of driveway approach must be six inches higher than the flow line on the street per MBMC 9.76.030.
- All existing or construction related damages or displaced curb/gutter or driveway approach must be replaced and shown on the plans.
- It is the responsibility of the Contractor to protect all the street signs, street lamps/lights, walls/fences, and/or trees around the property. If they are damaged, lost or removed, it is the responsibility of the Contractor to replace them at the Contractor's sole expense. Contact the Public Works Inspector for sign specification and suppliers.
- new 6" VCP sewer lateral will be installed if the existing lateral is less than 6" in diameter. Sewer clean-out should be located within private property lines. A backwater valve is required on the sanitary sewer lateral if the discharges from fixtures with flood level rims are located below the next upstream manhole cover of the public sewer per City Standard Plan ST-24.
- If any existing sewer lateral (6" minimum) is used, it must be televised to check its structural integrity **prior to any demolition work**. The recording must be made available for review by the Public Works Department and must show proof of the location of where it was shot. The Public Works Department will review the tape and determine at the time if the sanitary sewer lateral needs repair, replacement, or that it is structurally sound and can be used in its present condition. Videoing of lateral must be in its original state. No cleaning, flushing or altering prior to videoing is permitted.
- If a new sewer lateral is to be installed at a different location on the sewer main line, the old lateral must be capped at the property line and at the main line. Prior to structure demolition a sewer cap verification and approval from Public Works Inspector is required.**
- Water meters **MUST remain accessible for meter readers during construction. Water meters shall be placed near the property line and out of the driveway approach whenever possible. Water meter placement must be shown on the plans. See City Standard Plan ST-15.**
- The water meter box must be purchased from the City, and must have a traffic rated lid if the box is located in the driveway.**
- Residential properties must provide an enclosed storage area for refuse containers. These areas must be constructed to meet the requirements of MBMC 5.24.030. The area must be shown in detail on the plans before a permit is issued.**
- All work done within the public right-of-way shall be done by a licensed contractor with a Class A, C-12 or C-34 license for all trenching and paving or Class C-08 license for all concrete work. A Class B license may be acceptable for minor curb, gutter and sidewalk work constructed in conjunction with a single-family residential structure.**
- Planholder must have the plans rechecked and stamped for approval by the Public Works Department before the building permit is issued.**
- The Contractor shall monitor, supervise and control all construction and construction supportive activities, so, as to prevent these activities from causing a public nuisance, including but not limited to ensuring strict adherence to the following:**
 - Removal of dirt, debris, or other construction material deposited on any public street no later than the end of each working day.**
 - All excavation shall be backfilled at the end of each working day and roads opened to**

- vehicular traffic unless otherwise approved by the City Engineer.**
- All dust control measures per South Coast Air Quality Management District (SCAQMD) requirements shall be adhered to during the construction operations.**
 - All construction to be in conformance with the regulations of Cal-OSHA.**

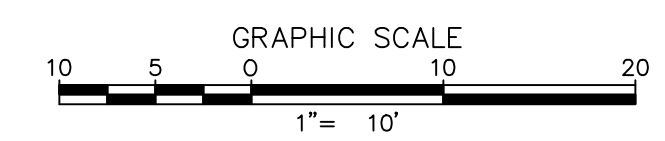
Code Compliance:

These Plans are intended to conform with all of the Following:

- 2016 California Building Code (CBC)
- 2016 California Plumbing Code (CPC)
- 2016 California Mechanical Code (CMC)
- 2016 California Fire Code (CFC)
- 2016 California Residential Code (CRC)
- 2016 California Green Building Standards Code (CGBSC)
- 2016 California Energy Standards
- 2016 California Electrical Code (CEC)
- City of Manhattan Beach Municipal Code

Plan Notes:

- Fence/wall/handrail and hedge heights, as measured from the lowest finished grade adjacent to each section of these structures, may be a maximum of 42" in the front yard setback and 6' at all other locations on the site (3' in driveway visibility triangle and in the traffic vision clearance triangle).
- Driveway visibility: Visibility of a driveway crossing a street property line shall not be clocked between a height of 3' and 9' for a depth of 5' from the street property line as viewed from the edge of the right-of-way on either side of the driveway at a distance of 15' or at the nearest property line intersection with the street property line, whichever is less (MBMC 10.64.150).
- Provide sprinkler system throughout.
- A residential fire sprinkler system shall be installed in new garage per Section R309.6.
- Provide a 30" minimum clear width at water closet and 24" minimum clear space in front of water closet (CPC 411.7).
- Install on the cold water supply pipe at the top of the water heater a capped "T"-fitting to plumb future solar water heating.
- All utilities servicing the site shall be installed per City of Manhattan Beach "Standard Underground Connection", subject to field inspection and verification (MCMC 9.12.050).
- Show on plans the site and location of electrical panel, including 3" dia. stub-out conduit.
- All electrical, telephone, cable TV system and similar service wires and cables shall be installed underground for all new buildings (MCMC 9.12.050).
- If new sewer connection is required, obtain Sanitation District approval prior to performing work.
- Control valves for showers and tub showers shall be of the pressure balance or thermostatic mixing valve type (CPC 410.7).
- Outdoor lighting: luminaries providing outdoor lighting and permanently mounted to a residential building or to other buildings on teh same lot shall be high efficacy luminaries.
- Driveway approach shall comply with Standard Plans ST-1, detail SM-626. The maximum driveway slope cannot exceed 15%.

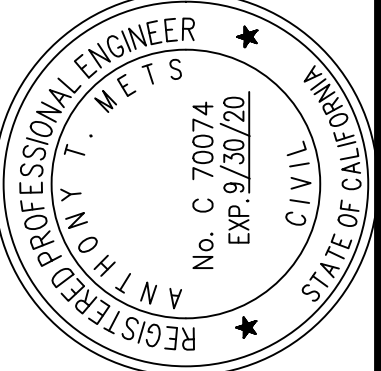


SCALE	AS NOTED	DATE	03-27-19
JOB NO.	2019-01-1		
SHEET	T-2		
SHEET /	2 of -		

MANDATORY RESIDENTIAL MEASURES

OWNER
 Anthony Meis
 205 Rosecrans Place
 Manhattan Beach, CA 90266
 Tel: 310 231 9386
 email: anthony.meis@acem.com

DESIGNED BY ATM
 DRAWN BY ATM
 CHECKED BY HP



NO.	REVISION	BY	DATE

ENGINEER
 Anthony T. Meis, P.E. C70064
 999 Town and Country Road
 Torrance, CA 90503
 Phone: 310 547 2864
 email: anthony.meis@acem.com

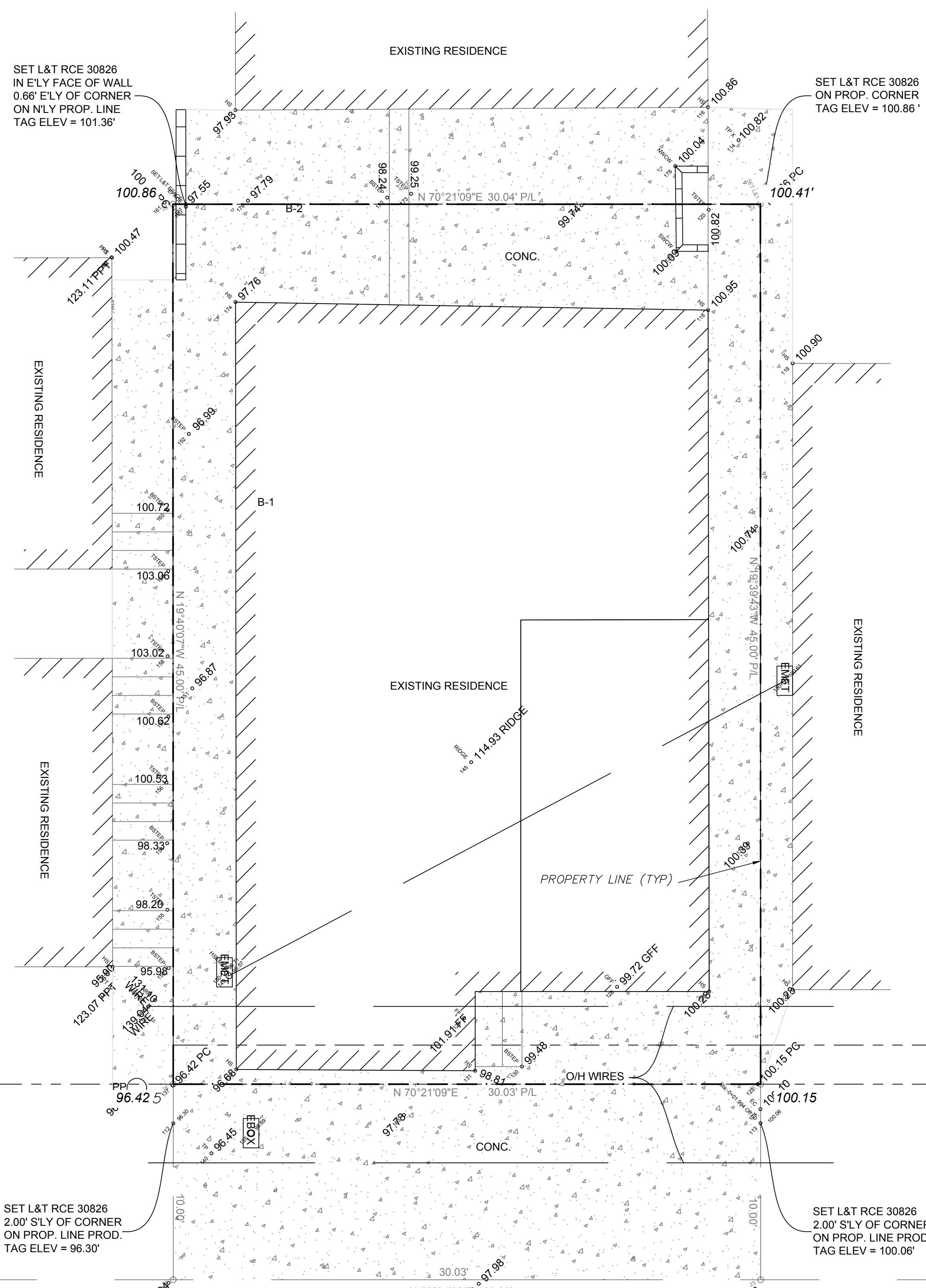
PROJECT
**SINGLE FAMILY RESIDENCE
 205 ROSECRANS PLACE
 MANHATTAN BEACH, CA 90266**

Printed On: Mar 28, 2019 8:05am
205 Rosecrans Place Arch Set 28MAR19.dwg

STATUS: CONCEPT X SIZE: 100% FINAL

NOTE:
A TITLE POLICY HAS BEEN PROVIDED AND REVIEWED BY DENN ENGINEERS AT THE TIME OF THIS SURVEY. ANY READILY AVAILABLE ITEMS AFFECTING THIS PROPERTY HAVE BEEN PLOTTED BASED ON PROVIDED DOCUMENTS.

FIDELITY NATIONAL TITLE COMPANY
ORDER NO. 00175818-995-LBO-VE
DATED OCTOBER 19, 2017



ROSECRANS PLACE

DENN ENGINEERS
3914 DEL AMO BLVD, SUITE 921
TORRANCE, CA 90503 (310) 542-9433
SURVEY AND TOPOGRAPHY
FOR
ANTHONY METS
AECOM
999 TOWN & COUNTRY ROAD
ORANGE, CA 90868
PHONE 310-251-5356

JOB ADDRESS
205 ROSECRANS PLACE
MANHATTAN BEACH, CA 90266
LEGAL DESCRIPTION
S'LY 45 FEET OF LOT 8, BLOCK 1
TRACT NO. 3701
M.B. 41-36
APN 4137-012-040

THIS MAP CORRECTLY REPRESENTS A SURVEY MADE BY ME OR UNDER MY DIRECTION IN CONFORMANCE WITH THE REQUIREMENTS OF PROFESSIONAL LAND SURVEYORS' ACT

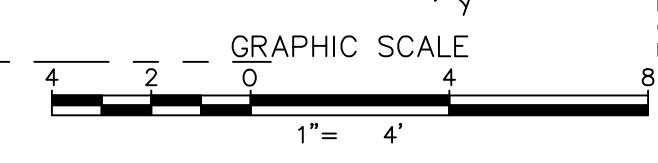
GARY J. ROEHL R.C.E. 30826
DRAWN BY KW CHECK BY TS

DRAWN ON JANUARY 3, 2018

REVISIONS

- LEGEND**
- EXISTING BUILDING
 - CONCRETE
 - EXISTING ELEVATION
 - EXISTING CONTOUR
 - BLOCK WALL
 - EXISTING FENCE
 - BRICK
 - WOOD DECK
 - BCR BEGINNING OF CURB RETURN
 - C/L CENTERLINE
 - E'LY EASTERLY
 - EM ELECTRIC METER
 - FD FOUND
 - FE FENCE
 - FF FINISH FLOOR
 - FH FIRE HYDRANT
 - FL FLOW LINE
 - GFF GARAGE FINISH FLOOR
 - GM GAS METER
 - GW GUY WIRE
 - L&T LEAD AND TAG
 - MH MANHOLE
 - N'LY NORTHERLY
 - PC PROPERTY CORNER / PROP. CORNER
 - PL, P/L PROPERTY LINE / PROP. LINE
 - PP POWER POLE
 - PPT PARAPET
 - S&W SPIKE AND WASHER
 - S'LY SOUTHERLY
 - SPK SPIKE
 - SSCO SANITARY SEWER CLEAN OUT
 - SSMH SANITARY SEWER MANHOLE
 - STK STAKE / STAKE & TAG
 - STLT STREET LIGHT
 - TC TOP OF CURB
 - TW TOP OF WALL / T.O.W.
 - TX TOP OF DRIVEWAY APRON
 - W'LY WESTERLY
 - WM WATER METER

NOTE: ALL SETBACK DIMENSIONS SHOWN ARE MEASURED TO EXTERIOR SURFACE OF BUILDINGS UNLESS OTHERWISE NOTED.
BOUNDARY MONUMENTS ARE NOT NECESSARILY SET ON PROPERTY CORNERS. PLEASE REFER TO THE NOTATION ON THE PLANS FOR OFFSET DISTANCES. IF THERE ARE ANY QUESTIONS, PLEASE DO NOT HESITATE TO CONTACT DENN ENGINEERS FOR CLARIFICATION AT: (310) 542-9433, M-F 8:00 AM TO 5:00 PM.
COPYRIGHT SCALE 1" = 4'



SHEET 1 OF 1
JOB NO. 17-544

SCALE	AS NOTED	DATE	03-27-19
SHEET NO.	2019-01-1		
SHEET	C-1		
SHEET /	3 of		

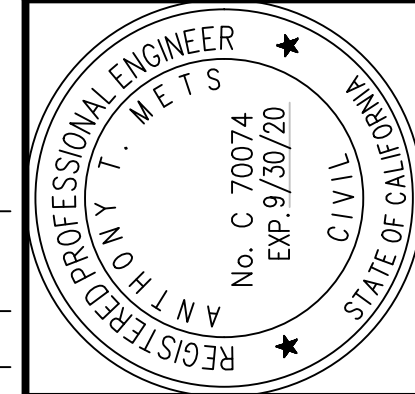
TOPO PLAN

OWNER
Anthony Mets
205 Rosecrans Place
Manhattan Beach, CA 90266
Tel: 310 251 5356
anthony.mets@aecom.com

DESIGNED BY
ATM

DRAWN BY
ATM

CHECKED BY
HP



NO.	REVISION	BY	DATE

ENGINEER
Anthony T. Mets, P.E. C70064
999 Town and Country Road
Orange, CA 92668
Tel: 714 567 2666
email: anthony.mets@aecom.com

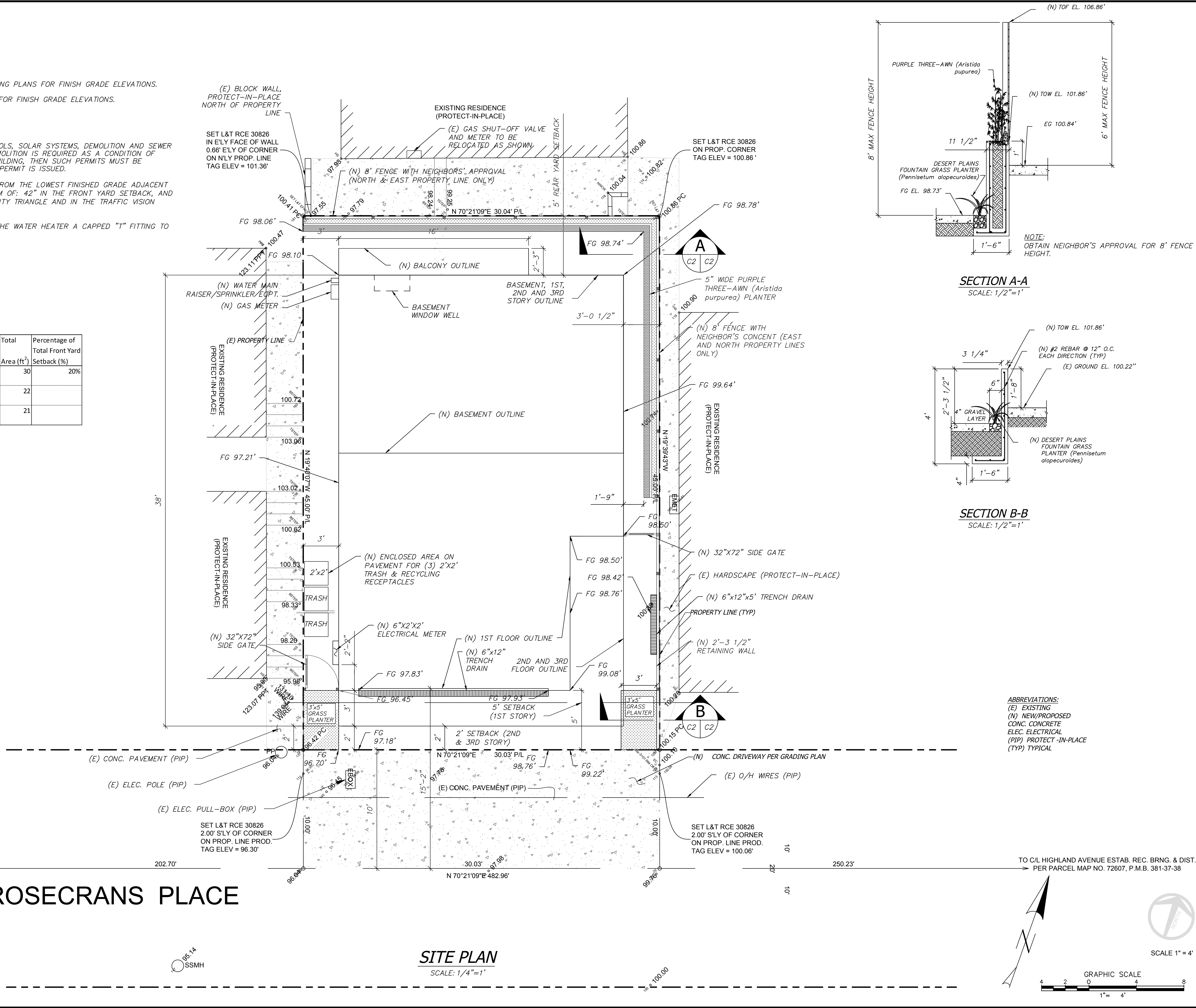
SINGLE FAMILY RESIDENCE 205 ROSECRANS PLACE MANHATTAN BEACH, CA 90266

NOTES:

