

**CITY OF MANHATTAN BEACH  
DEPARTMENT OF COMMUNITY DEVELOPMENT  
MEMORANDUM**

**TO:** Planning Commission

**FROM:** Anne McIntosh, Director of Community Development

**THROUGH:** Laurie B Jester, Planning Manager

**BY:** Rafael Garcia, Assistant Planner

**DATE:** April 10, 2019

**SUBJECT:** Use Permit to Allow a Co-Working and Shared Office Space with Occasional Member Workshops and Networking Events and a Type 57 Alcohol License to Allow for the Sale and Onsite Consumption of Beer to Members, and Beer and Wine at Workshops and Events at 516 North Sepulveda Boulevard. (Gencoglu)

**RECOMMENDATION**

Staff recommends that the Planning Commission **CONDUCT** the Public Hearing and **ADOPT** the attached Resolution approving the Use Permit subject to certain conditions.

**APPLICANT/OWNER**

Umur Gencoglu  
1840 Century Park East, Suite 1900  
Los Angeles, CA 90067

**BACKGROUND**

On June 25, 2018, the Community Development Department received an application requesting a Use Permit to allow for a change of use for the conversion of an existing sports bar and billiards hall (2<sup>nd</sup> Half Sports Bar) to a new co-working and shared office space (Unita Office Building), located at 516 N. Sepulveda Boulevard. The applicant is not proposing an increase in square footage of the existing building. Improvements to the exterior are proposed to the parking lot area and landscaping in order to bring the site into compliance with the Code, as well as minor façade upgrades to the existing building. The existing site is located in the CG (General Commercial) zoning district in Area District I.

The subject site currently has a two-story building originally constructed in 1969 with an addition approved in 1993. The Use Permit for the sports bar/billiards hall was originally approved by the City Council in 1983 with several amendments thereafter including an amendment approved for the expansion of the building in 1993. The site is located on the southeast corner of the Sepulveda Boulevard and 6<sup>th</sup> Street and is 22,519 square feet in area with a building that is approximately 10,385 square feet (9,709 square feet counted towards parking).

**PROJECT OVERVIEW**

Location: 516 N. Sepulveda Boulevard  
Legal Description Tract No. 142, Lots 10, 11 and 12

**LAND USE**

General Plan: General Commercial  
Zoning: CG, General Commercial  
Area District: I  
Land Use: Existing Proposed  
10,385 sf No Change  
Sports Bar/Billiards Hall Office/Co-Working

Neighboring Zoning and Land Uses:  
North (across 6<sup>th</sup> Street) CG: Office Use  
South CG: Tire shop/Automotive  
East RS: Single Family Residential  
West (across Sepulveda) CG: Office and Grocery Store

**PROJECT DETAILS**

Existing Proposed  
Alcohol Service On-Site Full Alcohol On-Site Beer and Wine Only  
Hours of Operation: Mon-Th.: 3pm-12am Mon-Fri.: 9am-5pm  
Fri.: 3pm-2am Member Events: 11pm  
Sat.: 9am-2am Workshops: 11pm  
Sun.: 9am-12am

**DISCUSSION**

The applicant is requesting a Use Permit for a new co-working and shared office space with occasional member workshops and networking events and a Type 57 alcohol license to allow for the sale and onsite consumption of beer to members, and beer and wine at workshops and events. The applicant, Unita, is an entity that offers creative co-working and shared offices, conference rooms and meeting spaces that provide the benefits of an office and related amenities to members in need of office space on a full-time, or on an occasional basis. Unita office facilities are multifunctional and can be reconfigured for a variety of office-related uses. As an added amenity for members, and incidental to the office use, members are allowed to host workshops to share their skills or specialties with other members and guests, also referred to as artist-led workshops. Unita also hosts high quality, professional, sophisticated, relaxed and intimate events and art exhibitions that educate and foster growth in business, networking and art for its members. Unita’s goals is to provide gathering areas to bring artists, academics, social entrepreneurs and a diverse range of individuals to share ideas and participate in meaningful cultural experiences. Unita currently has two locations in El Segundo and Hermosa Beach.

Unita provides co-working shared office space, an alternative to the traditional office. Unlike a traditional office, co-working offices serve a diverse group of remote employees, entrepreneurs, and independent professionals who usually work for different companies, their own companies or on a freelance basis, sharing a suite of office-like amenities. Unita's spaces include private offices, shared offices, as well as ancillary and incidental rooms/spaces, consisting of a lobby, conference and meeting rooms, a flex space, kitchen/breakroom, lounge, and administrative/support service areas. Overall, the shared workplace is collaborative space, bringing together independent activity and individuals to share a suite of office-like amenities in a communal environment that promotes networking and sharing of ideas.

Unita's main function is to provide a local serving office use with (i) satellite offices, (ii) primary offices, and (iii) shared workspaces. Satellite offices serve local residents who may have an office at another, more distant location, allowing them to reduce commute time by working at a more convenient location closer to home. Primary office space serves local entrepreneurs, who would prefer an alternative to the isolation and expense of a home office; it is an affordable alternative to managing a solo office when starting a new business venture. Shared office space offers a more affordable alternative where individuals share workspaces.

Unita maintains typical regular office hours of operation, Monday through Friday, 9:00 am to 5:00 pm, with key access available to members on evenings and weekends, as needed. During regular office hours, the applicant will maintain approximately one to three staff members onsite at any given time.

The applicant anticipates that it will have 90 members at the Manhattan Beach facility; based on experience, a maximum of approximately 20 to 30 members are expected to be present at any given time during regular office hours. Members use office space at Unita as needed, which can range from once a week, two to three times a week, and in fewer instances, five days a week. Generally, a maximum of one to two members are expected to use the office outside of regular office hours.

#### Member Workshops

As an amenity for members, and incidental to the office use, members may host workshops to share their skills or specialties with other members and guests, also referred to as artist-led workshops. Workshops will be held in the 1,500-square foot flex space located on the ground floor. Workshops would be held after regular office hours when Unita is closed, and would not continue after 11:00 pm. Attendance would require the purchase of a ticket.

Unita recently held a few workshops at its El Segundo location. Details about these provide an example of the type and scope of workshops that may be held at the Manhattan Beach location.

- **Yoga & Meditation Workshop:** This is a basic yoga and meditation workshop for members and guests held once a month, on Sunday evenings, between 6:00 PM-7:00 PM. 20-30 guests typically attend.
- **Wine & Design Workshop:** This is a floral design workshop for members and guests held once a month, on Thursday evenings, between 5:30 PM - 7:00 PM. 15-25 guests typically attend.

- **Harness Your Creativity Workshop:** This is a workshop for members and guests focused on techniques and exercises to gain self-confidence and support creative growth through the creation of art, held once a month, on the first day of every month, between 6:00 PM - 7:00 PM. 10-15 guests typically attend.

#### Non-Recurring Networking and Community Events

Another amenity offered to both its members and the community are professional networking and community events. The operator expects to host two to three such events a month, on average, and does not expect to exceed four such events a month. Events are limited to only those that educate and foster growth in business, networking and art. Similar to the workshops, events will be held after regular office hours when the office is closed, and will not continue after 11:00 pm. Attendance will require the purchase of a ticket.

The operator recently held three Networking and Community Events at its El Segundo location. Details about these provide an example of the type and scope of events that may be held here.

- **Game Night and Live Music Event:** This was a networking event for members and guests organized by a company called Game Night Market, and involved board and art games as a means of encouraging guests to socialize with each other. The event also featured live music for ambiance and complimentary drinks. This was a one night, Friday evening event, between 8:00 pm and 11:00 pm. 25 guests attended.
- **Intimate Jazz with Argentine Food:** This was a networking event for members and guests providing a jazz band with Argentine food. Wine was offered on a BYO basis. Tickets were sold by the band and no profit was made by Unitá. This was a one-night event, between 8:00 pm and 11:00 pm. 30 guests attended.
- **El Segundo Art Walk:** This was a community event held citywide by the El Segundo Art Walk Organization that included pop-up locations throughout the city. Unitá was one of several art installation venues featuring artwork by local artists.

#### Alcohol License for On-Sale Beer and Wine (Type 57 ABC License)

The applicant proposes to stock a small locked refrigerator in the kitchen with beer available for sale for onsite consumption. Unitá further proposes to sell beer and wine at workshops and events for onsite consumption. A bar is not proposed as part of the use.

To authorize the sale and consumption of onsite beer and wine, the applicant intends to apply for a Type 57 (Special On Sale General) ABC license, subject to limitations. Typically, a Type 57 ABC licenses the sale of beer, wine and distilled spirits to members and guests, or consumption on the premises where sold; the applicant, however, is requesting that the license be restricted to beer and wine only. Food service is not required and minors are allowed on the premises.

### Parking

The site will be restriped in order to bring the existing parking into conformance with code requirements by providing stall and aisle dimensions that comply with all requirements as well as compliant ADA parking stalls and bicycle parking. The site will accommodate 32 parking spaces, which provides sufficient parking for the two types of commercial uses (i.e., general office, and workshops/corporate events) proposed.

Specifically, the Code requires parking for office use at a ratio of 1 space per 300 square feet. Applying this ratio results in a total of 32 required spaces. The total building square footage is currently 10,385, however, the Zoning Code excludes vertical circulation, stairs or elevators, service/mechanical rooms, enclosed vertical shafts and elevators from being counted towards the square footage used to determine parking which results in a building square footage of 9,709 square feet for parking requirements. A total of 32 parking spaces are provided of which 18 will be standard, 12 will be compact and two will be ADA accessible spaces. The project also complies with the compact parking requirements which allows a maximum of 40 percent of the required parking to be provided as compact stalls, consistent with MBMC Section 10.64.100.

The workshops and events are characterized as "assembly uses" which, pursuant to the Zoning Code, require parking at a ratio of 1 space per 100 square feet of floor area used for assembly purposes (MBMC Section 10.64.030). The total floor area that will be used for the workshops/corporate events is 1,500 square feet, located in the flex space on the ground floor. Thus, 15 parking spaces are required by Code for the assembly use. The workshops and corporate events will be held after regular business hours or on weekends, when the office is otherwise closed. MBMC Section 10.64.020.E provides that, where adjoining uses on the same site have different hours of operation and the same parking spaces or loading spaces can serve both without conflict, an applicant need not provide parking for each joint use individually. Thus, the 32 parking spaces available for the office use are more than adequate to accommodate the after-hours assembly use. The City's Traffic Engineer has reviewed the request and proposed parking, and is satisfied that the parking will meet the demand on the site.

As part of the previous Use Permit, the billiard hall/sports bar was required to provide additional parking off-site on the property directly to the north located at 600 North Sepulveda Blvd. It is unclear whether prior to its closure, the preexisting sports bar and billiards still had the off-site parking agreement in place. The use is not proposing any offsite parking, all parking will be provided onsite.

### Proposed Work and Remodeling

The property was developed as a commercial building, which was originally constructed in 1969. In 1993, the building was improved and expanded with a permitted second-floor addition. The height of the building is legal nonconforming and exceeds the current overall height requirement by 15.5 inches and the rear corner of the building encroaches into the 45-degree daylight plane by 4 inches. Structures with existing Zoning nonconformities are subject to MBMC Chapter 10.68 where an alteration or remodel occurs. Section 10.68.030(E) establishes the threshold for eliminating some nonconformities where the cost of a remodel exceeds 50% of the cost of complete reconstruction as estimated by standard building permit valuation methods.

Unitá proposes to undertake interior tenant improvements to accommodate the change of use to office, including constructing new walls and partitions and renovations to meet ADA accessibility improvements. Exterior improvements are also proposed, including new window and door openings and façade renovations to update aesthetics and allow natural light into the building. The remodel valuation will be less than 50%; thus, the threshold for eliminating nonconformities pursuant to Chapter 10.68 is not met.

### **OTHER DEPARTMENT COMMENTS**

The project was forwarded to the Police, Fire, Public Works and Building and Safety Departments for comment. The Police Department and the applicant met on December 5, 2018 to discuss project specifics. The following items were discussed:

1. Beer Refrigerator: The Police Department is concerned about preventing access to minors and assuring responsible service. They advised the applicant that the beer refrigerator must be maintained locked and the key must remain with reception to prevent unfettered access. The applicant is amenable to this as a condition of approval.
2. Casino Games: The Police Department is concerned that there may be gaming at game night events. The applicant's game night involves board and art games as a means of encouraging guests to socialize with each other. They would like a condition of approval that prohibits casino gaming type of games. The applicant is amenable to this as a condition of approval.
3. Keyed Access Availability: The Police Department is concerned that the keyed access will allow members to have workshops/events during the early hours of the morning, after midnight and before dawn, potentially disrupting the nearby residences. Staff does not believe that this will occur for the following reasons:
  - The workshops and events are sanctioned and hosted by the operator (Unita). They are not unilaterally arranged by members.
  - The events require the purchase of a ticket, and they are limited in size, intended to be intimate, professional and sophisticated.
  - Workshops and events generally occur only about seven times per month, and will not continue after 11:00 pm.
  - The proposed use, including the hours proposed for the workshops and events, are much less impactful on nearby residences than the previous use that operated on the site, especially on evenings and weekends. The previous restaurant/bar was open during all operating hours to the general public and operated daily until midnight, and on Fridays and Saturdays it operated until 2:00 a.m.

The project as proposed with these conditions addresses the Police Department's concerns, and the applicant is amenable to the proposed conditions of approval.

The balance of the comments received from the rest of the departments were minor in nature and have already incorporated into the project plans or will be included as part of the conditions of approval contained as part of the attached Resolution.

### **SEPULVEDA BOULEVARD DEVELOPMENT GUIDE**

On October 7, 1997, the City Council adopted the Sepulveda Boulevard Development Guidelines. The guidelines are intended to encourage certain desirable elements to be included within development projects on the corridor. They are to be used as a supplement to the City Zoning Code requirements during Use Permit and other discretionary project reviews. The existing site is already developed with a two-story building, striped parking lot and existing landscaping. Incorporating many of the elements is a challenge, in that, much of the site is already fully developed and the parking is being restriped and reconfigured in order to bring the site into compliance with the code. However, as part of the project, new landscaping will be installed throughout the site in order to enhance the overall appeal and aesthetics of the site. The existing changeable copy letter sign as part of the existing pole sign will also be removed. The use itself is anticipated to generate less potential nuisances to the adjacent residential neighbors. All of these conditions are consistent with the Guidelines.

### **REQUIRED FINDINGS**

The proposed use required approval of a Use Permit, in that, MBMC Section 10.16.020 requires a Use Permit for any change of use within a building with more than 5,000 square feet of buildable floor area. Furthermore, the applicant is also proposing to conduct ancillary beer and wine sales as part of operation and will also be hosting ongoing workshops and community events within a 1,500 square foot area of its facility. Section 10.84.010 of the Manhattan Beach Municipal Code states that “Use Permits are required for use classifications typically having unusual site development features or operating characteristics requiring special consideration so that they may be designed, located, and operated compatibly with uses on adjoining properties and in the surrounding area.”

Per MBMC Section 10.84.060.A, the following findings must be met in order to grant the Use Permit.

- 1. The proposed location of the use is in accord with the objectives of this title and the purposes of the district in which the site is located.*

The property is zoned commercial and is located in the Commercial General (CG) zoning district with a general land use designation of General Commercial (CG), which allows for a full range of commercial uses, including services, retail, eating and drinking establishments and offices. The purpose of the General Commercial zoning district is to “provide opportunities for the full range of retail and service businesses deemed suitable for location in Manhattan Beach, including businesses not permitted in other commercial districts because they attract heavy vehicular traffic or have certain adverse impacts; and to provide opportunities for offices and certain limited industrial uses that have impacts comparable to those of permitted retail and service uses to occupy space not in demand for retailing or services.”

The existing site was previously occupied by a billiard hall and sports bar/restaurant with an alcohol license. Unita proposes to change the use of the existing commercial building at this location from the billiard hall/restaurant/bar use to an office use, which is a permitted use in the zone. Specifically, the proposed Project will use the building as an office, consisting of satellite offices, primary offices and shared co-working office spaces, with ancillary rooms and flex space. As an amenity to members and the community, networking workshops and events are also proposed. "Offices, Business and Professional" are a permitted use in the zone and do not require a use permit. The Code, however, requires approval of a Use Permit for the Project because the existing floor area exceeds 5,000 square feet and the site area exceeds 10,000 square feet; and because the new office is also proposing to offer incidental alcohol sales for onsite consumption. The proposed use is consistent with the intent of the General Commercial zoning district, in that office uses are permitted within the zone and because the use is in accord with the objectives of this title and the purposes of the district in which the site is located.

2. *The proposed location of the use and the proposed conditions under which it would be operated or maintained will be consistent with the General Plan; will not be detrimental to the public health, safety or welfare of persons residing or working on the proposed project site or in or adjacent to the neighborhood of such use; and will not be detrimental to properties or improvements in the vicinity or to the general welfare of the city.*

The subject property has a General Plan land use designation of General Commercial. The intent of this designation is to provide opportunities for a "broad range of retail and service commercial and professional office uses intended to meet the needs of local residents and businesses and to provide goods and services for the regional market." As proposed, the use is consistent with the General Plan, will not be detrimental to the public health, safety or welfare of persons residing or working in or adjacent to the neighborhood of such use; and will not be detrimental to properties or improvements in the vicinity or to the general welfare of the city, in that it is a permitted use within the CG zoning district. The applicant is proposing to change the use of the building to an office use, which is a permitted use in the zone.

A Use Permit for the office use is required because the code requires a Use Permit whenever a permitted use is proposed on a site when the existing floor area exceeds 5,000 square feet and the site area exceeds 10,000 square feet. A Use Permit is also required for the new Type 57 ABC license proposed by Unita to authorize the sale of beer, and the consumption of beer and wine, to members and guests only. The previous use had a Type 47 license for the sale and consumption of beer, wine and spirits to the general public at a bona fide eating place. The Type 47 license exceeded the scope of the alcohol use proposed by Unita requiring a change in license type.

The existing parking lot was constructed with 35 vehicle parking spaces, including one non-compliant ADA space. Many of the existing parking space dimensions do not conform to current code requirements and the parking lot does not conform to



current accessibility requirements. The applicant is proposing to restripe the parking lot to bring the site into conformance with current Code required parking space dimensions and accessibility requirements. When these improvements are made, the parking lot will be code compliant and provide all parking required for the use consisting of 32 vehicle parking spaces onsite, including two accessible spaces. The proposed new office use requires less parking than the previous entertainment type uses, so there is a decrease in the parking demand. The previous use was required to provide 43 off-street parking spaces, and because all the required parking could not be accommodated onsite, the approval of the use was conditioned on providing offsite parking. The proposed use is required to provide 32 onsite parking spaces all of which are provided onsite.

Lastly, the proposed office use is in compliance with the General Plan designation of CG and is consistent with the following General Plan Goals and Policies:

- Goal LU-6: Maintain the viability of the commercial areas of Manhattan Beach.
- Policy LU-6.2: Encourage a diverse mix of businesses that support the local tax base, are beneficial to residents, and support the economic needs of the community.
- Policy LU-6.3: Recognize the need for a variety of commercial development types and designate areas appropriate for each. Encourage development proposals that meet the intent of these designations.
- Goal LU-8: Maintain Sepulveda Boulevard, Rosecrans Avenue, and the commercial areas of Manhattan Village as regional-serving commercial districts.

3. *The proposed use will comply with the provisions of this title, including any specific condition required for the proposed use in the district in which it would be located.*

The proposed office use is in accord with the objectives of this title and the purposes of the district in which the site is located, in that the project is a permitted use in the CG zone and is a commercial use consistent with the City's Zoning Ordinance. The project is in compliance with the applicable performance and development standards and, complies with the provisions of the Code. The site is being upgrade in order to bring the parking into compliance with the Zoning and Building Codes and to eliminate the need for providing satellite/offsite parking. The existing site contains approximately 35 stalls, many of which are non-conforming. The new layout will provide 32 stalls and will bring all stall dimensions and aisle widths into compliance, including the ADA parking.

The new use also creates a suitable environment for a commercial office use, in that it is more compatible with the adjacent residential uses because the proposed hours of operation and intensity of the use do not conflict with residential uses, and thus, minimizes the impact on adjacent residential districts. Regular office hours of operation are Monday through Friday, 9:00 am to 5:00 pm, with key access available to members on evenings and weekends, as needed, consistent with a typical office use, and commercial uses in the area. Member workshops and networking events are held after regular office hours when Unita is closed, will be small in size, and will not

continue after 11:00 pm, consistent with the surrounding office and commercial uses in the area, and respectful of the neighboring residential properties.

4. *The proposed use will not adversely impact nor be adversely impacted by nearby properties. Potential impacts are related but not necessarily limited to: traffic, parking, noise, vibration, odors, resident security and personal safety, and aesthetics, or create demands exceeding the capacity of public services and facilities which cannot be mitigated.*

The nature of the previously existing entertainment/bar/billiard hall uses and the newly proposed office use is inherently different. As discussed in Finding 2, the change of use will result in operational changes, characteristic of the differences between the nature of the two types of use that would have fewer negative impacts on surrounding residents. Thus, the Project would not adversely impact, nor be adversely impacted by, nearby properties. The proposed use is not expected to have noise or traffic impacts, and the new office use should be less impactful to the residential development in the area than the previous entertainment center/sports bar use that existed on this site for more than 30 years, in that the proposed office use requires less parking than the previously existing use and all can be accommodated onsite; unlike the prior use with offsite parking.

Furthermore, the new office use is a professional use and primarily maintains regular business hours, while the previous uses remained open into the late night and early morning, reducing noise and traffic impacts. There will be no late-night/early morning revelry and less noise (both from vehicles and conversation) from patrons exiting the premises in the late night/early-morning hours. The proposed use, including the hours proposed for the workshops and events, are much less impactful on nearby residences than the previous use that operated on the site, especially on evenings and weekends. The previous restaurant/bar operated daily until midnight, and on Fridays and Saturdays it operated until 2:00 a.m.

#### **PUBLIC COMMENT**

A public notice was published in the Beach Reporter on March 28, 2019 and mailed to all property owners within a 500' radius. As of the writing of this report, staff has not received any public comments.

#### **ENVIRONMENTAL DETERMINATION**

The Project is Categorically Exempt from the requirements of the California Environmental Quality Act (CEQA), pursuant to Existing Facilities Section 15301 based on Staff's determination that there is no expansion of use associated with the Project.

#### **CONCLUSION**

Staff recommends that the Planning Commission conduct the public hearing, discuss the applicant's request, and approve the attached draft Resolution approving the Use Permit subject to certain conditions.

Attachments:

- A. Draft Resolution No. PC 19-
- B. Applicant's Documents
- C. Vicinity Map
- D. Architectural Plans

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RESOLUTION NO. PC 19-

RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF MANHATTAN BEACH APPROVING A USE PERMIT TO ALLOW A CO-WORKING AND SHARED OFFICE SPACE WITH OCCASIONAL MEMBER WORKSHOPS AND NETWORKING EVENTS AND A TYPE 57 ALCOHOL LICENSE TO ALLOW FOR THE SALE AND ONSITE CONSUMPTION OF BEER TO MEMBERS AND BEER AND WINE AT WORKSHOPS AND EVENTS AT 516 NORTH SEPULVEDA BOULEVARD (UNITA/GENCOGLU)

THE PLANNING COMMISSION OF THE CITY OF MANHATTAN BEACH DOES HEREBY RESOLVE AS FOLLOWS:

SECTION 1. The Planning Commission of the City of Manhattan Beach hereby makes the following findings:

- A. On January 19, 1993, the City Council of the City of Manhattan Beach adopted Resolution No. 4982, approving a Use Permit for an addition and remodel to an existing billiards center/sports bar, originally approved by the City Council in 1983, for the property located at 516 North Sepulveda Boulevard, subject to a number of conditions.
- B. The Planning Commission of the City of Manhattan Beach conducted a noticed public hearing on April 10, 2019, received testimony, and considered an application for a Use Permit to allow a change of use for a co-working and share office space with incidental alcohol service.
- C. The subject property is legally described as Lots 10,11 and 12, Tract No. 142 in the City of Manhattan Beach, County of Los Angeles.
- D. The applicant for the subject project is Umur Gencoglu, the owner of the business (hereafter referred to as "the owner").
- E. The Project is Categorical Exempt from the requirements of the California Environmental Quality Act (CEQA), pursuant to Existing Facilities Section 15301 based on Staff's determination that there is no expansion of use associated with the Project.
- F. The project will not individually nor cumulatively have an adverse effect on wildlife resources, as defined in Section 711.2 of the Fish and Game Code.
- G. The subject property is located in Area District I and is zoned CG, General Commercial. The surrounding properties are zoned CG to the North, South and West; and RS, Residential Single Family to the east. .
- H. The use is permitted in the CG zoning district, however the building and site size, as well as the alcohol sales, require review through the Use Permit process, and the proposed use is in compliance with the City's General Plan designation of General Commercial.
- I. The General Plan designation for the property is General Commercial. The intent of the General Commercial General Plan land use designation is to provide opportunities for a "broad range of retail and service commercial and professional office uses intended to meet the needs of local residents and businesses and to provide goods and services for the regional market." The project is specifically consistent with General Plan Policies as follows:
  - Goal LU-5: Protect residential neighborhoods from the intrusion of inappropriate and incompatible uses.
  - Goal LU-6: Maintain the viability of the commercial areas of Manhattan Beach.
  - Policy LU-6.2: Encourage a diverse mix of businesses that support the local tax base, are beneficial to residents, and support the economic needs of the community.
  - Policy LU-6.3: Recognize the need for a variety of commercial development types and designate areas appropriate for each. Encourage development proposals that meet the intent of these designations.
  - Goal LU-8: Maintain Sepulveda Boulevard, Rosecrans Avenue, and the commercial areas of Manhattan Village as regional-serving commercial districts.
- J. The project, located on Sepulveda Boulevard, is subject to the Sepulveda Boulevard Development Guidelines which are intended to encourage certain desirable elements to be included within development projects on the corridor. The new site landscaping, removal of the changeable copy letter signage and the use itself, which generates less potential nuisances to the adjacent residential neighbors, are all conditions that are consistent with the Guidelines.
- K. The Planning Commission makes the following findings required to approve the Use Permit pursuant to MBMC Section 10.84.060:
  1. **The proposed location of the use is in accord with the objectives of this title and the purposes of the district in which the site is located.**

The property is zoned commercial and is located in the Commercial General (CG) zoning district with a general land use designation of General Commercial (CG), which allows for a full range of commercial uses, including services, retail, eating and drinking establishments and offices. The purpose of the General Commercial zoning district is to “provide opportunities for the full range of retail and service businesses deemed suitable for location in Manhattan Beach, including businesses not permitted in other commercial districts because they attract heavy vehicular traffic or have certain adverse impacts; and to provide opportunities for offices and certain limited industrial uses that have impacts comparable to those of permitted retail and service uses to occupy space not in demand for retailing or services.”

The existing site was previously occupied by a billiard hall and sports bar/restaurant with an alcohol license. Unita proposes to change the use of the existing commercial building at this location from the billiard hall/restaurant/bar use to an office use, which is a permitted use in the zone. Specifically, the proposed Project will use the building as an office, consisting of satellite offices, primary offices and shared co-working office spaces, with ancillary rooms and flex space as an amenity to members and the community, networking workshops and events are also proposed. "Offices, Business and Professional" are a permitted use in the zone and do not require a use permit. The Code, however, requires approval of a Use Permit for the Project because the existing floor area exceeds 5,000 square feet and the site area exceeds 10,000 square feet; and because the new office is also proposing to offer incidental alcohol sales for onsite consumption. The proposed use is consistent with the intent of the General Commercial zoning district, in that office uses are permitted within the zone and because the use is in accord with the objectives of this title and the purposes of the district in which the site is located.

