

**CITY OF MANHATTAN BEACH  
DEPARTMENT OF COMMUNITY DEVELOPMENT  
MEMORANDUM**

**TO:** Planning Commission

**FROM:** Anne McIntosh, Director of Community Development

**THROUGH:** Laurie B Jester, Planning Manager

**BY:** Ted Faturos, Assistant Planner

**DATE:** January 23, 2019

**SUBJECT:** Proposed Use Permit Amendment to Allow a Major Remodel of an Existing Restaurant with Full Liquor Service and Live Entertainment at 309 Manhattan Beach Boulevard (Newman)

**RECOMMENDATION**

Staff recommends that the Planning Commission **CONDUCT** the Public Hearing and **ADOPT** the attached Resolution approving the Use Permit Amendment subject to certain conditions.

**APPLICANT/OWNER**

Greg Newman/Esparanza  
309 Manhattan Beach Boulevard  
Manhattan Beach, CA 90266

**BACKGROUND**

On October 15, 2018, the Community Development Department received an application requesting an amendment to an existing Use Permit Amendment to allow for a major remodel to an existing restaurant space (Shark's Cove) in conjunction with a new restaurant tenant (Esperanza), located at 309 Manhattan Beach Boulevard. The applicant is not proposing to change the operating hours, full alcohol service, or live entertainment hours. The subject restaurant is located in the "CD" (Downtown Commercial) zoning district in Area District III.

The subject site has a two-story building originally constructed in 1941 located on the northern side of the 300 block of Manhattan Beach Boulevard. City records indicate the building's second floor was permitted as two residential dwelling units, with the restaurant tenant occupying the entire first floor. After speaking with the applicant and conducting an inspection of the second story, Staff has determined that the second story is an office use with storage facilities related to the downstairs restaurant use.

## PROJECT OVERVIEW

### LOCATION

Location: 309 Manhattan Beach Boulevard  
(See Vicinity Map- Attachment G)

Legal Description Lot 3, Block 92, Manhattan Beach Division #2

### LAND USE

General Plan: Downtown Commercial  
Zoning: CD, Downtown Commercial  
Area District: III  
Land Use: 

<u>Existing</u>	<u>Proposed</u>
2,494 sq. ft.	2,494 sq. ft. (no change)
Restaurant	Restaurant (no change)

### Neighboring Zoning and Land Uses:

North (across Center Pl)	CD: Retail/Private Garage
South (across MBB)	CD: Retail
East	CD: Restaurant (Hennessey's)
West	CD: Restaurant (The Kettle)

### PROJECT DETAILS

	<u>Existing</u>	<u>Proposed</u>
Alcohol Service	On-Site Full Alcohol	No Change
Live Entertainment:	1:30am, 7 Days a Week	11pm, Sun-Thur 12am, Fri – Sat (Staff Recommendation)
Hours of Operation:	7am – 2am, 7 Days a Week	No Change

## DISCUSSION

The applicant is requesting an amendment to their existing Use Permit to allow a significant remodel of the existing restaurant space. The existing restaurant operates under Board of Zoning Adjustment Resolution No. BZA 84-37 (Attachment B), which allows for full alcohol service in conjunction with food service, operating hours of 7am to 2am seven days a week, and the ability to have live music up to 1:30am seven nights a week. The BZA Resolution from 1984 has minimal conditions of approval which was typical at that time, while current Use Permits have much more detailed conditions of approval. The applicant is not requesting any change in operating hours or live music hours.

The applicant is proposing a major remodel and reconfiguration of the dining area. This includes removing and rebuilding the roof structure in the first half of the dining area, which also includes

rebuilding the second story deck on top of the roof, relocating the bar from the rear of the dining area to the western side of the dining area towards the front of the restaurant, a complete rebuilding of the front façade, and several other improvements. The applicant is also proposing to convert some interior seating facing the sidewalk to outdoor covered seating. The proposed front façade design shows foldable doors that stack up to both sides of the space, creating an open indoor-outdoor dining area.

In addition to Esperanza, the applicant also owns and operates Baja Sharkeez (3600 Highland Avenue) in North Manhattan Beach, and other restaurants in the South Bay and Southern California (Baja Sharkeez and Palmilla). Attachment E provides a list of all the Downtown restaurants with information on each respective restaurant's permitted operational characteristics for comparison with the subject proposal.

### Second-Story Use

City records indicate the building's second floor was permitted as two residential dwelling units. These units are legal non-conforming from a parking standpoint, and a permitted commercial use without an increase in parking requirements could occupy the space. The applicant, however, advertises the second floor's indoor and outdoor deck on Shark's Cove's website as a "private room" available for rent for private events, parties, and celebrations (Attachment F). Staff cannot find any permits on file for the conversion of the second story from a residential use to another use, and past entitlements have never approved the second story as an accessory commercial use to the first story's restaurant use.

After speaking with the applicant and conducting an inspection of the second story, with Building & Safety and the Fire Department, Staff has determined that the second story is no longer a residential use. Based on Staff's inspection, the rear portion of the second story is being used as an office and storage space, including secured alcohol storage. The applicant's plans show how the second story is used today, with "office" and "storage" labels. Staff has determined that upgrades to the second story will need to be made in order to meet the current Building and Fire codes. The second story upgrades will occur during the plan check process at the same time as the improvements to the first floor restaurant.

Staff has proposed strict conditions in the draft Resolution that prohibits the second floor interior space and outdoor deck from being used for any restaurant use, including for private events and parties. Further, staff is proposing that the applicant be required to obtain permits to formally convert the second floor to an office/storage use while complying with the Building and Fire codes.

The Draft Resolution (Attachment A) implements the latest conditions the City places on eating and drinking establishments, while incorporating both unique conditions for the proposed design as well as specific conditions requested by the Police Department (see below). The proposed conditions attempt to minimize the use's impact on neighbors, with specific conditions prohibiting restaurant uses of the rebuilt second-floor deck towards the front of the building and also requiring that all doors and windows be shut during live entertainment performances.

## **OTHER DEPARTMENT COMMENTS**

In 2003, an Use Permit Amendment was approved for the site but never implemented that reduced the live entertainment hours to 12am seven days a week. That Use Permit limited live entertainment to three non-amplified musicians.