1. SPOT ELEVATIONS SHOWN FOR ILLUSTRATION ONLY. SEE GRADING PLANS FOR FINISH GRADE ELEVATIONS.
2. DRIVEWAY SLOPE NOT-TO-EXCEED 15%. SEE GRADING PLANS FOR FINISH GRADE ELEVATIONS.
3. WATER METER LOCATED ON 38TH STREET TO REMAIN.
4. (E) GAS METER TO BE RELOCATED ON PROPERTY AS SHOWN.
5. SEPARATE PERMITS AND PLANS ARE REQUIRED FOR SPAS, POOLS, SOLAR SYSTEMS, DEMOLITION AND SEWER CAP OF EXISTING BUILDINGS. IF SUCH IMPROVEMENTS OR DEMOLITION IS REQUIRED AS A CONDITION OF APPROVAL FOR DISCRETIONARY ACTIONS OR TO COMMENCE BUILDING, THEN SUCH PERMITS MUST BE OBTAINED BEFORE OR AT THE TIME THIS PROPOSED BUILDING PERMIT IS ISSUED.
6. FENCE/WALL/HANDRAIL AND HEDGE HEIGHTS, AS MEASURED FROM THE LOWEST FINISHED GRADE ADJACENT TO EACH SECTION OF THESE STRUCTURES, MAY BE A MAXIMUM OF: 42" IN THE FRONT YARD SETBACK, AND 8' AT ALL OTHER LOCATIONS ON SITE (3' IN DRIVEWAY VISIBILITY TRIANGLE AND IN THE TRAFFIC VISION CLEARANCE TRIANGLE).
7. INSTALL ON THE COLD WATER SUPPLY PIPE AT THE TOP OF THE WATER HEATER A CAPPED "T" FITTING TO PLUMB FOR FUTURE SOLAR WATER HEATING.

WUCOLS-IV Water Usage

Type	Common Name	Botanical Name	Water Usage (H, M, L, VL)	Optimal Irrigation (% ET ₀)	Deficit Irrigation (% ET ₀)	Total Area (ft ²)	Percentage of Total Front Yard Setback (%)
Warm Season	Seashore Paspalum	Paspalum Vaginatum		60	40	30	20%
Warm Season	Purple three-awn	Aristida purpurea	VL			22	
Warm/Cold	Desert Plains Fountaingrass	Pennisetum alopecuroides	VL			21	

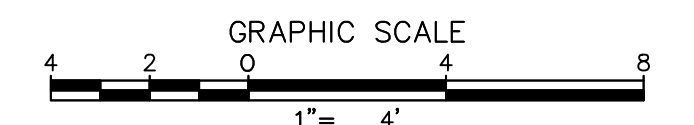


ROSECRANS PLACE

SITE PLAN

SCALE: 1/4"=1'

SCALE 1"=4'



DATE: 03-27-19
SCALE: AS NOTED
JOB NO.: 2019-01-1
SHEET: C-2
SHEET #: 4 of XX

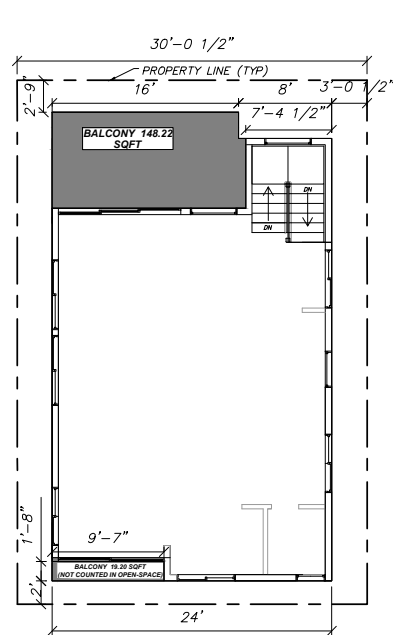
OWNER: Anthony Mets
205 Rosecrans Place
Manhattan Beach, CA 90266
Tel: 310 251 5356
email: anthony.mets@aecom.com

DESIGNED BY: ATM
DRAWN BY: ATM
CHECKED BY: THD

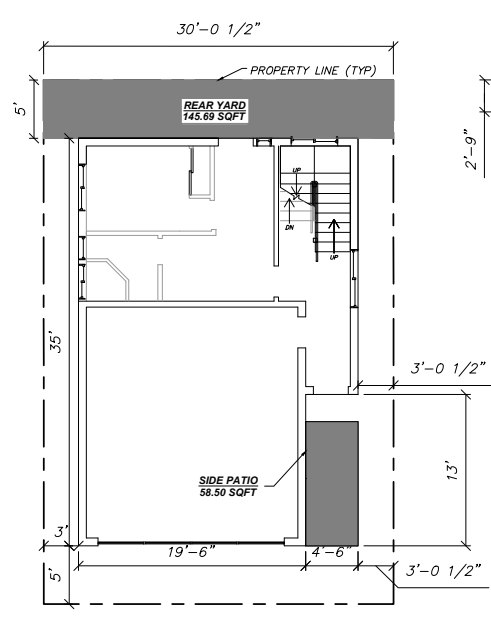
REGISTERED PROFESSIONAL ENGINEER
ANTHONY T. METS
No. C 70074
Exp. 9/30/20
STATE OF CALIFORNIA

ENGINEER: Anthony T. Mets, P.E. C70064
999 Town and Country Road
Orange, CA 92668
Tel: 714.567.2664
email: anthony.mets@aecom.com

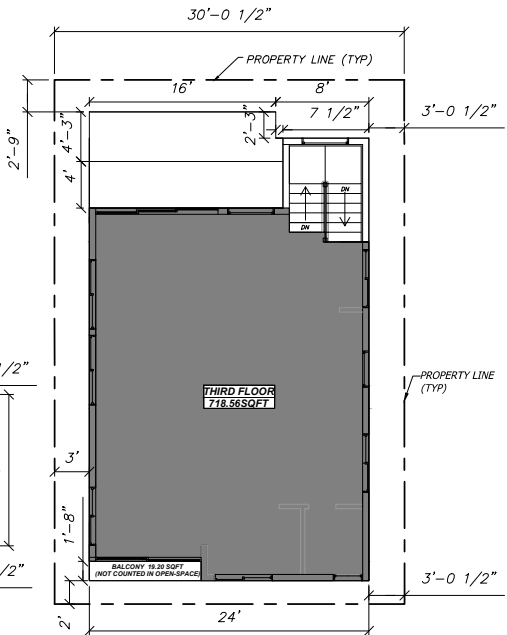
PROJECT: SINGLE FAMILY RESIDENCE
205 ROSECRANS PLACE
MANHATTAN BEACH, CA 90266



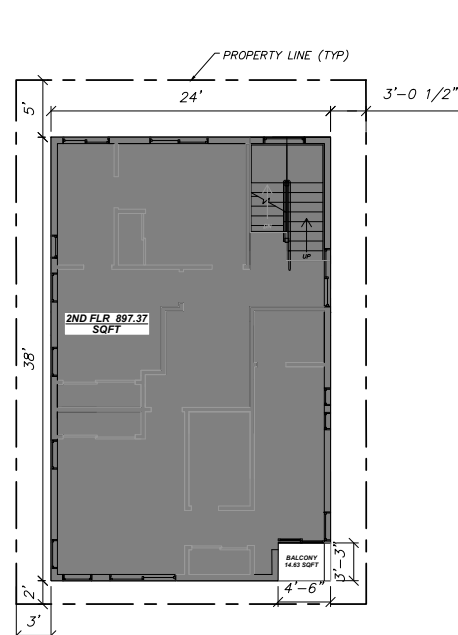
Third Floor (Open Space)
SCALE: 1/8"=1'



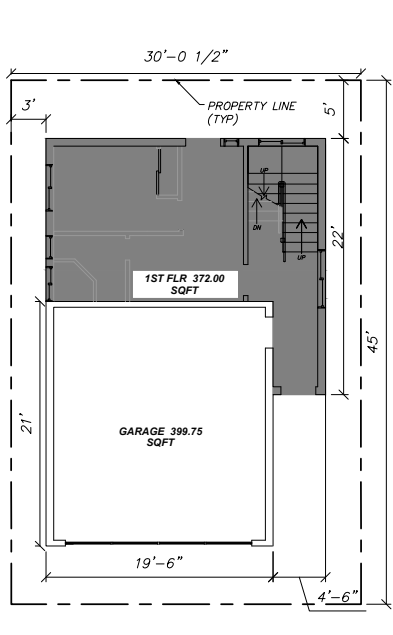
First Floor (Open Space)
SCALE: 1/8"=1'



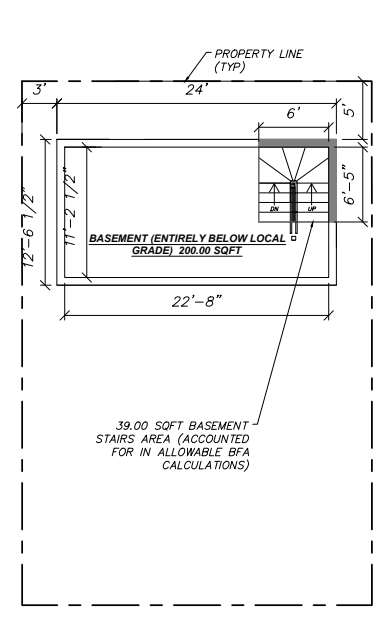
Third Floor (Habitable)
SCALE: 1/8"=1'



Second Floor (Habitable)
SCALE: 1/8"=1'



First Floor (Habitable)
SCALE: 1/8"=1'



Basement (Mech. Equipment & Storage)
SCALE: 1/8"=1'

AREA SCHEDULE (ACTUAL HABITABLE SQ.FTG.)

Level	Area	Notes
Basement Stairs	39.00 SQFT	Included in allowable BFA & O.S. calcs.
First Floor	372.00 SQFT	Includes stairs leading to the 2nd floor.
Second Floor	897.37 SQFT	Includes 3rd story stairs.
Third Floor	718.56 SQFT	No stairs included.

Grand total: 3 2,026.93 SQSF
Open Space Required: (2,026.93 x (.15))= 304.04 SQFT

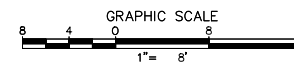
AREA SCHEDULE (OPEN SPACE PROVIDED)

Level	Area	Notes
First Floor	145.69 SQFT	Rear Yard
First Floor	58.50 SQFT	Side Patio
Third Floor	148.22 SQFT	Balcony

Total OS Provided: 352.41 SQFT (352.41 SQFT > 334.04 SQFT)

BFA CALCULATION:

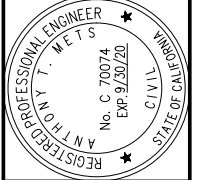
Lot Size: ((30.04+30.03)/2)x(45.00)=1,351.58 SQFT
ALLOWABLE BFA = (1.7)x(1,351.58) = 2,297.69 Maximum Allowed SQ.FTG.
PROPOSED BFA: 372.00+39.00+897.37+718.56 = 2,026.93 SQFT < 2,297.69 SQFT



SCALE	AS NOTED	DATE	03-27-19
JOB NO.	2019-01-1	SHEET	A-1
SHEET #	8 of -		

PLANNING ANALYSIS

OWNER: Anthony Mets, 205 Rosecrans Place, Manhattan Beach, CA 90266
DESIGNED BY: anthony.mets@secom.com
DRAWN BY: ATM
CHECKED BY: HP