2. **The proposed location of the use and the proposed conditions under which it would be operated or maintained will be consistent with the General Plan; will not be detrimental to the public health, safety or welfare of persons residing or working on the proposed project site or in or adjacent to the neighborhood of such use; and will not be detrimental to properties or improvements in the vicinity or to the general welfare of the city.**

The subject property has a General Plan land use designation of General Commercial. The intent of this designation is to provide opportunities for a “broad range of retail and service commercial and professional office uses intended to meet the needs of local residents and businesses and to provide goods and services for the regional market.” As proposed, the use is consistent with the General Plan, will not be detrimental to the public health, safety or welfare of persons residing or working in or adjacent to the neighborhood of such use; and will not be detrimental to properties or improvements in the vicinity or to the general welfare of the city, in that it is a permitted use within the CG zoning district. The applicant is proposing to change the use of the building to an office use, which is a permitted use in the zone.

A Use Permit for the office use is required because the code requires a Use Permit whenever a permitted use is proposed on a site when the existing floor area exceeds 5,000 square feet and the site area exceeds 10,000 square feet. A Use Permit is also required for the new Type 57 ABC license proposed by Unita to authorize the sale of beer, and the consumption of beer and wine, to members and guests only. The previous use had a Type 47 license for the sale and consumption of beer, wine and spirits to the general public at a bona fide eating place. The Type 47 license exceeded the scope of the alcohol use proposed by Unita requiring a change in license type.

The existing parking lot was constructed with 35 vehicle parking spaces, including one non-compliant ADA space. Many of the existing parking space dimensions do not conform to current code requirements and the parking lot does not conform to current accessibility requirements. The applicant is proposing to restripe the parking lot to bring the site into conformance with current Code required parking space dimensions and accessibility requirements. When these improvements are made, the parking lot will be code compliant and provide all parking required for the use consisting of 32 vehicle parking spaces onsite, including two accessible spaces. The proposed new office use requires less parking than the previous entertainment type uses, so there is a decrease in the parking demand. The previous use was required to provide 43 off-street parking spaces, and because all the required parking could not be accommodated onsite, the approval of the use was conditioned on providing offsite parking. The proposed use is required to provide 32 onsite parking spaces all of which are provided onsite.

Lastly, the proposed office use is in compliance with the General Plan designation of CG and is consistent with the General Plan Goals and Policies stated above.

3. **The proposed use will comply with the provisions of this title, including any specific condition required for the proposed use in the district in which it would be located.**

The proposed office use is in accord with the objectives of this title and the purposes of the district in which the site is located, in that the project is a permitted use in the CG zone and is a commercial use consistent with the City's Zoning Ordinance. The project is in compliance with the applicable performance and development standards and, complies with the provisions of the Code. The site is being upgrade in order to bring the parking into compliance with the Zoning and Building Codes and to eliminate the need for providing satellite/offsite parking. The existing site contains approximately 35 stalls, many of which are non-conforming. The new layout will provide 32 stalls and will bring all stall dimensions and aisle widths into compliance, including the ADA parking.

The new use also creates a suitable environment for a commercial office use, in that it is more compatible with the adjacent residential uses because the proposed hours of operation and intensity of the use do not conflict with residential uses, and thus, minimizes the impact on adjacent residential districts. Regular office hours of operation are Monday through Friday, 9:00 am to 5:00 pm, with key access available to members on evenings and weekends, as needed, consistent with a typical office use, and commercial uses in the area. Member workshops and networking events are held after regular office hours when Unita is closed, will be small in size, and will not continue after 11:00 pm, consistent with the surrounding office and commercial uses in the area, and respectful of the neighboring residential properties.

4. **The proposed use will not adversely impact or be adversely impacted by nearby properties. Potential impacts are related but not necessarily limited to: traffic, parking noise, vibration, odors, resident security and personal safety, and aesthetics, or create demands exceeding the capacity of public services and facilities which cannot be mitigated.**

The nature of the previously existing entertainment/bar/billiard hall uses and the newly proposed office use is inherently different. As discussed in Finding 2, the change of use will result in operational changes, characteristic of the differences between the nature of the two types of use that would have fewer negative impacts on surrounding residents. Thus, the Project would not adversely impact, nor be adversely impacted by, nearby properties. The proposed use is not expected to have noise or traffic impacts, and the new office use should be less impactful to the residential development in the area than the previous entertainment center/sports bar use that existed on this site for more than 30 years, in that the proposed office use requires less parking than the previously existing use and all can be accommodated onsite; unlike the prior use with offsite parking.

Furthermore, the new office use is a professional use and primarily maintains regular business hours, while the previous uses remained open into the late night and early morning, reducing noise and traffic impacts. There will be no late-night/early morning revelry and less noise (both from vehicles and conversation) from patrons exiting the premises in the late night/early-morning hours. The proposed use, including the hours proposed for the workshops and events, are much less impactful on nearby residences than the previous use that operated on the site, especially on evenings and weekends. The previous restaurant/bar operated daily until midnight, and on Fridays and Saturdays it operated until 2:00 a.m.

- L. The project shall comply with all applicable provisions of the Manhattan Beach Municipal Code.
- M. This Resolution, upon its effectiveness, constitutes the Use Permit Amendment for the subject project.

SECTION 2. The Planning Commission of the City of Manhattan Beach hereby **APPROVES** the Use Permit Amendment subject to the following conditions:

1. The project shall be in substantial conformance with the plans and project description submitted to, and approved by the Planning Commission on April 10, 2019 as amended and conditioned. Any substantial deviation from the approved plans and project description, as conditioned, shall require review by the Community Development Director to determine if review and approval from the Planning Commission is required.
2. Any questions of intent or interpretation of any condition will be reviewed by the Community Development Director to determine if Planning Commission review and action is required.
3. The applicant shall be required to obtain permits for any work necessary to bring the project into compliance with the Building, Fire and related Codes, as determined the Building & Safety Division and Fire Department, respectively.
4. A Construction Management and Parking Plan (CMPP) shall be submitted by the applicant with the submittal of plans to plan check. The CMPP shall be reviewed and approved by the City, including but not limited to, the City Traffic Engineer, Planning, Fire, Police and Public Works, prior to permit issuance. The Plan shall include, but not be limited to, provisions for the management of all construction related traffic, parking, staging, materials delivery, materials storage, and buffering of noise and other disruptions. The Plan shall minimize construction related impacts to the surrounding neighborhood, and shall be implemented in accordance with the requirements of the Plan.
5. All on-site and off-site improvement plans, shall be submitted to plan check, at the same time as the building plans. The plans shall be reviewed and approved by the City Traffic Engineer, Planning, Public where applicable, prior to the issuance of permits. Such improvements shall be fully constructed or completed per the approved plans prior to issuance of a building final inspection and/or occupancy, whichever occurs first. The plans shall include, but not be limited to the following features:

- a. All on-site parking shall be available to all tenants. There shall be no assigned parking to individual tenants, or other limitations on the use of parking with the exception of accessible spaces.

**Operation**

- 6. The management of the property shall police the property and all areas adjacent to the business during the hours of operation to keep it free of litter and debris.
- 7. The operators of the business shall provide adequate management and supervisory techniques to prevent loitering and other security concerns outside the subject business.
- 8. All rooftop mechanical equipment shall be screened from the public right-of-way.
- 9. Hours of operation for the establishment shall be permitted as follows:

| <u>Use</u>                       | <u>Day</u>      | <u>Time</u>        |
|----------------------------------|-----------------|--------------------|
| Shared Office/Co-Working-        | Monday - Friday | 9am-5pm            |
| Member Workshops-                | Will Vary       | No later than 11pm |
| Networking and Community Events- | Will Vary       | No later than 11pm |

The shared office and co-working use may operate beyond the hours of operation stated above so long as it does not conflict with the member workshops or networking/community events.

- 10. All workshops and corporate events shall be limited to an assembly area of no more than 1,500 square feet, and shall not be permitted during normal business hours for the shared office and co-working use.
- 11. Any events proposed in an area larger than 1,500 square feet shall require an Entertainment Permit consistent with the provision of Title 4 of the Manhattan Beach Municipal Code. The Entertainment Permit shall be submitted to the Director of Community Development for review and approval, with input from the Police and Fire Departments. Appropriate conditions shall be placed on the Permit to minimize potential negative impacts. These conditions shall include, but not be limited to, hours, size and location of performance or dance area, size of band and number of performers, numbers of performance days per week, type and location of amplification, speakers and soundproofing, and volume of amplification. The Permit will be reviewed annually to determine if it is appropriate to renew the permit, deny the permit, or modify the conditions of approval.
- 12. Alcohol service shall be in conjunction with a Type 57 ABC alcohol license and shall be conducted within the interior of the building and be limited to the sale of beer and wine only. The beer and wine refrigerator shall remain locked and the key must remain with the building reception staff or similar building operator staff at all times. Sale of alcoholic beverages for consumption off-premise is prohibited. The owner shall be in substantial compliance with all restrictions imposed by the Alcohol Beverage Control Board (ABC) prior to service of liquor.
- 13. Casino type gaming shall not be allowed as part of any event or workshop
- 14. Noise emanating from the property shall be within the limitations prescribed by the City Noise Ordinance and shall not create a nuisance to nearby property owners. Noise shall not be audible beyond the premises. Any outside sound or amplification system or equipment is prohibited.
- 15. The management shall ensure that all exterior doors and windows are kept closed during live entertainment performances.
- 16. Live entertainment is limited to no more than three musicians and/or vocalists.
- 17. New landscaping and irrigation will be required as part of the project in compliance with Title 10 of the Manhattan Beach Municipal Code. The applicant must submit a complete set of landscape plans for review and approval to the Community Development Department, and new landscaping and irrigation shall be installed prior to issuance of a certificate of occupancy for the site.
- 18. At any time in the future, the Planning Commission or City Council may review the Use Permit for the purpose of revocation or modification in accordance with the requirements of the MBMC Chapter 10.104. Modification may consist of conditions deemed reasonable to mitigate or alleviate impacts to adjacent land uses.
- 19. The Community Development Department staff shall be allowed to inspect the site at any time.



**Refuse**

- 20. The management shall arrange for special on-site pickup as often as necessary to ensure that the refuse area has adequate space to accommodate the needs of the subject business.

**Signage**

- 21. All new signs and alterations to existing signs shall receive permits, and shall be in compliance with the City's sign code. The existing changeable copy letter sign as part of the pole sign must be removed from the site prior to a final for the permits for the building tenant improvements.
- 22. A-frame or other sidewalk signs in the public right-of-way shall be prohibited.
- 23. No temporary banner or other signs shall be placed on the site without City permit and approval.

**Procedural**

- 24. This Resolution shall become effective when all time limits for appeal as set forth in MBMC Section 10.100.030 have expired.
- 25. Pursuant to Public Resources Code section 21089(b) and Fish and Game Code section 711.4(c), the project is not operative, vested or final until the required filing fees are paid.
- 26. This Use Permit shall lapse two years after its date of approval, unless implemented or extended pursuant to 10.84.090 of the Municipal Code.
- 27. All provisions of the Use Permit are subject to review by the Community Development Department 6 months after occupancy and yearly thereafter.
- 28. The Planning Commission's decision is based upon each of the totally independent and separate grounds stated herein, each of which stands alone as a sufficient basis for its decision.
- 29. The Secretary of the Planning Commission shall certify to the adoption of this Resolution and shall forward a copy of this Resolution to the owner. The Secretary shall make this resolution readily available for public inspection.
- 30. Terms and Conditions are Perpetual; Recordation of Covenant. The provisions, terms and conditions set forth herein are perpetual, and are binding on the owner, its successors-in-interest, and, where applicable, all tenants and lessees of the site. Further, the owner shall submit the covenant, prepared and approved by the City, indicating its consent to the conditions of approval of this Resolution, and the City shall record the covenant with the Office of the County Clerk/Recorder of Los Angeles. Owner shall deliver the executed covenant, and all required recording and related fees, to the Department of Community Development within 30 days of the adoption of this Resolution. Notwithstanding the foregoing, the Director may, upon a request by owner, grant an extension to the 30-day time limit. The project approval shall not become effective until recordation of the covenant.
- 31. *Indemnity, Duty to Defend and Obligation to Pay Judgments and Defense Costs, Including Attorneys' Fees, Incurred by the City.* The owner shall defend, indemnify, and hold harmless the City, its elected officials, officers, employees, volunteers, agents, and those City agents serving as independent contractors in the role of City officials (collectively "Indemnitees") from and against any claims, damages, actions, causes of actions, lawsuits, suits, proceedings, losses, judgments, costs, and expenses (including, without limitation, attorneys' fees or court costs) in any manner arising out of or incident to this approval, related entitlements, or the City's environmental review thereof. The owner shall pay and satisfy any judgment, award or decree that may be rendered against City or the other Indemnitees in any such suit, action, or other legal proceeding. The City shall promptly notify the owner of any claim, action, or proceeding and the City shall reasonably cooperate in the defense. If the City fails to promptly notify the owner of any claim, action, or proceeding, or if the City fails to reasonably cooperate in the defense, the owner shall not thereafter be responsible to defend, indemnify, or hold harmless the City or the Indemnitees. The City shall have the right to select counsel of its choice. The owner shall reimburse the City, and the other Indemnitees, for any and all legal expenses and costs incurred by each of them in connection therewith or in enforcing the indemnity herein provided. Nothing in this Section shall be construed to require the owner to indemnify Indemnitees for any Claim arising from the sole negligence or willful misconduct of the Indemnitees. In the event such a legal action is filed challenging the City's determinations herein or the issuance of the approval, the City shall estimate its expenses for the litigation. The owner shall deposit said amount with the City or enter into an agreement with the City to pay such expenses as they become due.

I hereby certify that the following is a full, true, and correct copy of the Resolution as **ADOPTED** by the Planning Commission at its regular meeting on **April 10, 2019** and that said Resolution was adopted by the following vote:

**AYES:**

**NOES:**

**ABSTAIN:**

**ABSENT:**

---

**Anne McIntosh**  
Secretary to the Planning Commission

---

**Rosemary Lackow**  
Recording Secretary



# MASTER APPLICATION FORM

CITY OF MANHATTAN BEACH  
 COMMUNITY DEVELOPMENT DEPARTMENT

**Office Use Only**  
 Date Submitted: 12/14/18  
 Received By: FK  
 F&G Check Submitted: No

516 N. Sepulveda Blvd.

*Project Address*

Tract No. 142, Lots 10, 11 and 12

*Legal Description*

General Commercial

*General Plan Designation*

CG (General Commercial) 1

*Zoning Designation*

*Area District*

For projects requiring a Coastal Development Permit, select one of the following determinations<sup>1</sup>:

*Project located in Appeal Jurisdiction*

*Project not located in Appeal Jurisdiction*

Major Development (Public Hearing required)

Public Hearing Required (due to UP, Var, ME, etc.)

Minor Development (Public Hearing, if requested)

No Public Hearing Required

**Submitted Application (check all that apply)**

|  |            |   |              |
|--|------------|---|--------------|
| <input type="checkbox"/> Appeal to PC/RPIC/BBA/CC            | 225        | <input type="checkbox"/> Use Permit (Residential)           | 4330         |
| <input type="checkbox"/> Coastal Development Permit          | 4341       | <input checked="" type="checkbox"/> Use Permit (Commercial) | 4330 \$6,287 |
| <input type="checkbox"/> Continuance                         | 4343       | <input type="checkbox"/> Use Permit Amendment               | 4332         |
| <input type="checkbox"/> Cultural Landmark                   | 4336       | <input type="checkbox"/> Variance                           | 4331         |
| <input checked="" type="checkbox"/> Environmental Assessment | 4225 \$215 | <input type="checkbox"/> Park/Rec Quimby Fee                | 4425         |
| <input type="checkbox"/> Minor Exception                     | 4333       | <input type="checkbox"/> Pre-application meeting            | 4425         |
| <input type="checkbox"/> Subdivision (Map Deposit)           | 4300       | <input checked="" type="checkbox"/> Public Hearing Notice   | 4339 \$70    |
| <input type="checkbox"/> Subdivision (Tentative Map)         | 4334       | <input type="checkbox"/> Lot Merger/Adjust./\$15 rec. fee   | 4225         |
| <input type="checkbox"/> Subdivision (Final)                 | 4334       | <input type="checkbox"/> Zoning Business Review             | 4337         |
| <input type="checkbox"/> Subdivision (Lot Line Adjust.)      | 4335       | <input type="checkbox"/> Zoning Report                      | 4340         |
| <input type="checkbox"/> Telecom (New or Renewed)            | 4338       | <input type="checkbox"/> Other                              |              |

**Fee Summary: (See fees on reverse side)**

Total Amount: \$ 6,572 (less Pre-Application Fee if applied within past 3 months)

Receipt Number: \_\_\_\_\_ Date Paid: \_\_\_\_\_ Cashier: \_\_\_\_\_

**Applicant(s)/Appellant(s) Information**

Umur Gencoglu

*Name*

c/o Stephanie Hawner, 1840 Century Park East, Ste 1900, LA, Ca 90067

*Mailing Address*

Prospective Buyer (in Escrow)

*Applicant(s)/Appellant(s) Relationship to Property*

Ellen Berkowitz, Attorney/Stephanie Hawner, Planner (310) 586-7700

*Contact Person (Include relation to applicant/appellant)*

*Phone number / email*

1840 Century Park East, Ste 1900, Los Angeles, CA 90067

*Address*

*Applicant(s)/Appellant(s) Signature*

UMURGENCOGLU@GENCOGLUGROUP.COM

*Phone number / email*

**Complete Project Description- including any demolition (attach additional pages as necessary)**

Change of use of an existing commercial building from billiard hall/sports bar/restaurant to office, consisting of shared co-working creative office spaces, lobby, conference and meeting rooms, and kitchen/breakroom, and exterior and interior tenant improvements.

<sup>1</sup> An Application for a Coastal Development Permit shall be made prior to, or concurrent with, an application for any other permit or approvals required for the project by the City of Manhattan Beach Municipal Code. (Continued on reverse)

# OWNER'S AFFIDAVIT

A notary public or other officer completing this certificate verifies only the identity of the individual who signed the document to which this certificate is attached, and not the truthfulness, accuracy, or validity of that document.

STATE OF CALIFORNIA  
 COUNTY OF LOS ANGELES

I/We Arthur Barton Cleveland being duly sworn, depose and say that I/ am/ we are the owner(s) of the property involved in this application and that the foregoing statements and answers herein contained and the information herewith submitted are in all respects true and correct to the best of my/ our knowledge and belief(s).

Signature of Property Owner(s) - (Not Owner in Escrow or Lessee)

Arthur B. Cleveland

Print Name

955 Deep Valley Drive #4495 Palos Verdes Ct 90274

Mailing Address

(310) 872-0778

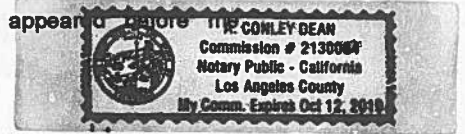
Telephone/email

Subscribed and sworn to (or affirmed) before me this 1st day of June, 2018

by Arthur Barton Cleveland, proved to me

on the basis of satisfactory evidence to be the person(s) who appeared before

Signature A. Conley Dean  
 Notary Public



SEAL

## Fee Schedule Summary

Below are the fees typically associated with the corresponding applications. Additional fees not shown on this sheet may apply - refer to current City Fee Resolution (contact the Planning Division for assistance.) Fees are subject to annual adjustment.

**Submitted Application (circle applicable fees, apply total to Fee Summary on application)**

**Coastal Development Permit**

- Public hearing - no other discretionary approval required: \$ 4,787
- Public hearing - other discretionary approvals required: 2,108
- No public hearing required - administrative: 1,303

**Use Permit**

- Use Permit: \$ **6,287**
- Master Use Permit: 9,703
- Master Use Permit Amendment: 5,037
- Master Use Permit Conversion: 4,623

**Variance**

- Filing Fee: \$ 6,078

**Minor Exception**

- Without notice: \$ 1,452
- With notice: 1,952

**Subdivision**

- Certificate of Compliance: \$ 1,625
- Final Parcel Map + mapping deposit: 528
- Final Tract Map + mapping deposit: 732
- Mapping Deposit (paid with Final Map application): 500
- Merger of Parcels or Lot Line Adjustment: 1,133
- Quimby (Parks & Recreation) fee (per unit/lot): 1,817
- Tentative Parcel Map (4 or less lots / units) No Public Hearing: 1,309
- Tentative Parcel Map (4 or less lots / units) Public Hearing: 3,557
- Tentative Tract Map (5 or more lots / units): 4,080

**Environmental Review (contact Planning Division for applicable fee)**

- Environmental Assessment (no Initial Study prepared): \$ **215**
- Environmental Assessment (if Initial Study is prepared): 3,079
- Fish and Game/CEQA Exemption County Clerk Posting Fee<sup>2</sup>: 75

- Public Hearing Notice** applies to all projects with public hearings and covers the City's costs of envelopes, postage and handling the mailing of public notices. Add this to filing fees above, as applicable: **\$ 70**

<sup>2</sup>Make a separate \$75 check payable to LA County Clerk, (DO NOT PUT DATE ON CHECK)

Effective 07/01/2017





# ENVIRONMENTAL INFORMATION FORM

(to be completed by applicant)

CITY OF MANHATTAN BEACH  
COMMUNITY DEVELOPMENT DEPARTMENT

Date Filed: \_\_\_\_\_

### APPLICANT INFORMATION

Name: Umur Gencoglu

Address: c/o Stephanie Hawner (see contact)

Phone number: (310) 586-7700

Relationship to property: Prospective Buyer (Escrow)

Ellen Berkowitz (Attorney) &

Contact Person: Stephanie Hawner (Planner)

Address: 1840 Century Park East

Phone number: (310) 586-7700

Association to applicant: Greenberg Traurig, LLP

### PROJECT LOCATION AND LAND USE

Project Address: 516 N. Sepulveda Blvd.

Assessor's Parcel Number: 4167-025-028

Legal Description: Tract No. 142, Lots 10, 11 and 12

Area District, Zoning, General Plan Designation: District 1, CG zoning, GC General Plan

Surrounding Land Uses:

North Commerical (office/retail)

West Commercial (office/retail)

South Automotive

East Residential (single-family)

Existing Land Use: Commercial- Billiard hall and sports bar/restaurant

### PROJECT DESCRIPTION

Type of Project: Commercial X Residential \_\_\_\_\_ Other \_\_\_\_\_

If Residential, indicate type of development (i.e.; single family, apartment, condominium, etc.) and number of units: \_\_\_\_\_

If Commercial, indicate orientation (neighborhood, citywide, or regional), type of use anticipated, hours of operation, number of employees, number of fixed seats, square footage of kitchen, seating, sales, and storage areas: Office use serving neighborhood, citywide and regional office space needs for professionals and executives. Regular business house with accessibility to office members on evenings and weekends.

If use is other than above, provide detailed operational characteristics and anticipated intensity of the development: \_\_\_\_\_

\_\_\_\_\_  
\_\_\_\_\_

Removed/

|                           | <u>Existing</u>      | <u>Proposed</u>  | <u>Required</u>     | <u>Demolished</u> |
|---------------------------|----------------------|------------------|---------------------|-------------------|
| Project Site Area:        | <u>22,518 sq.ft.</u> | <u>No change</u> | <u>No change</u>    | <u>N/A</u>        |
| Building Floor Area:      | <u>9,116 sq.ft.</u>  | <u>No change</u> | <u>No change</u>    | <u>N/A</u>        |
| Height of Structure(s)    | <u>25 feet</u>       | <u>No change</u> | <u>No change</u>    | <u>N/A</u>        |
| Number of Floors/Stories: | <u>2</u>             | <u>No change</u> | <u>No change</u>    | <u>N/A</u>        |
| Percent Lot Coverage:     | <u></u>              | <u>No change</u> | <u>No change</u>    | <u>N/A</u>        |
| Off-Street Parking:       | <u>35</u>            | <u>No Change</u> | <u>31</u>           | <u>N/A</u>        |
| Vehicle Loading Space:    | <u>none</u>          | <u>No change</u> | <u>No change</u>    | <u>N/A</u>        |
| Open Space/Landscaping:   | <u>1,815 sq.ft.</u>  | <u>No change</u> | <u>1,802 sq.ft.</u> | <u>N/A</u>        |

Proposed Grading: N/A

Cut          Fill          Balance          Imported          Exported         

Will the proposed project result in the following (*check all that apply*):

- | <u>Yes</u>      | <u>No</u> |  |
|-----------------|-----------|--|
| <u>        </u> | <u>X</u>  | Changes in existing features or any bays, tidelands, beaches, lakes, or hills, or substantial alteration of ground contours? |
| <u>        </u> | <u>X</u>  | Changes to a scenic vista or scenic highway?   |
| <u>        </u> | <u>X</u>  | A change in pattern, scale or character of a general area?   |
| <u>        </u> | <u>X</u>  | A generation of significant amount of solid waste or litter?   |
| <u>        </u> | <u>X</u>  | A violation of air quality regulations/requirements, or the creation of objectionable odors?                                 |
| <u>        </u> | <u>X</u>  | Water quality impacts (surface or ground), or affect drainage patters?   |
| <u>        </u> | <u>X</u>  | An increase in existing noise levels?  |
| <u>        </u> | <u>X</u>  | A site on filled land, or on a slope of 10% or more?   |
| <u>        </u> | <u>X</u>  | The use of potentially hazardous chemicals?  |
| <u>        </u> | <u>X</u>  | An increased demand for municipal services?  |
| <u>        </u> | <u>X</u>  | An increase in fuel consumption?   |
| <u>        </u> | <u>X</u>  | A relationship to a larger project, or series of projects?   |

Explain all "Yes" responses (*attach additional sheets or attachments as necessary*):

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

**CERTIFICATION:** I hereby certify that the statements furnished above and in attached exhibits present the data and information required for this initial evaluation to the best of my ability, and that the facts, statements, and information presented are true and correct to the best of my knowledge and belief.