The Police Department has confirmed that zero noise complaints have been received for Shark's Cove in the last two years, although the Police Department has received a few calls about "belligerent patrons" during that time. There have been a few instances in the last few years where Code Enforcement Staff has preemptively sought a reduction in Shark's Cove's noise during proactive patrols of the Downtown area on weekend nights.

In 2003, an Use Permit Amendment (PC 03-24) was approved for the site but never implemented that reduced the live entertainment hours to 12am seven days a week. That Use Permit limited live entertainment to three non-amplified musicians. The Police Department has reviewed the applicant's request and has recommended specific conditions be incorporated into the Resolution, in line with the recommendations from 2003; including:

1. Alcohol service shall occur with full menu food service during all hours of operation.
2. Live entertainment shall not occur past 11pm Sunday through Thursday, and past 12am (midnight) Friday and Saturday. These recommended live music hours are more restrictive than what the property's current entitlement allows, 1:30pm seven nights a week, but is typical of many of the restaurants Downtown.
3. Noise shall not be audible beyond the premises.
4. Amplified music/entertainment shall not occur on any deck/patio.

Staff has incorporated all of the Police Department's recommendations into the proposed Resolution.

## **REQUIRED FINDINGS**

Section 10.84.010 of the Manhattan Beach Municipal Code states that "Use Permits are required for use classifications typically having unusual site development features or operating characteristics requiring special consideration so that they may be designed, located, and operated compatibly with uses on adjoining properties and in the surrounding area."

The following findings must be met in order to grant the Use Permit Amendment.

1. The proposed location of the use is in accord with the objectives of this title and the purposes of the district in which the site is located;
2. The proposed location of the use and the proposed conditions under which it would be operated or maintained will be consistent with the General Plan; will not be detrimental to the public health, safety or welfare of persons residing or working on the proposed project site or

in or adjacent to the neighborhood of such use; and will not be detrimental to properties or improvements in the vicinity or to the general welfare of the city;

3. The proposed use will comply with the provisions of this title, including any specific condition required for the proposed use in the district in which it would be located; and
4. The proposed use will not adversely impact nor be adversely impacted by nearby properties. Potential impacts are related but not necessarily limited to: traffic, parking, noise, vibration, odors, resident security and personal safety, and aesthetics, or create demands exceeding the capacity of public services and facilities which cannot be mitigated.

Staff suggests the following findings in support of the Use Permit Amendment for the project:

1. Esperanza will continue to be a commercial restaurant use located in the CD Downtown Commercial zone.
2. Esperanza will be a commercial use consistent with the General Plan's Downtown Commercial land use designation assigned to the project lot and the neighboring lots. The proposed use is consistent with neighboring uses, as the neighboring lots have also been developed with commercial uses, many of which are eating and drinking establishments that serve alcohol. The General Plan encourages a "vibrant downtown" that offers "services and activities for residents and visitors", and Esperanza can be part of the Downtown commercial mix of businesses that helps create a dynamic and interesting Downtown.
3. Esperanza will be an eating and drinking establishment use that complies with all provisions of the Municipal Code's Title 10 Planning and Zoning. Requiring permits for the upstairs conversion to a commercial use will make the area in conformance with Planning, Building & Safety, Fire, Health Department, and Department of Alcoholic Beverage Control (ABC) regulations.
4. The existing tenant on the site, Shark's Cove, has been operating at the location for several years, serving full alcohol in conjunction with food service. The proposed tenant, Esperanza, will also be an eating and drinking establishment located on the busy Manhattan Beach Boulevard commercial corridor in the heart of Downtown Manhattan Beach, with some of the surrounded businesses having similar operating characteristics. Significant buffers between Esperanza and residences exist, with Manhattan Beach Boulevard, Center Place, City Parking Lot 2 (between Center Place and 12<sup>th</sup> Street), and other businesses providing sound barriers that help minimize any impacts associated with the use. Additionally, the conditions to limit the hours of entertainment, further define what type of entertainment is allowed, and other conditions will serve to mitigate impacts of the use.

#### General

The General Plan encourages Downtown businesses that offer "services and activities to our residents and visitors". The project is specifically consistent with General Plan Policies as follows:

LU-6: Maintain the viability of the commercial areas of Manhattan Beach.

LU-7: Continue to support and encourage the viability of the Downtown area of Manhattan Beach.

### **PUBLIC COMMENT**

A public notice for tonight's hearing was published in the Beach Reporter on January 10, 2019 and mailed to all property owners within a 500' radius. As of the writing of this report, staff has not received any public comments.

### **ENVIRONMENTAL DETERMINATION**

The Project is Categorically Exempt from the requirements of the California Environmental Quality Act (CEQA), pursuant to Existing Facilities Section 15301 based on Staff's determination that there is no expansion of use associated with the Project.

### **CONCLUSION**

Staff recommends that the Planning Commission conduct the public hearing, discuss the applicant's request, and approve the attached draft Resolution approving the Use Permit Amendment subject to certain conditions.

#### Attachments:

- A. Draft Resolution No. PC 19-
- B. Board of Zoning Adjustment Resolution No. BZA 84-37
- C. Applicant's Written Documents
- D. Esperanza Plans
- E. Downtown Alcohol and Hours of Operation List
- F. Shark's Cove Website- Private Room
- G. Vicinity Map

# Attachment A

## RESOLUTION NO. PC 19-

### RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF MANHATTAN BEACH APPROVING A USE PERMIT AMENDMENT TO ALLOW A MAJOR REMODEL OF AN EXISTING RESTAURANT WITH FULL LIQUOR SERVICE AND LIVE ENTERTAINMENT AT 309 MANHATTAN BEACH BOULEVARD (ESPARANZA/NEWMAN)