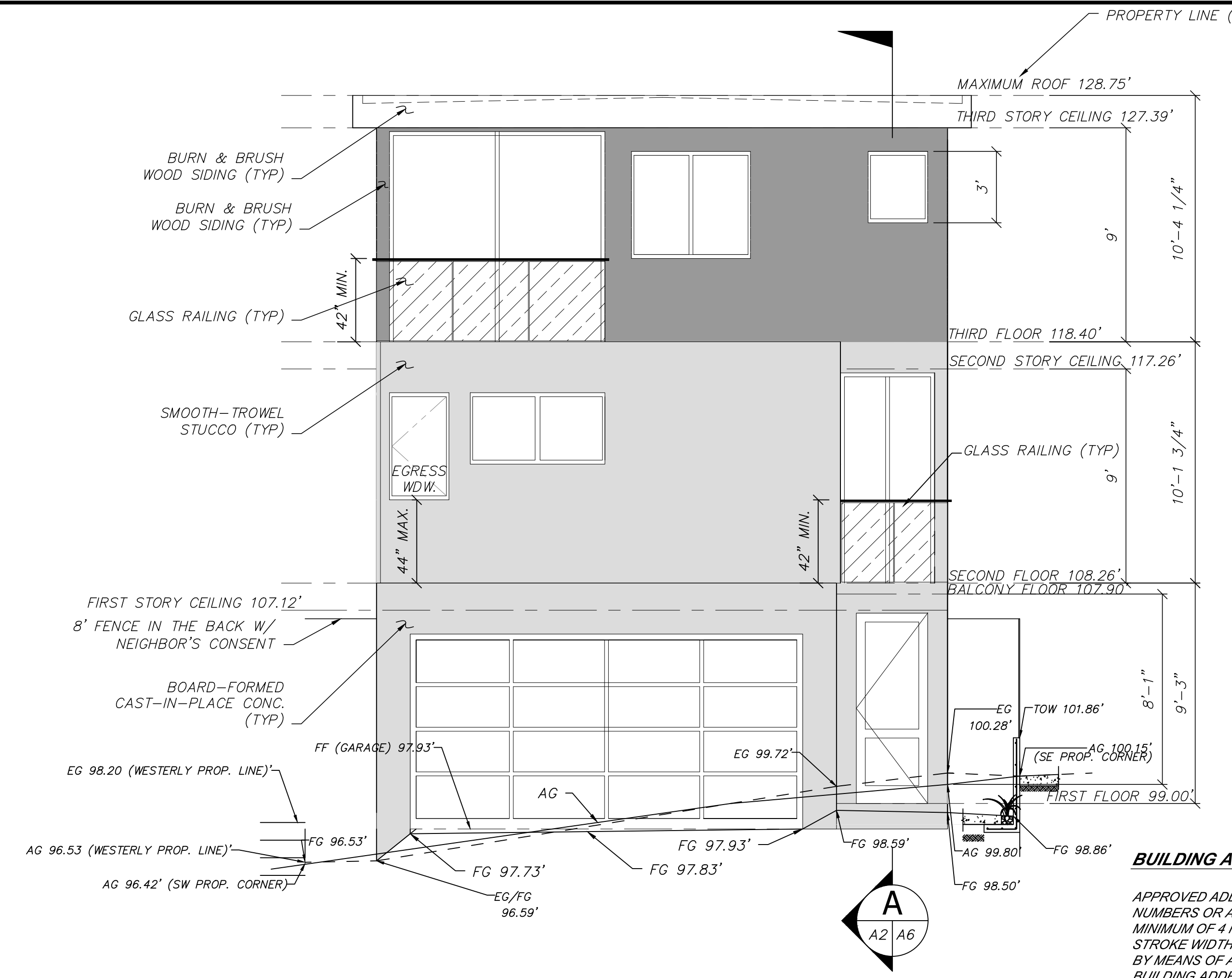


NO.	REVISION	BY	DATE

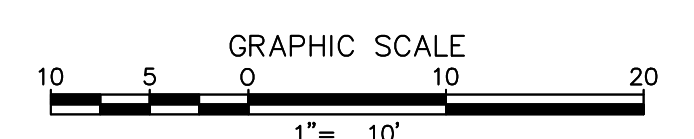
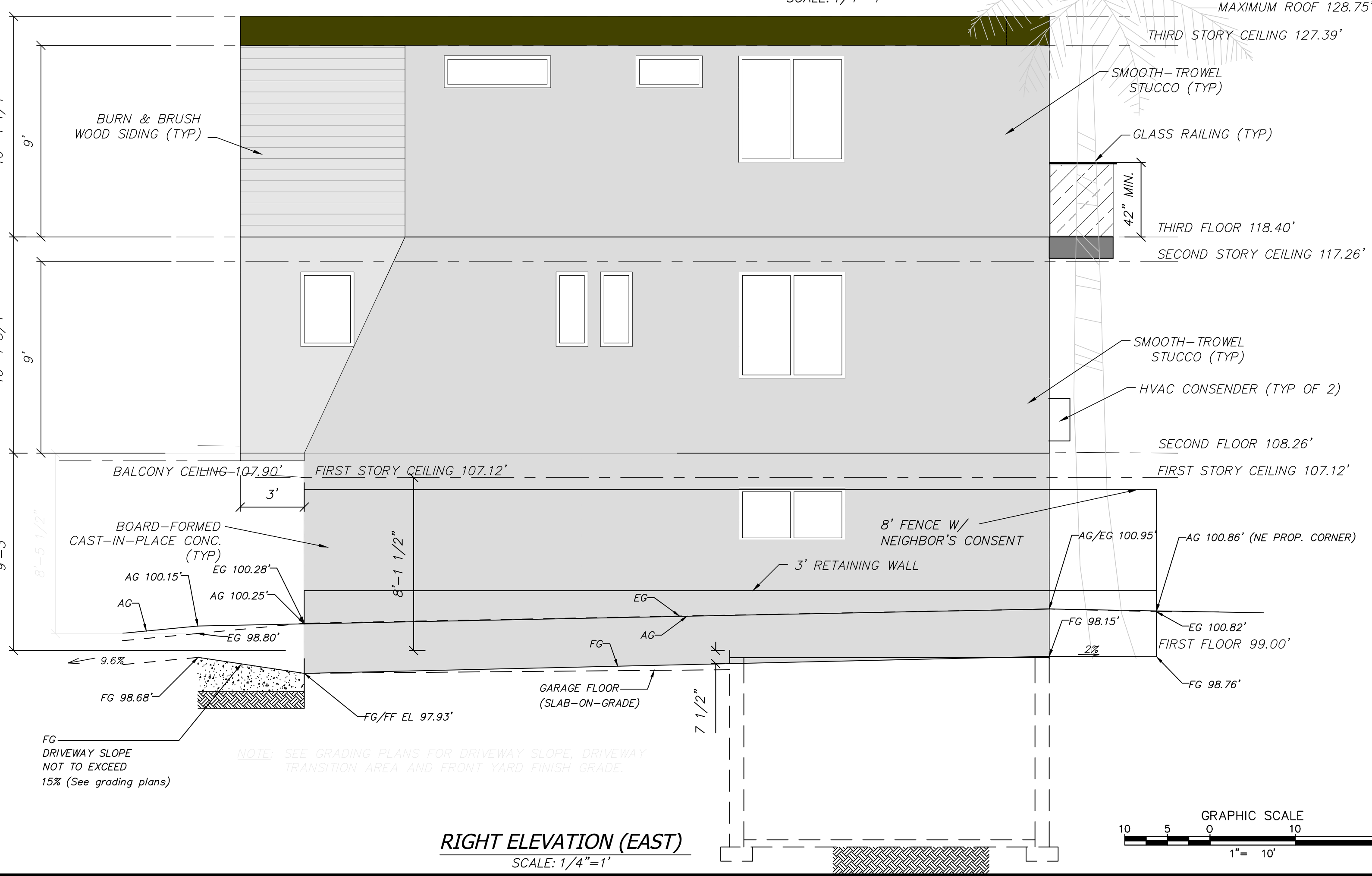
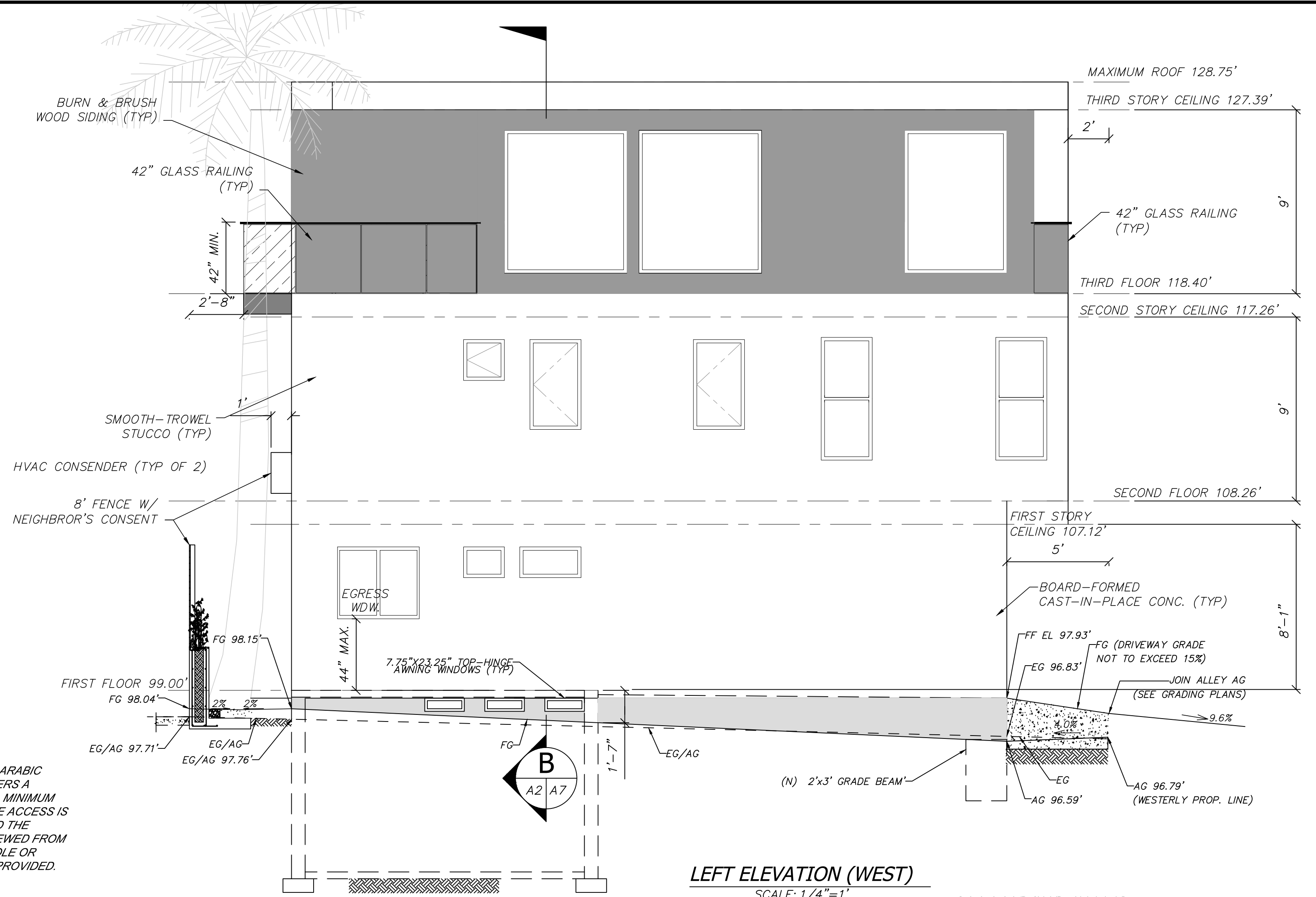
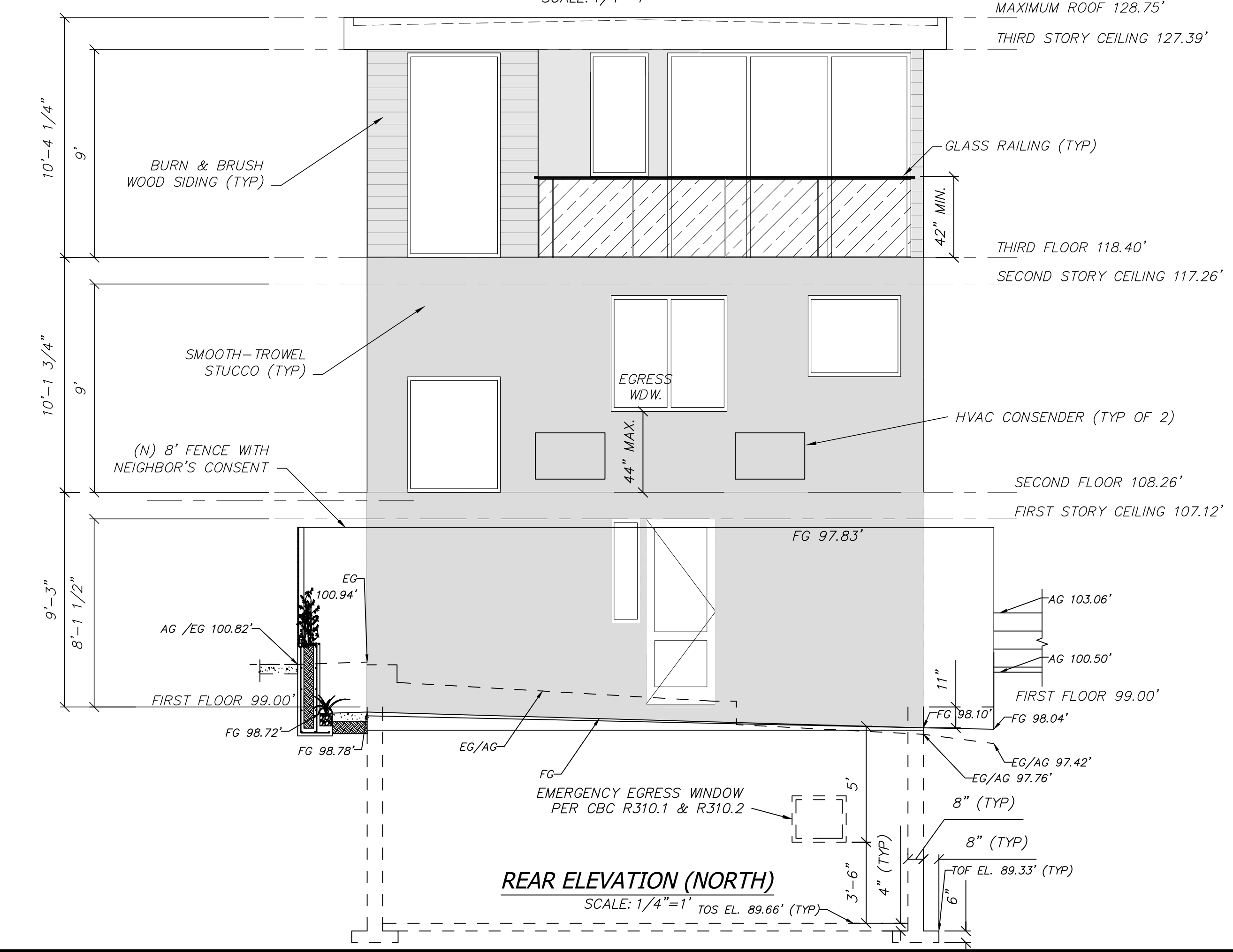
ENGINEER: Anthony T. Mets, P.E., C70064
999 Town and Country Road
Orange, CA 92668
Tel: 714.567.2664
email: anthony.mets@secom.com

PROJECT: SINGLE FAMILY RESIDENCE
205 ROSECRANS PLACE
MANHATTAN BEACH, CA 90266

STATUS	CONCEPT	SIZE	X
SCALE	1/4"=1'		
DATE	03-27-19		
BY	ATM		
CHECKED BY	ATM		
REVISION			
NO.			



BUILDING ADDRESS NOTE:
APPROVED ADDRESS NUMBERS IN ARABIC NUMBERS OR ALPHABETICAL LETTERS A MINIMUM OF 4 INCHES HIGH WITH A MINIMUM STROKE WIDTH OF 1/2 INCH, WHERE ACCESS IS BY MEANS OF A PRIVATE ROAD AND THE BUILDING ADDRESS CANNOT BE VIEWED FROM THE PUBLIC WAY, A MONUMENT, POLE OR OTHER SIGN OR MEANS SHALL BE PROVIDED.



DATE	03-27-19
SCALE	AS NOTED
JOB NO.	2019-01-1
SHEET	A-2
SHEET #	9 of XX

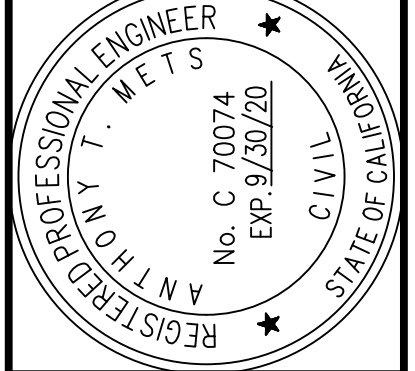
EXTERIOR ELEVATIONS

OWNER
Anthony Mets
205 Rosecrans Place
Manhattan Beach, CA 90266
Tel: 310 251 5356
anthony.mets@aecom.com

DESIGNED BY
ATM

DRAWN BY
ATM

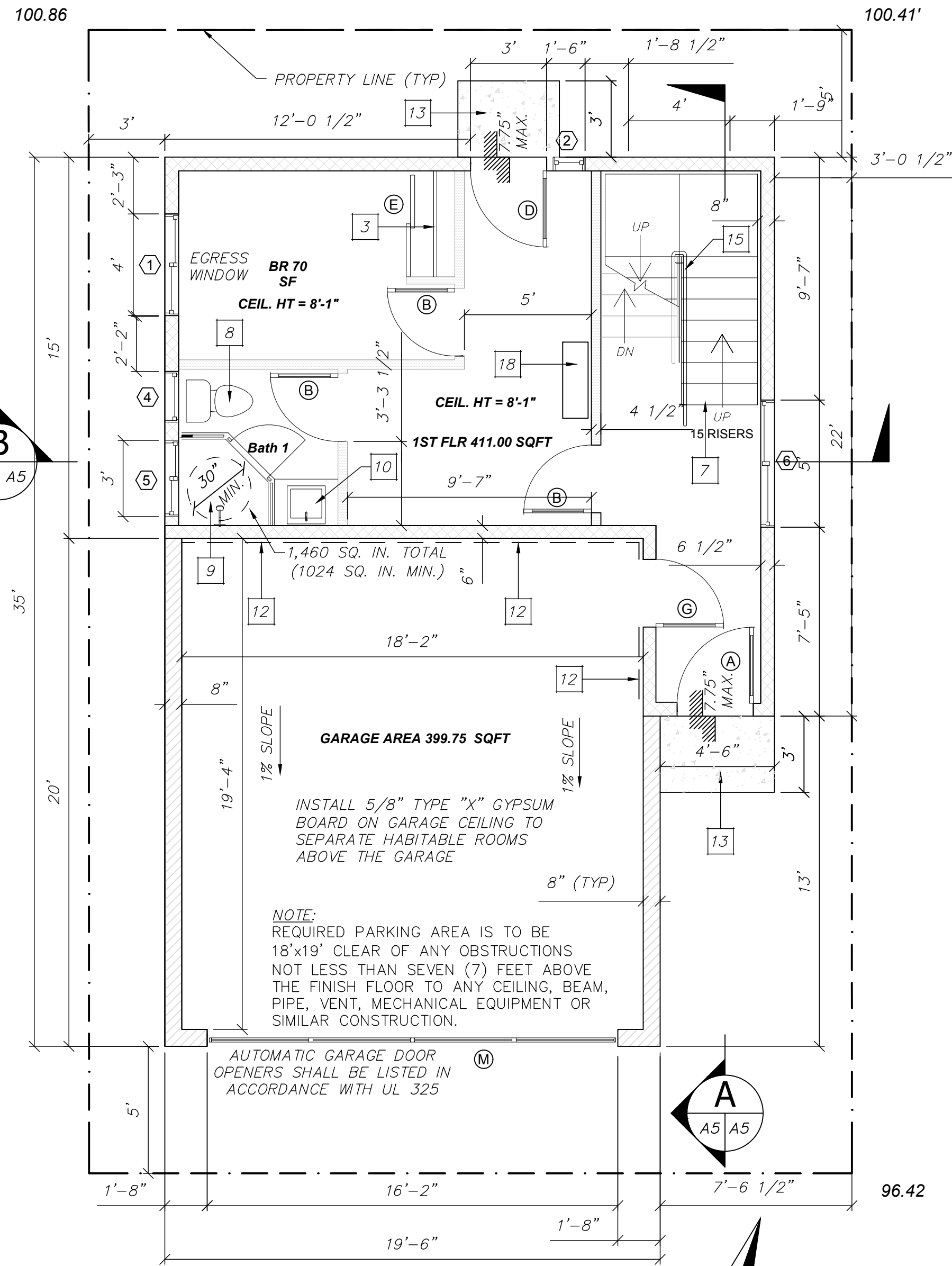
CHECKED BY
THD



BY		DATE	
REVISION			
NO.			

ENGINEER
Anthony T. Mets, P.E. C70064
999 Town and Country Road
Orange, CA 92668
Tel: 714.567.2664
email: anthony.mets@aecom.com

SINGLE FAMILY RESIDENCE 205 ROSECRANS PLACE MANHATTAN BEACH, CA 90266



FIRE SPRINKLER SYSTEM NOTE: GARAGE WITH HABITABLE SPACE ABOVE SHALL BE PROTECTED BY NFPA 13D RESIDENTIAL FIRE SPRINKLER SYSTEM.

FIRST FLOOR SCALE: 1/4"=1'

WALL SCHEDULE

- NEW 8" THICK REINFORCED CONCRETE WALL
NEW 2x6 STUDS @ 16" O.C.
NEW 2x4 STUDS @ 16" O.C.

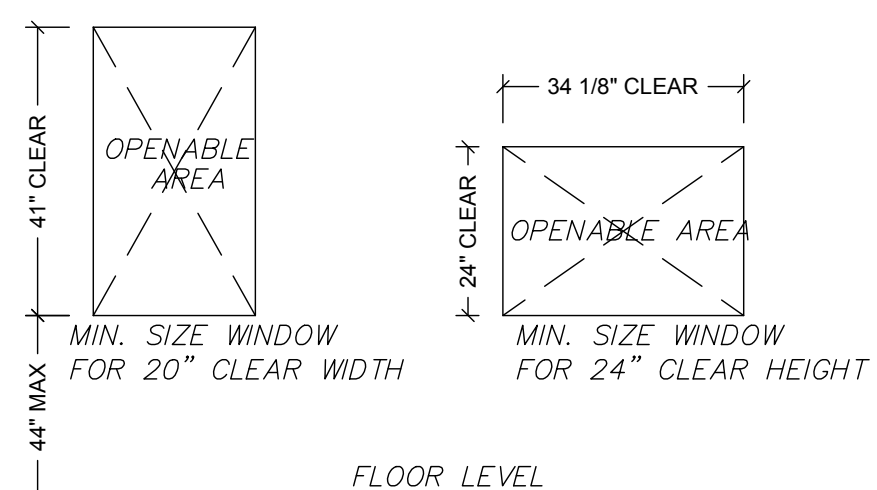
NOTES:

- 1. SEPARATE PERMITS AND PLANS ARE REQUIRED FOR SPAS, POOLS, SOLAR SYSTEMS, DEMOLITION AND SEWER CAP OF EXISTING BUILDINGS...