Signature: 

Prepared For: Umur Gencoglu

Date Prepared: 6/21/2018

Revised 7/97

# VICINITY MAP



City of Manhattan Beach



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# 516 N SEPULVEDA PROJECT

516 N SEPULVEDA BLVD  
MANHATTAN BEACH, CA 90266



18116.00  
Architect's Project Number

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ISSUED FOR PLANNING - RESUBMITTAL

APRIL 3, 2019

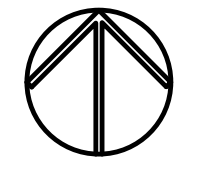
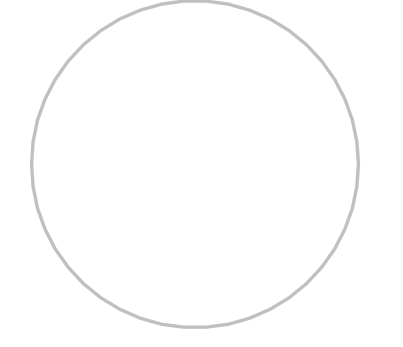
**Bergmeyer**

Architecture and Interiors  
Bergmeyer Associates, Inc.  
51 Sleeper Street  
Boston, MA 02210  
Phone 617 542 1025  
Fax 617 542 1026  
www.bergmeyer.com

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**ATTACHMENT D**  
**PC MTG 04-10-19**

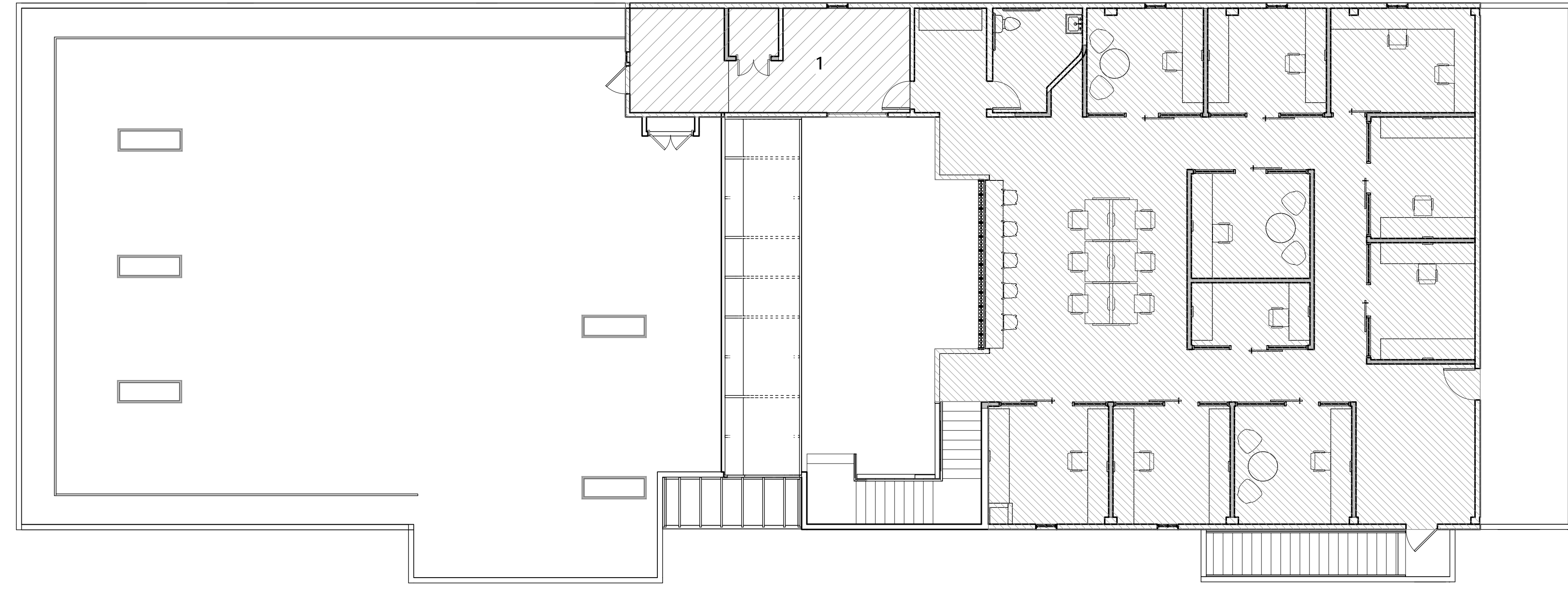




TRUE NORTH / PROJECT NORTH

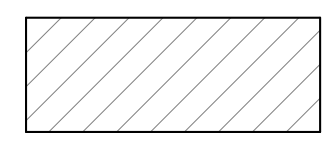
1/8" = 1'-0"

2



SECOND FLOOR - SQUARE FOOTAGE DIAGRAM

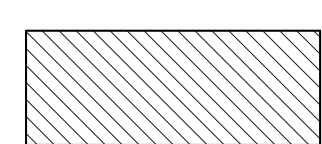
GROSS BUILDING SQUARE FOOTAGE: 10,385 SF  
 FIRST FLOOR 7,599 SF  
 SECOND FLOOR 2,786 SF  
 TOTAL 10,385 SF



MECHANICAL & VERTICAL CIRCULATION: 676 SF  
 MECHANICAL 291 SF  
 VERTICAL CIRCULATION 385 SF  
 TOTAL 676 SF

| TAG   | TYPE       | AREA   |
|-------|------------|--------|
| 1     | MECHANICAL | 266 SF |
| 2     | MECHANICAL | 11 SF  |
| 3     | MECHANICAL | 14 SF  |
| TOTAL |            | 291 SF |

|       |                   |        |
|-------|-------------------|--------|
| 4     | VERT. CIRCULATION | 54 SF  |
| 5     | VERT. CIRCULATION | 141 SF |
| 6     | VERT. CIRCULATION | 82 SF  |
| 7     | VERT. CIRCULATION | 11 SF  |
| 8     | VERT. CIRCULATION | 83 SF  |
| 9     | VERT. CIRCULATION | 14 SF  |
| TOTAL |                   | 385 SF |

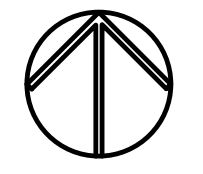


PARKING SQUARE FOOTAGE: 9,709 SF  
 GROSS 10,385 SF  
 - [MECHANICAL 291 SF]  
 - [VERTICAL CIRCULATION 385 SF]  
 NET TOTAL 9,709 SF

NET FIRST FLOOR 7,189 SF  
 NET SECOND FLOOR 2,520 SF

PARKING SPACES REQUIRED: 32  
 9,709 SF / 300 = 32.36

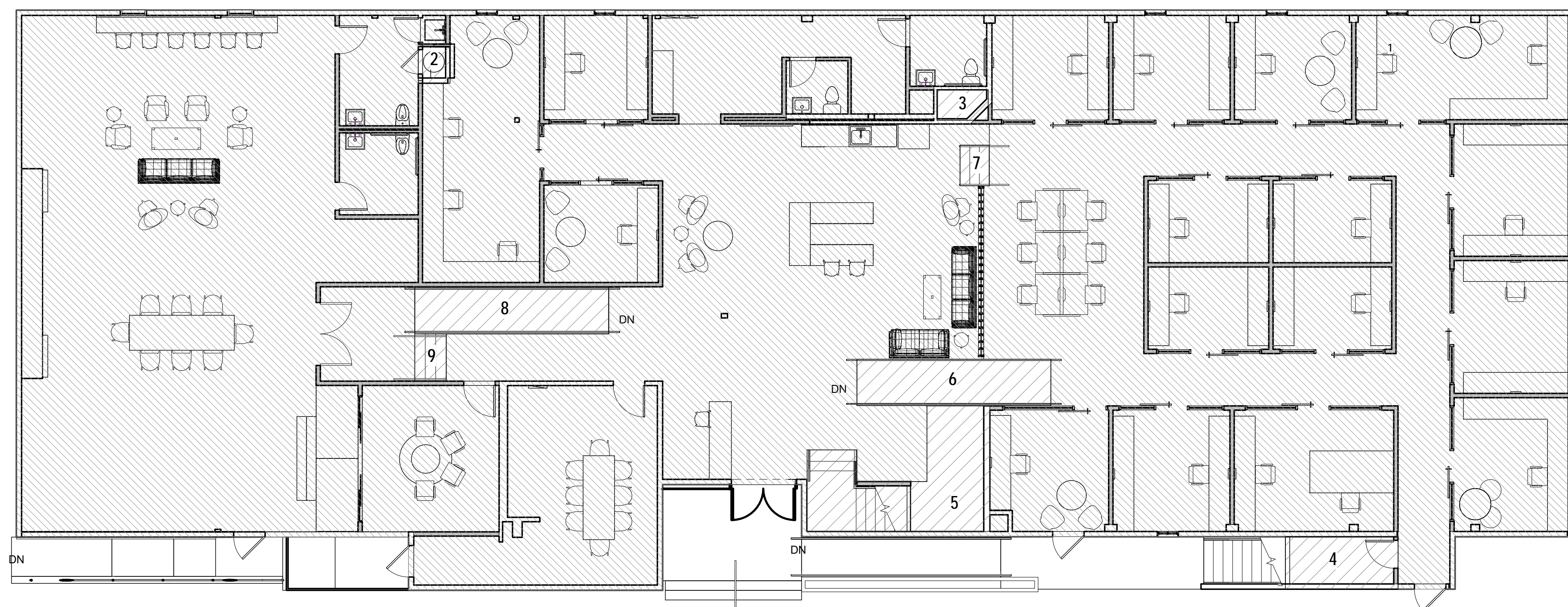
PARKING SPACES PROPOSED: 32  
 18 STANDARD  
 12 COMPACT  
 2 ACCESSIBLE



TRUE NORTH / PROJECT NORTH

1/8" = 1'-0"

1



FIRST FLOOR - SQUARE FOOTAGE DIAGRAM

SQUARE FOOTAGE LEGEND

1/4" = 1'-0"

1/8" = 1'-0"

| NO. | BY | DATE       | DESCRIPTION              |
|-----|----|------------|--------------------------|
| 7   |    | 03/28/2019 | ISSUED FOR PLANNING REV3 |

516 N SEPULVEDA PROJECT

516 N SEPULVEDA BLVD  
 MANHATTAN BEACH, CA 90266

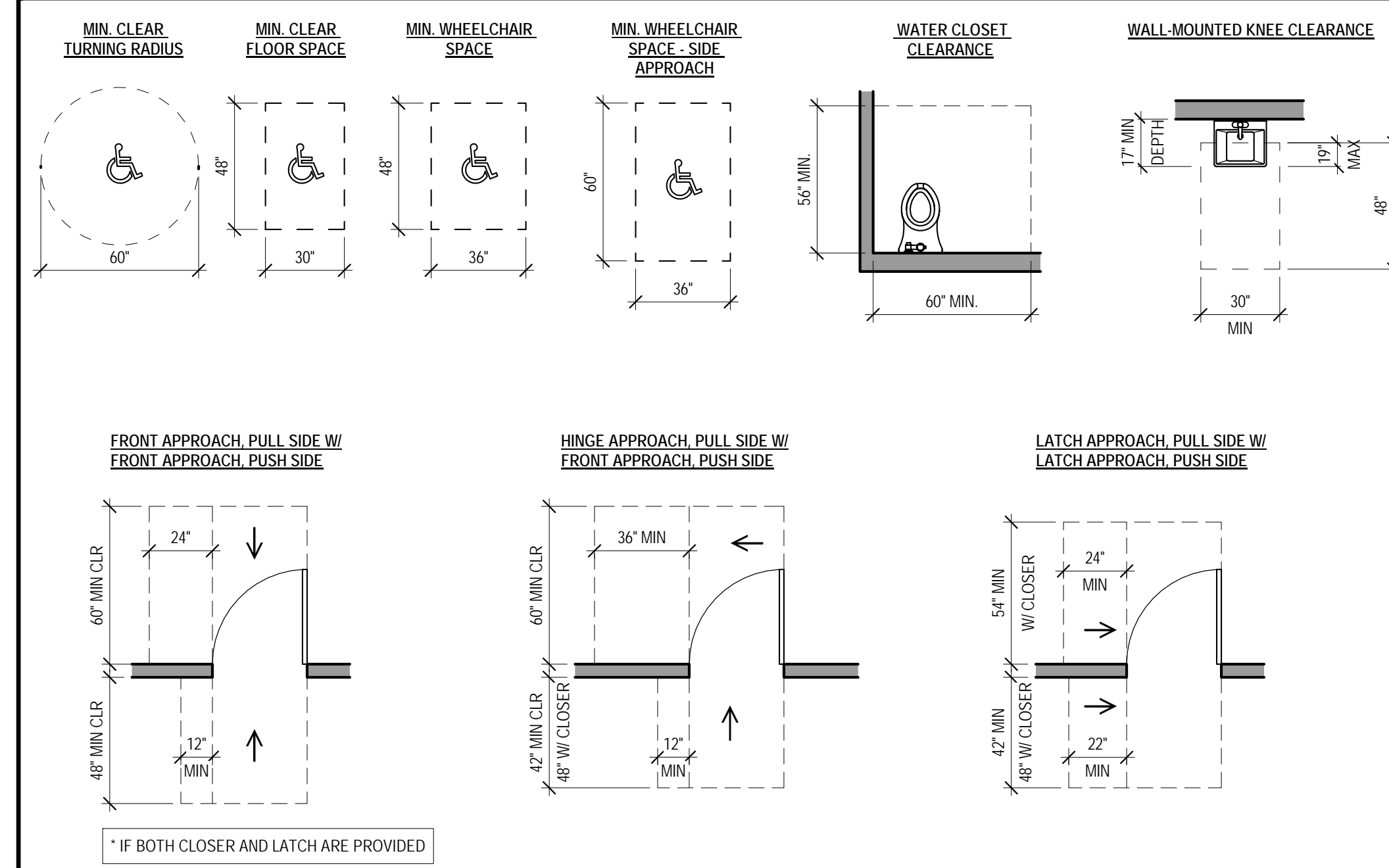
SQUARE FOOTAGE DIAGRAMS

|              |          |
|--------------|----------|
| DRAWN BY:    | AK       |
| REVIEWED BY: | Checker  |
| JOB NO:      | 18116.00 |

G201

ISSUED FOR PLANNING - RESUBMITTAL

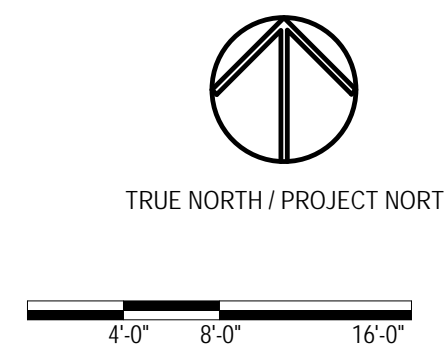
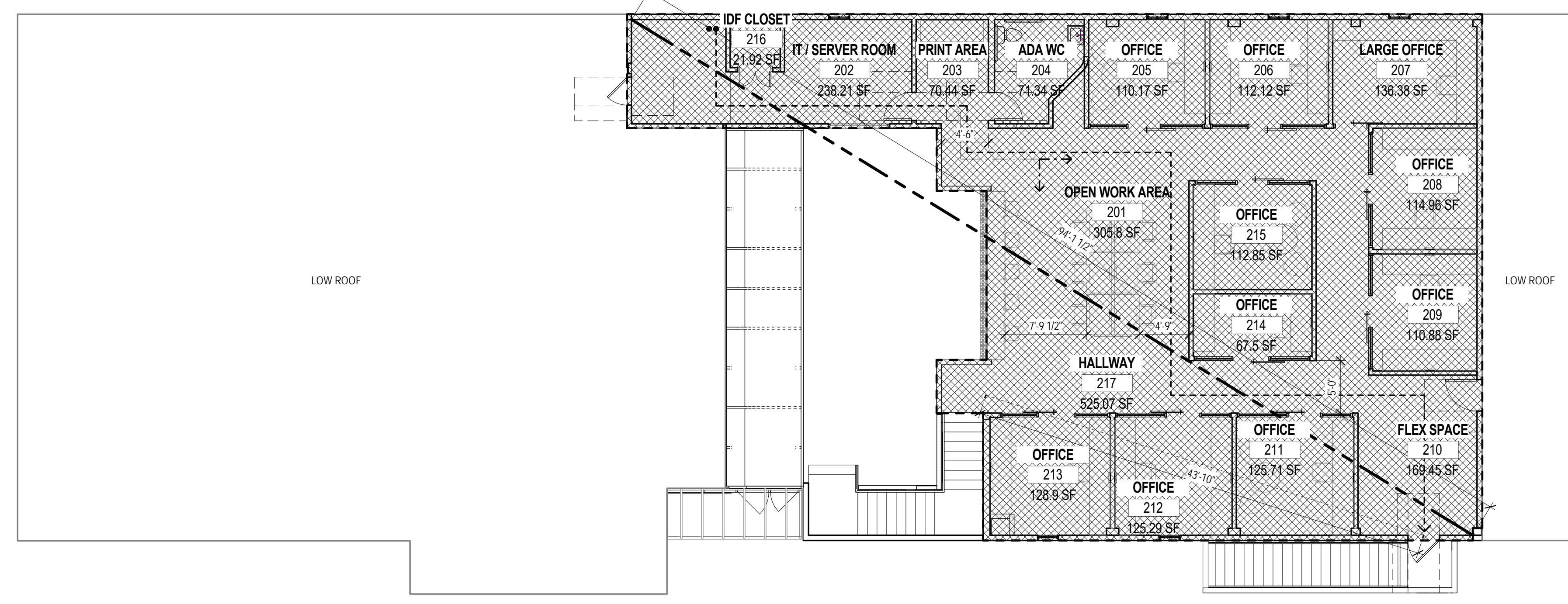
ACCESSIBILITY CLEARANCES (PER 2016 CALIFORNIA BUILDING CODE)



EGRESS PLAN LEGEND

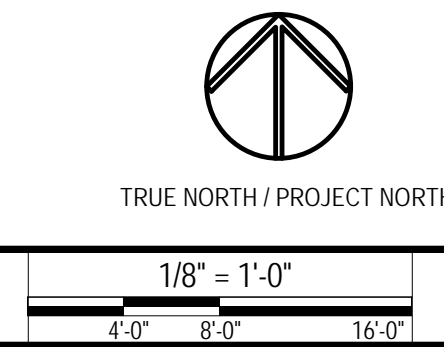
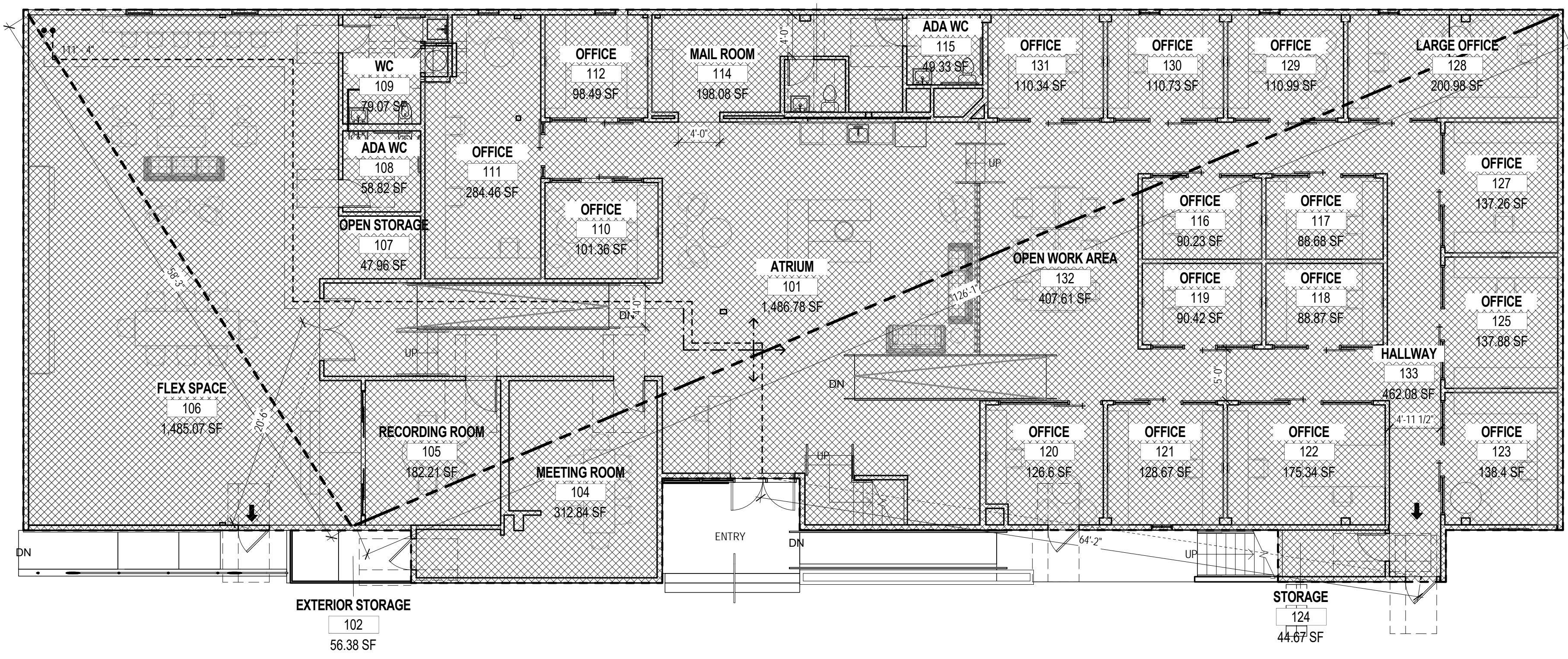
| SYMBOL   | DESCRIPTION  |
|----------|--|
| [Symbol] | NEW PARTITION (FULL HEIGHT)                              |
| [Symbol] | NEW PARTITION (PARTIAL HEIGHT - SEE ELEV. FOR MORE INFO) |
| [Symbol] | EXISTING PARTITION TO REMAIN                             |
| [Symbol] | EXISTING ELEMENT TO REMAIN                               |
| [Symbol] | NEW DOOR   |
| [Symbol] | KEYNOTE  |
| [Symbol] | EMERGENCY EXIT   |
| [Symbol] | EXIT SEPERATION  |
| [Symbol] | DIAGONAL   |
| [Symbol] | MAX TRAVEL DISTANCE                                      |
| [Symbol] | COMMON PATH OF TRAVEL                                    |
| [Symbol] | A-3 ASSEMBLY OCCUPANCY USE                               |
| [Symbol] | B BUSINESS OCCUPANCY USE                                 |

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SECOND FLOOR - EGRESS PLAN

1/8" = 1'-0" 2



FIRST FLOOR - EGRESS PLAN

1/8" = 1'-0" 1

| NO. | BY | DATE       | DESCRIPTION                     |
|-----|----|------------|---------------------------------|
| 6   |    | 09/13/2019 | ISSUED FOR PERMIT - RESUBMITTAL |
| 5   |    | 07/11/2019 | ISSUED FOR PLANNING REV2        |
| 4   |    | 12/20/2019 | ISSUED FOR PERMIT               |
| 3   |    | 10/22/2018 | ISSUED FOR PLANNING REVISIONS   |
| 1   |    | 09/13/2018 | ISSUED FOR PLANNING             |

516 N SEPULVEDA PROJECT

516 N SEPULVEDA BLVD  
 MANHATTAN BEACH, CA 90266

EGRESS PLANS

DRAWN BY: AK  
 REVIEWED BY: LM  
 JOB NO: 18116.00

**G300**  
 ISSUED FOR PLANNING - RESUBMITTAL

**DEMOLITION KEYNOTES**

- ① DEMOLISH EXISTING WALL AND ASSOCIATED COMPONENTS TO THE DECK ABOVE TO THE EXTENT INDICATED ON THE DRAWINGS.
- ② REMOVE PORTION OF EXISTING FLOOR FINISH AND PLATFORM STRUCTURE FOR NEW STAIRS AND RAMPS. CONFIRM DEMO ZONE DIMENSIONS WITH CONSTRUCTION PLAN.
- ③ REMOVE EXISTING STAIRS AND ALL ASSOCIATED COMPONENTS.
- ④ REMOVE EXISTING WAINSCOTTING AND PREP SURFACE FOR NEW FINISH.
- ⑤ REMOVE EXISTING MILLWORK PIECES IN THEIR ENTIRETY.
- ⑥ REMOVE EXISTING PLUMBING FIXTURES AND CAP SERVICE LINE. PIPING TO BE RETROFITTED FOR NEW FIXTURES. SEE PLUMBING.
- ⑦ REMOVE EXISTING RAIL IN ENTIRETY.
- ⑧ SALVAGE SHUFFLE BOARD TABLE FOR REUSE. COORDINATE WITH CONSTRUCTION PLANS.
- ⑨ REMOVE EXISTING ACOUSTICAL CEILING TILES, CEILING GRID, HANGERS, CLIPS & ASSOCIATED COMPONENTS, COMPLETE.
- ⑩ REMOVE NOTED EXISTING GWB AND ASSOCIATED STRUCTURE, COMPLETE. COORDINATE WITH NEW REFLECTED CEILING PLAN.
- ⑪ REMOVE ALL EXISTING KITCHEN EQUIPMENT IN ENTIRETY. DRAIN, CUT, AND CAP PIPE TO KITCHEN AT NEAREST REUSED TEE.
- ⑫ REMOVE EXISTING SOFFIT IN ENTIRETY.
- ⑬ REMOVE EXISTING LIGHT FIXTURE ENTIRETY. SEE ELECTRICAL.
- ⑭ REMOVE EXISTING WINDOW ENTIRETY.

**GENERAL DEMOLITION NOTES**

- 1. THIS DRAWING IS DIAGRAMMATIC AND SHOULD BE USED FOR REFERENCE ONLY.
- 2. ALERT OWNER IMMEDIATELY UPON FINDING ANY EXISTING CONDITIONS DURING DEMO THAT ARE NOT NOTED ON THE DRAWINGS THAT MAY AFFECT CONSTRUCTION AND/OR DESIGN.
- 3. PROTECT ALL EXISTING ADJACENT FINISHES TO REMAIN AT ALL TIMES.
- 4. REMOVE ABANDONED CONDUIT PIPING AND CABLING BACK TO SOURCE IF WITHIN DEMISED PREMISES OR OTHERWISE CAP.
- 5. REMOVE MISCELLANEOUS METAL PLATES PROTRUDING ABOVE CONCRETE FLOOR. CUT FLUSH TO FLOOR.
- 6. COORDINATE DEMOLITION OF WALLS WITH EXISTING EQUIPMENT TO REMAIN.
- 7. REMOVE MECHANICAL, ELECTRICAL, PLUMBING, COMMUNICATION SYSTEMS AND COMPONENTS THAT ARE OBSOLETE OR WILL BE REPLACED BY NEW COMPONENTS.
- 8. REMOVE ABANDONED OR OBSOLETE MISC. ITEMS, STEEL HANGERS & SUPPORTS THROUGHOUT SPACE, INCLUDING ABOVE CEILING.
- 9. PROTECT EXISTING FIREPROOFING.
- 10. MAINTAIN EXISTING BATT INSULATION ON SECOND FLOOR.
- 11. NO STRUCTURAL BEARING OR SHEAR WALLS TO BE REMOVED.