#### THE PLANNING COMMISSION OF THE CITY OF MANHATTAN BEACH DOES HEREBY RESOLVE AS FOLLOWS:

##### SECTION 1. The Planning Commission of the City of Manhattan Beach hereby makes the following findings:

- A. On August 14, 1984, the Board of Zoning Adjustment of the City of Manhattan Beach adopted Board of Zoning Adjustment Resolution No. BZA 84-37, approving a Use Permit for a substantial remodel and renovation to an existing restaurant at the property located at 309 Manhattan Beach Boulevard, subject to a number of conditions.
- B. Under the entitlements conferred by Board of Zoning Adjustment Resolution No. BZA 84-37, the restaurant operators were granted the ability to substantially remodel and renovate the restaurant and bar while still being able have full alcohol service and live music.
- C. The Planning Commission of the City of Manhattan Beach conducted a public hearing on January 23, 2019, received testimony, and considered an application for a Use Permit Amendment to allow a major remodel of the existing restaurant (Shark's Cove) located at 309 Manhattan Beach Boulevard. The applicant did not request to change the operating hours, full alcohol service, or live entertainment hours.
- D. The subject property is legally described as Lot 3, Block 92, Manhattan Beach Division #2 in the City of Manhattan Beach, County of Los Angeles.
- E. The applicant for the subject project is Greg Newman, the owner of the business (hereafter referred to as "the owner").
- F. The Project is Categorically Exempt from the requirements of the California Environmental Quality Act (CEQA), pursuant to Existing Facilities Section 15301 based on Staff's determination that there is no expansion of use associated with the Project.
- G. The project will not individually nor cumulatively have an adverse effect on wildlife resources, as defined in Section 711.2 of the Fish and Game Code.
- H. The existing building maintains an eating and drinking establishment use at the first story. The original permitted use for the second story was two residential units, but it appears that the second story has not been used as a residential use for some time, and is currently being used as an unpermitted office/storage use.
- I. The subject property is located in Area District III and is zoned CD, Downtown Commercial. The surrounding properties are zoned CD to the North (across Center Place), South (across Manhattan Beach Boulevard), East, and West.
- J. The use is permitted in the CD zone subject to a Use Permit and is in compliance with the City's General Plan designation of Downtown Commercial.
- K. The General Plan designation for the property is Downtown Commercial. The General Plan encourages Downtown businesses that offer "services and activities to our residents and visitors". The project is specifically consistent with General Plan Policies as follows:
  - LU-6: Maintain the viability of the commercial areas of Manhattan Beach.
  - LU-7: Continue to support and encourage the viability of the Downtown area of Manhattan Beach.
- L. The Planning Commission makes the following findings required to approve the Use Permit pursuant to MBMC Section 10.84.060:
  1. **The proposed location of the use is in accord with the objectives of this title and the purposes of the district in which the site is located.**

Esperanza will continue to be a commercial use located in the CD Downtown Commercial zone.
  2. **The proposed location of the use and the proposed conditions under which it would be operated or maintained will be consistent with the General Plan; will not be detrimental to the public health, safety or welfare of persons residing or working on the proposed project site or in or adjacent to the neighborhood of such use; and will not be detrimental to properties or improvements in the vicinity or to the general welfare of the city.**

Esperanza will be a commercial use consistent with the General Plan’s Downtown Commercial land use designation assigned to the project lot and the neighboring lots. The proposed use is consistent with neighboring uses, as the neighboring lots have also been developed with commercial uses, many of which are eating and drinking establishments that serve alcohol. The General Plan encourages a “vibrant downtown” that offers “services and activities for residents and visitors”, and Esperanza can be part of the Downtown commercial mix of businesses that helps create a dynamic and interesting Downtown.

**3. The proposed use will comply with the provisions of this title, including any specific condition required for the proposed use in the district in which it would be located.**

Esperanza will be an eating and drinking establishment use that complies with all provisions of the Municipal Code’s Title 10 Planning and Zoning. Requiring permits for the upstairs conversion to a commercial use will make the area in conformance with Planning, Building & Safety, Fire, Health Department, and Department of Alcoholic Beverage Control (ABC) regulations.

**4. The proposed use will not adversely impact or be adversely impacted by nearby properties. Potential impacts are related but not necessarily limited to: traffic, parking noise, vibration, odors, resident security and personal safety, and aesthetics, or create demands exceeding the capacity of public services and facilities which cannot be mitigated.**

The existing tenant on the site, Shark’s Cove, has been operating at the location for several years, serving full alcohol in conjunction with food service. The proposed tenant, Esparanza, will also be an eating and drinking establishment located on the busy Manhattan Beach Boulevard commercial corridor in the heart of Downtown Manhattan Beach, with some of the surrounded businesses having similar operating characteristics. Significant buffers between Esparanza and residences exist, with Manhattan Beach Boulevard, Center Place, City Parking Lot 2 (between Center Place and 12th Street), and other businesses providing sound barriers that help minimize any impacts associated with the use. Additionally, the conditions to limit the hours of entertainment, further define what type of entertainment is allowed, and other conditions will serve to mitigate impacts of the use.

M. The project shall comply with all applicable provisions of the Manhattan Beach Municipal Code.

N. This Resolution, upon its effectiveness, constitutes the Use Permit Amendment for the subject project.

**SECTION 2.** The Planning Commission of the City of Manhattan Beach hereby **APPROVES** the Use Permit Amendment subject to the following conditions:

1. The project shall be in substantial conformance with the plans and project description submitted to, and approved by the Planning Commission on January 23, 2019 as amended and conditioned. Any substantial deviation from the approved plans and project description, as conditioned, shall require review by the Community Development Director to determine if approval from the Planning Commission is required.
2. Any questions of intent or interpretation of any condition will be reviewed by the Community Development Director to determine if Planning Commission review and action is required.
3. The applicant shall be required to obtain permits for any work necessary to bring the second floor into compliance with the Building Code and Fire Code, as determined the Building & Safety Division and Fire Department, respectively. The proposed work for the first and second stories will be under a single building permit submittal to ensure that the necessary upgrades to the second story occur in conjunction with the renovation of the lower level restaurant space. The restaurant shall not be allowed to open and start operations till a Certificate of Occupancy is issued by the Building & Safety Division.

**Operation**

4. The management of the property shall police the property and all areas adjacent to the business during the hours of operation to keep it free of litter and food debris.
5. The operators of the business shall provide adequate management and supervisory techniques to prevent loitering and other security concerns outside the subject business.
6. All rooftop mechanical equipment shall be screened from the public right-of-way.
7. All mats shall be cleaned on the premises with no outside cleaning of mats permitted. If any floor mats cannot be cleaned within the premises, a service company must be contracted.