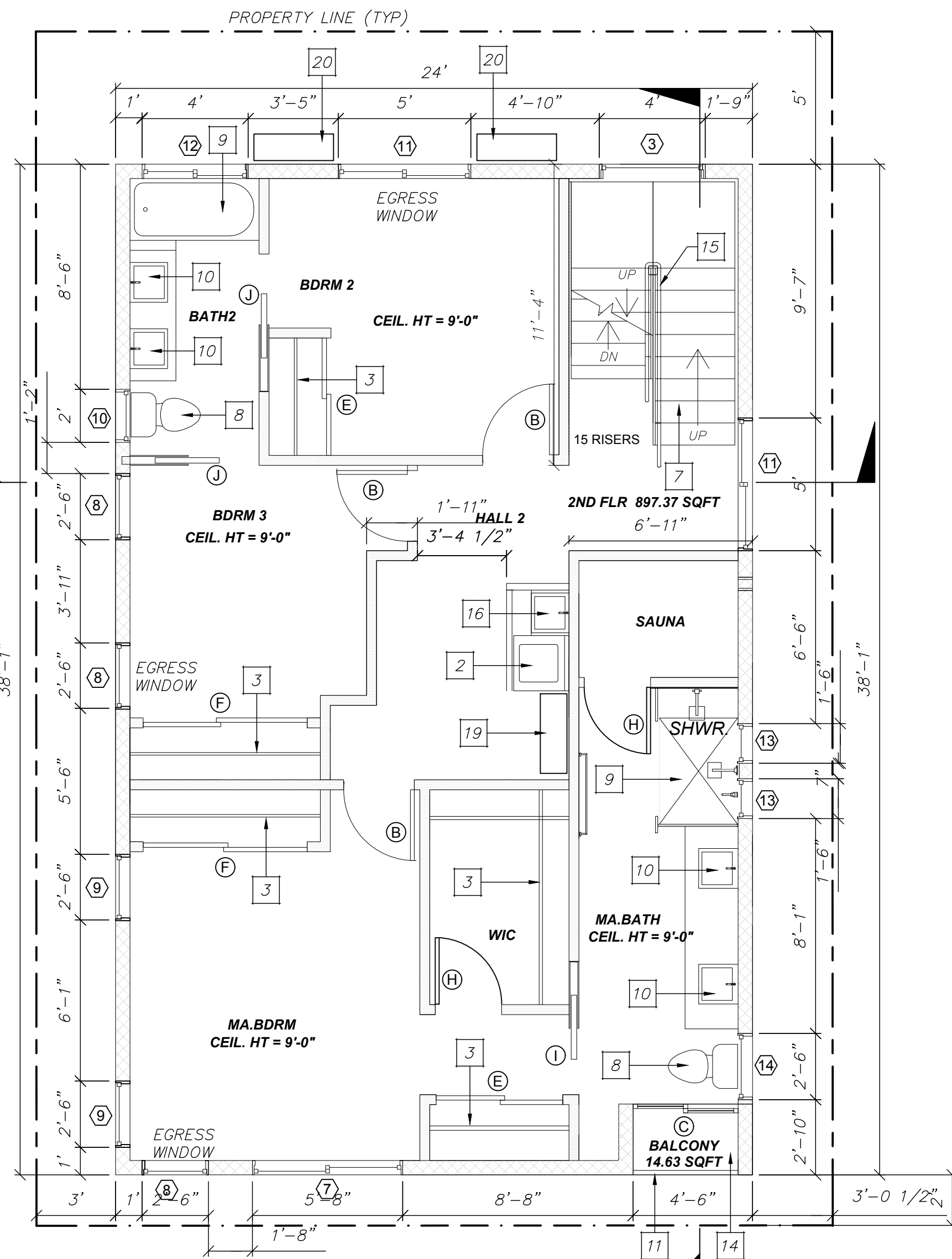
Table with 3 columns: Level, Area, Notes. Rows include Basement Stairs, First Floor, Second Floor, Third Floor, and Grand total.

DOOR SCHEDULE table with columns: DOOR, SIZE, TYPE, REMARKS. Includes entries for Main Entry, H.C. Door, Sliding Closet Door, etc.

EMERGENCY SCAPE / EXIT WINDOW



- 1. 20" MIN. CLEAR WIDTH
2. 24" MIN. CLEAR HEIGHT
3. 5.7 SF MIN. OPENABLE AREA
4. 44" MAXIMUM FINISHED SILL HEIGHT ABOVE FINISH FLOOR



SECOND FLOOR SCALE: 1/4"=1'

WINDOW SCHEDULE

WINDOW SCHEDULE table with columns: WDW, SIZE, TYPE, REMARKS, U-FACT, SHGC. Lists various window types and their specifications.

- NOTES: 1. THE LOAD RESISTANCE OF GLASS UNDER UNIFORM LOAD SHALL BE DETERMINED IN ACCORDANCE WITH ASTM E1300. 2. THE NFRC TEMPORARY LABEL DISPLAYED ON WINDOWS MUST REMAIN ON THE UNIT UNTIL FINAL INSPECTION HAS BEEN COMPLETED.

NUMBERED KEY NOTES

- 1. NOT USED ON THIS SHEET
2. WASHER AND DRYER MACHINE COMBO PROVIDE HOT AND COLD WATER AND WASTE IN RECESSED WALL BOX...
3. SHELF AND POLE
4. NOT USED ON THIS SHEET
5. NOT USED ON THIS SHEET
6. NOT USED ON THIS SHEET
7. STAIRS: 7.75" MAX. RISER HEIGHT, 10" MIN. TREAD DEPTH
8. WATER CLOSET SHALL BE 1.28 GALLONS PER FLUSH MAXIMUM...
9. SHOWER OR TUB/SHOWER COMBINATION W/ 72" HIGH OF GREEN GYPSUM BOARD...
10. LAVATORY FAUCET TO HAVE A WATER EFFICIENCY OF 1.5 GPM @ 60 PSI
11. GUARDRAIL, TEMPERED GLASS, 42" MIN. HT.
12. 5/8" TYPE "X" GYPSUM BOARD ON GARAGE SIDE...
13. LANDING (SLOPE SHALL NOT EXCEED 1/4 INCH PER FOOT)
14. DECK FLEX WALKING DECK SYSTEM, ESR-3672
15. GUARDRAIL, TEMPERED GLASS, 42" MIN. HT. W/ HANDRAIL LOCATED 34"-38" HT.
16. UTILITY SINK
17. WATER HEATER NORITZ TANK-LESS 199,000 BTU/HR 0.96 ENERGY FACTOR...
18. MINI SPLIT SYSTEM INDOOR UNIT 12,000 BTU/HR HEATING, 12,000 BTU/HR COOLING
19. MINI SPLIT SYSTEM INDOOR UNIT 48,000 BTU/HR HEATING, 48,000 BTU/HR COOLING
20. MINI SPLIT SYSTEM OUTDOOR UNIT HANGING FROM WALL

PLUMBING NOTES

- 1. CONTROL VALVE FOR SHOWERS OR TUB-SHOWERS SHALL BE ANTI-SCALDING OR THERMOSTATIC MIXING VALVE
2. WATER EFFICIENCY REQUIREMENTS PER 2016 CALIFORNIA GREEN CODE: SHOWERS 1.8 GPM @ 80 PSI, KITCHEN FAUCETS 1.8 GPM @ 60 PSI, WATER CLOSETS 1.28 GALLONS/FLUSH, LAVATORY FAUCETS 1.2 GPM @ 60 PSI
3. ALL HOT WATER PIPING FROM THE HEATING SOURCE TO THE KITCHEN FIXTURES MUST BE INSULATED. PIPE SIZE 2" OR LESS = 1" THICK INSULATION, PIPE SIZE 2" OR GREATER = 1-1/2" THICK INSULATION
4. HOT WATER PIPING THAT IS BURIED (INCLUDING UNDERSLAB) MUST BE INSULATED, REPLACEABLE, AND INSTALLED INTERIOR OF A "SLEEVE".
5. MINIMUM SEWER SLOPE TO BE 2%.
6. AN APPROVED BACKWATER VALVE IS REQUIRED FOR DRAINAGE PIPING SERVING FIXTURES LOCATED BELOW THE ELEVATION OF THE NEXT UPSTREAM MANHOLE COVER...
7. ALL HOSE BIBS MUST HAVE AN APPROVED ANTI-SIPHON DEVICE.
8. WATER HEATER SHALL HAVE ISOLATION VALVES ON BOTH THE COLD-WATER SUPPLY AND THE HOT WATER PIPE LEAVING THE WATER HEATER...

PLUMBING MATERIALS

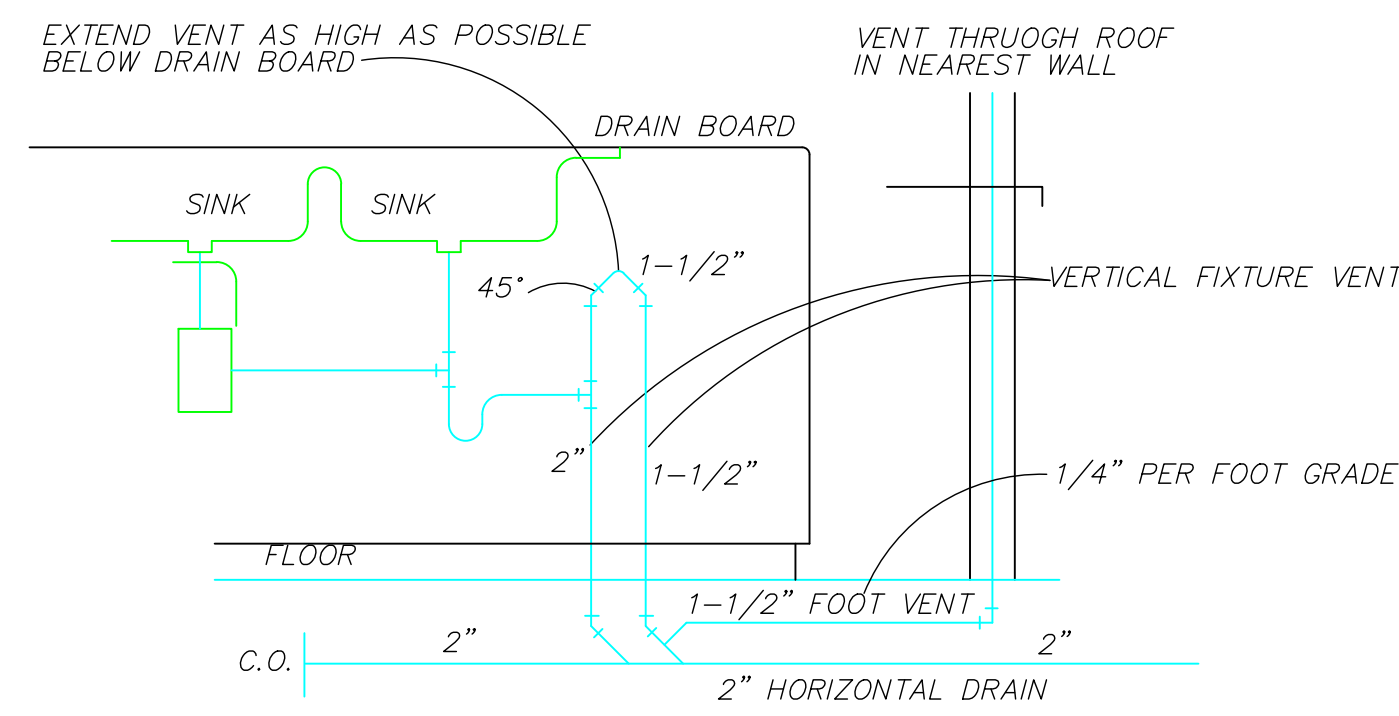
HOT AND COLD WATER: COPPER TYPE "L" ASTM B88 OR PEX TUBING ASTM F877
WASTE AND VENT: ABS OR PVC SCHEDULE 40 PIPE
NOTE: WATER PIPING MATERIALS WITHIN A BUILDING SHALL BE IN ACCORDANCE WITH SEC. 604.1 OF THE CALIFORNIA PLUMBING CODE...

Project information including: PROJECT: SINGLE FAMILY RESIDENCE 205 ROSECRANS PLACE MANHATTAN BEACH, CA 90266; ENGINEER: Anthony T. Mets, P.E.; DATE: 03-27-19; SCALE: AS NOTED; SHEET: A-3; SHEET 1 OF 10.

DOOR SCHEDULE			
DOOR	SIZE	TYPE	REMARKS
(A)	3'-0" x 8'-0"	SOLID CORE	MAIN ENTRY
(B)	2'-8" x 6'-8"	H. C. DOOR	SWING
(C)	4'-0" x 8'-6"	SLD. PATIO DOOR	TEMP. GLASS U-FACT. = 0.32 SHGC = 0.25
(D)	3'-0" x 8'-0"	SOLID CORE	
(E)	4'-0" x 6'-8"	SLIDING CLOSET DOOR	DOUBLE
(F)	6'-0" x 6'-8"	SLIDING CLOSET DOOR	DOUBLE
(G)	2'-8" x 6'-8"	1-3/8" SOLID CORE	SELF CLOSING GASKET SEALED
(H)	2'-6" x 6'-8"	H. C. DOOR	SWING
(I)	2'-6" x 6'-8"	POCKET DOOR	SLIDING
(J)	2'-8" x 6'-8"	POCKET DOOR	SLIDING
(K)	9'-0" x 8'-6"	SLD. PATIO DOOR	TEMP. GLASS U-FACT. = 0.32 SHGC = 0.25
(L)	10'-6" x 8'-6"	SLD. PATIO DOOR	TEMP. GLASS U-FACT. = 0.32 SHGC = 0.25
(M)	16'-0" x 8'-0"	GARAGE DOOR	DOUBLE CAR

WINDOW SCHEDULE					
WDW	SIZE	TYPE	REMARKS	U-FACT.	SHGC
(1)	4'-0" X 4'-0"	METAL SLD. WIND.	DUAL GLASS	0.32	0.25
(2)	1'-3" X 4'-6"	METAL FIXED WIND.	DUAL GLASS	0.32	0.25
(3)	4'-0" X 5'-0"	METAL FIXED WIND.	DUAL GLASS	0.32	0.25
(4)	2'-0" X 1'-6"	METAL FIXED WIND.	DUAL GLASS	0.32	0.25
(5)	3'-0" X 1'-6"	METAL FIXED WIND.	DUAL GLASS	0.32	0.25
(6)	5'-0" X 2'-6"	METAL SLD. WIND.	DUAL GLASS	0.32	0.25
(7)	5'-8" X 3'-0"	METAL SLD. WIND.	DUAL GLASS	0.32	0.25
(8)	2'-6" X 4'-6"	METAL CASEMENT WIND.	DUAL GLASS	0.32	0.25
(9)	2'-6" X 6'-0"	METAL SINGLE HUNG WIND.	DUAL GLASS	0.32	0.25
(10)	2'-0" X 2'-0"	METAL CASEMENT WIND.	DUAL GLASS	0.32	0.25
(11)	5'-0" X 5'-0"	METAL SLD. WIND.	DUAL GLASS	0.32	0.25
(12)	4'-0" X 3'-6"	METAL FIXED WIND.	DUAL GLASS	0.32	0.25
(13)	1'-6" X 3'-6"	METAL FIXED WIND.	DUAL GLASS	0.32	0.25
(14)	2'-6" X 3'-6"	METAL FIXED WIND.	DUAL GLASS	0.32	0.25
(15)	5'-0" X 4'-6"	METAL SLD. WIND.	DUAL GLASS	0.32	0.25
(16)	5'-0" X 7'-0"	METAL FIXED WIND.	DUAL GLASS	0.32	0.25
(17)	6'-0" X 7'-0"	METAL FIXED WIND.	DUAL GLASS	0.32	0.25
(18)	5'-0" X 1'-6"	METAL FIXED WIND.	DUAL GLASS	0.32	0.25
(19)	4'-0" X 8'-6"	METAL FIXED WIND.	DUAL GLASS	0.32	0.25
(20)	2'-6" X 5'-0"	METAL FIXED WIND.	DUAL GLASS	0.32	0.25
(21)	7.75"x23.25"	METAL TOP HINGE, AWNING	DUAL GLASS	0.32	0.25