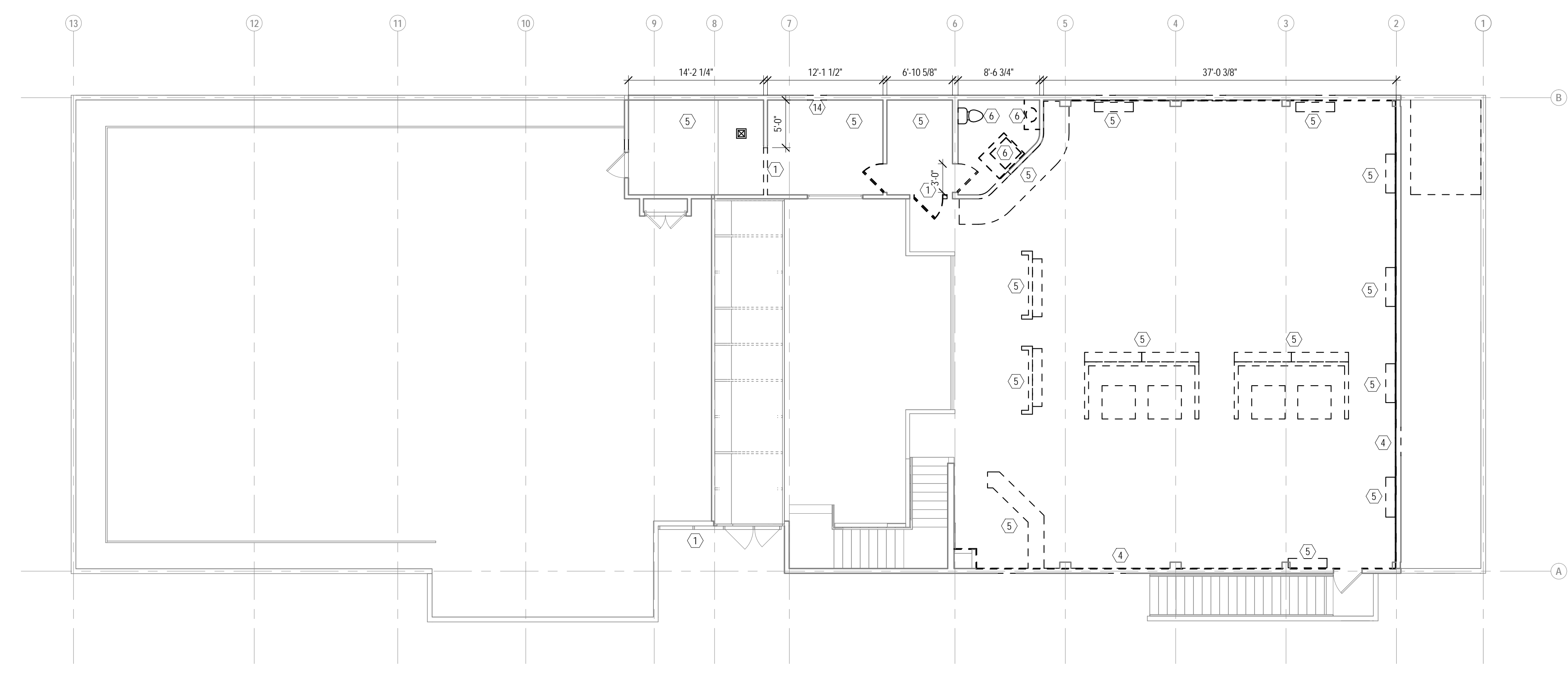
**DEMOLITION PLAN LEGEND**

| SYMBOL | DESCRIPTION   |
|--------|---|
|        | EXISTING PARTITION TO REMAIN  |
|        | EXISTING PARTITION TO BE REMOVED  |
|        | EXISTING DOOR TO BE REMOVED   |
|        | EXISTING ELEMENT TO BE REMOVED  |
|        | ESTIMATED EXTENTS OF CORING OF SLAB FOR UNDERGROUND PLUMBING. TRENCH SLAB AS REQUIRED FOR UNDERGROUND PLUMBING. |
|        | EXISTING RAISED FLOORING TO BE REMOVED.   |

**Bergmeyer**

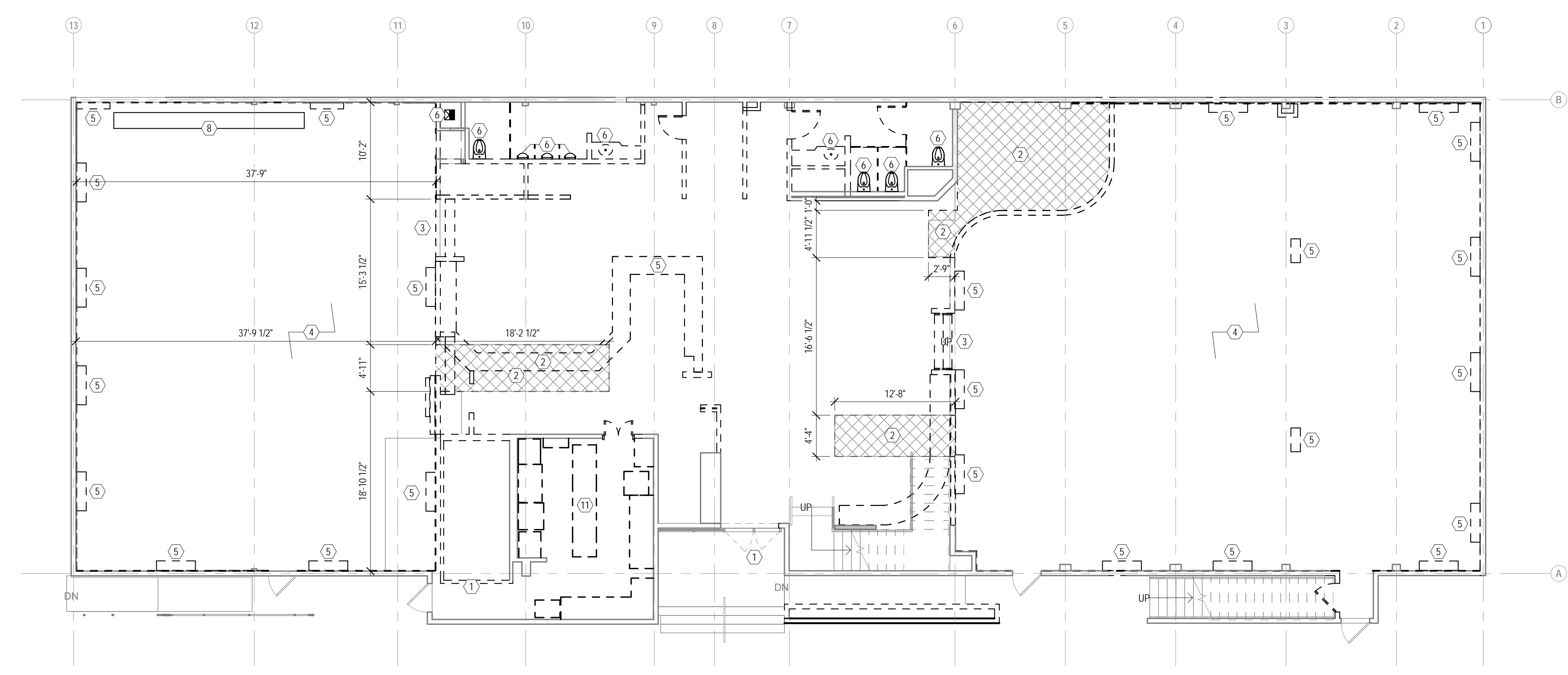
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1/8" = 1'-0"  
4'-0" 8'-0" 16'-0" 2

**SECOND FLOOR - DEMOLITION PLAN**



1/8" = 1'-0"  
4'-0" 8'-0" 16'-0" 1

**FIRST FLOOR - DEMOLITION PLAN**

| NO. | BY | DATE       | DESCRIPTION                     |
|-----|----|------------|---------------------------------|
| 6   |    | 03/13/2019 | ISSUED FOR PERMIT - RESUBMITTAL |
| 5   |    | 01/11/2019 | ISSUED FOR PLANNING REV2        |
| 4   |    | 12/20/2019 | ISSUED FOR PERMIT               |
| 3   |    | 10/22/2018 | ISSUED FOR PLANNING REVISIONS   |
| 2   |    | 10/05/2018 | DEMOLITION PACKAGE              |
| 1   |    | 09/13/2018 | ISSUED FOR PLANNING             |

**516 N SEPULVEDA PROJECT**

516 N SEPULVEDA BLVD  
MANHATTAN BEACH, CA 90266

**DEMOLITION PLANS**

|              |          |
|--------------|----------|
| DRAWN BY:    | EB, AK   |
| REVIEWED BY: | JP, LM   |
| JOB NO.:     | 18116.00 |

AD101

ISSUED FOR PLANNING - RESUBMITTAL

**DEMOLITION KEYNOTES**

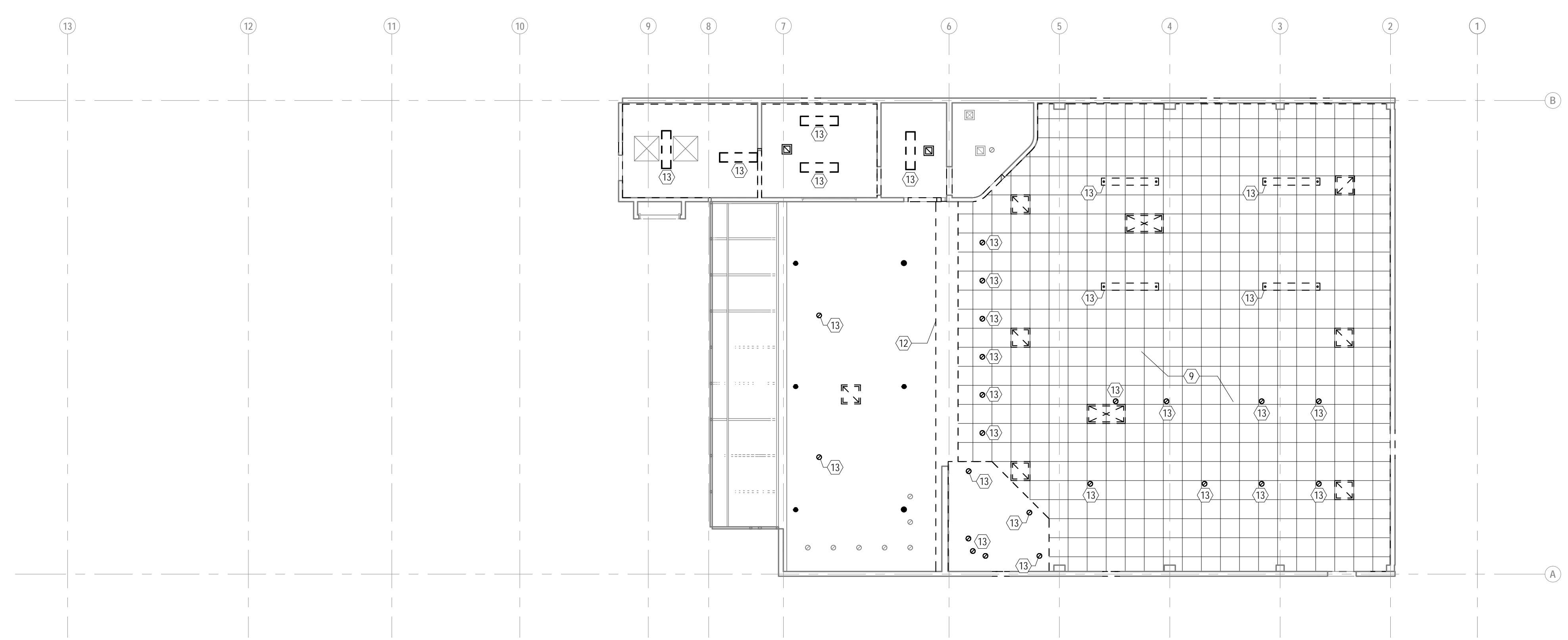
1. DEMOLISH EXISTING WALL AND ASSOCIATED COMPONENTS TO THE DECK ABOVE TO THE EXTENT INDICATED ON THE DRAWINGS.
2. REMOVE PORTION OF EXISTING FLOOR FINISH AND PLATFORM STRUCTURE FOR NEW STAIRS AND RAMPS. CONFIRM DEMO ZONE DIMENSIONS WITH CONSTRUCTION PLAN.
3. REMOVE EXISTING STAIRS AND ALL ASSOCIATED COMPONENTS.
4. REMOVE EXISTING WAINSCOTTING AND PREP SURFACE FOR NEW FINISH.
5. REMOVE EXISTING MILLWORK PIECES IN THEIR ENTIRETY.
6. REMOVE EXISTING PLUMBING FIXTURES AND CAP SERVICE LINE. PIPING TO BE RETROFITTED FOR NEW FIXTURES. SEE PLUMBING.
7. REMOVE EXISTING MILLWORK ENTIRETY.
8. SALVAGE SHUFFLE BOARD TABLE FOR REUSE. COORDINATE WITH CONSTRUCTION PLANS.
9. REMOVE EXISTING ACOUSTICAL CEILING TILES, CEILING GRID, HANGERS, CLIPS & ASSOCIATED COMPONENTS. COMPLETE.
10. REMOVE NOTED EXISTING GWB AND ASSOCIATED STRUCTURE. COMPLETE. COORDINATE WITH NEW REFLECTED CEILING PLAN.
11. REMOVE ALL EXISTING KITCHEN EQUIPMENT IN ENTIRETY. DRAIN, CUT, AND CAP PIPE TO KITCHEN AT NEAREST REUSED TEE.
12. REMOVE EXISTING SOFFIT IN ENTIRETY.
13. REMOVE EXISTING LIGHT FIXTURE ENTIRETY. SEE ELECTRICAL.
14. REMOVE EXISTING WINDOW ENTIRETY.

**GENERAL DEMOLITION NOTES**

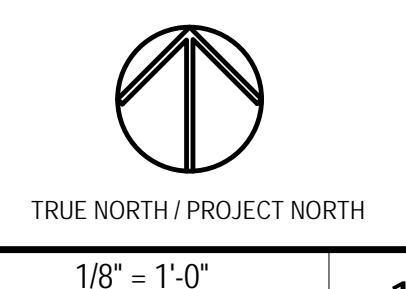
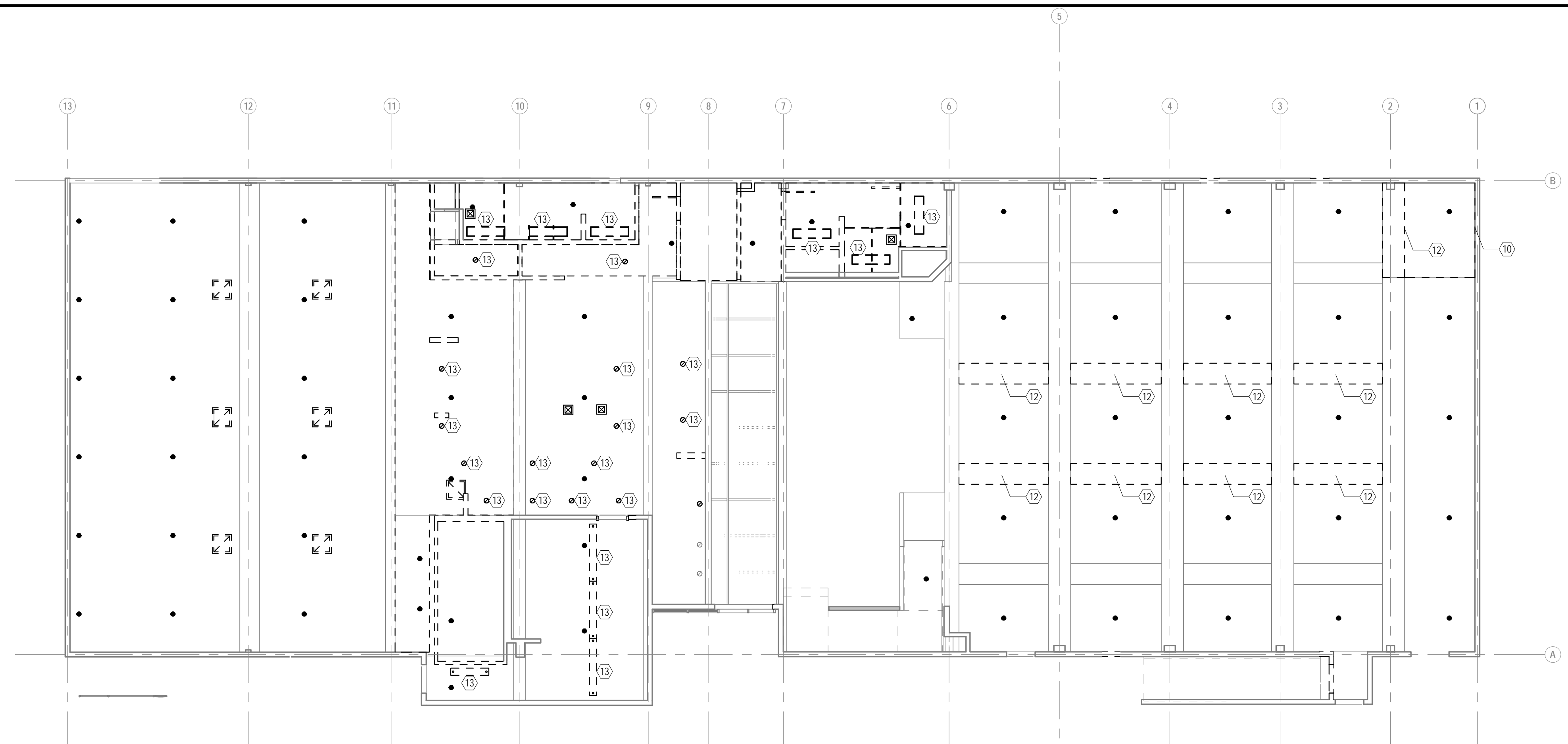
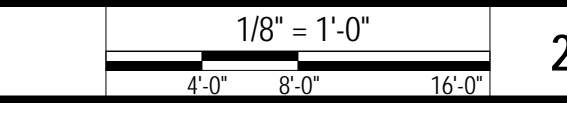
1. THIS DRAWING IS DIAGRAMMATIC AND SHOULD BE USED FOR REFERENCE ONLY.
2. ALERT OWNER IMMEDIATELY UPON FINDING ANY EXISTING CONDITIONS DURING DEMO THAT ARE NOT NOTED ON THE DRAWINGS THAT MAY AFFECT CONSTRUCTION AND/OR DESIGN.
3. PROTECT ALL EXISTING ADJACENT FINISHES TO REMAIN AT ALL TIMES.
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8. REMOVE ABANDONED OR OBSOLETE MISC. ITEMS, STEEL HANGERS & SUPPORTS THROUGHOUT SPACE, INCLUDING ABOVE CEILING.
9. PROTECT EXISTING FIREPROOFING.
10. MAINTAIN EXISTING BATT INSULATION ON SECOND FLOOR.

**DEMOLITION PLAN LEGEND**

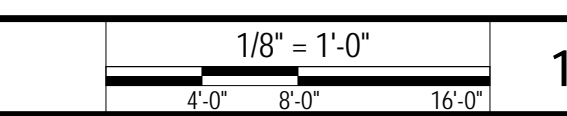
| SYMBOL | DESCRIPTION   |
|--------|---|
|        | EXISTING PARTITION TO REMAIN  |
|        | EXISTING PARTITION TO BE REMOVED  |
|        | EXISTING DOOR TO BE REMOVED   |
|        | EXISTING ELEMENT TO BE REMOVED  |
|        | ESTIMATED EXTENTS OF CORING OF SLAB FOR UNDERGROUND PLUMBING. TRENCH SLAB AS REQUIRED FOR UNDERGROUND PLUMBING. |
|        | EXISTING RAISED FLOORING TO BE REMOVED.   |



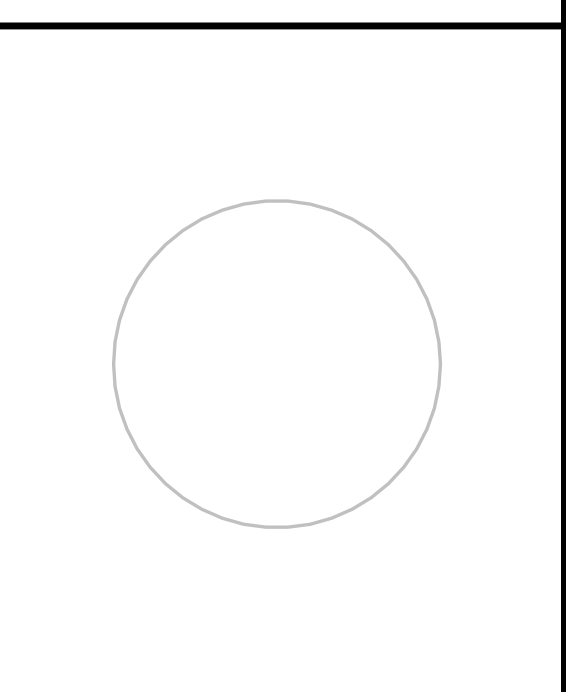
**SECOND FLOOR - DEMO REFLECTED CEILING PLAN**



**FIRST FLOOR - DEMO REFLECTED CEILING PLAN**



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| 5   |    | 07/11/2019 | ISSUED FOR PLANNING REV2        |
| 4   |    | 12/20/2019 | ISSUED FOR PERMIT               |
| 3   |    | 10/22/2018 | ISSUED FOR PLANNING REVISIONS   |
| 2   |    | 10/05/2018 | DEMOLITION PACKAGE              |
| 1   |    | 09/13/2018 | ISSUED FOR PLANNING             |

**516 N SEPULVEDA PROJECT**

516 N SEPULVEDA BLVD  
 MANHATTAN BEACH, CA 90266

**DEMOLITION RCP**

DRAWN BY: AK  
 REVIEWED BY: LM  
 JOB NO: 18116.00

**AD102**  
 ISSUED FOR PLANNING - RESUBMITTAL



CURRENT SOUTH FACADE



CURRENT SOUTH FACADE



CURRENT SOUTH FACADE



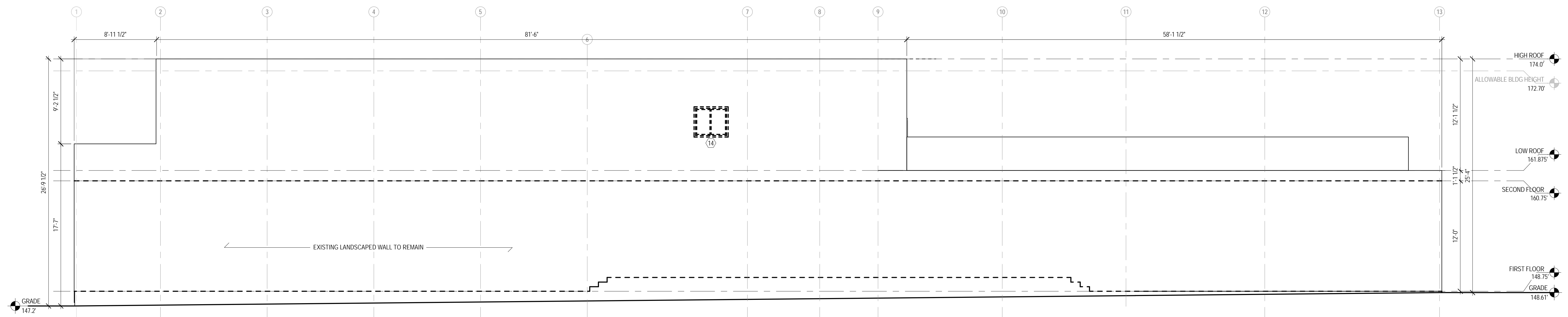
CURRENT SOUTH FACADE



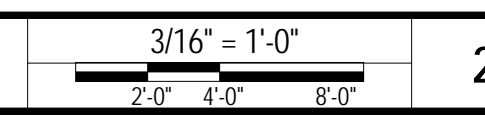
CURRENT WEST FACADE



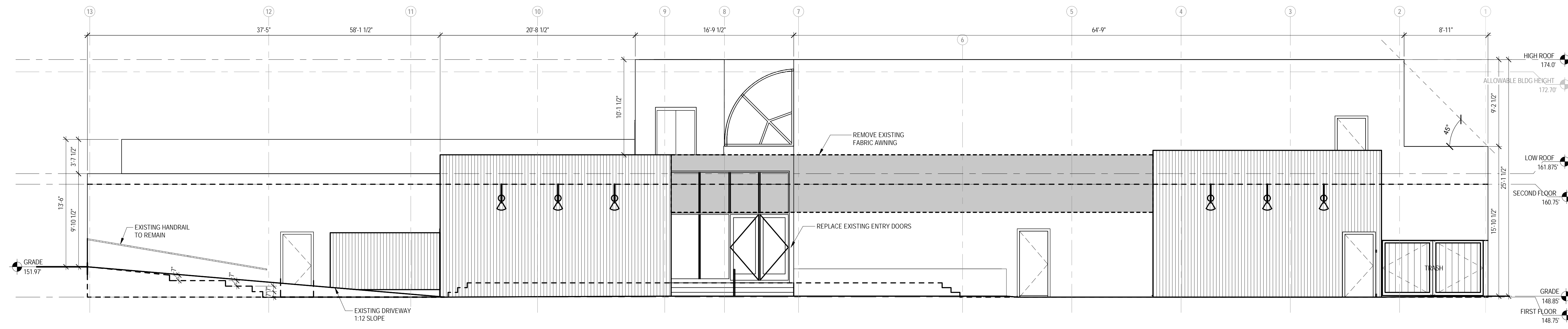
CURRENT NORTH FACADE



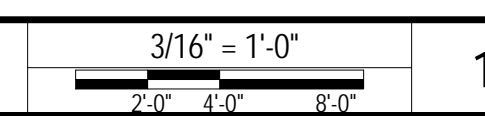
ELEVATION\_EXTERIOR NORTH - EXISTING



2



ELEVATION\_EXTERIOR SOUTH - EXISTING

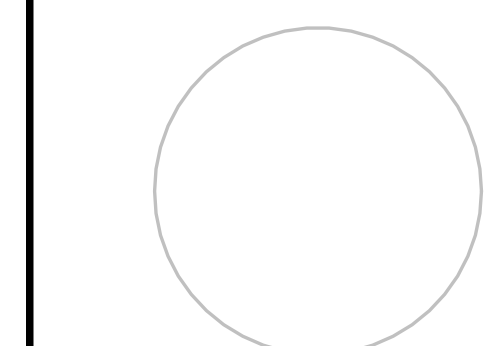


1

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| 6   |    | 09/13/2019 | ISSUED FOR PERMIT - RESUBMITTAL |
| 5   |    | 01/11/2019 | ISSUED FOR PLANNING REV2        |
| 4   |    | 12/20/2019 | ISSUED FOR PERMIT REVISIONS     |
| 3   |    | 10/22/2018 | ISSUED FOR PLANNING REVISIONS   |
| 1   |    | 09/13/2018 | ISSUED FOR PLANNING             |