8. Hours of operation for the establishment shall be permitted as follows:

Monday - Sunday                      7:00am – 2:00am

9. Alcohol service shall be conducted only in conjunction with full menu food service during all hours of operation.

10. Sale of alcoholic beverages for consumption off-premise is prohibited.

11. Full menu food service shall be available at all seats, and no specific bar area serving exclusively alcohol shall be permitted.

12. The owner shall be in substantial compliance with all restrictions imposed by the Alcohol Beverage Control Board (ABC) prior to service of liquor.

13. At all times the business shall identify itself as a “restaurant” and will not identify itself as a “bar” in public advertisements.

14. The hours of live entertainment shall be limited as follows:

Sunday – Thursday                      7am – 11pm  
Friday – Saturday                      7am – 12am

15. Noise emanating from the property shall be within the limitations prescribed by the City Noise Ordinance and shall not create a nuisance to nearby property owners. Noise shall not be audible beyond the premises.

16. The restaurant management shall control the volume of any music. Exterior music and amplified sound is prohibited on any decks and patios.

17. The management shall ensure that all exterior doors and windows are kept closed during live entertainment performances. The exterior doors and windows facing Manhattan Beach Boulevard shall have a Sound Transmission Class (STC) rating of at least 30.

18. Live entertainment is limited to no more than three musicians and/or vocalists.

19. An acoustic engineer or similarly qualified professional shall be hired by the applicant to review the restaurant’s layout, materials, finishes, and operating characteristics; and will make recommendations on how to mitigate the noise generated by the business’ operations. The applicant will share the acoustic engineer’s recommendations and observations with Community Development Staff, and modifications shall be implemented as determined to be appropriate by the Director of Community Development.

20. At any time in the future, the Planning Commission or City Council may review the Use Permit for the purpose of revocation or modification in accordance with the requirements of the MBMC Chapter 10.104. Modification may consist of conditions deemed reasonable to mitigate or alleviate impacts to adjacent land uses.

21. There shall be no restaurant uses allowed on the second floor area including the deck. The second-floor interior and exterior deck shall not be rented out for events or private parties.

22. The Community Development Department staff shall be allowed to inspect the site at any time.

**Refuse**

23. The management shall arrange for special on-site pickup as often as necessary to ensure that the refuse area has adequate space to accommodate the needs of the subject business.

24. No refuse generated at the subject site shall be located in the non-alley Public Right-of-Way for storage or pickup, including the disposal of refuse in any refuse container established for public use.

**Signage**

25. All new signs and alterations to existing signs shall receive permits, and shall be in compliance with the City’s sign code.

26. A-frame or other sidewalk signs in the public right-of-way shall be prohibited.

27. No temporary banner or other signs shall be placed on the site without City permit and approval.

**Procedural**

28. The owner shall be required to obtain a City of Manhattan Beach right-of-way encroachment permit for any projections into the public right-of-way.
29. This Resolution shall become effective when all time limits for appeal as set forth in MBMC Section 10.100.030 have expired
30. This Use Permit shall lapse two years after its date of approval, unless implemented or extended pursuant to 10.84.090 of the Municipal Code.
31. This Resolution shall serve as the amended and restated Use Permit for the subject property. Board of Zoning Adjustment Resolution No. BZA 84-37 is rescinded and no longer in effect.
32. Pursuant to Public Resources Code section 21089(b) and Fish and Game Code section 711.4(c), the project is not operative, vested or final until the required filing fees are paid.
33. The Planning Commission's decision is based upon each of the totally independent and separate grounds stated herein, each of which stands alone as a sufficient basis for its decision.
34. The Secretary of the Planning Commission shall certify to the adoption of this Resolution and shall forward a copy of this Resolution to the owner. The Secretary shall make this resolution readily available for public inspection.
35. Terms and Conditions are Perpetual; Recordation of Covenant. The provisions, terms and conditions set forth herein are perpetual, and are binding on the owner, its successors-in-interest, and, where applicable, all tenants and lessees of the site. Further, the owner shall submit the covenant, prepared and approved by the City, indicating its consent to the conditions of approval of this Resolution, and the City shall record the covenant with the Office of the County Clerk/Recorder of Los Angeles. Owner shall deliver the executed covenant, and all required recording and related fees, to the Department of Community Development within 30 days of the adoption of this Resolution. Notwithstanding the foregoing, the Director may, upon a request by owner, grant an extension to the 30-day time limit. The project approval shall not become effective until recordation of the covenant.
36. *Indemnity, Duty to Defend and Obligation to Pay Judgments and Defense Costs, Including Attorneys' Fees, Incurred by the City.* The owner shall defend, indemnify, and hold harmless the City, its elected officials, officers, employees, volunteers, agents, and those City agents serving as independent contractors in the role of City officials (collectively "Indemnitees") from and against any claims, damages, actions, causes of actions, lawsuits, suits, proceedings, losses, judgments, costs, and expenses (including, without limitation, attorneys' fees or court costs) in any manner arising out of or incident to this approval, related entitlements, or the City's environmental review thereof. The owner shall pay and satisfy any judgment, award or decree that may be rendered against City or the other Indemnitees in any such suit, action, or other legal proceeding. The City shall promptly notify the owner of any claim, action, or proceeding and the City shall reasonably cooperate in the defense. If the City fails to promptly notify the owner of any claim, action, or proceeding, or if the City fails to reasonably cooperate in the defense, the owner shall not thereafter be responsible to defend, indemnify, or hold harmless the City or the Indemnitees. The City shall have the right to select counsel of its choice. The owner shall reimburse the City, and the other Indemnitees, for any and all legal expenses and costs incurred by each of them in connection therewith or in enforcing the indemnity herein provided. Nothing in this Section shall be construed to require the owner to indemnify Indemnitees for any Claim arising from the sole negligence or willful misconduct of the Indemnitees. In the event such a legal action is filed challenging the City's determinations herein or the issuance of the approval, the City shall estimate its expenses for the litigation. The owner shall deposit said amount with the City or enter into an agreement with the City to pay such expenses as they become due.