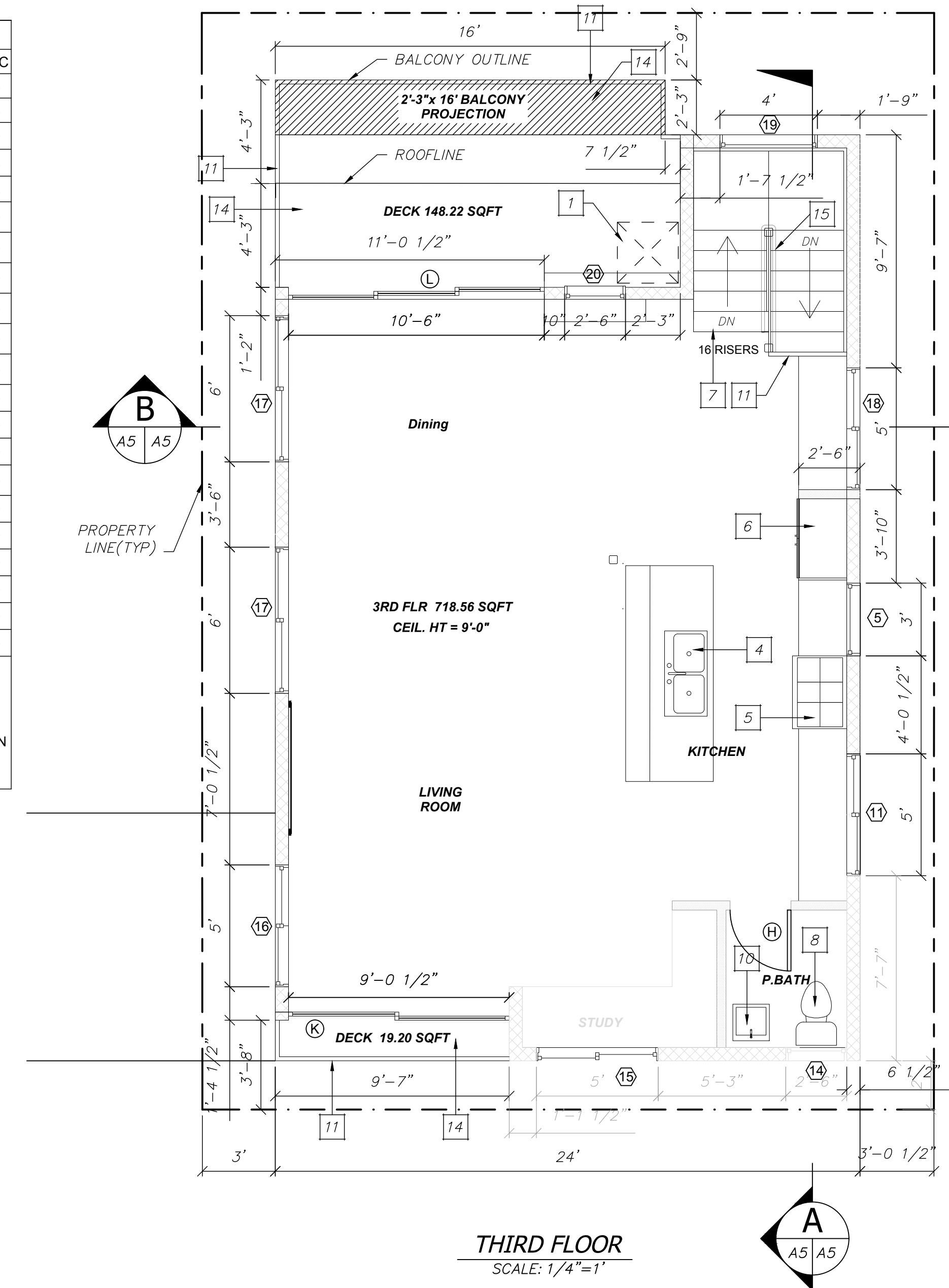
- NOTES:**
1. THE LOAD RESISTANCE OF GLASS UNDER UNIFORM LOAD SHALL BE DETERMINED IN ACCORDANCE WITH ASTM E1300.
 2. THE NFRC TEMPORARY LABEL DISPLAYED ON WINDOWS MUST REMAIN ON THE UNIT UNTIL FINAL INSPECTION HAS BEEN COMPLETED.



ISLAND SINK DETAIL

NUMBERED KEY NOTES

- 1 22"x30" MIN. ROOF ACCESS HATCH.
- 2 NOT USED ON THIS SHEET
- 3 NOT USED ON THIS SHEET
- 4 DOUBLE SINK WITH GARBAGE DISPOSAL
- 5 SLIDE-IN RANGE WITH 100 CFM EXHAUST HOOD (HOOD MUST BE DUCTED TO OUTSIDE)
- 6 42" WIDE REFRIGERATOR SPACE (PROVIDE WATER-SUPPLY STUB-OUT AND SHUTOFF VALVE RECESSED IN WALL FOR ICE MAKER)
- 7 STAIRS. 7.75" MAX. RISER HEIGHT, 10" MIN. TREAD DEPTH
- 8 WATER CLOSET SHALL BE 1.28 GALLONS PER FLUSH MAXIMUM (24" MIN. CLEAR IN FRONT OF W.C. AND 30" CLEAR WIDTH SPACE, 15" MIN. CENTER LINE TO ANY WALL OR OBSTRUCTION ON EACH SIDE)
- 9 NOT USED ON THIS SHEET
- 10 LAVATORY FAUCET TO HAVE A WATER EFFICIENCY OF 1.5 GPM @ 60 PSI
- 11 GUARDRAIL, TEMPERED GLASS, 42" MIN. HT.
- 12 NOT USED ON THIS SHEET
- 13 NOT USED ON THIS SHEET
- 14 DECK FLEX WALKING DECK SYSTEM, ESR-3672
- 15 GUARDRAIL, TEMPERED GLASS, 42" MIN. HT. W/ HANDRAIL LOCATED 34"-38" HT.
- 16 NOT USED ON THIS SHEET
- 17 NOT USED ON THIS SHEET
- 18 NOT USED ON THIS SHEET
- 19 MINI SPLIT SYSTEM PER TITLE 24 CALCULATIONS



THIRD FLOOR
SCALE: 1/4"=1'

WALL SCHEDULE

- NEW 8" THICK REINFORCED CONCRETE WALL
- NEW 2x6 STUDS @ 16" O.C.
- NEW 2x4 STUDS @ 16" O.C.

NOTES:

1. SEPARATE PERMITS AND PLANS ARE REQUIRED FOR SPAS, POOLS, SOLAR SYSTEMS, DEMOLITION AND SEWER CAP OF EXISTING BUILDINGS. IF SUCH IMPROVEMENTS OR DEMOLITION IS REQUIRED AS A CONDITION OF APPROVAL FOR DISCRETIONARY ACTIONS OR TO COMMENCE BUILDING, THEN SUCH PERMITS MUST BE OBTAINED BEFORE OR AT THE TIME THIS PROPOSED BUILDING PERMIT IS ISSUED.

AREA SCHEDULE (ACTUAL HABITABLE SQ.FT.)		
Level	Area	Notes
Basement Stairs	39.00 SQFT	Included in allowable BFA & O.S. calcs.
First Floor	372.00 SQFT	Includes stairs leading to the 2nd floor.
Second Floor	897.37 SQFT	Includes 3rd story stairs.
Third Floor	718.56 SQFT	No stairs included.
Grand total:	3 2,026.93 SQSF	

DATE: 03-27-19
SCALE: AS NOTED
JOB NO.: 2019-01-1
SHEET: A-4
SHEET / 11 of -

FLOOR PLANS

OWNER: Anthony Mets, 205 Rosecrans Place, Manhattan Beach, CA 90266
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anthony.mets@acem.com

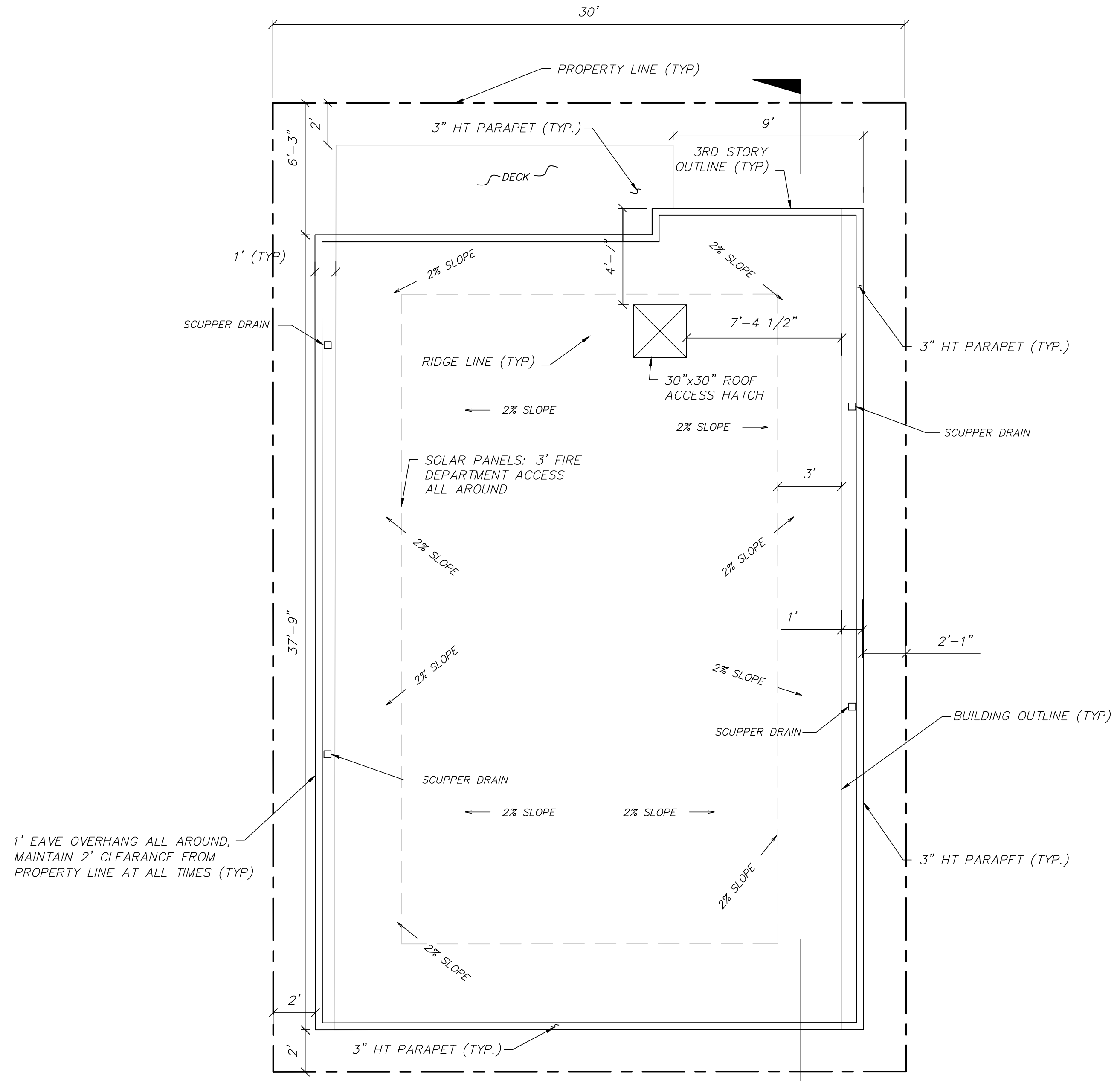
DESIGNED BY: ATM
DRAWN BY: ATM
CHECKED BY: HP

REGISTERED PROFESSIONAL ENGINEER
ANTHONY T. METS
No. C 70074
EXP. 3/30/20
STATE OF CALIF. CIVIL

ENGINEER: Anthony T. Mets, P.E. C70064
999 Town and Country Road
Manhattan Beach, CA 90266
phone: 310.251.5356
email: anthony.mets@acem.com

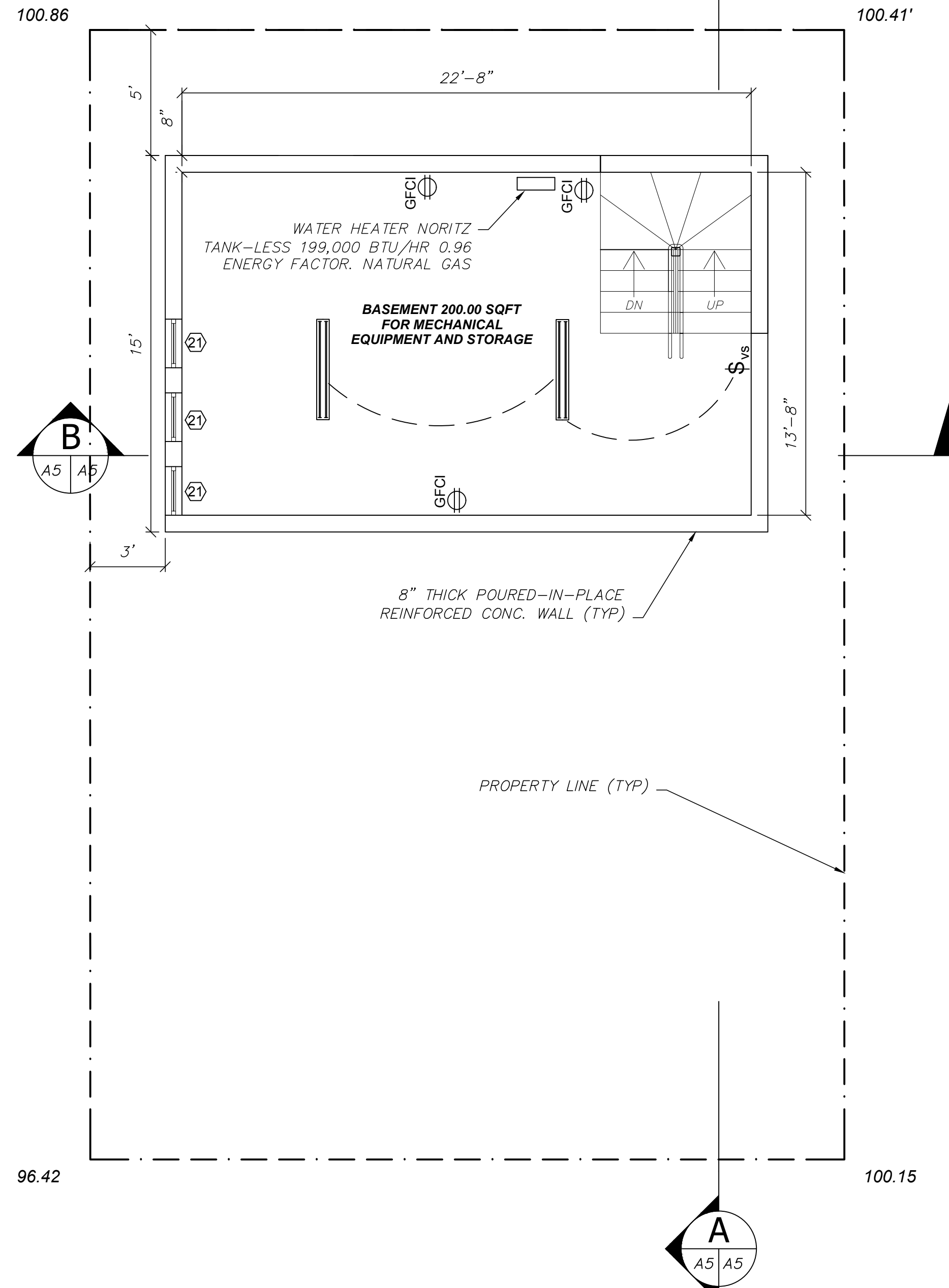
PROJECT: SINGLE FAMILY RESIDENCE
205 ROSECRANS PLACE
MANHATTAN BEACH, CA 90266

STATUS
CONCEPT
SCHE X
90%
100%
FINAL

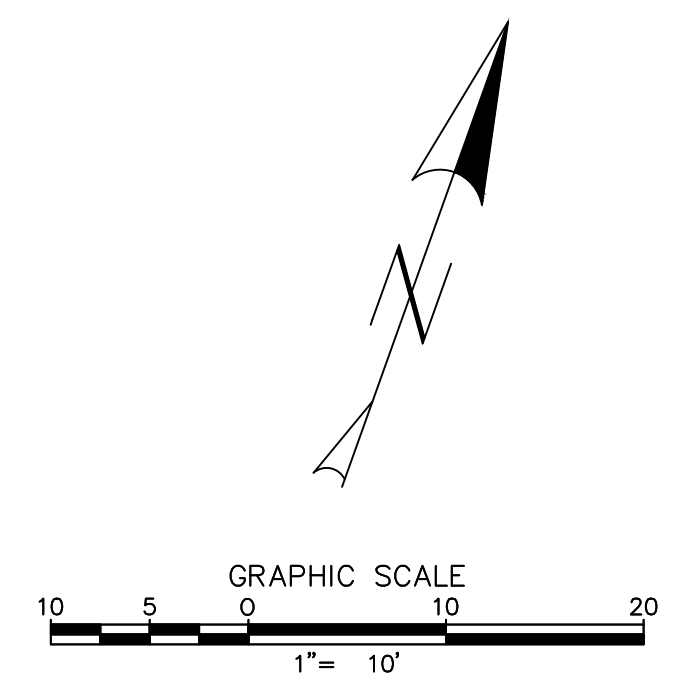


ROOF PLAN
SCALE: 1/4"=1'

- ROOFING NOTES:**
- All roof gutters and downspouts to be connected to underground drain system to convey all stormwater to street flow lines.
 - Parapets, satellite antennae, rails, skylights, and roof equipment must be within the height limit.
 - Built-up Roofing Spec: 4 Layer built-up roofing, 3 layers of 30 lb felt flood coat, hot-mop between layers and top layer 90 lb granulated (white) top layer. Slope 1/2:12.