516 N SEPULVEDA PROJECT

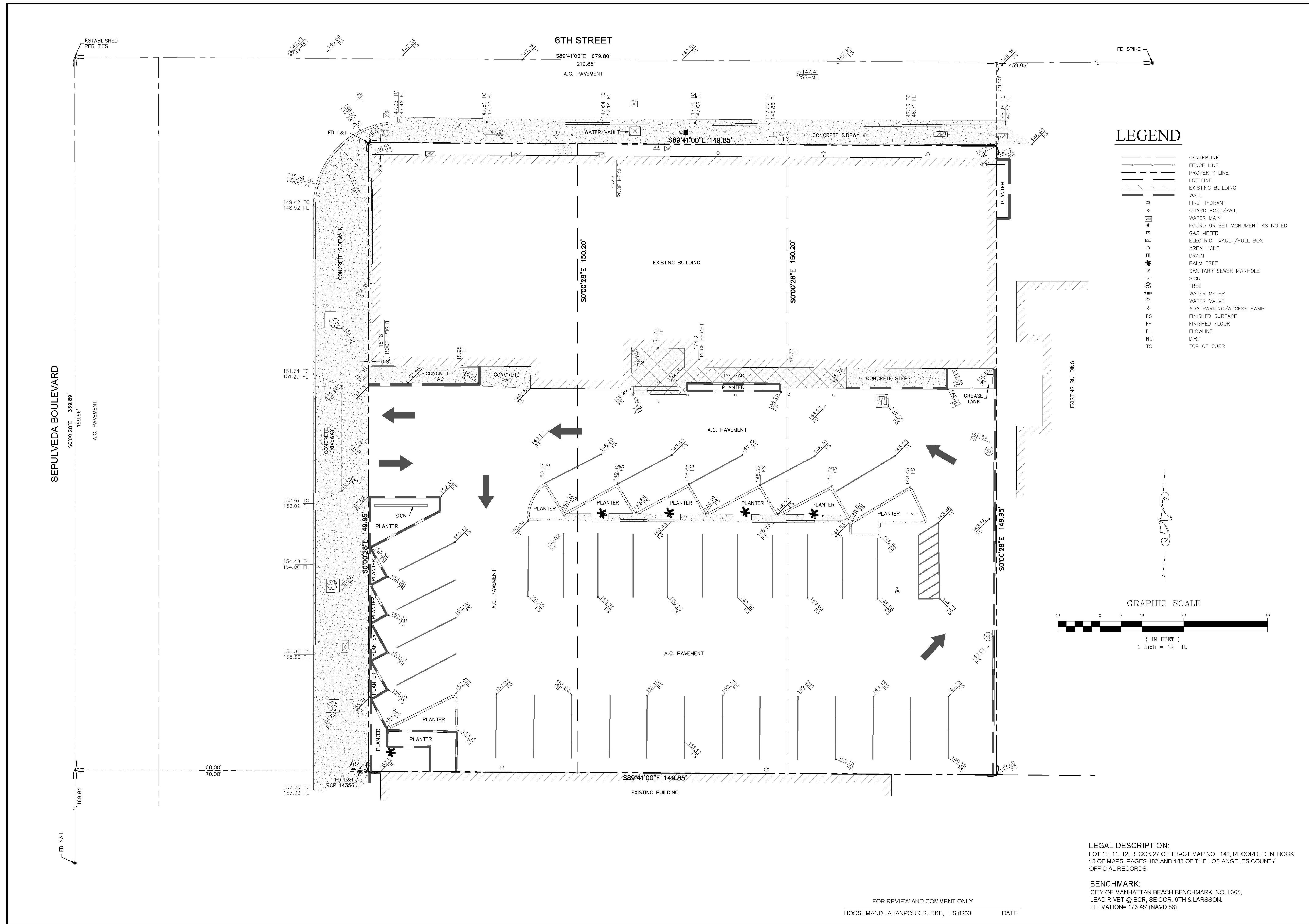
516 N SEPULVEDA BLVD  
MANHATTAN BEACH, CA 90266

DEMOLITION EXTERIOR ELEVATIONS

DRAWN BY: AK  
REVIEWED BY: LM  
JOB NO: 18116.00

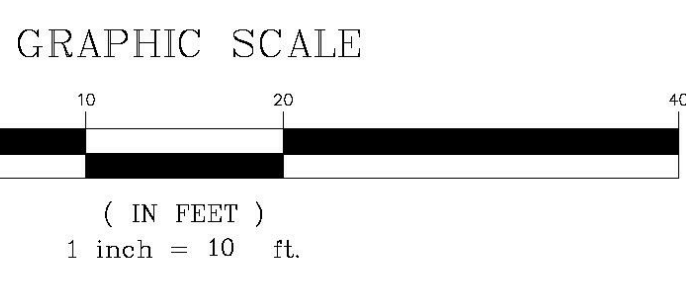
**AD103**  
ISSUED FOR PLANNING - RESUBMITTAL

4/22/2019 3:05:01 PM I:\bms04070\user\Documents\516\_Manhattan Beach\_01\_aka04.rvt



**LEGEND**

- CENTERLINE
- - - FENCE LINE
- PROPERTY LINE
- LOT LINE
- EXISTING BUILDING WALL
- FIRE HYDRANT
- GUARD POST/RAIL
- WATER MAIN
- FOUND OR SET MONUMENT AS NOTED
- GAS METER
- ELECTRIC VAULT/PULL BOX
- AREA LIGHT
- DRAIN
- PALM TREE
- SANITARY SEWER MANHOLE
- SIGN
- TREE
- WATER METER
- WATER VALVE
- ADA PARKING/ACCESS RAMP
- FINISHED SURFACE
- FINISHED FLOOR
- FLOWLINE
- DIRT
- NG
- TC
- TOP OF CURB

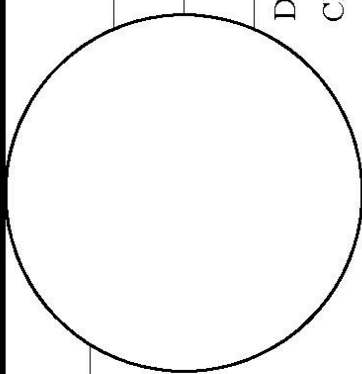


**LEGAL DESCRIPTION:**  
 LOT 10, 11, 12, BLOCK 27 OF TRACT MAP NO. 142, RECORDED IN BOOK 13 OF MAPS, PAGES 182 AND 183 OF THE LOS ANGELES COUNTY OFFICIAL RECORDS.

**BENCHMARK:**  
 CITY OF MANHATTAN BEACH BENCHMARK NO. L365, LEAD RIVET @ BCR, SE COR. 6TH & LARSSON, ELEVATION= 173.45' (NAVD 88)

FOR REVIEW AND COMMENT ONLY  
 HOOSHMAND JAHANPOUR-BURKE, LS 8230 DATE

|   |  |                               |  |
|---|--|-------------------------------|--|
| TOPOGRAPHIC SURVEY  |  | APPROVED BY:                  |  |
| <b>516 NORTH SEPULVEDA BLVD<br/>MANHATTAN BEACH, CALIFORNIA</b>               |  | DATE                          |  |
| <b>H.J. BURKE, INC.</b>   |  | REVISIONS                     |  |
| 830 S. DUFANGO DR., # 100, LAS VEGAS, NEVADA 89145                            |  | DATE                          |  |
| T: (810) 633-1213 T: (702) 452-8783 F: (702) 862-8876 EMAIL: info@hjburke.com |  | DATE OF SURVEY: 05-21-2018    |  |
| DRAWN BY: AMIN  |  | DWG. NAME: 516 SEPULVEDA BLVD |  |
| CHECKED BY: JOHN  |  | DATE OF SURVEY: 05-21-2018    |  |



| NO. | BY | DATE       | DESCRIPTION                     |
|-----|----|------------|---------------------------------|
| 6   |    | 09/13/2019 | ISSUED FOR PERMIT - RESUBMITTAL |
| 5   |    | 01/11/2019 | ISSUED FOR PLANNING REV2        |
| 4   |    | 12/20/2019 | ISSUED FOR PERMIT               |
| 3   |    | 10/22/2018 | ISSUED FOR PLANNING REVISIONS   |
| 1   |    | 09/13/2018 | ISSUED FOR PLANNING             |

516 N SEPULVEDA BLVD  
 MANHATTAN BEACH, CA 90266

EXISTING TOPOGRAPHIC SURVEY

|              |                |
|--------------|----------------|
| DRAWN BY:    | HJ BURKE, INC. |
| REVIEWED BY: | Checker        |
| JOB NO:      | 18116.00       |

**A000**  
 ISSUED FOR PLANNING - RESUBMITTAL



**PARKING REQUIREMENT**

1 PARKING SPACES REQUIRED PER 300 SF  
 BUILDING SQ.FT.: 9,709 SF TOTAL  
 FIRST FLOOR: 7,189 SF  
 SECOND FLOOR: 2,520 SF

9,709 SF / 300 SF = 32.36 PARKING SPACES REQUIRED

**PARKING SPACES PROPOSED:**  
 18 STANDARD  
 12 COMPACT  
 2 ACCESSIBLE

**PROPERTY DATA**

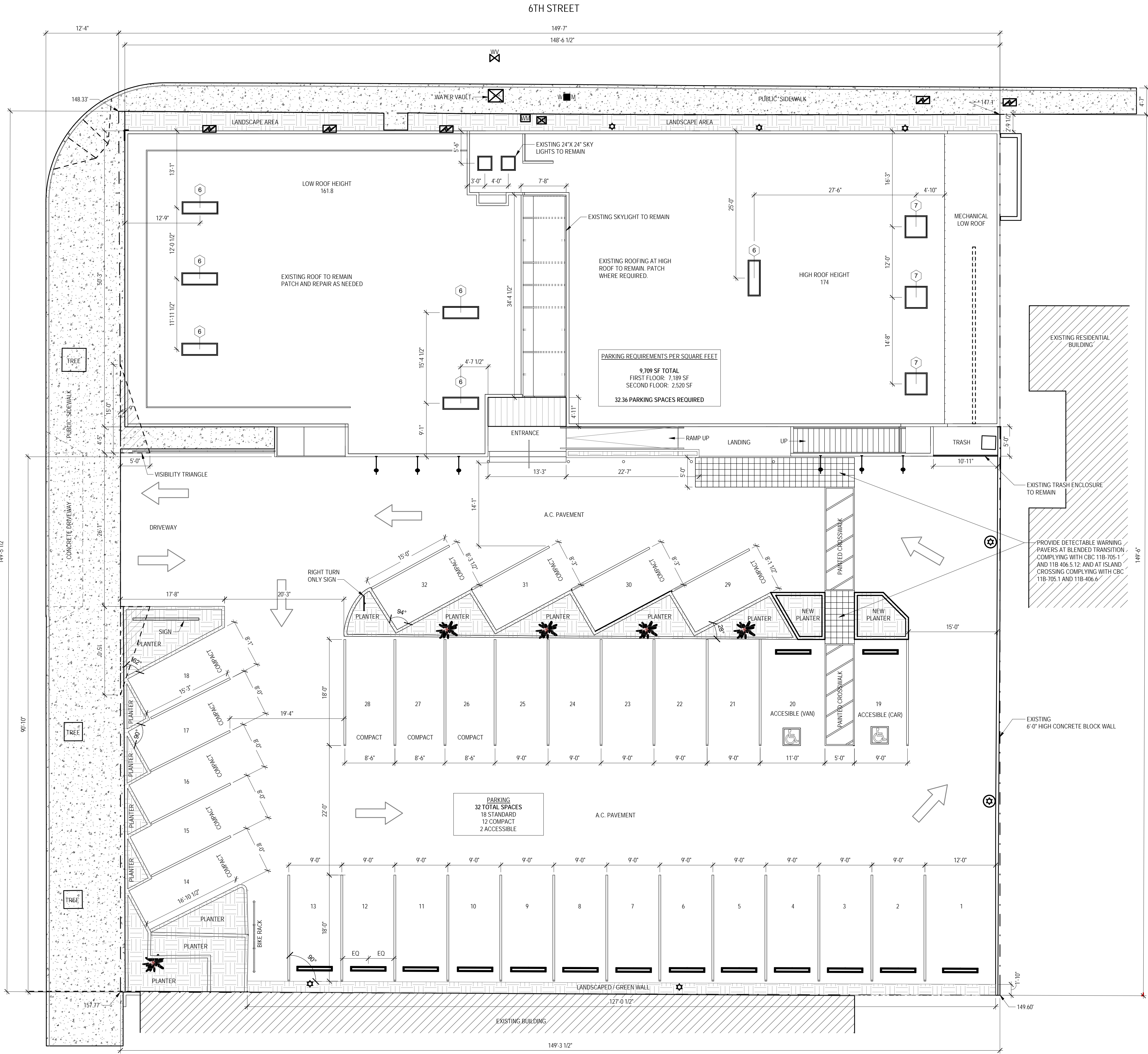
LOT AREA: 22,519 sq.ft.  
 ZONING: COMMERCIAL GENERAL (CG)  
 GENERAL PLAN: GENERAL COMMERCIAL (CG)

**LEGAL DESCRIPTION:**  
 LOT 10, 11, 12, BLOCK 27 OF TRACT MAP NO. 142, RECORDED IN BOOK 13 OF MAPS, PAGES 182 AND 183 OF THE LOS ANGELES COUNTY OFFICIAL RECORDS. LOT 10, 11, 12, BLOCK 27 OF TRACT MAP NO. 142, RECORDED IN BOOK 13 OF MAPS, PAGES 182 AND 183 OF THE LOS ANGELES COUNTY OFFICIAL RECORDS.

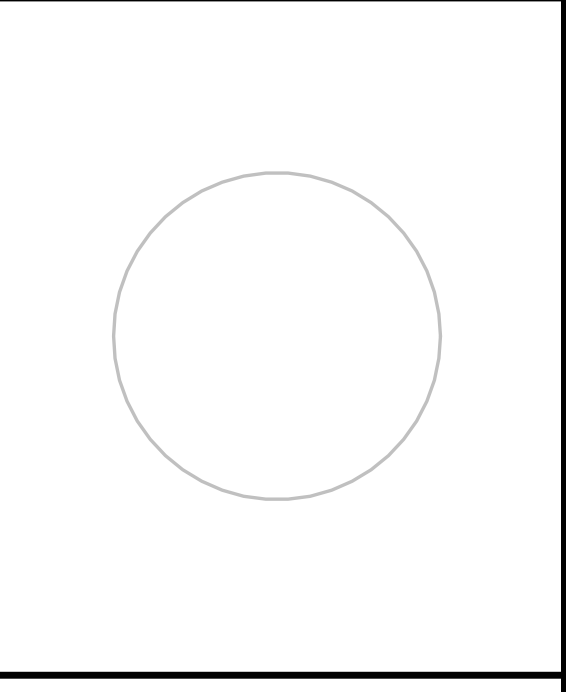
**LANDSCAPE AREA PLANNING**  
 EXISTING LANDSCAPE AREA: 1,874 SQ.FT., 8.32% OF TOTAL LOT  
 PROPOSED LANDSCAPE AREA: 1,685 SQ.FT., 7.48% OF TOTAL LOT

**SITE PLAN LEGEND**

- CENTERLINE
- FENCE LINE
- PROPERTY LINE
- NEW LANDSCAPE WALL
- LANDSCAPED AREA
- PALM TREE
- WATER VALVE
- WATER METER
- WATER MAIN
- GAS METER
- AREA LIGHT
- EXTERIOR DECORATIVE LIGHT
- ELECTRICAL VAULT/PULL BOX
- GUARD POST
- WHEEL/TIRE STOP
- SKYLIGHT TAG



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| NO. | BY | DATE       | DESCRIPTION                     |
|-----|----|------------|---------------------------------|
| 6   |    | 09/13/2019 | ISSUED FOR PERMIT - RESUBMITTAL |
| 5   |    | 01/11/2019 | ISSUED FOR PLANNING REV2        |
| 4   |    | 12/20/2019 | ISSUED FOR PERMIT               |
| 3   |    | 10/22/2018 | ISSUED FOR PLANNING REVISIONS   |
| 1   |    | 09/13/2018 | ISSUED FOR PLANNING             |

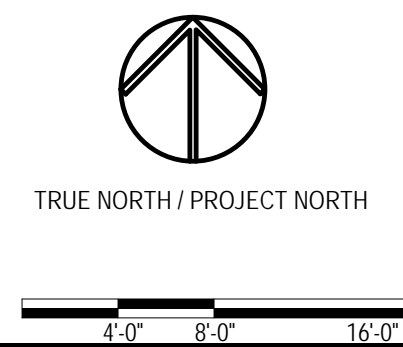
516 N SEPULVEDA PROJECT

516 N SEPULVEDA BLVD  
 MANHATTAN BEACH, CA 90266

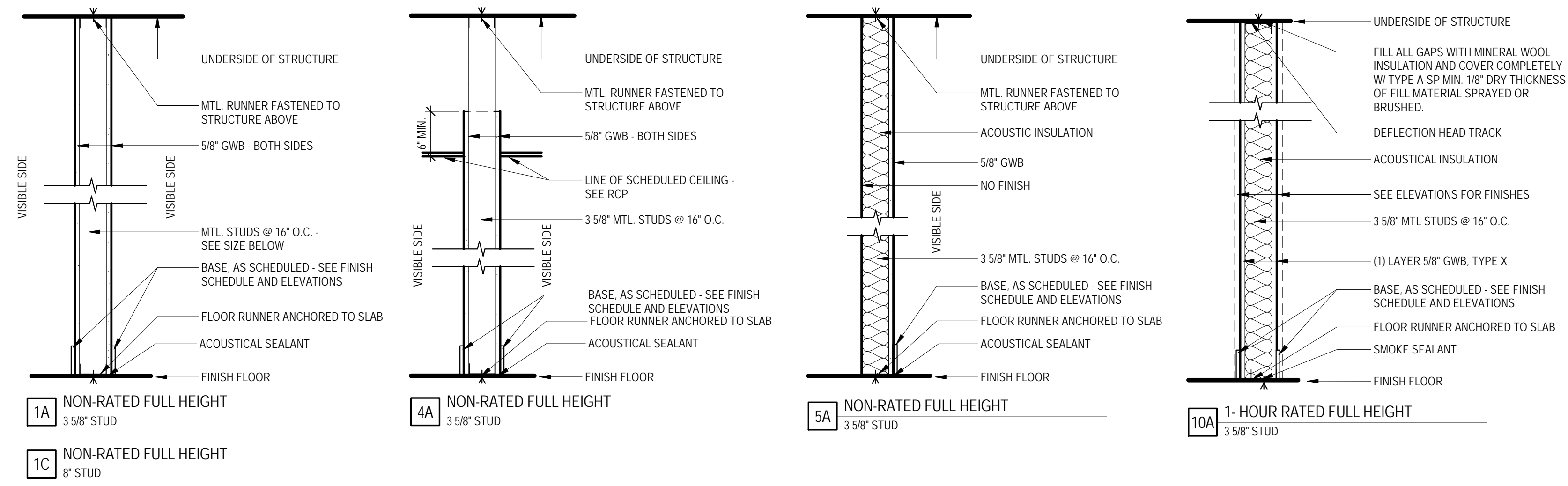
SITE PLAN & ROOF PLAN

DRAWN BY: AK, S.L.P.  
 REVIEWED BY: LM, MD  
 JOB NO: 18116.00

**A001**  
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**PARTITION TYPES**



NOTE: SEE STRUCTURAL DRAWINGS (SHEET S3.0) FOR PARTITION CONNECTION & FASTENER INFORMATION.

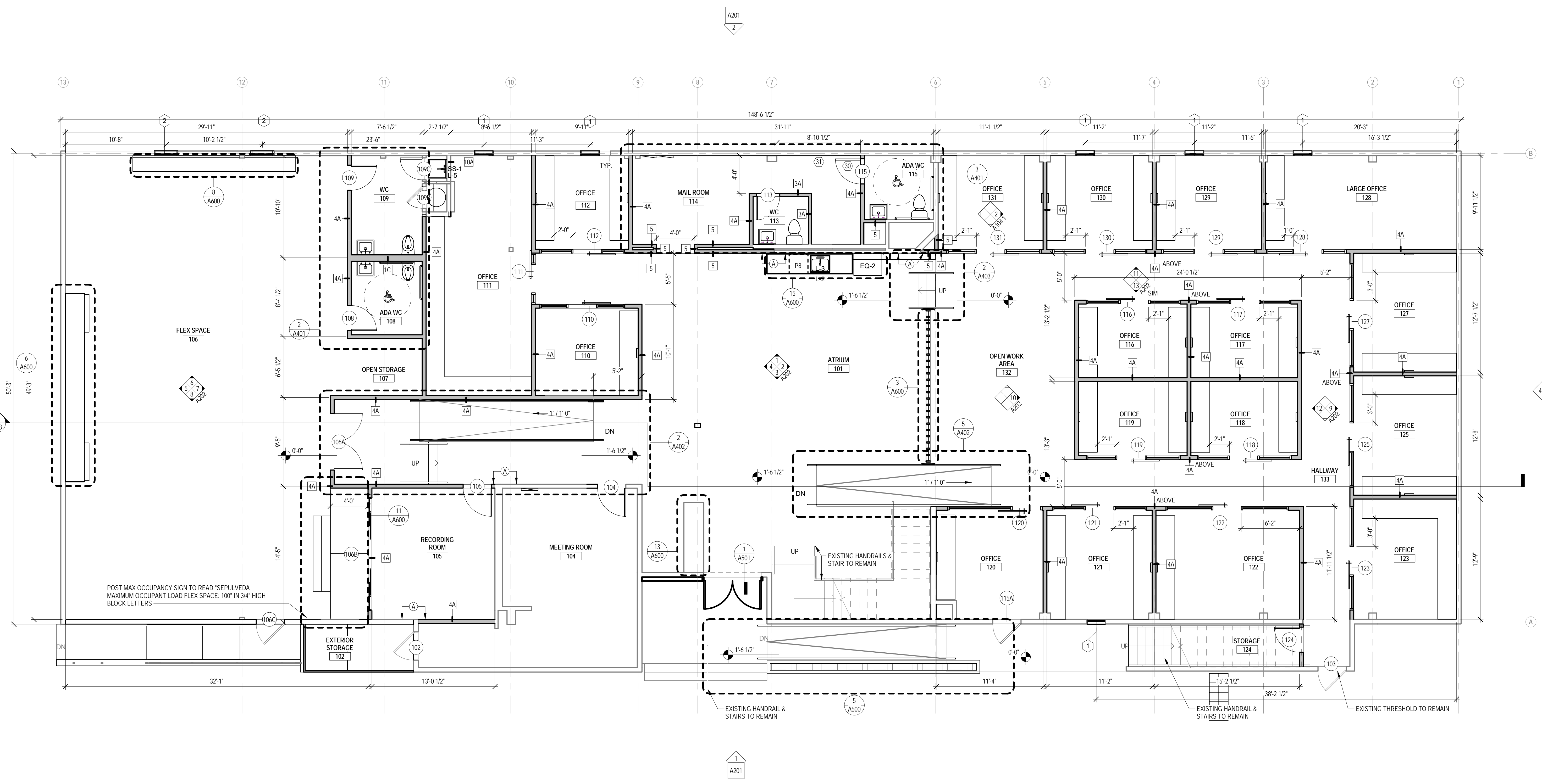
**GENERAL NOTES**

- WORK TO BE BY G.C. U.O.N.
- WORK SHALL COMPLY WITH FEDERAL, STATE AND LOCAL BUILDING CODES AND REGULATIONS.
- G.C. IS RESPONSIBLE FOR MAINTAINING THE FIRE RATING INTEGRITY AT DEMISING AND FIRE RATED WALLS, EXISTING COLUMNS, AS WELL AS AT THE FLOOR AND FLOOR/ROOF ASSEMBLY ABOVE. VERIFY APPLICABLE CONDITIONS IN FIELD.
- CONTRACTORS SHALL FIELD VERIFY CONDITIONS AND DIMENSIONS THAT IMPACT WORK PRIOR TO START OF CONSTRUCTION.
- CONFLICTS BETWEEN SITE CONDITIONS AND DRAWINGS SHALL BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE ARCHITECT/DISIGNER.
- DIMENSIONS ARE TO BE TO FACE OF SHEATHING. U.O.N. APPLIED MATERIALS ARE TO BE APPLIED AFTER THE FINISH DIMENSIONS HAVE BEEN CONFIRMED.
- DRAWINGS ARE NOT TO BE SCALED. VERIFY ANY MISSING OR CONFLICTING WRITTEN DIMENSIONS WITH THE ARCHITECT/DISIGNER PRIOR TO CONSTRUCTION.
- NOTIFY ARCHITECT OF CONDITIONS WHERE CLEAR OR CRITICAL DIMENSIONS ARE DESIGNATED BUT CANNOT BE MET OR WHERE CORRIDOR/AISLE WIDTH CANNOT MEET THE MINIMUM REQUIREMENT.
- MAINTAIN FINISH FLOOR BASE ELEVATION THROUGHOUT THE CONTRACT AREA SUCH THAT DIMENSIONS INDICATED AS ABOVE FINISH FLOOR ARE AT THE SAME ELEVATION.
- G.C. TO VERIFY THAT EXISTING DEMISING WALLS ARE PLUMB. IF NOT, G.C. TO PROVIDE AND INSTALL FURRING AND GWB TO MAKE PLUMB.
- G.C. SHALL SUPPLY FIELD CONDITIONS AND DIMENSIONS TO THE ARCHITECT, MILLWORKER, OWNER AND OWNER'S CONTRACTORS.
- G.C. RESPONSIBLE FOR PREPARATION WORK REQUIRED TO INSTALL NEW FLOORING TO MANUFACTURER'S SPECIFICATIONS.
- G.C. TO COORDINATE WITH OWNER'S VENDORS TO ALLOW FOR PROPER INSTALLATION OF OWNER SUPPLIED ITEMS. G.C. TO SCHEDULE DELIVERY/INSTALLATION DATES AT THE BEGINNING OF THE JOB TO GUARANTEE COMPLIANCE WITH CONSTRUCTION SCHEDULE.
- TEMPERED GLASS TO BE USED IN LOCATIONS AS REQUIRED BY CODE.
- ALIGN CENTERLINES OF FIRE EXTINGUISHERS AND MEP-PP DEVICES ON WALLS IN THE SAME LOCATION.
- COLUMN LABELS ARE USED FOR INFORMATIONAL PURPOSES ONLY AND MAY DIFFER FROM ORIGINAL BASE BUILDING DRAWINGS.
- DOORS HINGE SIDE TO BE 4" FROM WALL, U.O.N.
- ALL BARRICADES ARE TO BE REMOVED ONCE WORK IN THE AREA IT SERVES IS COMPLETE.
- ALL WOOD BLOCKING, FRAMING, PLYWOOD, SUBFLOORS, ETC., TO BE FIRE TREATED (DESIGNATED F.R.T.)
- OWNER AND ARCHITECT TO BE NOTIFIED AFTER FLOOR/WALL LAYOUT FOR REVIEW PRIOR TO CONSTRUCTION.
- REFER TO K-SHEETS, P-SHEETS AND THE CURB & FOUNDATION PLAN FOR FLOOR DRAINS, FLOOR SINKS, AND DEPRESSION LOCATIONS.
- FIRE EXTINGUISHERS SUPPLIED BY G.C.; PROVIDE FIRE EXTINGUISHERS IN QUANTITIES AND LOCATIONS AS REQUIRED BY CODE AND AUTHORITY HAVING JURISDICTION. REVIEW ADDITIONAL OR ALTERED LOCATIONS WITH THE ARCHITECT/DISIGNER PRIOR TO INSTALLATION.
- ALL FLOOR, EXTERIOR WALL, FOUNDATION WALL AND ROOF PENETRATIONS TO BE SLEEVED AND WATERPROOFED.
- ALL FLOOR AND WALL PENETRATIONS THROUGH RATED ASSEMBLIES TO BE FIRE SEALED AS REQUIRED TO ACHIEVE A FIRE RESISTANCE RATING EQUAL TO THE RATED ASSEMBLY IN WHICH THE PENETRATION OCCURS.
- G.C. TO PATCH AND REPAIR ALL REMAINING EXISTING WALLS AND PREP THEM TO RECEIVE FINISHES.
- TAPE, SAND, AND PAINT ONLY AT WALLS BEHIND WALK IN COOLERS, FREEZERS.
- G.C. TO SUBMIT TO OWNER (1) HARD COPY AND (1) ELECTRONIC COPY OF THE OPERATION AND MAINTENANCE MANUAL.
- G.C. TO CUT NEW RAMPS AND NEW STAIRS INTO EXISTING RAISED WOOD PLATFORM.
- ALL NEW RAILINGS TO BE MT-01 FINISH U.O.N. BLACK PATINA FINISH, NO SHARP EDGES.
- G.C. TO PROVIDE TITLE 24 REQUIRED ALL-GENDER TOILET SIGNAGE ON EACH WATER CLOSET DOOR, ONE WALL-MOUNTED GEOMETRIC DOOR SIGN AND ONE WALL-MOUNTED SIGN PER DOOR.
- INSTALL ADA NARROW JAMB SWITCH.
- HARDWOOD PLYWOOD, PARTICLEBOARD AND MEDIUM DENSITY FIBERBOARD COMPOSITE WOOD PRODUCTS USED ON THE INTERIOR OR EXTERIOR OF THE BUILDING SHALL MEET THE REQUIREMENTS FOR FORMALDEHYDE AS SPECIFIED IN CDC TABLE 5.504.4.5.