**RESOLUTION NO. PC 19-**

I hereby certify that the following is a full, true, and correct copy of the Resolution as **ADOPTED** by the Planning Commission at its regular meeting on **January 23, 2019** and that said Resolution was adopted by the following vote:

**AYES:**

**NOES:**

**ABSTAIN:**

**ABSENT:**

---

**Anne McIntosh**  
Secretary to the Planning Commission

---

**Rosemary Lackow**  
Recording Secretary

THIS PAGE  
INTENTIONALLY  
LEFT BLANK

Attachment B

14

Aug/14

24-63

RESOLUTION NO. BZA 84-37

RESOLUTION OF THE BOARD OF ZONING ADJUSTMENT OF THE CITY OF MANHATTAN BEACH APPROVING A CONDITIONAL USE PERMIT TO ALLOW A SUBSTANTIAL REMODEL AND RENOVATION TO AN EXISTING RESTAURANT/BAR CONTAINING LIVE ENTERTAINMENT FOR THE PROPERTY LOCATED AT 309 MANHATTAN BEACH BOULEVARD (Moffett)

*MANHATTAN COOLERS*

WHEREAS, the Board of Zoning Adjustment of the City of Manhattan Beach conducted a public hearing on the application for a Conditional Use Permit for a property legally described as Lot 3, Block 92, 2 in the City of Manhattan Beach; and,

*Site Visit  
Putting in air  
check trash*

*MANHATTAN COOLERS*  
justment of the City of Manhattan Beach conducted applicable law to consider an application for a property legally described as Lot 3, Block 92, 2 in the City of Manhattan Beach; and,

WHEREAS, the Board of Zoning Adjustment of the City of Manhattan Beach conducted a public hearing on the application for a Conditional Use Permit for a property legally described as Lot 3, Block 92, 2 in the City of Manhattan Beach; and,

Conditional Use Permit is Peter Moffett, lessee

WHEREAS, the Board of Zoning Adjustment of the City of Manhattan Beach conducted a public hearing on the application for a Conditional Use Permit for a property legally described as Lot 3, Block 92, 2 in the City of Manhattan Beach; and,

advertised pursuant to applicable law, testimony was invited and received; and,

WHEREAS, an Initial Study/Environmental Assessment was prepared and a Negative Declaration was filed in compliance with all respects with CEQA and the City of Manhattan Beach Guidelines, finding no significant environmental impacts associated with the project; and,

WHEREAS, the following findings were made with regard to this application:

1. The applicant requests approval of a Conditional Use Permit to allow an existing, approximately 2,400 square foot restaurant/bar to be substantially renovated and remodeled to upgrade the building's exterior appearance, change its architectural theme, and provide for an expanded and modernized food preparation area as well as improve the handicap access to the structure.
2. The property is located in Area District III, within the Downtown Business District, and is zoned C-2, General Commercial.
3. The existing building maintains a restaurant/bar use at the lower level and two residential apartments on the upper floor. The proposal will maintain the residential uses as they exist.
4. The property is surrounded on four sides by either public improvements or commercially zoned and used property. The nearest residential zone is approximately 200 feet away and is insulated from this use by intervening commercial and public uses and intervening streets.
5. The property is exempt from the provision to provide on-site parking due to its location within VPD No. 3.
6. The applicant proposes to operate the business between the hours of 7 a.m. to 2 a.m., seven days a week.

RESOLUTION NO. BZA 84- 37  
(Continued)

7. The live entertainment facet of the business is proposed to consist of contemporary music. The proposal is to allow a maximum of five musicians, including vocalists performing within the business at any one time, which is consistent to previous approvals granted for past businesses on this property. In addition, an on-sale general liquor license is being requested for this business, also consistent with previous approvals.
8. Noise generated on the property will be mitigated by the fact that the business is located within a commercial district, will be partially reconstructed to include current modern building techniques, and that all surrounding residential properties are isolated from this business by intervening commercial businesses and public uses.
9. The proposed design modifications and structural improvements will significantly contribute to the architectural diversity and upgrade the aesthetics of the Downtown Business District.
10. The proposed use will be compatible with all existing land uses within the vicinity.

NOW, THEREFORE, BE IT RESOLVED that the Board of Zoning Adjustment hereby APPROVES the Conditional Use Permit subject to the following conditions:

1. The management of the restaurant shall police the property and all areas immediately adjacent to the business during the hours of operation to keep it free of litter.
2. The business proprietor shall provide adequate management and supervisory techniques to prevent loitering, unruliness, and boisterous activities of patrons outside the subject business or in the immediate area.
3. The service of alcohol shall be in conjunction with minimum food service during all hours of operation.
4. The hours of entertainment shall be limited to be no later than 1:30 a.m. seven days a week.
5. All doorways and windows for the business shall remain closed at all times during live entertainment.
6. All amplified sound systems used in conjunction with the entertainment shall be permanently installed by the applicant, shall be the only sound systems utilized, and shall be controlled by the management and not the musicians.
7. The noise emanating from the property shall be within the limitations prescribed by the City's Noise Ordinance and shall not create a nuisance to surrounding residential neighbors.

RESOLUTION NO. BZA 84-37  
(Continued)

8. The refuse enclosure area, which is to serve the project, shall be provided in a location and design approved by the Department of Public Services.
9. The front area of the property shall be permanently maintained with landscaped planters as noted within the proposal.
10. Existing overhead utilities shall be converted to underground service to the nearest utility pole in accordance with Municipal Code provisions.
11. The roof and rain gutter drainage tributary to Manhattan Beach Boulevard shall be contained on-site in appropriate pipes and conveyed by means of a minimum of 4" diameter cast-iron pipe under the public sidewalk and through an opening in the curb along Manhattan Beach Boulevard, as approved by the Department of Public Works.
12. The existing dilapidated awnings and floodlighting on Manhattan Beach Boulevard shall be removed. Prior to installation of any new awnings which will encroach into the public right-of-way, the applicant is required to secure an Encroachment Permit from the Public Works Department and all appropriate Building Permits and approvals.
13. The Conditional Use Permit shall be reviewed within six months from the date of occupancy and annually thereafter.