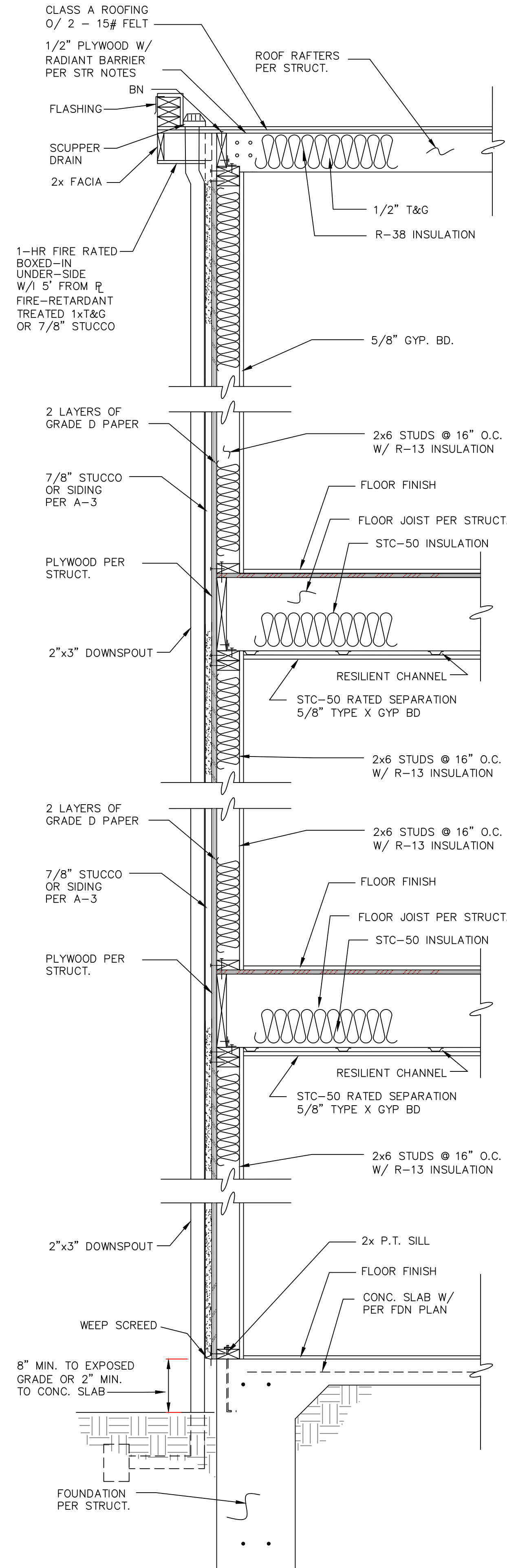


BASEMENT PLAN
SCALE: 1/4"=1'



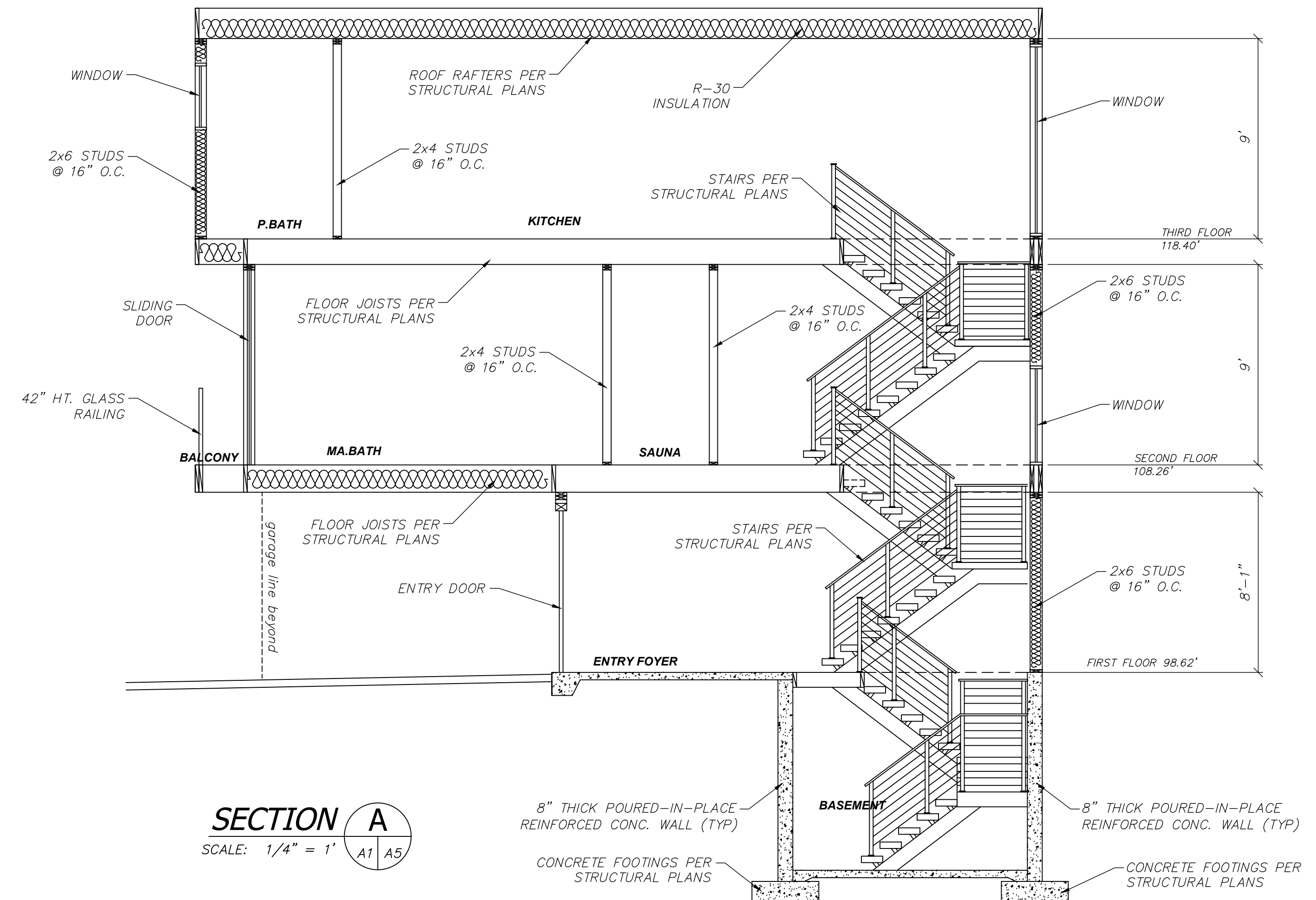
SCALE AS NOTED	DATE 03-27-19
	JOB NO. 2019-01-1
SHEET A-5	SHEET # 12 of -
ROOF & BASEMENT PLAN	
OWNER Anthony Mets 205 Rosecrans Place Manhattan Beach, CA 90266 Tel: 310 251 5356 anthony.mets@aecom.com	DESIGNED BY ATM
	DRAWN BY ATM
	CHECKED BY HP
ENGINEER Anthony T. Mets, P.E. C70064 999 Town and Country Road Orange, CA 92668 Tel: 714.567.2664 email: anthony.mets@aecom.com	REVISION
	BY
	DATE
	NO.
PROJECT	
SINGLE FAMILY RESIDENCE 205 ROSECRANS PLACE MANHATTAN BEACH, CA 90266	

STATUS	CONCEPT	SIZE	DATE	FINAL
		X		

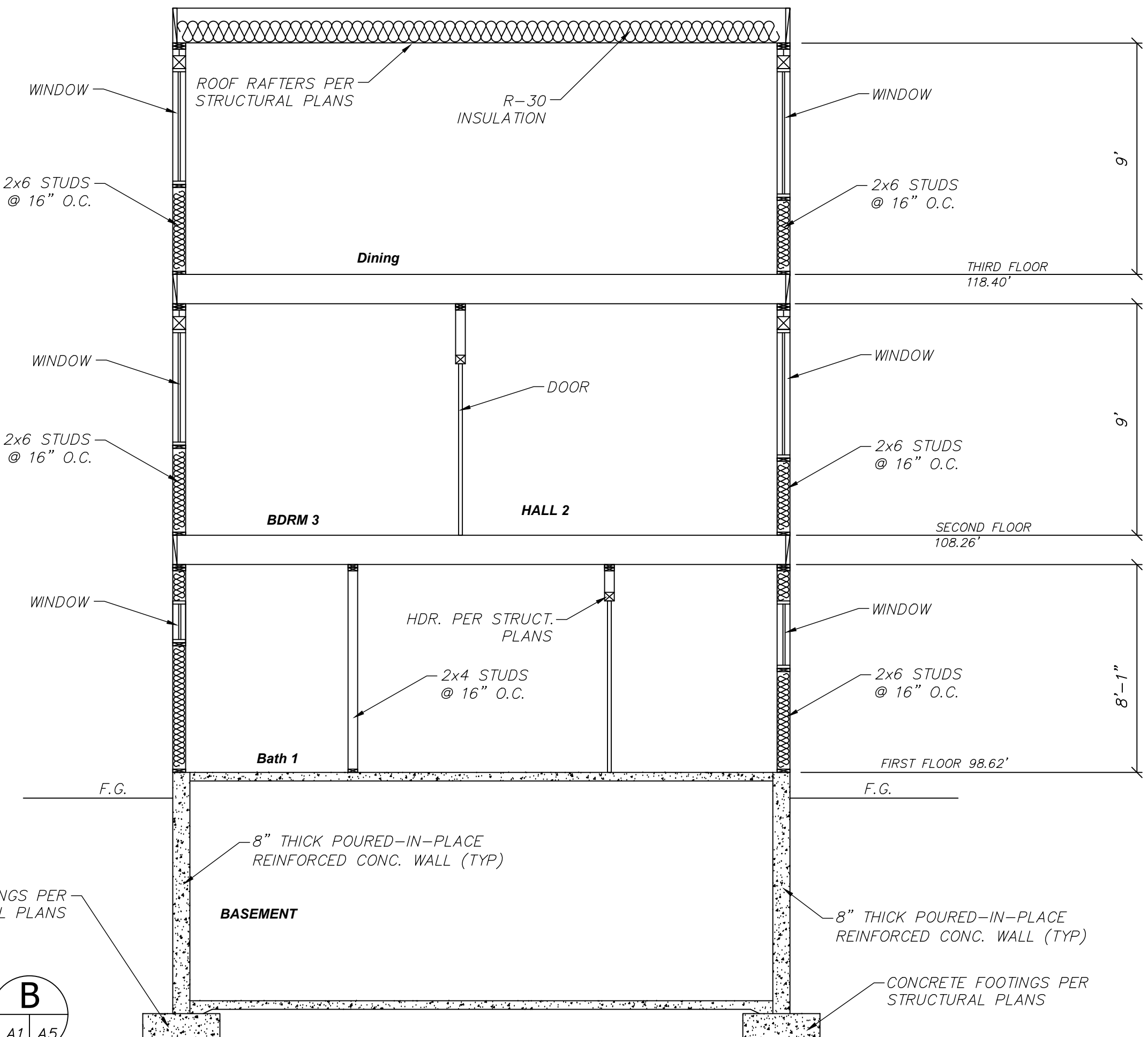


TYPICAL WALL SECTION

SCALE 1"=1'-0" 2



SECTION A SCALE: 1/4" = 1' A1 A5



SECTION B SCALE: 1/4" = 1' A1 A5

SCALE	DATE
AS NOTED	03-27-19
JOB NO.	2019-01-1
SHEET	A-6
SHEET /	13 of -

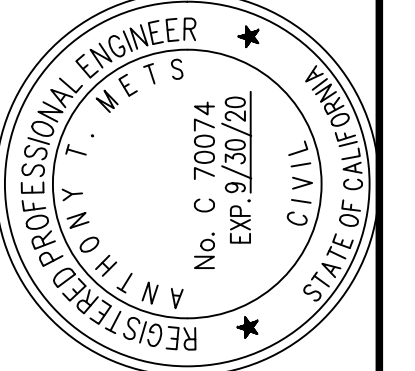
SECTIONS

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 email: anthony.meis@meis.com

DESIGNED BY
ATM

DRAWN BY
ATM

CHECKED BY
HP



NO.	REVISION	BY	DATE

ENGINEER
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 email: anthony.meis@meis.com

PROJECT
SINGLE FAMILY RESIDENCE
205 ROSECRANS PLACE
MANHATTAN BEACH, CA 90266

STATUS
CONCEPT
SUR
50K
100K
200K
FINAL

2016 CALGREEN NOTES:

- A. ANNULAR SPACES AROUND PIPES, ELECTRIC CABLES, CONDUITS, OR OTHER OPENING IN SOLE/BOTTOM PLATES AT EXTERIOR WALLS SHALL BE CLOSED WITH CEMENT MORTAR, CONCRETE MASONRY OR A SIMILAR METHOD ACCEPTABLE TO THE ENFORCING AGENCY.
- B. OPERATION AND MAINTENANCE MANUAL. AT THE TIME OF FINAL INSPECTION, A MANUAL, COMPACT DISC, WEB-BASED REFERENCE OR OTHER MEDIA ACCEPTABLE TO THE ENFORCING AGENCY WHICH INCLUDES ALL OF THE FOLLOWING SHALL BE PLACED IN THE BUILDING:
 - 1. DIRECTIONS TO THE OWNER OR OCCUPANT THE THE MANUAL SHALL REMAIN WITH THE BUILDING THROUGHOUT THE LIFE CYCLE OF THE STRUCTURE.
 - 2. OPERATION AND MAINTENANCE INSTRUCTIONS FOR THE FOLLOWING:
 - a. EQUIPMENT AND APPLIANCES, INCLUDING WATER-SAVING DEVICES AND SYSTEMS, HVAC SYSTEMS, PHOTOVOLTAIC SYSTEMS, ELECTRIC VEHICLE CHARGERS, WATER-HEATING SYSTEMS AND OTHER MAJOR APPLIANCES AND EQUIPMENT, SHALL BE PROVIDED AND RETAINED WITHIN THE STRUCTURE FOR THE LIFE CYCLE OF THE STRUCTURE AT THE TIME OF FINAL INSPECTION IN ACCORDANCE WITH CGBC SECTION 4.410.1
 - b. ROOF AND YARD DRAINAGE, INCLUDING GUTTERS AND DOWN-SPOUTS.
 - c. SPACE CONDITIONING SYSTEMS, INCLUDING CONDENSERS AND AIR FILTERS.
 - d. LANDSCAPE IRRIGATION SYSTEMS.
 - e. WATER REUSE SYSTEMS.
 - 3. INFORMATION FROM LOCAL UTILITY, WATER AND WASTER RECOVERY PROVIDERS ON METHODS TO FURTHER REDUCE RESOURCE CONSUMPTION, INCLUDING RECYCLE PROGRAMS AND LOCATIONS.
 - 4. PUBLIC TRANSPORTATION AND/OR CARPOOL OPTIONS AVAILABLE IN THE AREA.
 - 5. EDUCATIONAL MATERIAL ON THE POSITIVE IMPACTS OF AN INTERIOR RELATIVE HUMIDITY BETWEEN 30-60 PERCENT AND WHAT METHODS AN OCCUPANT MAY USE TO MAINTAIN THE RELATIVE HUMIDITY LEVEL IN THAT RANGE.
 - 6. INFORMATION ABOUT WATER-CONSERVING LANDSCAPE AND IRRIGATION DESIGN AND CONTROLLERS WHICH CONSERVE WATER.
 - 7. INSTRUCTIONS FOR MAINTAINING GUTTERS AND DOWNSPOUTS AND THE IMPORTANCE OF DIVERTING WATER AT LEAST 5 FEET AWAY FROM THE FOUNDATION.
 - 8. INFORMATION ON REQUIRED ROUTINE MAINTENANCE MEASURES, INCLUDING, BUT NOT LIMITED TO, CAULKING, PAINTING, GRADING AROUND THE BUILDING, ETC.
 - 9. INFORMATION ABOUT STATE SOLAR ENERGY AND INCENTIVE PROGRAMS AVAILABLE.
 - 10. A COPY OF ALL SPECIAL INSPECTION VERIFICATIONS REQUIRED BY THE ENFORCING AGENCY OR THIS CODE.
- C. COVERING OF DUCT OPENINGS AND PROTECTION OF MECHANICAL EQUIPMENT DURING CONSTRUCTION. AT THE TIME OF ROUGH INSTALLATION, DURING STORAGE ON THE CONSTRUCTION SITE AND UNTIL FINAL START UP OF THE HEATING COOLING AND VENTILATING EQUIPMENT, ALL DUCT AND OTHER RELATED AIR DISTRIBUTION COMPONENT OPENINGS SHALL BE COVERED WITH TAPE, PLASTIC, SHEET METAL OR OTHER METHODS ACCEPTABLE TO THE ENFORCING AGENCY TO REDUCE THE AMOUNT OF WATER, DUST AND DEBRIS, WHICH MAY ENTER THE SYSTEM. (CGBC SECTION 4.504.1)
- D. ADHESIVES, SEALANTS, AND CAULKS USED ON THE PROJECT SHALL MEET THE REQUIREMENTS OF THE FOLLOWING STANDARDS UNLESS MORE STRINGENT LOCAL OR REGIONAL AIR POLLUTION OR AIR QUALITY MANAGEMENT DISTRICT RULES APPLY:
 - 1. ADHESIVE, ADHESIVE BONDING PRIMERS, ADHESIVE PRIMERS, SEALANTS, SEALANT PRIMERS, AND CAULKS SHALL COMPLY WITH LOCAL OR REGIONAL AIR POLLUTION CONTROL OR AIR QUALITY MANAGEMENT DISTRICT RULES WHERE APPLICABLE OR SCAGOMD RULE 1168 VOC LIMITS, AS SHOWN IN TABLE 4.504.1 OR 4.504.2, AS APPLICABLE. SUCH PRODUCTS ALSO SHALL COMPLY WITH THE RULE 1168 PROHIBITION ON THE USE OF CERTAIN TOXIC COMPOUNDS (CHLOROFORM, ETHYLENE DICHLORIDE, METHYLENE CHLORIDE, PERCHLOROETHYLENE AND TRICHLOROETHYLENE), EXCEPT FOR AEROSOL PRODUCTS, AS SPECIFIED IN SUBSECTION 2 BELLOW.
 - 2. AEROSOL ADHESIVES, AND SMALLER UNIT SIZES OF ADHESIVES, AND SEALANT OR CAULKING COMPOUNDS (IN UNITS OF PRODUCT, LESS PACKAGING, WHICH DO NOT WEIGH MORE THAN 1 POUND AND DO NOT CONSIST OF MORE THAN 16 FLUID OUNCES) SHALL COMPLY WITH STATEWIDE VOC STANDARDS AND OTHER REQUIREMENTS, INCLUDING PROHIBITIONS ON USE OF CERTAIN TOXIC COMPOUNDS, OF CALIFORNIA CODE OF REGULATIONS, TITLE 17, COMMENCING WITH SECTION 94507. (CGBC SECTION 4.504.2.1)
- E. ARCHITECTURAL PAINTS AND COATINGS SHALL COMPLY WITH VOC LIMITS IN TABLE 1 OF THE ARB ARCHITECTURAL SUGGESTED CONTROL MEASURE, AS SHOWN IN TABLE 4.504.3, UNLESS MORE STRINGENT LOCAL LIMITS APPLY. THE VOC CONTENT LIMIT FOR COATINGS THAT DO NOT MEET THE DEFINITIONS FOR THE SPECIALTY COATINGS CATEGORIES LISTED IN TABLE 4.504.3 SHALL BE DETERMINED BY CLASSIFYING THE COATING AS A FLAT, NONFLAT OR NONFLAT-HIGH GLOSS COATING, BASED ON ITS GLOSS, AS DEFINED IN SUBSECTIONS 4.21, 4.36, AND 4.37 OF THE 207 CALIFORNIA AIR RESOURCES BOARD, SUGGESTED CONTROL MEASURE, AND THE CORRESPONDING FLAT, NON-FLAT OR NONFLAT-HIGH GLOSS VOC LIMIT IN TABLE 4.504.3 SHALL APPLY.
- F. AEROSOL PAINTS AND COATINGS SHALL MEET THE PRODUCT-WEIGHTED MIR LIMITS FOR ROC IN SECTION 94522 (a)(2) AND OTHER REQUIREMENTS, INCLUDING PROHIBITIONS ON USE OF CERTAIN TOXIC COMPOUNDS AND OZONE DEPLETING SUBSTANCES, IN SECTIONS 94522(e)(1) AND (f)(1) OF CALIFORNIA CODE OF REGULATIONS, TITLE 17, COMMENCING WITH SECTION 94520.
- G. DOCUMENTATION SHALL BE PROVIDED TO VERIFY THAT COMPLIANT VOC LIMIT FINISH MATERIALS HAVE BEEN USED.
- H. ALL NEW CARPET INSTALLED IN THE BUILDING INTERIOR SHALL MEET ALL THE TESTING AND PRODUCT REQUIREMENTS OF ONE OF THE FOLLOWING:
 - i. CARPET AND RUG INSTITUTE'S GREEN LABEL PLUS PROGRAM
 - ii. CALIFORNIA DEPARTMENT OF PUBLIC HEALTH'S SPECIFICATION 01350.
 - iii. NSF/ANSI140 AT THE GOLD LEVEL
 - iv. SCIENTIFIC CERTIFICATIONS SYSTEMS INDOOR ADVANTAGE GOLD
- I. ALL NEW CARPET CUSHION INSTALLED IN THE BUILDING INTERIOR SHALL MEET THE REQUIREMENTS OF THE CARPET AND RUG INSTITUTE'S GREEN LABEL PLUS PROGRAM.
- J. ALL CARPET ADHESIVE SHALL MEET THE REQUIREMENTS OF TABLE 4.504.1
- K. 80% OF THE TOTAL AREA RECEIVING RESILIENT FLOORING SHALL COMPLY WITH ONE OR MORE OF THE FOLLOWING:
 - i. PRODUCTS COMPLIANT WITH THE CALIFORNIA DEPARTMENT OF PUBLIC HEALTH, "STANDARD METHOD FOR THE TESTING AND EVALUATION OF VOLATILE ORGANIC CHEMICAL EMISSIONS FROM INDOOR SOURCES USING ENVIRONMENTAL CHAMBERS", VERSION 1.1, FEBRUARY 2010 (ALSO KNOW AS SPECIFICATION 01350), CERTIFIED AS A CHPS LOW-EMITTING MATERIAL IN THE COLLABORATIVE FOR HIGH PERFORMANCE SCHOOLS (CHPS) HIGH PERFORMANCE PRODUCTS DATABASE.
 - ii. PRODUCTS CERTIFIED UNDER UL GREENGUARD GOLD (FORMERLY THE GREENGUARD CHILDREN & SCHOOLS PROGRAM)
 - iii. CERTIFICATION UNDER THE RESILIENT FLOOR COVERING INSTITUTE (RFCI) FLOOR SCORE PROGRAM
 - iv. MEET THE CALIFORNIA DEPARTMENT OF PUBLIC HEALTH, "STANDARD METHOD FOR THE TESTING AND EVALUATION OF VOLATILE ORGANIC CHEMICAL EMISSIONS FROM INDOOR SOURCES USING ENVIRONMENTAL CHAMBERS", VERSION 1.1, FEBRUARY 2010 (ALSO KNOW AS SPECIFICATION 01350)
- L. HARDWOOD PLYWOOD, PARTICLE BOARD, AND MEDIUM DENSITY FIBERBOARD COMPOSITE WOOD PRODUCTS USED IN THE INTERIOR OR EXTERIOR OF THE BUILDING SHALL MEET THE REQUIREMENTS FOR FORMALDEHYDE AS SPECIFIED IN THE AIR RESOURCES BOARD'S AIR TOXICS CONTROL MEASURE FOR COMPOSITE WOOD (17 CCR 93120 et. seq.), AS SHOWN IN TABLE 4.504.5. DOCUMENTATION IS REQUIRED PER SECTION 4.504.5.1.