**CONSTRUCTION PLAN LEGEND**

| SYMBOL   | DESCRIPTION   |
|----------|---|
| [Symbol] | NEW PARTITION (FULL HEIGHT)                               |
| [Symbol] | NEW PARTITION (PARTIAL HEIGHT - SEE ELEV. FOR MORE INFO)  |
| [Symbol] | EXISTING PARTITION TO REMAIN                              |
| [Symbol] | EXISTING ELEMENT TO REMAIN                                |
| [Symbol] | NEW DOOR  |
| [Symbol] | EXISTING DOOR   |
| [Symbol] | DOOR TAG. SEE SHEET A301 FOR DOOR SCHEDULE.               |
| [Symbol] | KEYNOTE   |
| [Symbol] | WALL PARTITION TAG. SEE SHEET A301 FOR PARTITION DETAILS. |
| [Symbol] | WINDOW TAG. SEE SHEET A301 FOR WINDOW SCHEDULE.           |
| [Symbol] | FIRE EXTINGUISHER   |
| [Symbol] | ALIGN   |

**Bergmeyer**  
 Architecture and Interiors  
 Bergmeyer Associates, Inc.  
 81 Gillespie Street  
 Boston, MA 02210  
 Phone: 617.452.1025  
 Fax: 617.452.1026  
 www.bergmeyer.com



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| 5   |    | 01/11/2019 | ISSUED FOR PLANNING REV2        |
| 4   |    | 12/20/2019 | ISSUED FOR PERMIT               |
| 3   |    | 10/22/2018 | ISSUED FOR PLANNING REVISIONS   |
| 1   |    | 09/13/2018 | ISSUED FOR PLANNING             |

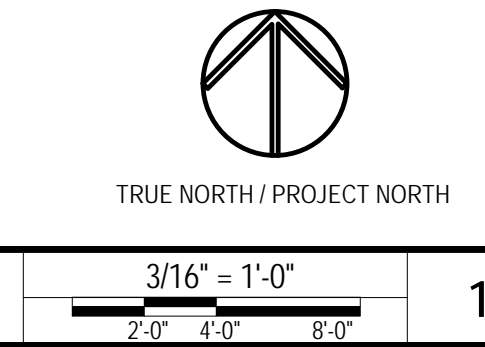
**516 N SEPULVEDA PROJECT**

516 N SEPULVEDA BLVD  
 MANHATTAN BEACH, CA 90266

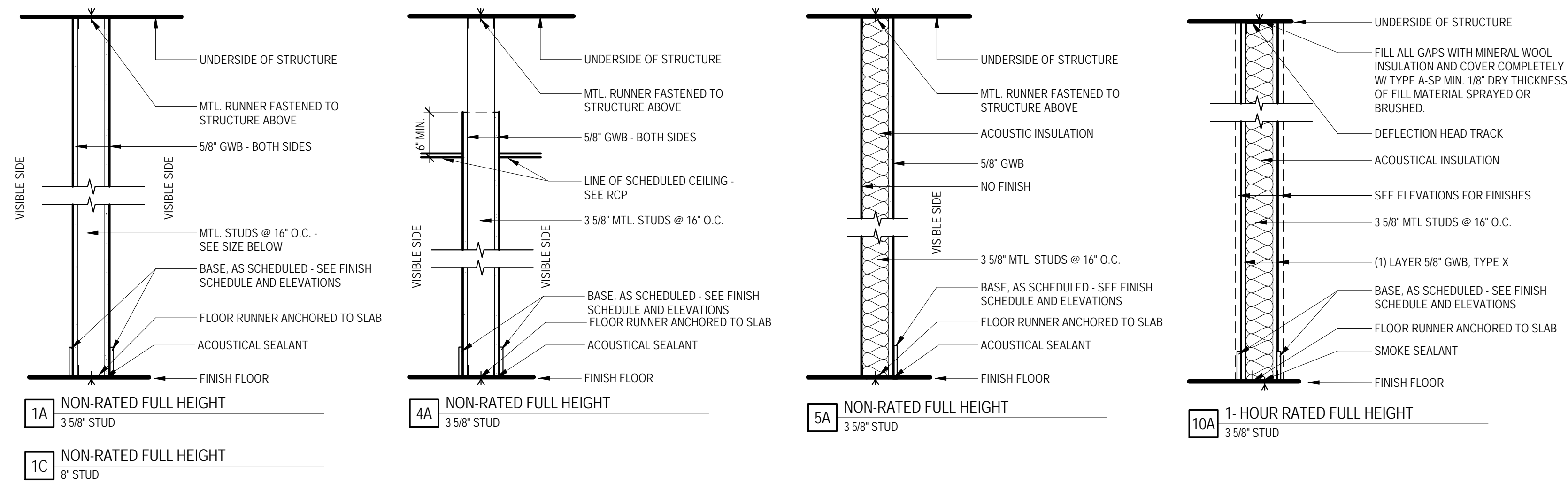
**CONSTRUCTION PLAN - FIRST FLOOR**

|              |            |
|--------------|------------|
| DRAWN BY:    | EB, AK, SL |
| REVIEWED BY: | JP, LM     |
| JOB NO.:     | 18116.00   |

**A101.1**  
 ISSUED FOR PLANNING - RESUBMITTAL



**PARTITION TYPES**



NOTE: SEE STRUCTURAL DRAWINGS (SHEET S3.0) FOR PARTITION CONNECTION & FASTENER INFORMATION.

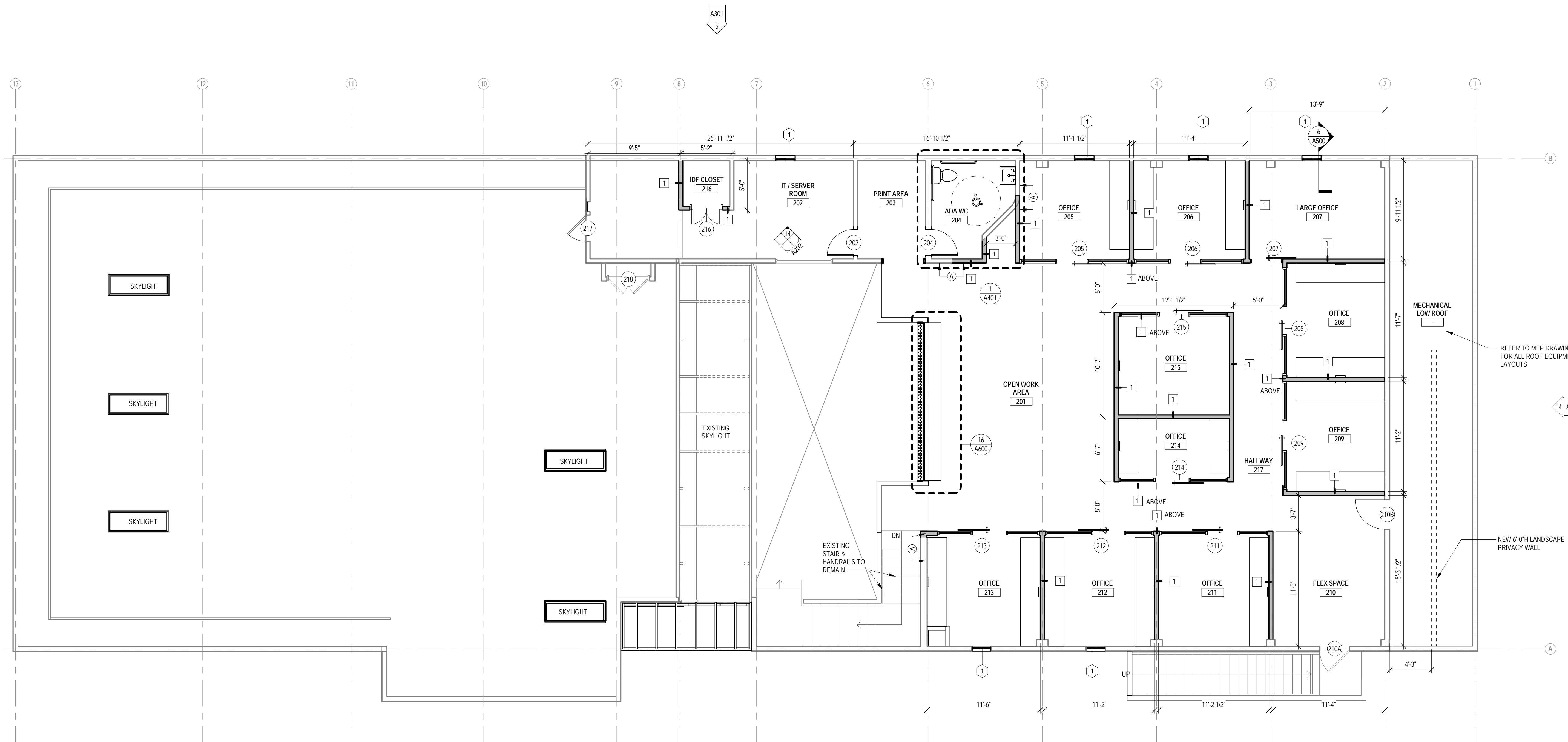
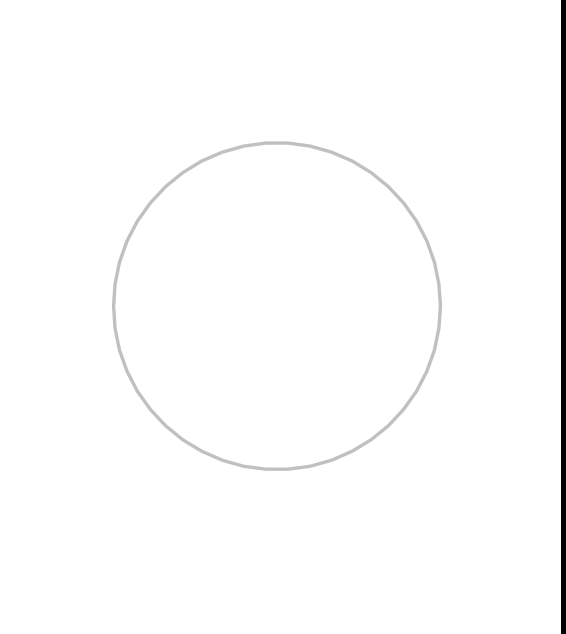
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| [Symbol] | EXISTING ELEMENT TO REMAIN                                |
| [Symbol] | NEW DOOR  |
| [Symbol] | EXISTING DOOR   |
| [Symbol] | DOOR TAG. SEE SHEET A301 FOR DOOR SCHEDULE.               |
| [Symbol] | KEYNOTE   |
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| [Symbol] | FIRE EXTINGUISHER   |
| [Symbol] | ALIGN   |

**Bergmeyer**  
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| 1   |    | 09/13/2018 | ISSUED FOR PLANNING             |

**516 N SEPULVEDA PROJECT**

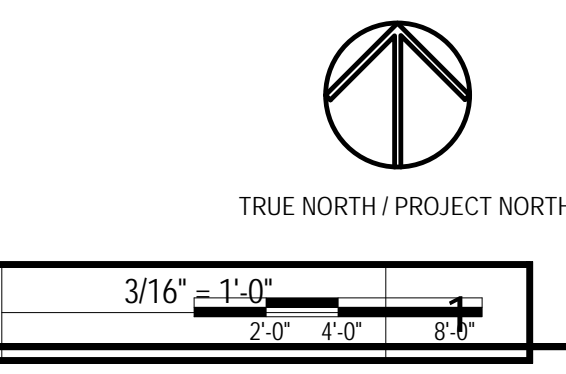
516 N SEPULVEDA BLVD  
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**CONSTRUCTION PLAN - SECOND FLOOR**

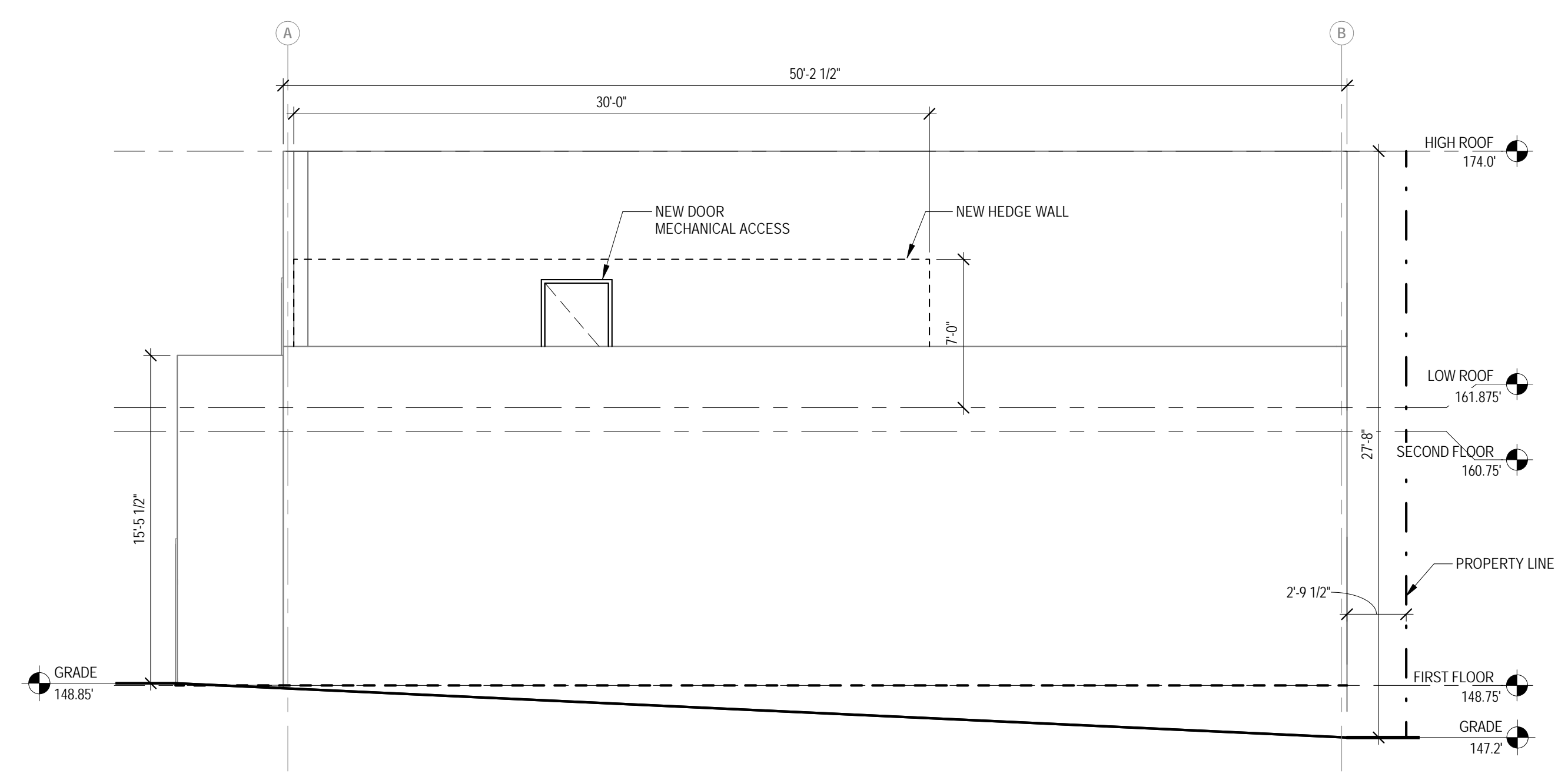
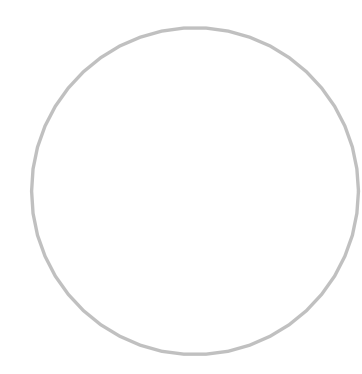
DRAWN BY: EB, AK, SL  
 REVIEWED BY: JP, LM  
 JOB NO: 18116.00

**A101.2**  
 ISSUED FOR PLANNING - RESUBMITTAL

**SECOND FLOOR - CONSTRUCTION PLAN**

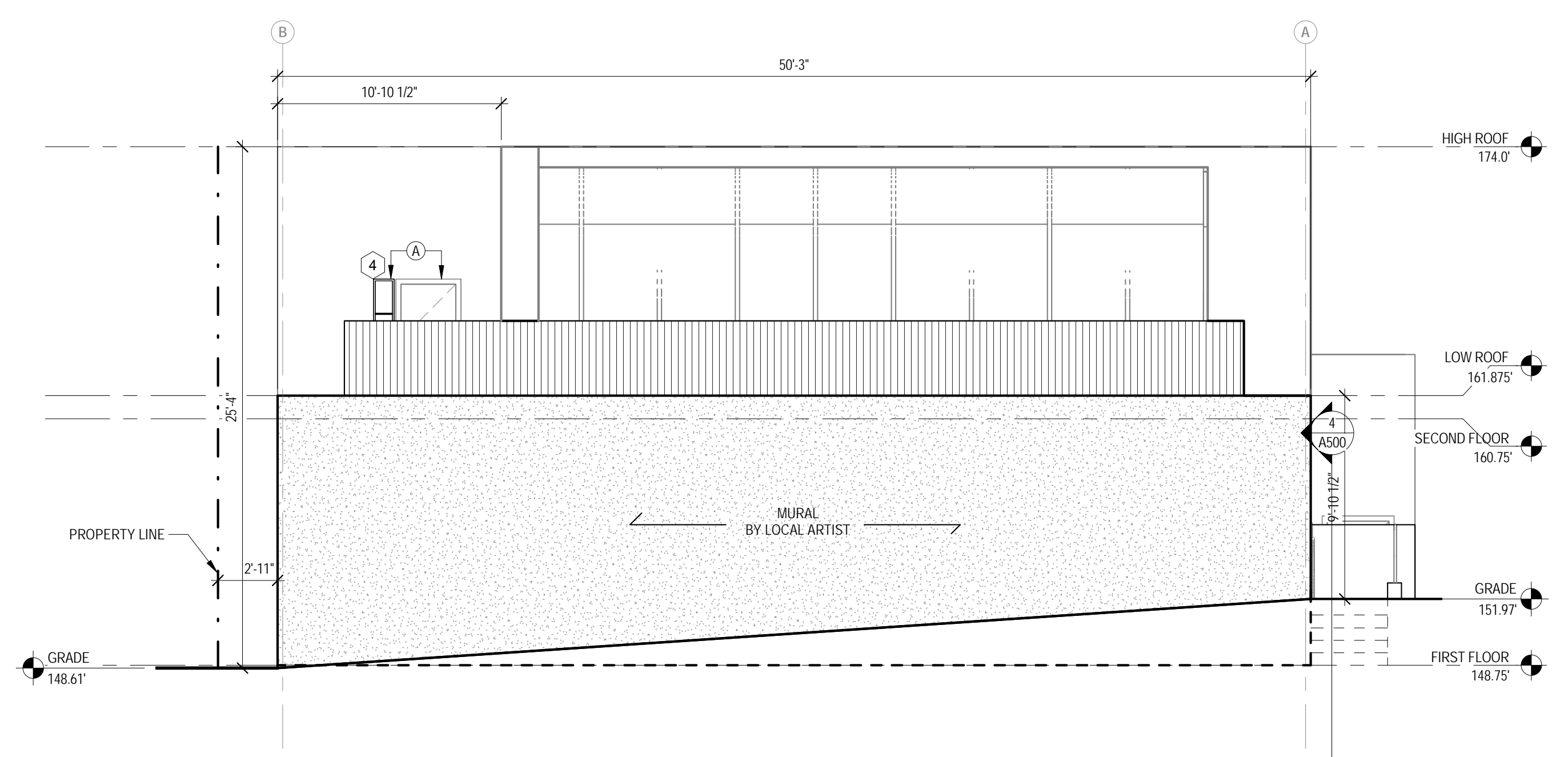


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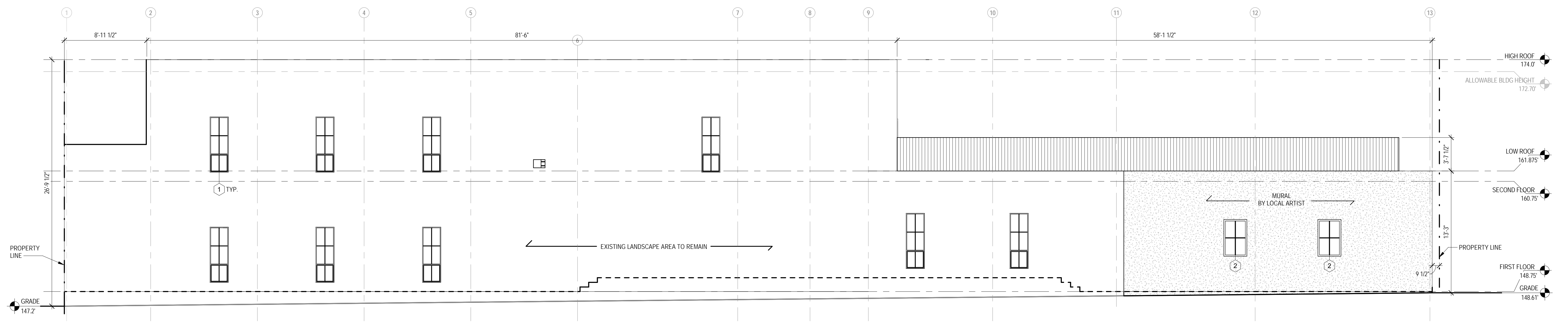
ELEVATION\_EXTERIOR EAST

3/16" = 1'-0"  
 2'-0" 4'-0" 8'-0" 4



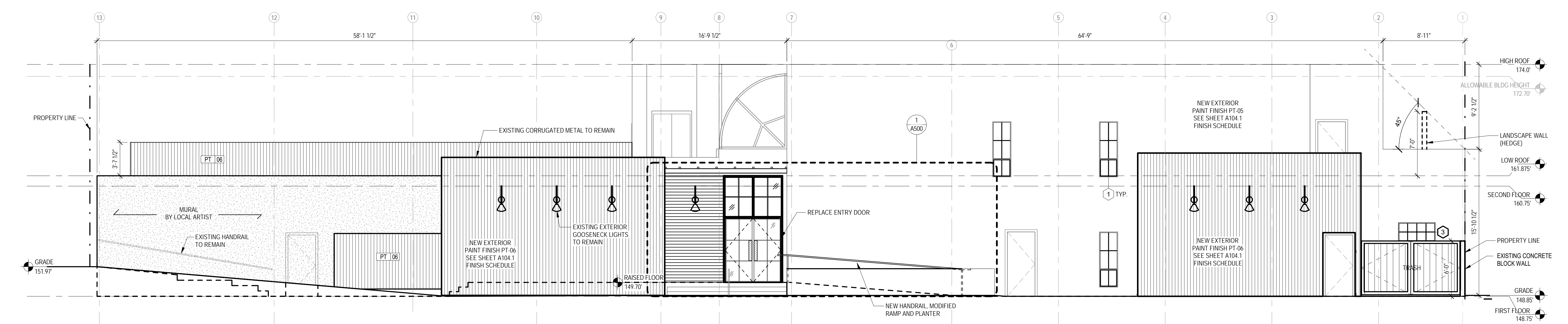
ELEVATION\_EXTERIOR WEST

3/16" = 1'-0"  
 2'-0" 4'-0" 8'-0" 3



ELEVATION\_EXTERIOR NORTH

3/16" = 1'-0"  
 2'-0" 4'-0" 8'-0" 2



ELEVATION\_EXTERIOR SOUTH

3/16" = 1'-0"  
 2'-0" 4'-0" 8'-0" 1

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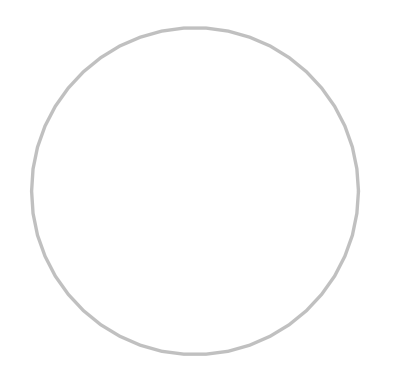
516 N SEPULVEDA PROJECT