I hereby certify that the foregoing is a full, true, and correct copy of the Resolution as adopted by the Board of Zoning Adjustment at its regular meeting of August 14, 1984, and that said Resolution was adopted by the following vote:

AYES: Cole, Duffy, Johnson, Lilligren,  
Hollingsworth

NOES: None

ABSENT: None

ABSTAIN: None

Terry Stambler-Wolfe  
TERRY STAMBLER-WOLFE  
Secretary to the Board of Zoning  
Adjustment

Arlette Tirman  
Arlette Tirman  
Recording Secretary

THIS PAGE  
INTENTIONALLY  
LEFT BLANK



## Attachment C

Esperanza

---

*309 Manhattan Beach Blvd. Manhattan Beach, CA 90266  
Mailing address: 703 Pier Ave Ste B-815 Hermosa Beach, CA 90266  
Phone 310-374-9900 Fax 310-374-9900*

**Complete written description of project, Esperanza at 309 Manhattan Beach Blvd.**

The previous use permit approval for restaurant use at this location permits full alcohol service, live entertainment, 14 seats at the bar, hours from 7am to closing 2am daily, Residential use exists separately on second floor on site which is nonconforming for lack of use permit but does not currently require such approval since the project does not involve any building expansion

Written description of how Use Permit will be met: The restaurant will not create adverse impacts on, nor be adversely impacted by, the surrounding area, or create demands exceeding the capacity of public services and facilities, since it has primarily existed at the subject location, is appropriately located within a CD downtown commercial area.

Mon 01/14/2019 11:40am

**RE: 309 MBB Use Permit**

To: Ted Faturous; Greg Newman

Cc: Greg Newman

From: Ron Newman

Hi Ted,

We want to continue our existing conditions for entertainment and operating hours as approved on resolution no. BZA 84-37.

This is a property right, as well as a right of our existing business. If you need anything else let me know, otherwise we see you at 4:45pm Tomorrow Tuesday at shark cove.

Best Regards

Ron



# ESPERANZA

Tenant Improvement  
309 Manhattan Beach Blvd.  
Manhattan Beach, CA 90254

## Attachment D

### SCOPE OF WORK

PROJECT SCOPE OF WORK IS A TENTANT IMPROVEMENT OF EXISTING BAR TO A HIGH-END DINING ROOM. RE-LOCATE EXISTING BAR AND RE-WORK LAYOUT, NEW ROOF STRUCTURE AND SECOND FLOOR DECK AREA, NEW HVAC, ELECTRICAL AND LIGHTING AND PLUMBING AS REQUIRED FOR THE TENANT IMPROVEMNT.

NO TENANT IMPROVEMENTS TO EXISTING KITCHEN AREA OR UPSTAIRS RESIDENCE.

### KEYNOTES

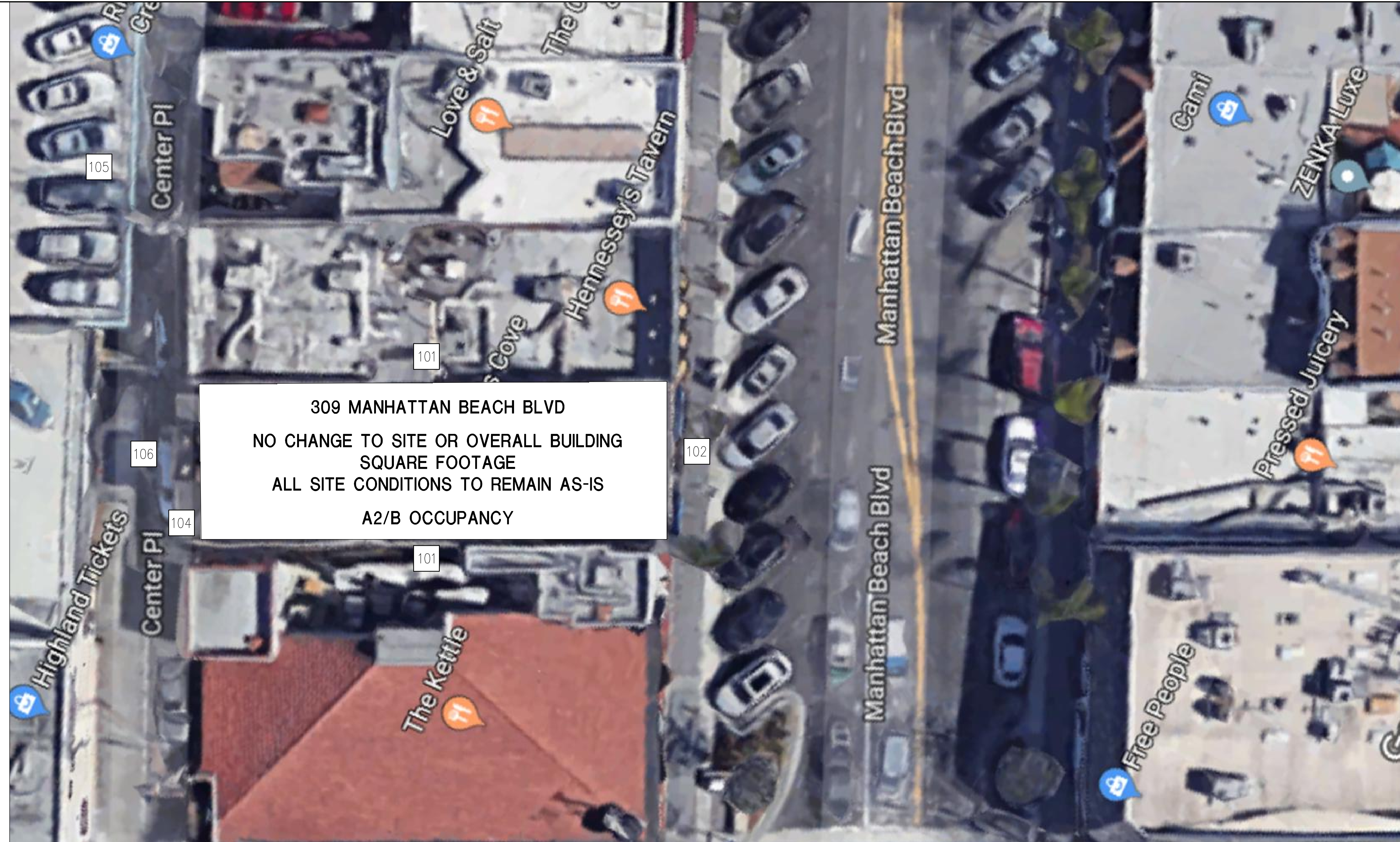
- 101 PROPERTY LINE
- 102 BUILDING ENTRY
- 103 EXISTING ADA-ACCESSIBLE ROUTE
- 104 EXISTING TRASH ENCLOSURE
- 105 EXISTING PUBLIC PARKING STRUCTURE
- 106 DEDICATION OF ALLEY

### GENERAL NOTES

1. CONTRACTOR SHALL VERIFY ALL DIMENSIONS ON DRAWINGS FOR CONFLICTS PRIOR TO CONSTRUCTION.
2. ALL CONSTRUCTION TO BE PERFORMED AS PER CBC 3300 AS APPLICABLE.
3. VERIFY SITE CONDITIONS BEFORE STARTING WORK.
4. EXISTING SITE PLAN FOR REFERENCE ONLY. NO ALTERATIONS OR ADDITIONS TO SITE ARE PLANNED.
5. ALL SIGNS UNDER SEPARATE SIGN PERMIT.
6. ALL MECHANICAL EQUIPMENT MUST BE SCREENED.