2016 CALGREEN NOTES (cont.):

- M. DEFINITION OF COMPOSITE WOOD PRODUCTS: COMPOSITE WOOD PRODUCTS INCLUDE HARDWOOD PLYWOOD, PARTICLEBOARD, AND MEDIUM DENSITY FIBERBOARD. "COMPOSITE WOOD PRODUCTS" DO NOT INCLUDE HARDBOARD, STRUCTURAL PLYWOOD, STRUCTURAL PANELS, STRUCTURAL COMPOSITE LUMBER, ORIENTED STRAND BOARD, GLUED LAMINATED TIMBER, PREFABRICATED WOOD I-JOISTS, OR FINGER-JOINED LUMBER, ALL AS SPECIFIED IN CCR.TITLE 17, SECTION 93120.1(a)
- N. BUILDING MATERIALS WITH VISIBLE SIGNS OF WATER DAMAGE SHALL NOT BE INSTALLED. WALL AND FLOOR FRAMING SHALL NOT BE ENCLOSED WHEN THE FRAMING MEMBERS EXCEED 19 PERCENT MOISTURE CONTENT. MOISTURE CONTENT SHALL BE VERIFIED IN COMPLIANCE WITH THE FOLLOWING:
 - 1. MOISTURE CONTENT SHALL BE DETERMINED WITH EITHER A PROBE-TYPE OR A CONTACT-TYPE MOISTURE METER. EQUIVALENT MOISTURE VERIFICATION METHODS MAY BE APPROVED BY THE ENFORCING AGENCY AND SHALL SATISFY REQUIREMENTS IN SECTION 101.8.
 - 2. MOISTURE READINGS SHALL BE TAKEN AT A POINT 2 FEET TO 4 FEET FROM THE GRADE STAMPED END OF EACH PIECE TO BE VERIFIED.
 - 3. AT LEAST 3 RANDOM MOISTURE READINGS SHALL BE PERFORMED ON WALL AND FLOOR FRAMING WITH DOCUMENTATION ACCEPTABLE TO THE ENFORCING AGENCY PROVIDED AT THE TIME OF APPROVAL TO ENCLOSE THE WALL AND FLOOR FRAMING.
- INSULATION PRODUCTS WHICH ARE VISIBLY WET OR HAVE A HIGH MOISTURE CONTENT SHALL BE REPLACED OR ALLOWED TO DRY PRIOR TO ENCLOSURE IN WALL OR FLOOR CAVITIES. MANUFACTURER'S DRYING RECOMMENDATIONS SHALL BE FOLLOWED FOR WET-APPLIED INSULATION PRODUCTS PRIOR TO ENCLOSURE. (CGBC SECTION 4.505.3)
- O. HEATING AND AIR-CONDITIONING SYSTEMS SHALL BE SIZED, DESIGNED AND EQUIPMENT SELECTED USING THE FOLLOWING METHODS:
 - 1. THE HEAT LOSS AND HEAT GAIN IS ESTABLISHED ACCORDING TO ANSI/ACCA 2 MANUAL J-2011 (RESIDENTIAL LOAD CALCULATIONS), ASHRAE HANDBOOKS OR OTHER EQUIVALENT DESIGN SOFTWARE OR METHODS.
 - 2. DUCT SYSTEMS ARE SIZED ACCORDING TO ANSI/ACCA 1 MANUAL D-2014 (RESIDENTIAL DUCT SYSTEMS) ASHRAE HANDBOOKS OR OTHER EQUIVALENT DESIGN SOFTWARE OR METHODS.
 - 3. SELECT HEATING AND COOLING EQUIPMENT ACCORDING TO ANSI/ACCA 3 MANUAL S-2014 (RESIDENTIAL EQUIPMENT SELECTION) OR OTHER EQUIVALENT DESIGN SOFTWARE OR METHODS.
- P. HVAC SYSTEM INSTALLERS SHALL BE TRAINED AND CERTIFIED IN THE PROPER INSTALLATION OF HVAC SYSTEMS AND EQUIPMENT BY A RECOGNIZED TRAINING OR CERTIFICATION PROGRAM. EXAMPLES OF ACCEPTABLE HVAC TRAINING AND CERTIFICATION PROGRAMS INCLUDE BUT ARE NOT LIMITED TO THE FOLLOWING:
 - 1. STATE VERIFIED APPRENTICESHIP PROGRAMS.
 - 2. PUBLIC UTILITY TRAINING PROGRAMS.
 - 3. TRAINING PROGRAMS SPONSORED BY TRADE, LABOR OR STATEWIDE ENERGY CONSULTING OR VERIFICATION ORGANIZATIONS.
 - 4. PROGRAMS SPONSORED BY MANUFACTURING ORGANIZATIONS.
 - 5. OTHER PROGRAMS ACCEPTABLE TO THE ENFORCING AGENCY.
- Q. VERIFICATION OF COMPLIANCE SHALL INCLUDE, BUT IS NOT LIMITED TO, CONSTRUCTION DOCUMENTS, PLANS, SPECIFICATIONS, BUILDER OR INSTALLER CERTIFICATION, INSPECTION REPORTS, OR OTHER METHODS ACCEPTABLE TO THE LOCAL ENFORCING AGENCY. OTHER SPECIFIC DOCUMENTATION OR SPECIAL INSPECTIONS NECESSARY TO VERIFY COMPLIANCE ARE SPECIFIED IN APPROPRIATE SECTIONS OF CALGREEN.
- R. RECYCLE AND/OR SALVAGE FOR RE-USE A MINIMUM OF 65 PERCENT OF THE NON-HAZARDOUS CONSTRUCTION AND DEMOLITION WASTE IN ACCORDANCE WITH EITHER SECTION 4.408.2, 4.408.3 OR 4.408.4, OR MEET A MORE STRINGENT LOCAL CONSTRUCTION AND DEMOLITION WASTE MANAGEMENT ORDINANCE.
- S. FIXTURE FLOW RATES FOR LAVATORY SINKS SHALL BE 1.5 GPM AT 60 PSI, WATER CLOSETS SHALL BE 1.28 GPF. SHOWER HEADS SHALL BE 1.8 GPM AT 80 PSI, AND KITCHEN FAUCETS SHALL BE 1.8 GPM AT 60 PSI.
- T. WHEN SINGLE SHOWER FIXTURES ARE SERVED BY MORE THAN ONE SHOWERHEAD, THE COMBINED FLOW RATE OF ALL THE SHOWERHEADS SHALL NOT EXCEED 1.8 GPM AT 80 PSI OF THE SHOWER SHALL BE DESIGNED TO ONLY ALLOW ONE SHOWERHEAD TO BE IN OPERATION AT A TIME.
- U. BATHROOM EXHAUST FANS. EACH BATHROOM SHALL BE MECHANICALLY VENTILATED AND SHALL COMPLY WITH THE FOLLOWING:
 - 1. FANS SHALL BE ENERGY STAR COMPLIANT AND BE DUCTED TO TERMINATE OUTSIDE THE BUILDING.
 - 2. UNLESS FUNCTIONING AS A COMPONENT OF A WHOLE HOUSE VENTILATION SYSTEM, FANS MUST BE CONTROLLED BY A HUMIDITY CONTROL.
 - a. HUMIDITY CONTROLS SHALL BE CAPABLE OF ADJUSTMENT BETWEEN A RELATIVE HUMIDITY RANGE OF LESS-THAN OR EQUAL TO 50 PERCENT TO A MAXIMUM OF 80 PERCENT. A HUMIDITY CONTROL MAY UTILIZE MANUAL OR AUTOMATIC MEANS OF ADJUSTMENT.
 - b. A HUMIDITY CONTROL MAY BE A SEPARATE COMPONENT TO THE EXHAUST FAN AND IS NOT REQUIRED TO BE INTEGRAL (I.E., BUILT-IN)

SCALE	AS NOTED	DATE	03-27-19
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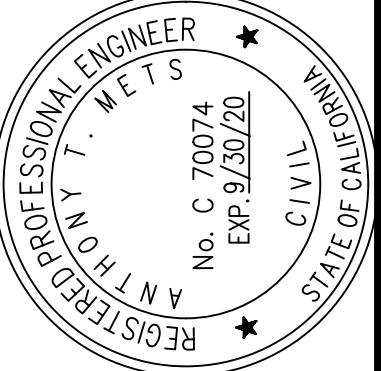
**Cal Green
Notes**

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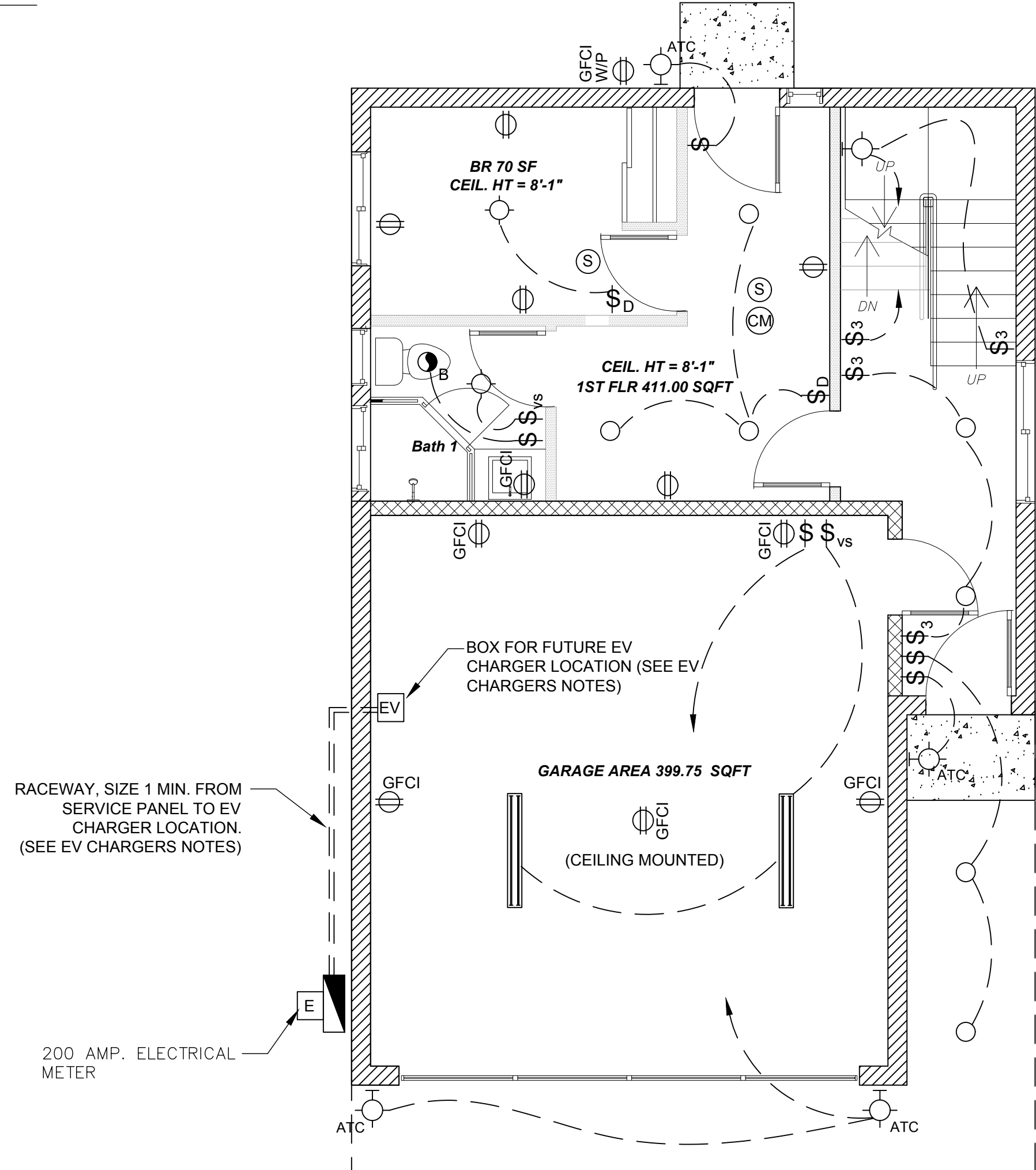
PROJECT
**SINGLE FAMILY RESIDENCE
205 ROSECRANS PLACE
MANHATTAN BEACH, CA 90266**