516 N SEPULVEDA BLVD  
 MANHATTAN BEACH, CA 90266

EXTERIOR ELEVATIONS

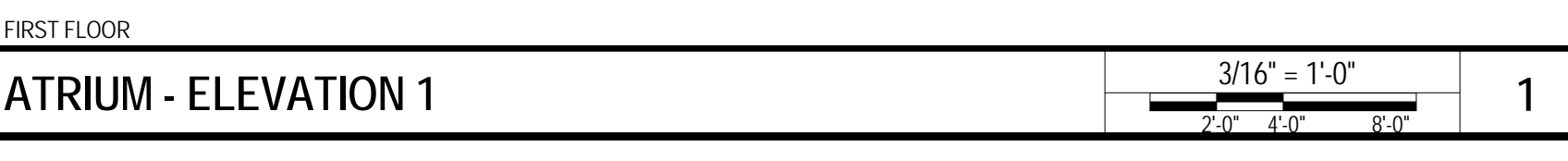
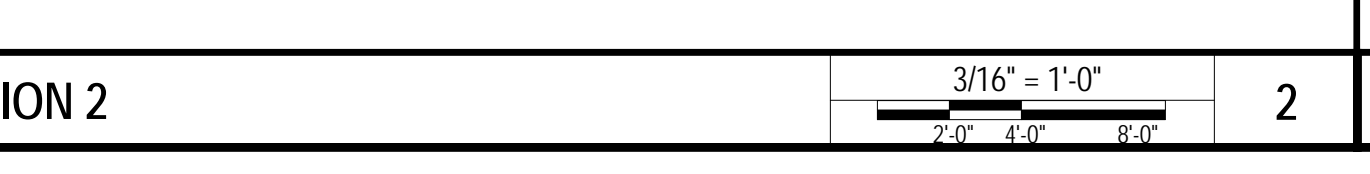
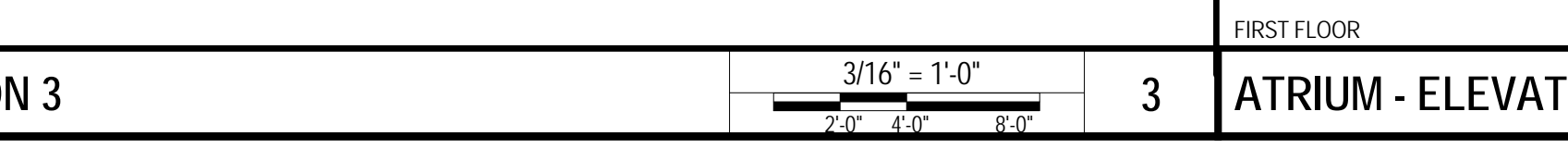
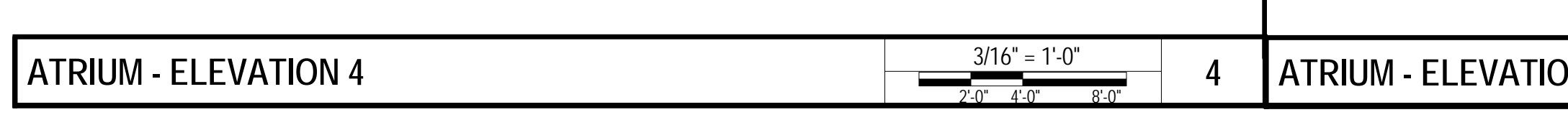
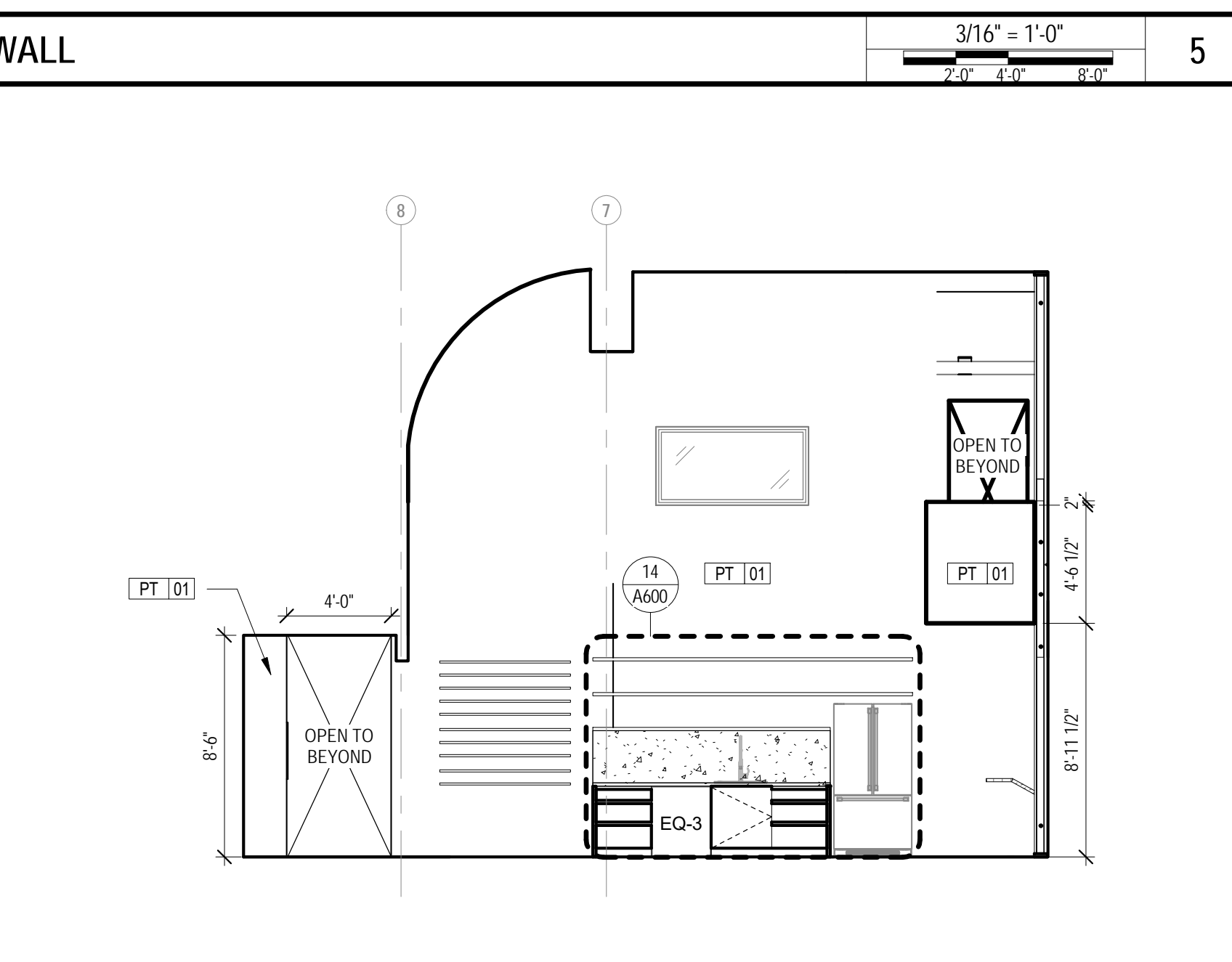
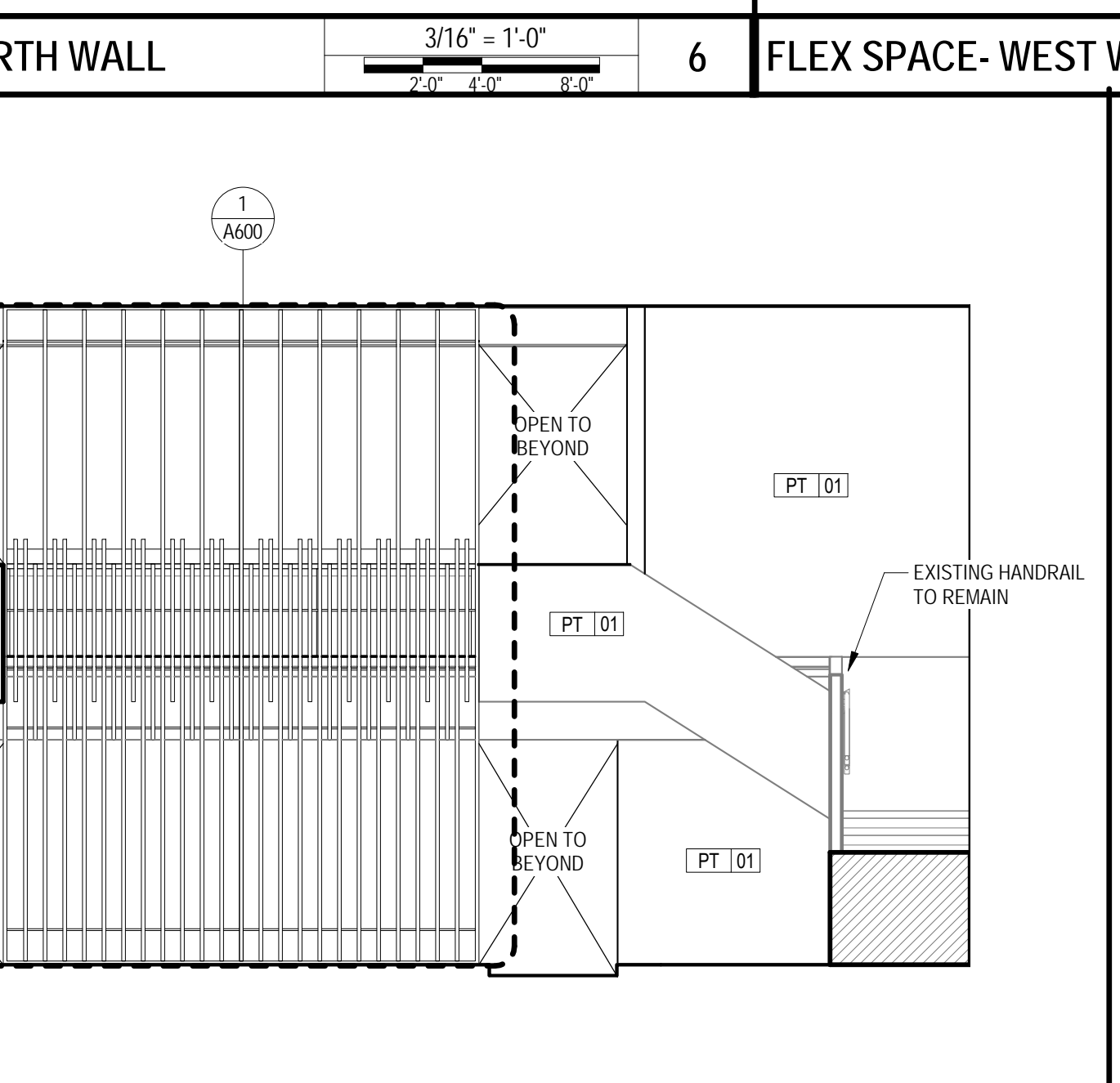
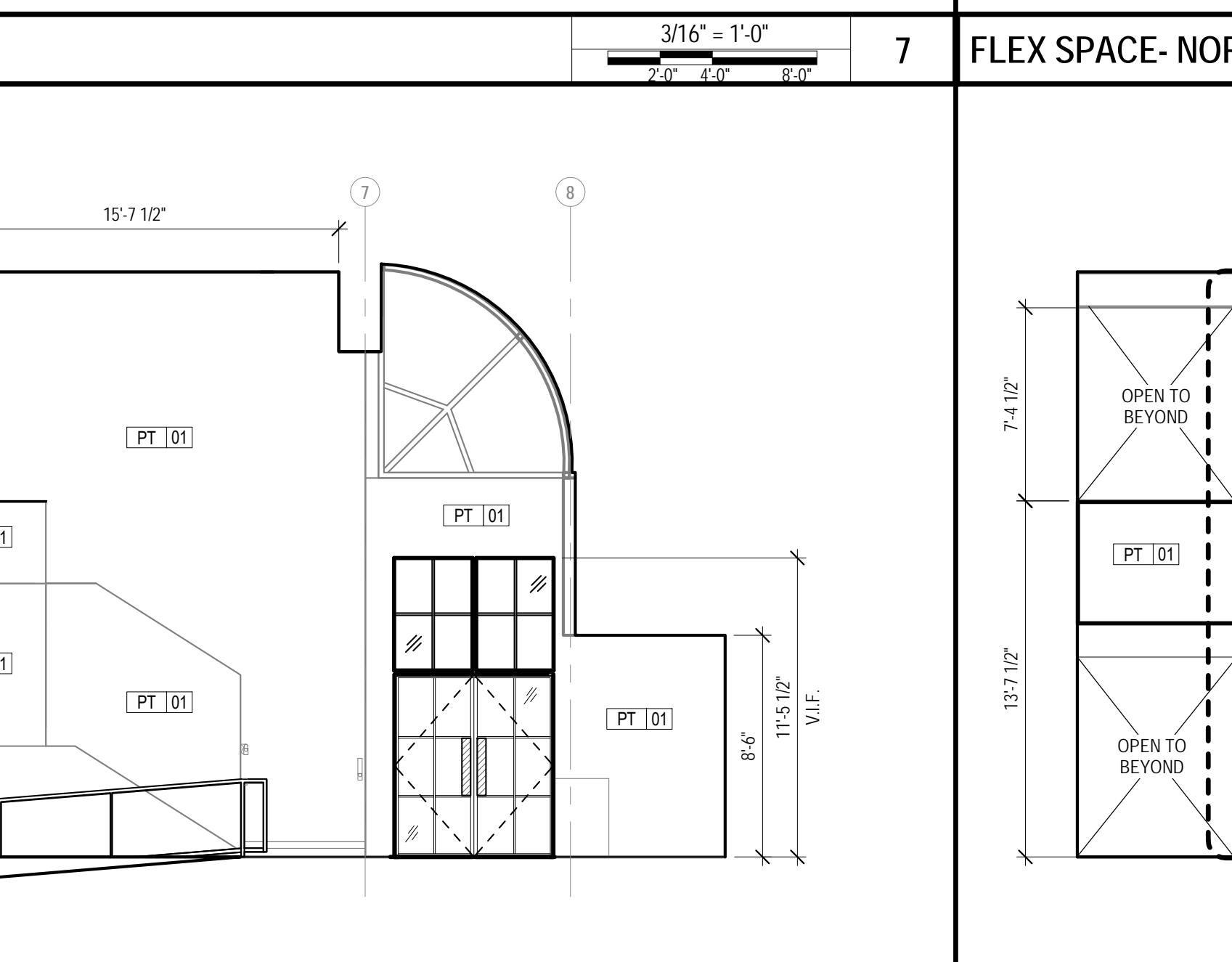
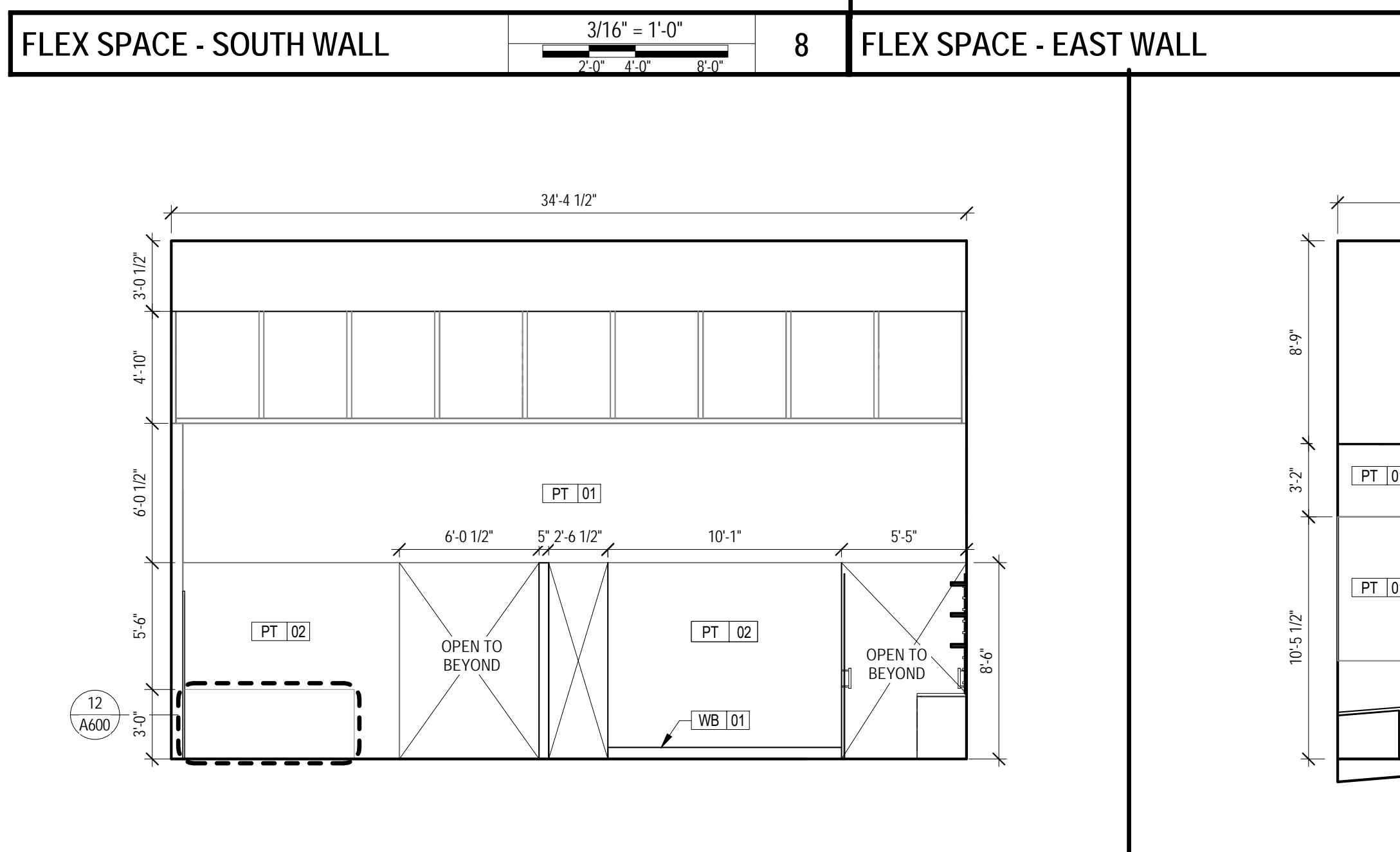
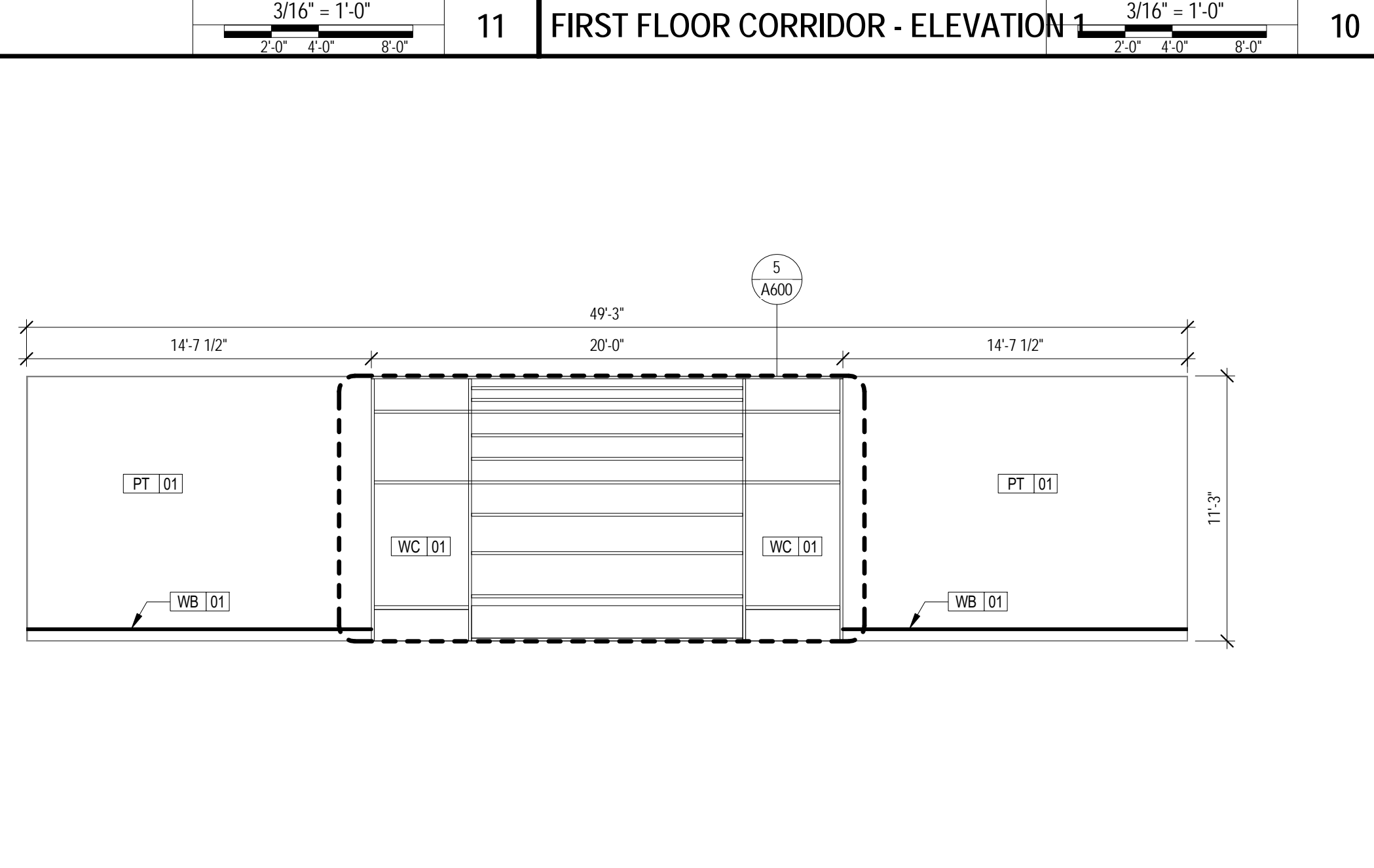
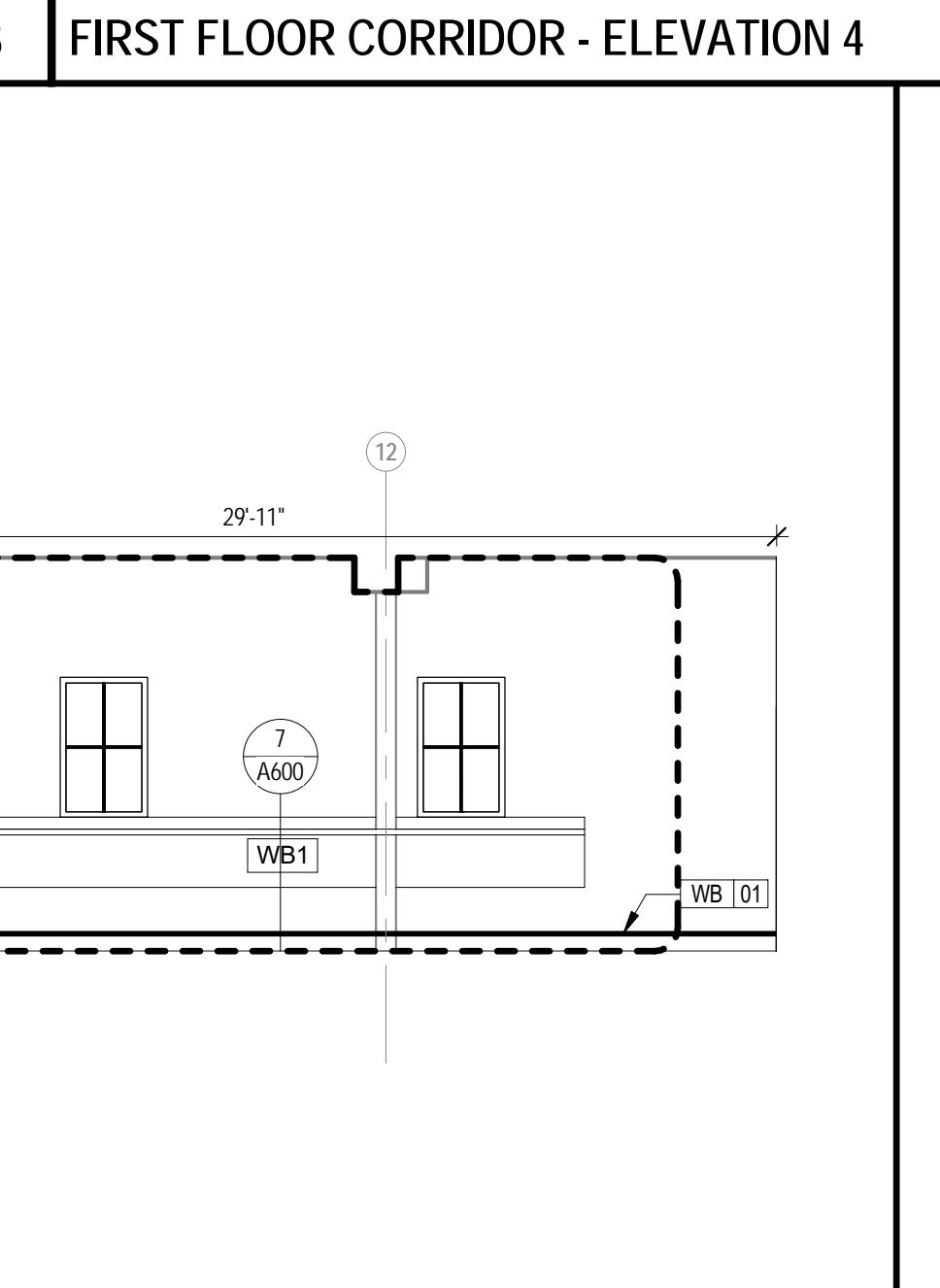
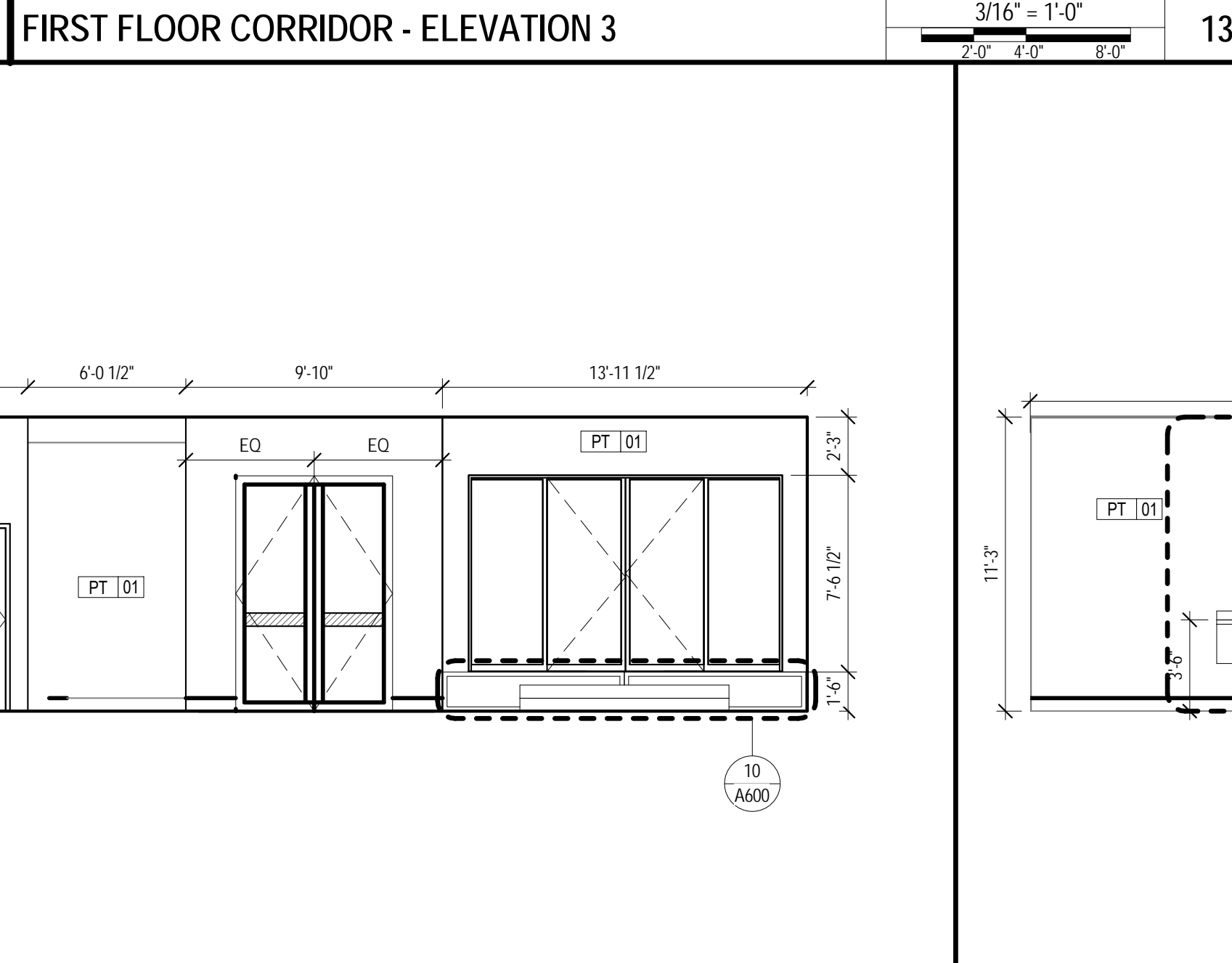
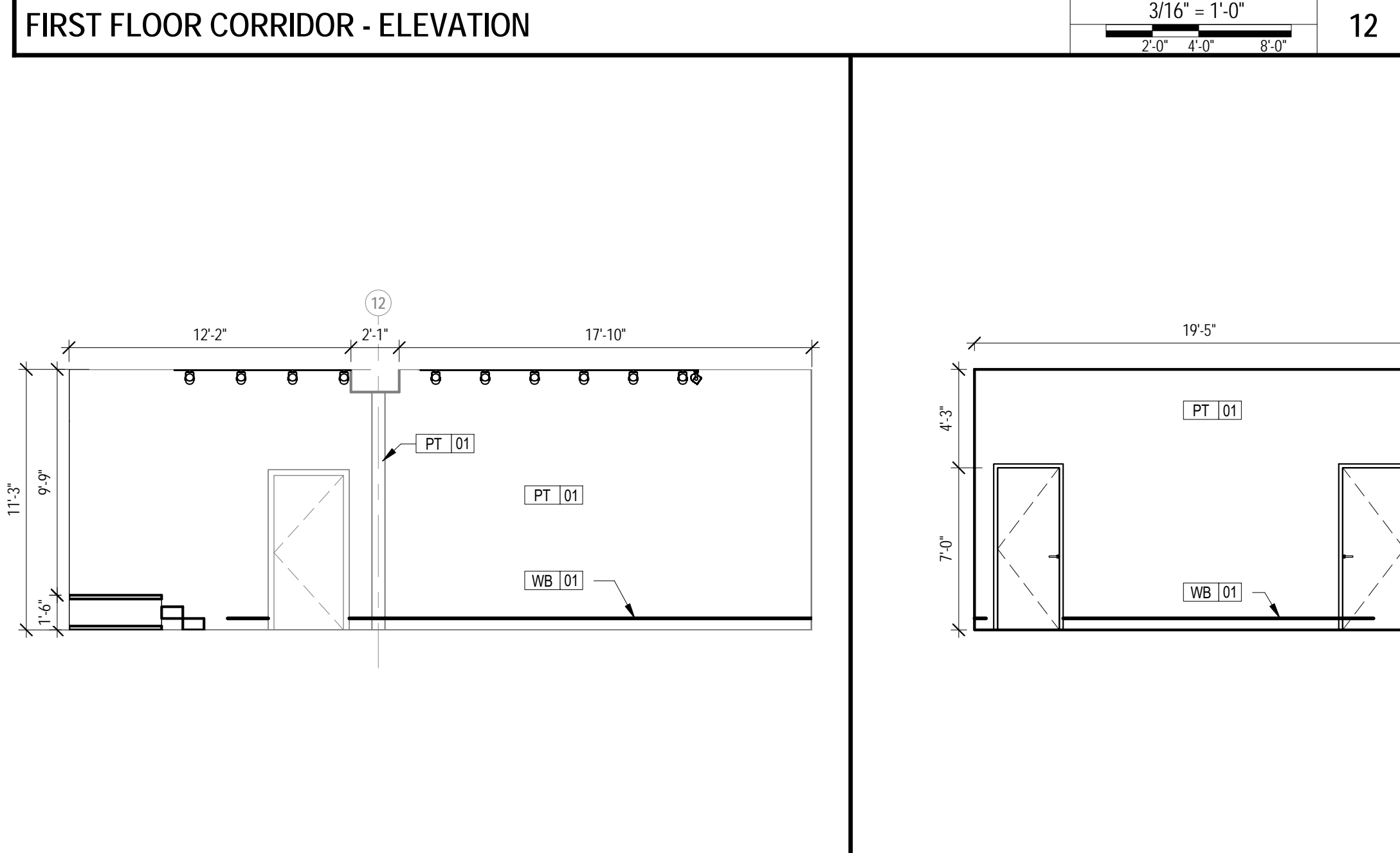
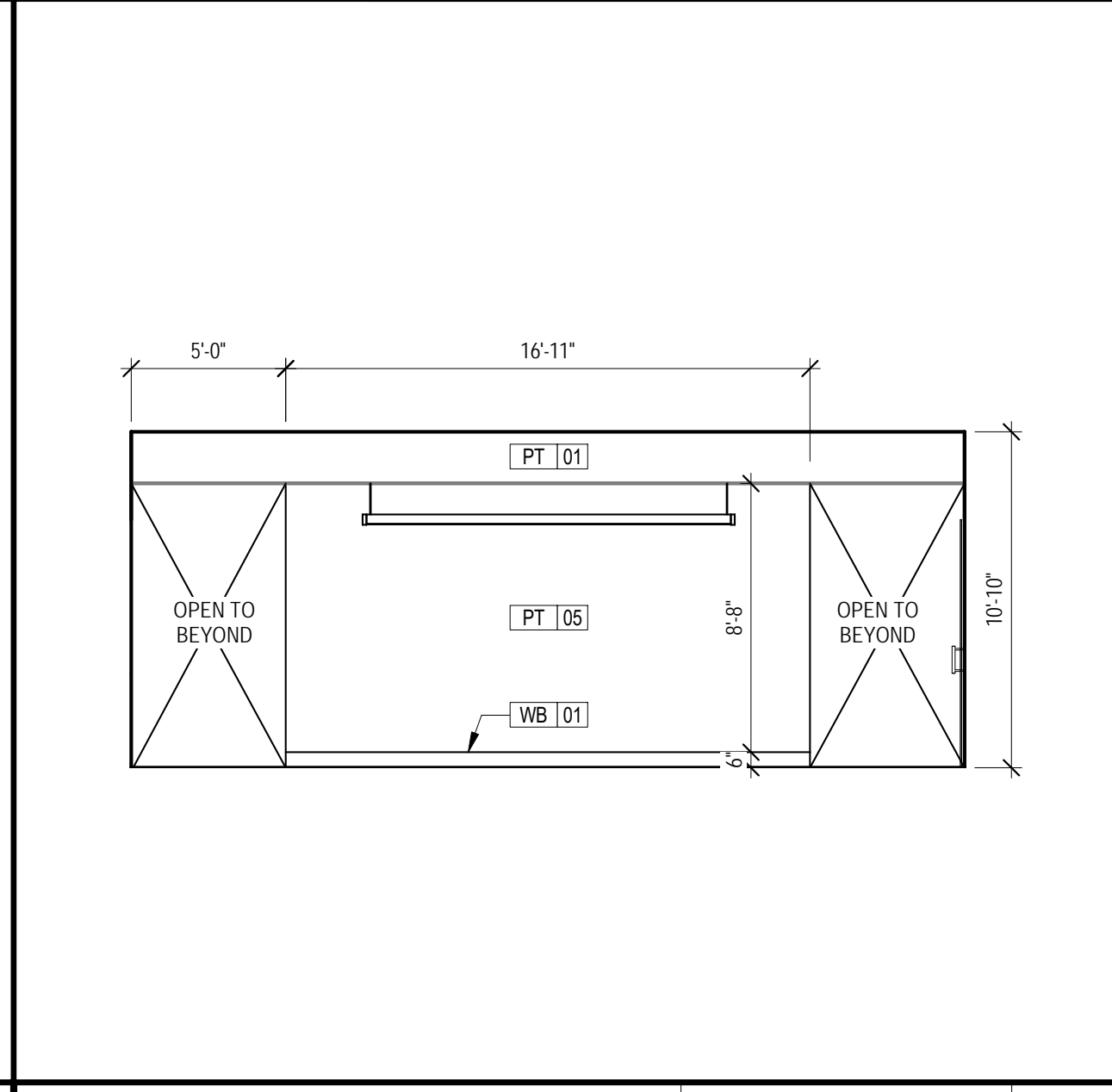
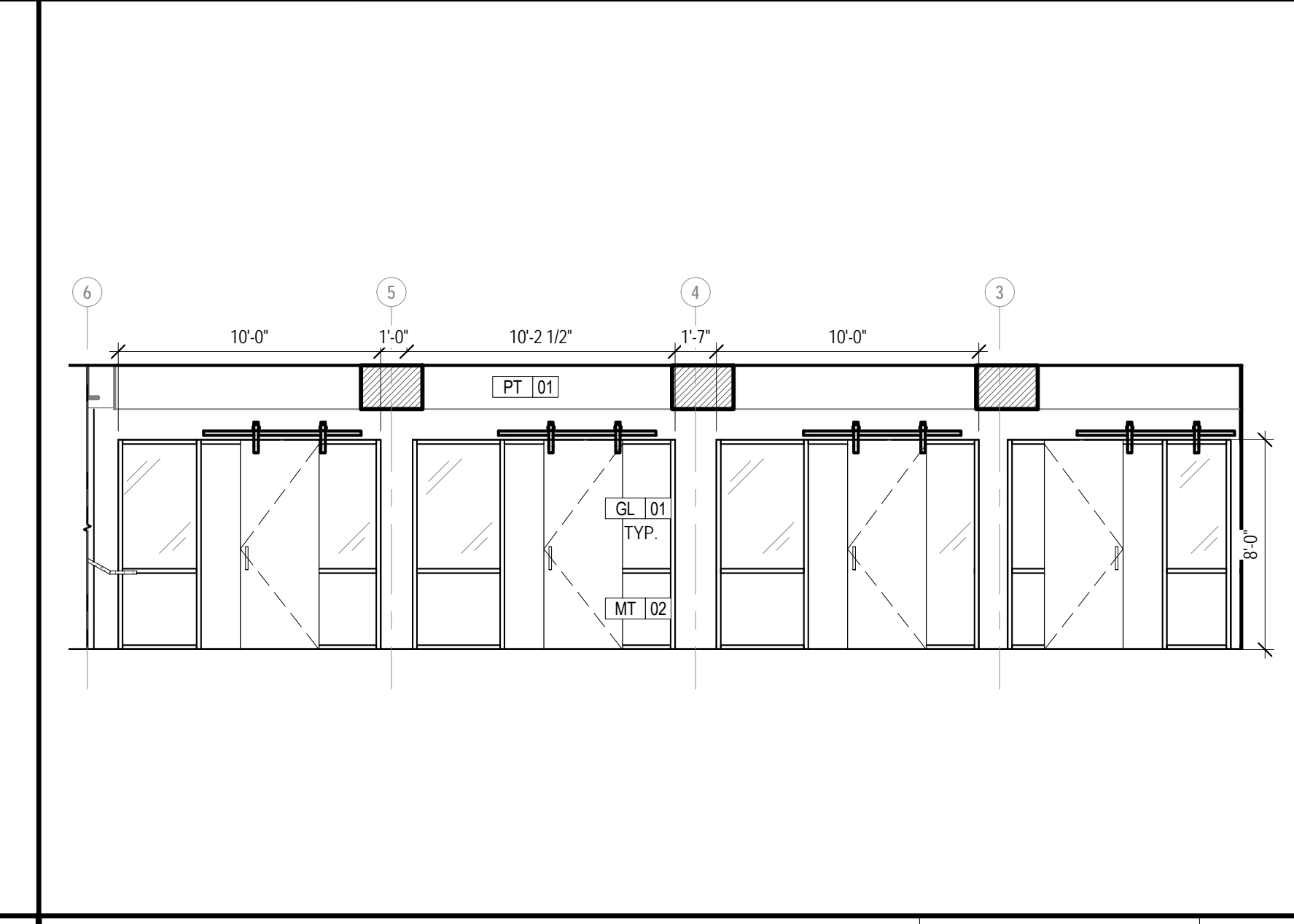
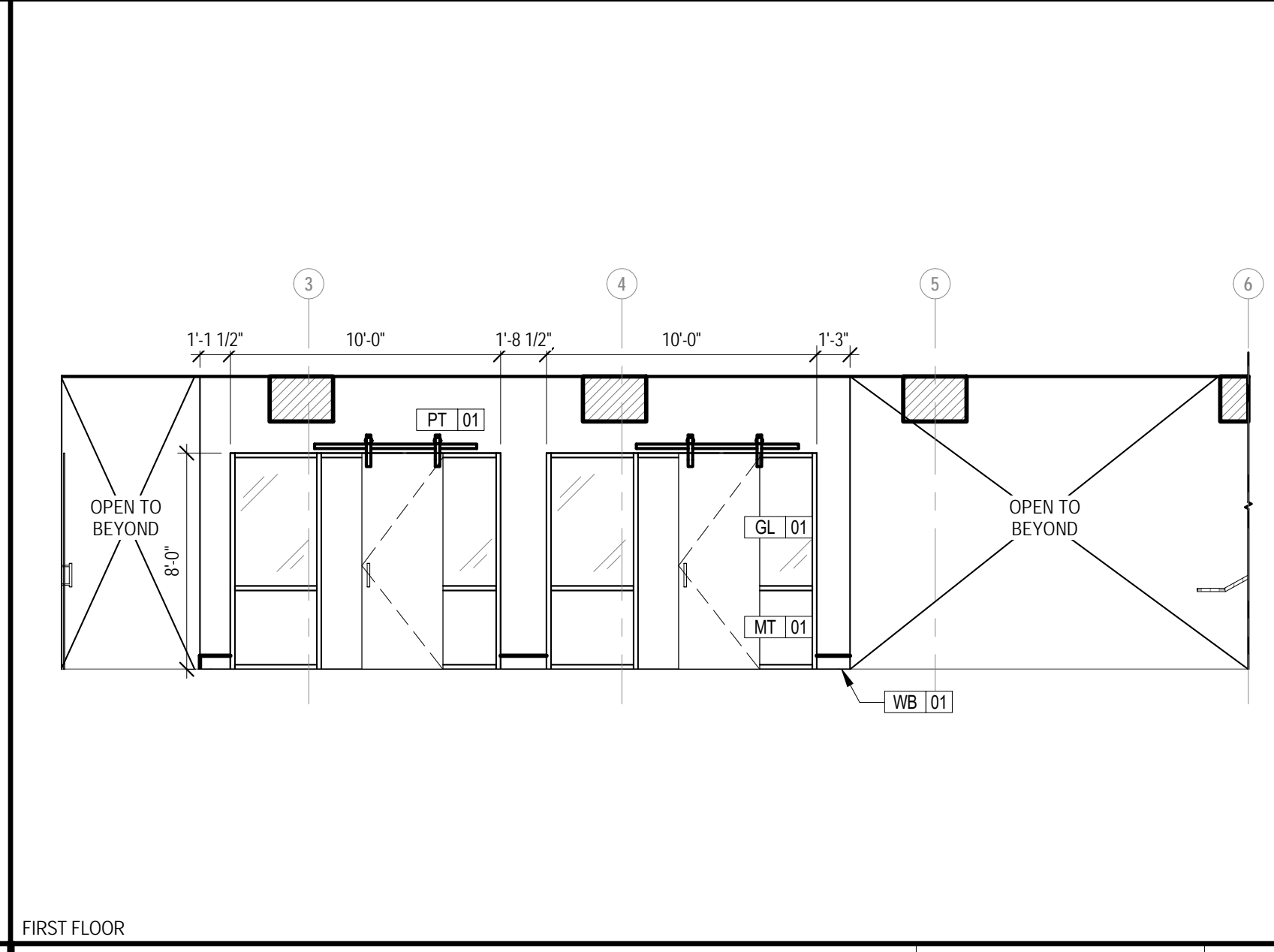
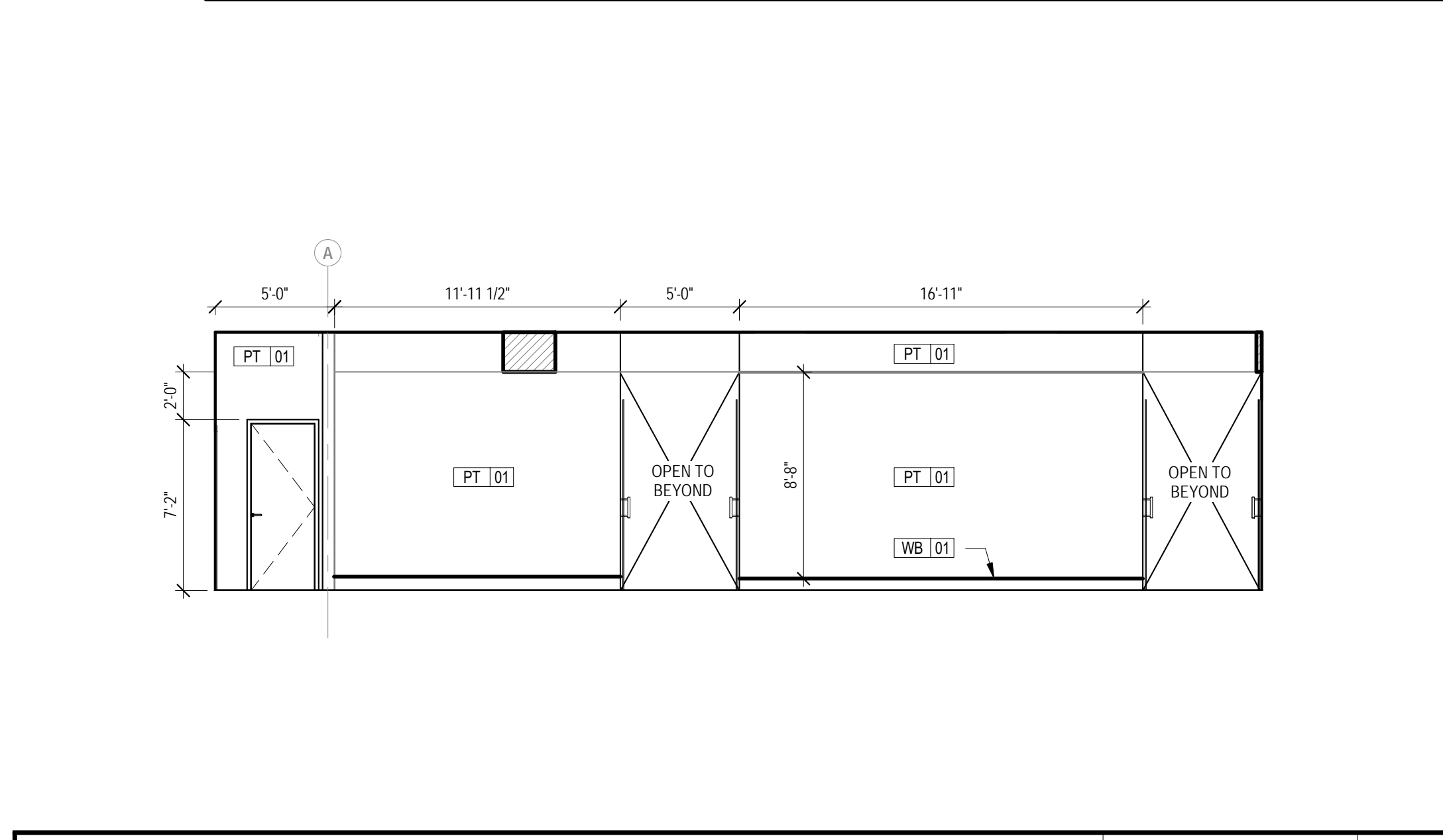
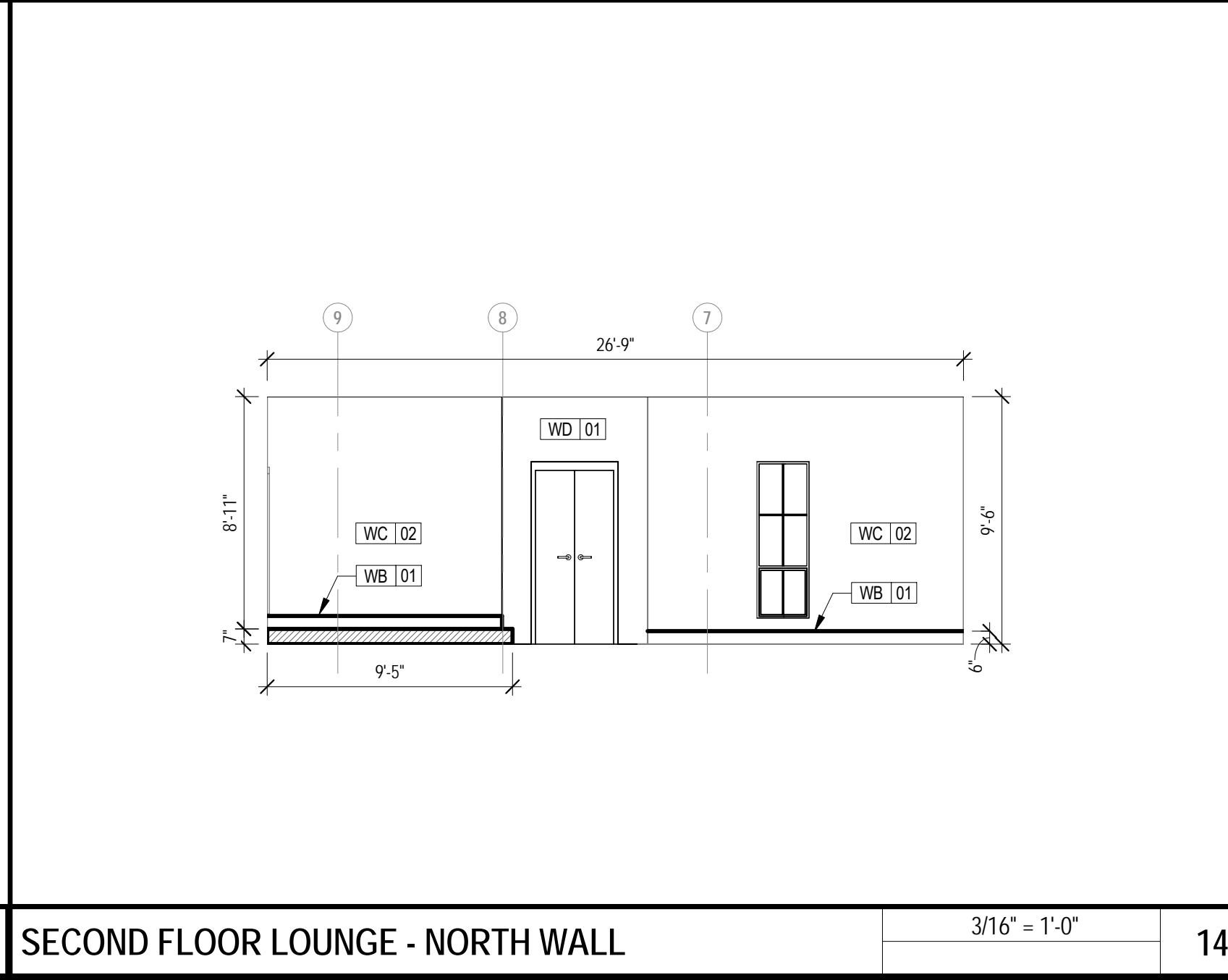
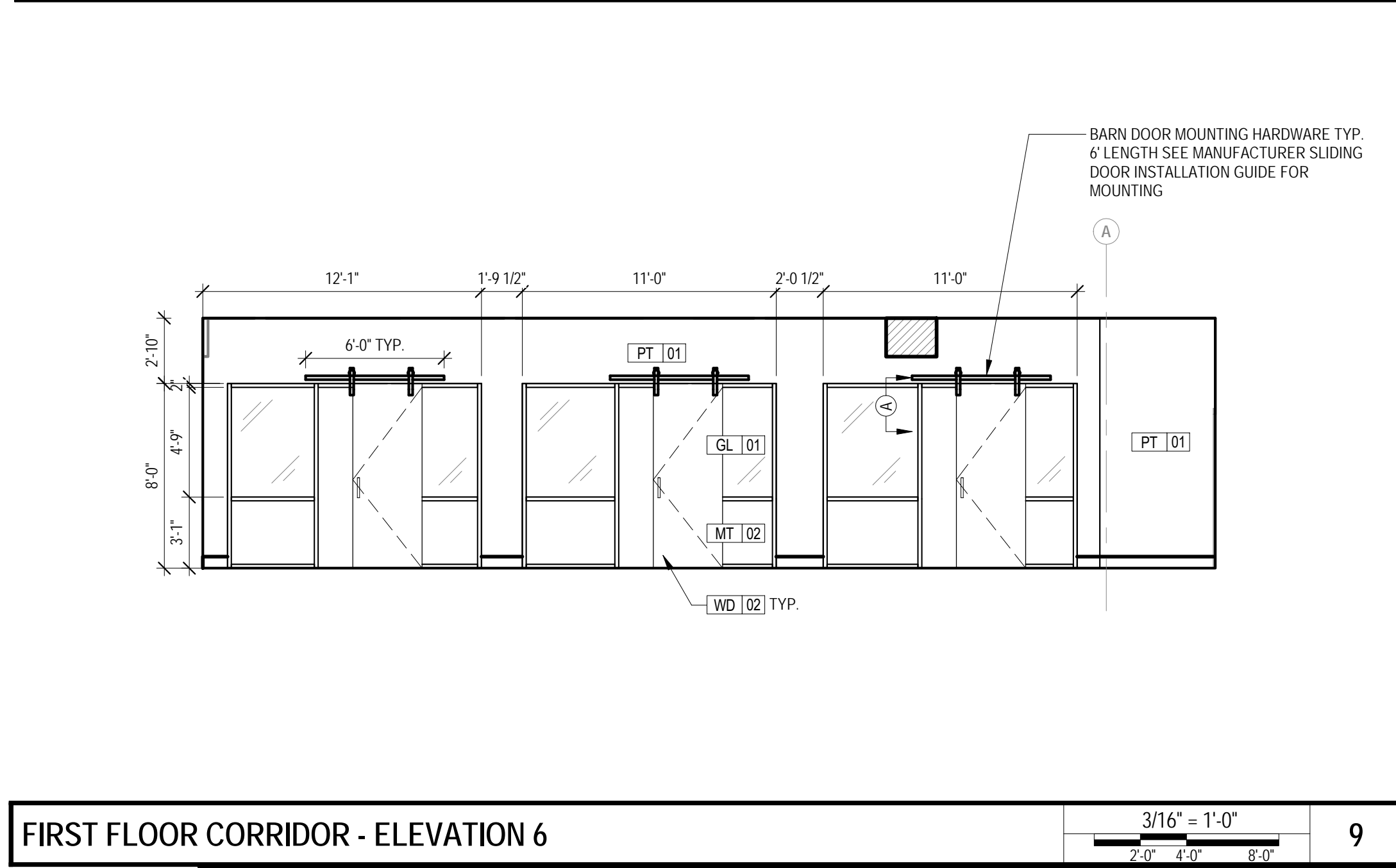
DRAWN BY: AK  
 REVIEWED BY: LMMD  
 JOB NO: 18116.00