### SHEET INDEX

COVER	
T1	TITLE SHEET/SITE PLAN
ARCHITECTURAL	
A1.0	GENERAL NOTES AND DETAILS
A2.0	DEMO 1ST & NEW FLOOR PLAN
A2.1	DEMO & NEW 1ST OCCUPANCY PLAN
A2.2	DEMO 1ST & NEW CEILING PLAN
A2.3	EXISTING KITCHEN PLAN AND CEILING PLAN
A2.4	EXISTING 2ND FLOOR PLAN AND CEILING PLAN
A2.5	EXISTING & NEW ENTRY ELEVATIONS & SECTIONS
A2.6	SECTIONS & EXTERIOR ELEVATIONS
A2.7	WALL SECTIONS
INTERIOR DESIGNER	
ID-F1-1.00	1ST FLOOR PLAN
ID-F1-2.00	1ST FINISH FLOOR PLAN
ID-F1-3.00	1ST FURNITURE PLAN
ID-F1-4.00	1ST REFLECTED CEILING PLAN
ID-F1-5.01	1ST FLOOR-DINING ROOM ELEVATIONS
ID-F1-5.02	1ST FLOOR-DINING ROOM ELEVATIONS
ID-F1-5.03	1ST FLOOR-RESTROOM ELEVATIONS
ID-F1-5.04	1ST FLOOR-CORRIDOR ELEVATIONS
ID-F1-6.00	BACK OF BAR WALL SECTION
ID-F1-8.00	MILLWORK-01-BANQUETTE
ID-F1-8.01	MILLWORK-02-BANQUETTE
ID-F1-8.02	MILLWORK-03-BANQUETTE
ID-F1-8.03	MILLWORK-04-CUSTOM WOOD SCREEN
ID-F1-8.04	MILLWORK-05-BANQUETTE
ID-F1-8.05	MILLWORK-06-BACK BAR
ID-F1-8.06	MILLWORK-07-BAR
ID-F1-8.07	MILLWORK-08-POS/SERVICE STATION
ID-F1-8.08	MILLWORK-09-OUTSIDE BANQUETTE
ID-F1-8.09	MILLWORK-10-OUTSIDE BANQUETTE
ID-F1-9.00	ENLARGED RESTROOM FLOOR PLAN
BAR DESIGN	
K-01	FOOD SERVICE EQUIPMENT FLOOR PLAN AND SCHEDULE
K-02	FOOD SERVICE EQUIPMENT PLUMBING PLAN
K-03	FOOD SERVICE ELECTRICAL CONDUIT AND CURB PLAN
K-04	FOOD SERVICE ELEVATIONS & DETAILS



SITE PLAN

NTS

1

**BUILDING OWNER:**  
ALBERT PAPO  
1008 S. HARBOR VIEW AVE.  
SAN PEDRO, CA 90732  
PHONE# (310) 832-1913

**TENANT:**  
GREG NEWMAN  
703 PIER AVE - SUITE B-815  
HERMOSA BEACH, CA 90254  
PHONE# (310) 989-7618  
EMAIL: GREGN@SHARKEEZ.NET

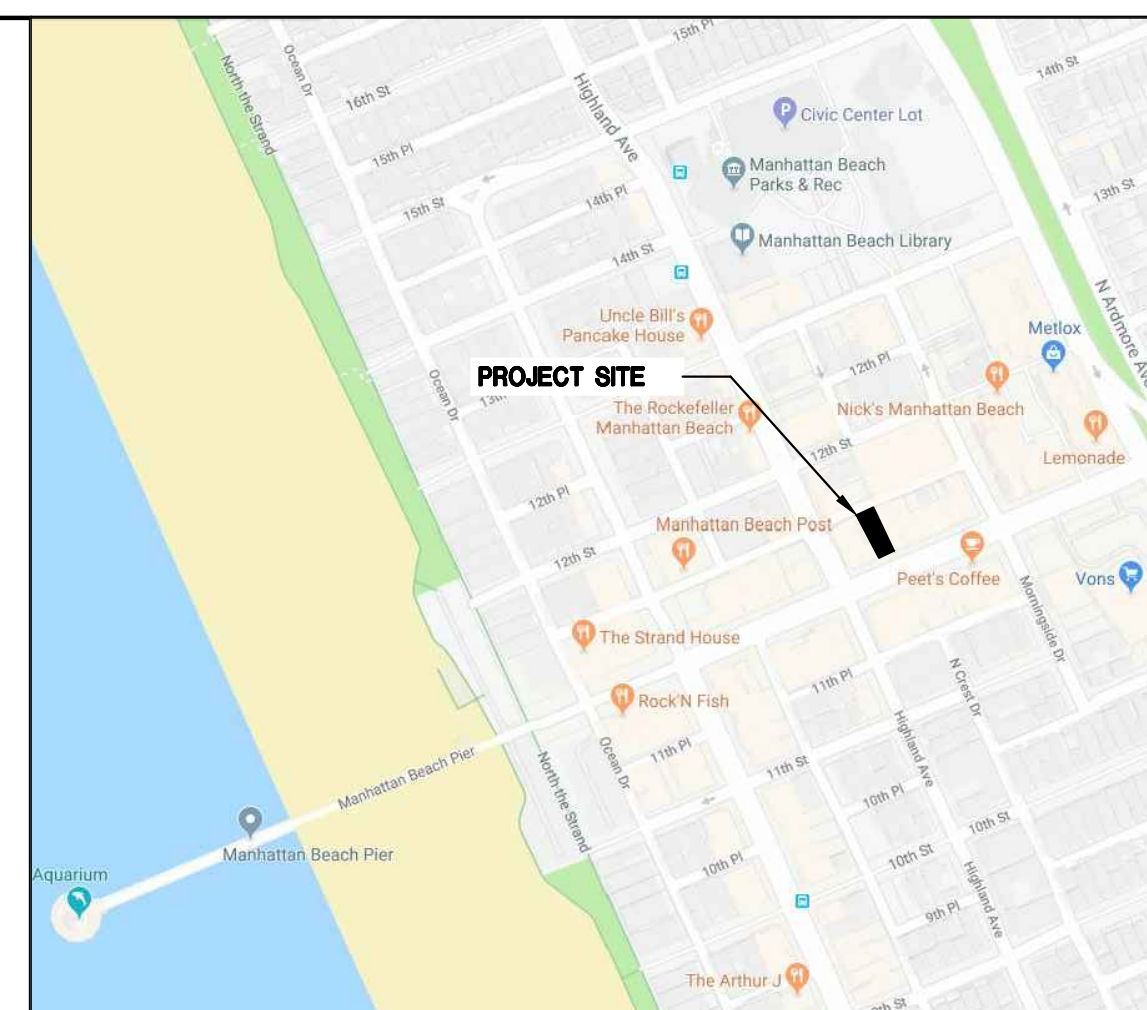
**ARCHITECT:**  
GAA ARCHITECTS  
8811 RESEARCH DR, SUITE 200  
IRVINE, CA 92618  
PHONE# (949) 474-1775  
EMAIL: CRAIGW@GAAARCHITECTS.COM