ELECTRICAL NOTES

- ALL RECEPTACLES IN KITCHEN BATH AND GARAGE SHALL BE GFCI. OUT SIDE RECEPTACLES SHALL BE WEATHER PROOF.
- ALL LUMINAIRES (LIGHTS/LIGHT FIXTURES) INSTALLED IN RESIDENTIAL CONSTRUCTION MUST QUALIFY AS "HIGH EFFICACY LUMINAIRES." A VACANCY SENSOR TO CONTROL AT LEAST ONE LUMINAIRE IS REQUIRED IN THE FOLLOWING ROOM TYPES:
 - BATHROOMS
 - UTILITY ROOMS
 - LAUNDRY ROOMS
 - GARAGES
 ALL SINGLE FAMILY OUTDOOR LIGHTING SHALL BE HIGH EFFICACY AND MUST BE CONTROLLED BY A MANUAL ON AND OFF SWITCH AND ONE OF THE FOLLOWING AUTOMATIC CONTROL TYPES:
 - PHOTOCONTROL AND MOTION SENSOR
 - PHOTOCONTROL AND AUTOMATIC TIME SWITCH CONTROL
 - ASTRONOMICAL TIME CLOCK CONTROL
 - ENERGY MANAGEMENT CONTROL SYSTEM
- SMOKE DETECTORS ARE REQUIRED IN EACH EXISTING ROOM IN CORRIDORS PROVIDING ACCESS TO EACH SEPARATE SLEEPING USED FOR SLEEPING, CENTRALLY LOCATED IN THE WALL OR CEILING AREA, AT EACH FLOOR OR BASEMENT LEVEL AND IN CLOSE PROXIMITY TO THE STAIRWAY.
- LUMINAIRES RECESSED IN INSULATED CEILING MUST BE RATED FOR DIRECT INSULATION CONTACT (IC), CERTIFIED AS AIRTIGHT CONSTRUCTION AND MUST HAVE A SEALED GASKET OR CAULKING BETWEEN THE HOUSING AND CEILING.
- PROVIDE A MINIMUM OF 200 AMPERE ELECTRICAL SERVICE PANEL WITH 1/2" DIAMETER X 20' LONG REBAR FOR BACKUP UFER GROUND BONDED TO COLD WATER PIPE. PLEASE CONTACT EDISON FOR METER LOCATION AND UNDERGROUND SERVICE IF REQUIRED.
- ALL BRANCH CIRCUITS THAT SUPPLY 125-VOLT, SINGLE-PHASE, 15- AND 20- AMPERE OUTLETS OR DEVICES INSTALLED IN DWELLING UNIT KITCHEN, FAMILY ROOMS, DINING ROOMS, LIVING ROOMS, PARLORS, LIBRARIES, DENS, BEDROOMS, SUNROOMS, RECREATION ROOMS, CLOSETS, HALLWAYS, LAUNDRY AREAS OR SIMILAR ROOMS OR AREAS SHALL BE PROTECTED BY AN ARC-FAULT CIRCUIT INTERRUPTER, COMBINATION TYPE LISTED TO PROVIDE PROTECTION OF THE ENTIRE BRANCH CIRCUIT.
- BATHROOM RECEPTACLES SHALL BE SUPPLIED BY A MINIMUM OF ONE (1) 20-AMP CIRCUIT. NO OTHER RECEPTACLES SHALL BE ON THIS CIRCUIT.
- KITCHEN COUNTERTOP RECEPTACLES SHALL BE SUPPLIED BY A MINIMUM OF TWO (2) 20-AMP CIRCUIT. NO OTHER OUTLETS SHALL BE ON THIS CIRCUIT.
- PROVIDE A SEPARATE 20 AMP CIRCUIT FOR THE LAUNDRY
- IN EVERY DWELLING UNIT, FIXED APPLIANCES SUCH AS FOOD WASTE GRINDERS, DISHWASHERS, WASHING MACHINES, DRYERS, LAUNDRY TAY LOCATIONS, BUILT-IN REFRIGERATORS OR FREEZERS, FURNACES, AC UNITS, BUILT-IN HEATERS OR ANY OTHER FIXED APPLIANCE WITH A MOTOR OF 1/4 H.P. OR LARGER SHALL BE ON A SEPARATE 20 AMP. BRANCH CIRCUIT.
- ALL 125-VOLT, 15 AND 20-AMPERE RECEPTACLES SHALL BE LISTED TAMPER-RESISTANT
- RECESSED LIGHTING IN INSULATED CEILINGS MUST MEET THREE REQUIREMENTS:
 - RATED IC
 - CERTIFIED AIR TIGHT
 - HAVE SEALED GASKET OR CAULK BETWEEN HOUSING AND CEILING.

EV CHARGERS NOTES

- INSTALL A LISTED RACEWAY TO ACCOMMODATE A DEDICATED 208/240 - VOLT BRACH CIRCUIT.
- THE RACEWAY SHALL NOT BE LESS THAN TRADE SIZE 1 (1-INCH INSIDE DIAMETER)
- THE RACEWAY SHALL ORIGINATE AT THE MAIN SERVICE PANEL AND SHALL TERMINATE INTO A LISTED CABINET, BOX OR BOX IN CLOSE PROXIMITY TO THE PROPOSED LOCATION OF AN EV CHARGER.
- THE SERVICE PANEL SHALL PROVIDE CAPACITY TO INSTALL A 40-AMPERE MINIMUM DEDICATED BRANCH CIRCUIT AND SPACES RESERVED TO PERMIT THE INSTALLATION OF THE BRACH CIRCUIT OVERCURRENT PROTECTIVE DEVICE. THE SERVICE PANEL CIRCUIT DIRECTORY SHALL IDENTIFY THE RESERVED SPACE FOR FUTURE EV CHARGER AS "EV CAPABLE"
- THE RACEWAY TERMINATION LOCATION SHALL BE PERMANENTLY AND VISIBLY MARKED AS "EV CAPABLE".



FIRST FLOOR ELECTRICAL PLAN
SCALE: 1/4"=1'

RACEWAY, SIZE 1 MIN. FROM SERVICE PANEL TO EV CHARGER LOCATION. (SEE EV CHARGERS NOTES)

200 AMP. ELECTRICAL METER

BATHROOM EXHAUST FAN NOTES:

- FANS SHALL BE ENERGY STAR COMPLIANT AND BE DUCTED TO TERMINATE OUTSIDE THE BUILDING.
- UNLESS FUNCTIONING AS A COMPONENT OF A WHOLE HOUSE VENTILATION SYSTEM, FANS MUST BE CONTROLLED BY A HUMIDISTAT WHICH SHALL BE READILY ACCESSIBLE. HUMIDISTAT CONTROLS SHALL BE CAPABLE OF ADJUSTMENT BETWEEN A RELATIVE HUMIDITY RANGE OF 50 TO 80%. A HUMIDITY CONTROL MAY BE A SEPARATE COMPONENT TO THE EXHAUST FAN AND IS NOT REQUIRED TO BE INTEGRAL.
- FANS SHALL BE RATED AT A MAXIMUM OF 3.0 SONES.

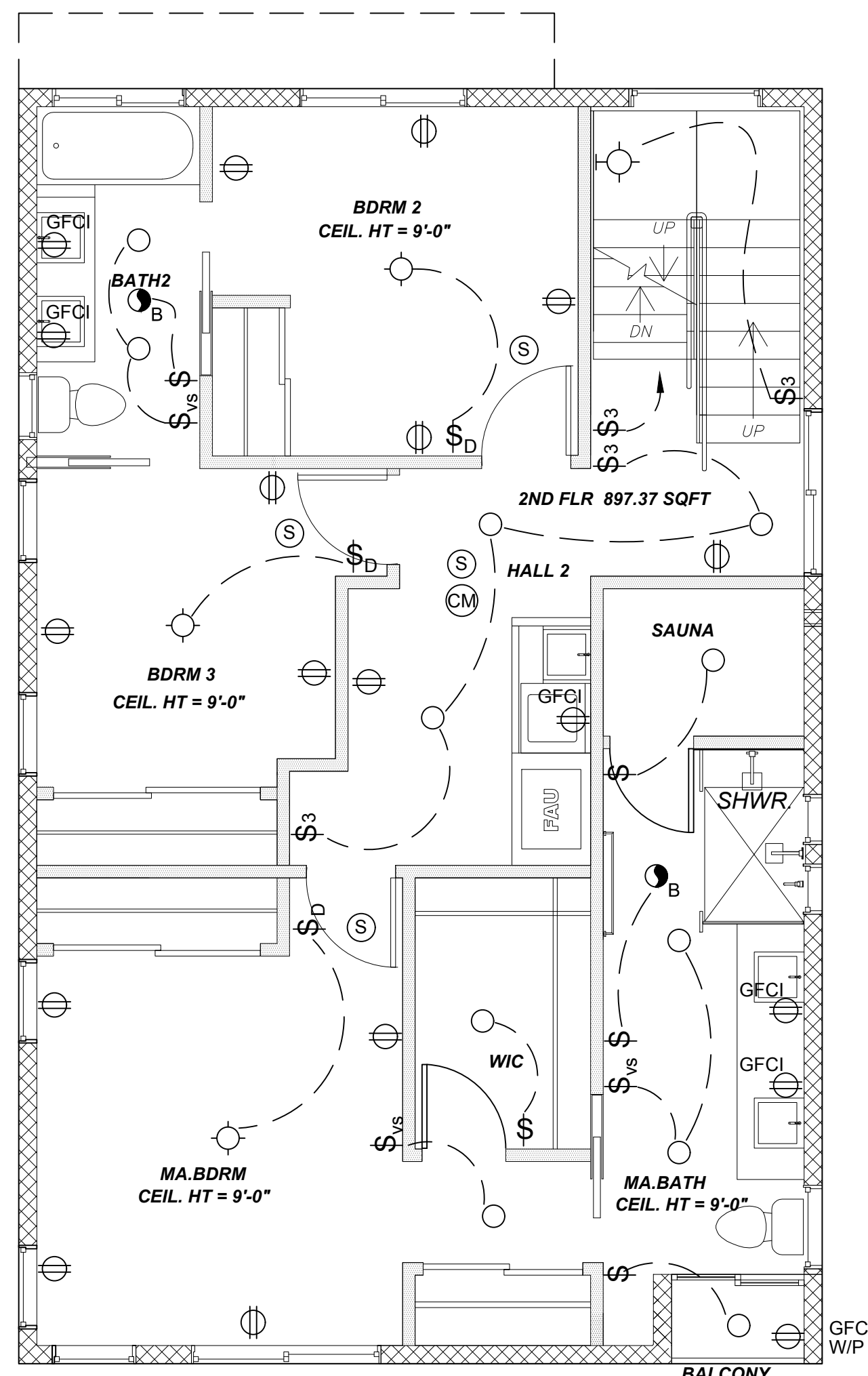
LIGHTING CONTROL NOTES:

- LIGHTING CONTROLS FOR LIGHTING IN BEDROOMS, LIVING ROOM AND FAMILY ROOM MUST BE A DIMMER CONTROL OR VACANCY SENSOR.
- AT LEAST ONE LIGHTING IN BATHROOM MUST BE CONTROLLED BY A VACANCY SENSOR.
- LIGHTING CONTROLS FOR LIGHTING IN KITCHEN MUST BE CONTROLLED BY VACANCY SENSORS OR DIMMERS.

ELECTRICAL PLAN KEY NOTES

- 100 CFM MIN. EXHAUST FAN RATE AT 3.0 SONES MAX. ENERGY STAR RATED WITH SMOOTH METAL DUCT TO TERMINATE OUTSIDE OF THE BUILDING

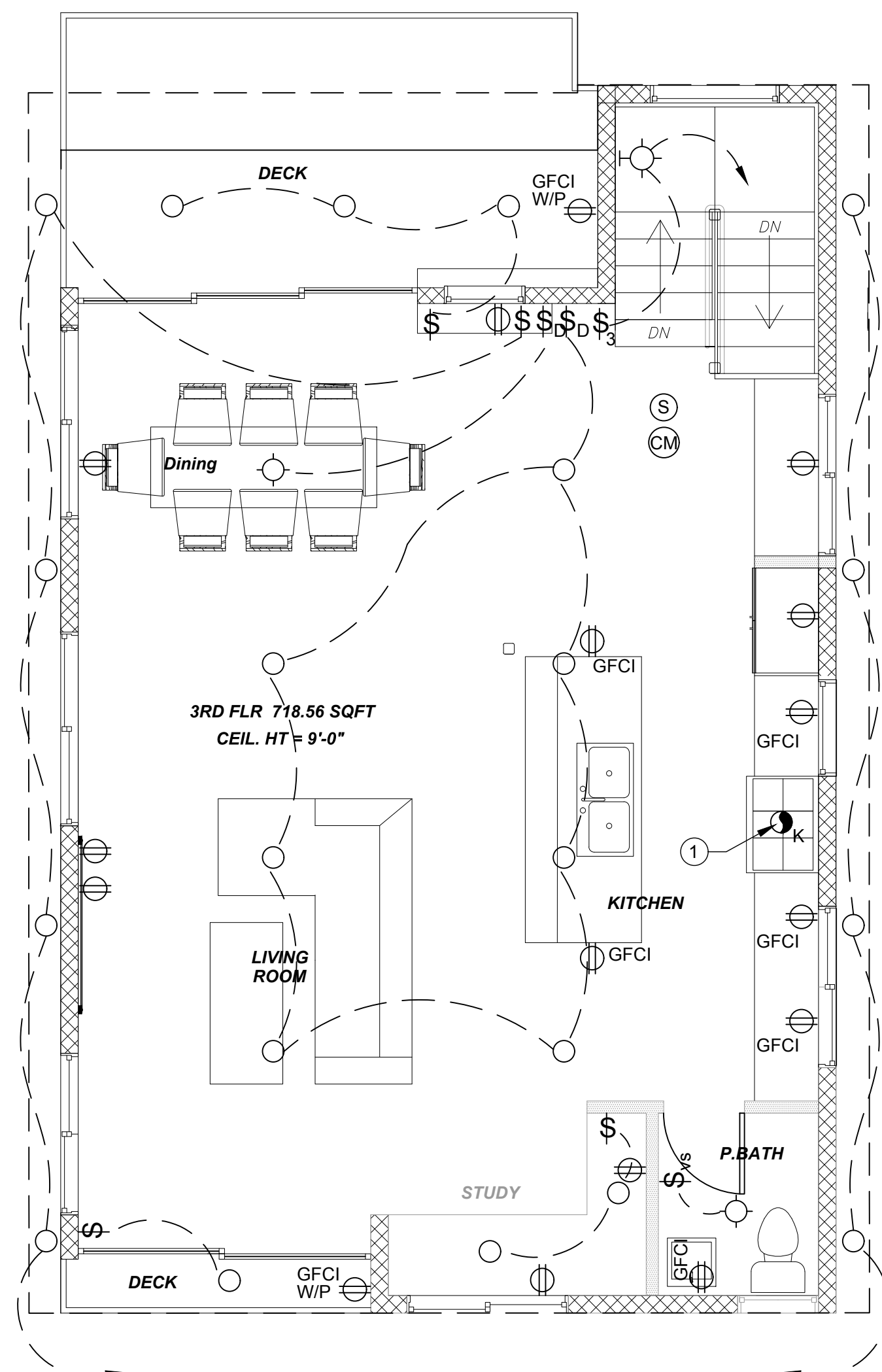
THE WORKING CLEARANCES REQUIRED BY CEC 110-26 MUST BE PERMANENTLY MAINTAINED IN FRONT OF ALL ELECTRICAL EQUIPMENT.



FIRST FLOOR ELECTRICAL PLAN
SCALE: 1/4"=1'

LEGEND OF ELECTRICAL SYMBOLS

- Ⓢ SINGLE POLE SWITCH
- Ⓢ_D SINGLE POLE SWITCH W/ DIMMER CONTROL
- Ⓢ_{OS} SINGLE POLE SWITCH W/ OCCUPANT SENSOR
- Ⓢ_{VS} SINGLE POLE SWITCH W/ VACANCY SENSOR
- Ⓢ₃ 3 WAY SWITCH
- Ⓢ_{W/P} WEATHERPROOF GFCI OUTLET, 120-VOLTS W/ EXTRA DUTY RATED WEATHERPROOF IN-USE COVER
- Ⓢ_{GFCI} GROUNDED DUPLEX OUTLET, TAMPER RESISTANT
- Ⓢ DUPLEX OUTLET, TAMPER RESISTANT
- Ⓢ_{CEILING} CEILING MOUNTED LIGHT FIXTURE HIGH EFFICACY (LED LIGHTING)
- Ⓢ_{WALL} WALL MOUNTED LIGHT FIXTURE HIGH EFFICACY (LED LIGHTING) WITH ASTRONOMICAL TIME CLOCK HIGH EFFICACY
- Ⓢ_{RECESSED} RECESSED LIGHT FIXTURE HIGH EFFICACY (LED LIGHTING)
- Ⓢ_S SMOKE DETECTOR HARD WIRE W/ BATTERY BACK-UP. ALARMS SHALL BE INTERCONNECTED SUCH THE ACTUATION OF ONE ALARM SHALL ACTIVATE ALL THE ALARMS.
- Ⓢ_{CM} CARBON MONOXIDE DETECTOR HARD WIRE MUST BE INSTALLED ON CEILING W/ BATTERY BACK-UP. ALARMS SHALL BE INTERCONNECTED SUCH THE ACTUATION OF ONE ALARM SHALL ACTIVATE ALL THE ALARMS.
- Ⓢ_B BATHROOM VENT FAN 50 CFM INTERMITTENT, CONTROLLED BY A HUMIDITY CONTROL. FAN SHALL BE ENERGY STAR COMPLIANT AND BE DUCTED TO TERMINATE OUTSIDE THE BUILDING.
- Ⓢ_K KITCHEN VENT FAN 100 CFM INTERMITTENT. FAN SHALL BE ENERGY STAR COMPLIANT AND BE DUCTED TO TERMINATE OUTSIDE THE BUILDING
- ▬ HIGH EFFICACY GARAGE CEILING LIGHTING
- Ⓢ_M NEW 200 AMP. ELECTRICAL METER SURFACE MOUNTED



THIRD FLOOR ELECTRICAL PLAN
SCALE: 1/4"=1'

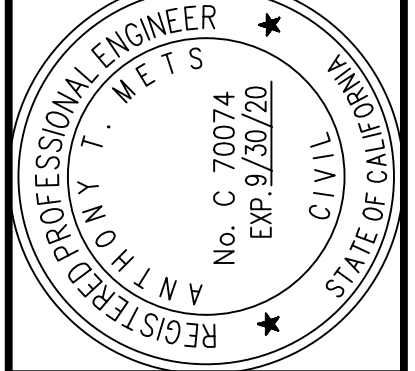
NOTE: ALL RECEPTACLE OUTLETS AND DEVICES, SUCH AS LIGHTS, RECEPTACLES, SWITCHES, FANS, AND SMOKE ALARMS SHALL BE ARC-FAULT CIRCUIT INTERRUPTER (AFCI). PLEASE SEE ELECTRICAL NOTES, NOTE 6 ON THIS SHEET.

SCALE	AS NOTED	DATE	03-27-19
JOB NO.	2019-01-1	SHEET	E-1
SHEET		SHEET #	14 of -

ELECTRICAL PLAN

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