A201  
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| ELEVATION SYMBOLS |  |
|-------------------|--|
|                   | DOOR TAG. REFER TO SHEET A301 FOR DOOR SCHEDULE      |
|                   | FINISH TAG REFER TO SHEET A104.1 FOR FINISH SCHEDULE |
|                   | ALIGN  |

| ELEVATION NOTES |  |
|-----------------|--|
| 1.              | REFER TO THE REFLECTED CEILING PLAN, FLOOR FINISH PLAN AND FINISH SCHEDULE FOR ADDITIONAL FINISH INFORMATION   |
| 2.              | ALL DIMENSIONS ARE TAKEN FROM TOP OF FINISH FLOOR  |
| 3.              | PROVIDE REQUIRED BLOCKING FOR ALL WALL MOUNTED FIXTURES, INCLUDING SHELVING, CABINETS, MENU BOARDS, WINE RACKS, & WALL MOUNTED LIGHT FIXTURES.       |
| 4.              | ALL VISIBLE ELECTRICAL SWITCHES, OUTLETS, COVER PLATES, ETC. TO MATCH ADJACENT WALL FINISHES.  |
| 5.              | DIFFUSERS, RETURNS, AND ANY CEILING OR SOFFIT ELECTRICAL / MECHANICAL EQUIPMENT TRIMS / PLATES TO BE PAINTED TO MATCH ADJACENT CEILING/SOFFIT COLOR. |



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516 N SEPULVEDA  
 MANHATTAN BEACH, CA 90266

516 N SEPULVEDA BLVD  
 MANHATTAN BEACH, CA 90266

INTERIOR ELEVATIONS

DRAWN BY: AK  
 REVIEWED BY: LM  
 JOB NO: 18116.00

A202  
 ISSUED FOR PLANNING - RESUBMITTAL