**STRUCTURAL:**  
INSIGHT STRUCTURAL ENGINEERS  
855 NORTH DOUGLAS STREET - 1ST FLOOR  
EL SEQUINDO, CA 90254  
PHONE# (310) 640-0123  
BRIAN MILLER

**INTERIOR DESIGNER:**  
GULLA JONSDOTTIR DESIGN  
666 N. ROBERTSON BLVD.  
WEST HOLLYWOOD, CA 90069  
PHONE# (310) 275-1401  
CHRISTY COLEMAN

**MECHANICAL ENGINEER:**  
ZERO & ASSOCIATES  
711 WEST 17ST STREET - SUITE D-6  
COSTA MESA, CA 92627  
PHONE# (949) 515-4333  
LAWRENCE A. ZERO  
EMAIL: ZEROASSOC@AOL.COM

**BAR DESIGNER:**  
CLAY ENTERPRISES  
2981 WEST McARTHUR BLVD. SUITE 126  
SANTA ANA, CA 92704  
PHONE# (714) 429-9914  
ALBERT YANEZ  
EMAIL: ALBERT@CLAYENTERPRISES.COM



VICINITY MAP

NTS

**PROJECT DESCRIPTION:** AN APPROXIMATELY 1,770 S.F. REMODEL OF AN EXISTING RESTAURANT DINING AREA INCLUDING NEW BAR LOCATION, NEW ADA UNISEX RESTROOM, NEW EXTERIOR PATIO AREA WITH IN BUILDING AREA, NEW ENTRY FAÇADE, NEW ROOF STRUCTURE AT FRONT OF DINING AREA, NEW ELECTRICAL, PLUMBING AND MECHANICAL AS REQUIRED FOR NEW DINING AND BAR AREA AS REQUIRED, KITCHEN AND SECOND FLOOR RESIDENCE TO REMAIN AS-IS, WITH THE EXCEPTION OF SECOND FLOOR OUTSIDE DECK THAT WILL BECOME SMALLER IN ORDER TO ACCOMMODATE NEW AC UNITS FOR RESTAURANT DINING BELOW.

**CODES:**  
2016 CALIFORNIA BUILDING CODE  
2016 CALIFORNIA ELECTRICAL CODE  
2016 CALIFORNIA ENERGY CODE  
2016 CALIFORNIA GREEN BUILDING STANDARDS CODE  
MANHATTAN BEACH MUNICIPAL CODE

**SITE & BUILDING DATA:**  
ZONING: AERA DISTRICT III CD - COMMERCIAL DOWNTOWN  
CONSTRUCTION TYPE: V-B, NON-SPRINKLERED  
STORIES: 2  
OCCUPANCY: A-2  
OCCUPANT LOAD: 89

**LEGAL DESCRIPTION:**  
LOT 3, BLOCK 92, MANHATTAN BEACH DIVISION #2, AT 309 MANHATTAN BEACH BOULEVARD IN THE CITY OF MANHATTAN BEACH

CODES

NTS

**BUILDING SQUARE FOOTAGE (EXISTING)**

FIRST FLOOR (NET)	
DINING/BAR/RESTROOMS	1,371 S.F.
PATIO AREA	362 S.F.
KITCHEN AREA (NOT IN SCOPE)	761 S.F.
TOTAL FIRST FLOOR	2,494 S.F.
SECOND FLOOR (SEPARATE TENANT - NOT IN SCOPE)*	
RESTROOMS/KITCHEN/OTHER	754 S.F.
STORAGE AREA	151 S.F.
DECK AREAS	531 S.F.
OFFICE AREA	698 S.F.
ROOF AREA	138 S.F.
TOTAL SECOND FLOOR	2,272 S.F.
TOTAL BUILDING AREA	4,766 S.F.
<b>BUSINESS SQUARE FOOTAGE (GROSS, NO CHANGE)</b>	
KITCHEN	761 SF
BAR AREA	226 SF
MAIN DINING	865 SF
RESTROOMS	280 SF
OUTSIDE PATIO	362 SF
2ND FLOOR STORAGE	151 SF
2ND FLOOR OFFICES	698 SF
TOTAL	3,343 SF GROSS
<b>NET PUBLIC AREA</b>	
EXISTING, NO CHANGE	0 SF NET

PROJECT DATA



8811 Research Drive,  
Suite 200,  
Irvine, CA 92618  
T: 949 474 1775  
F: 949 553 9133

ESPERANZA  
309 MANHATTAN BEACH BLVD.  
MANHATTAN BEACH, CA 90254

DEVELOPED FOR:  
NEWMAN HOSPITALITY

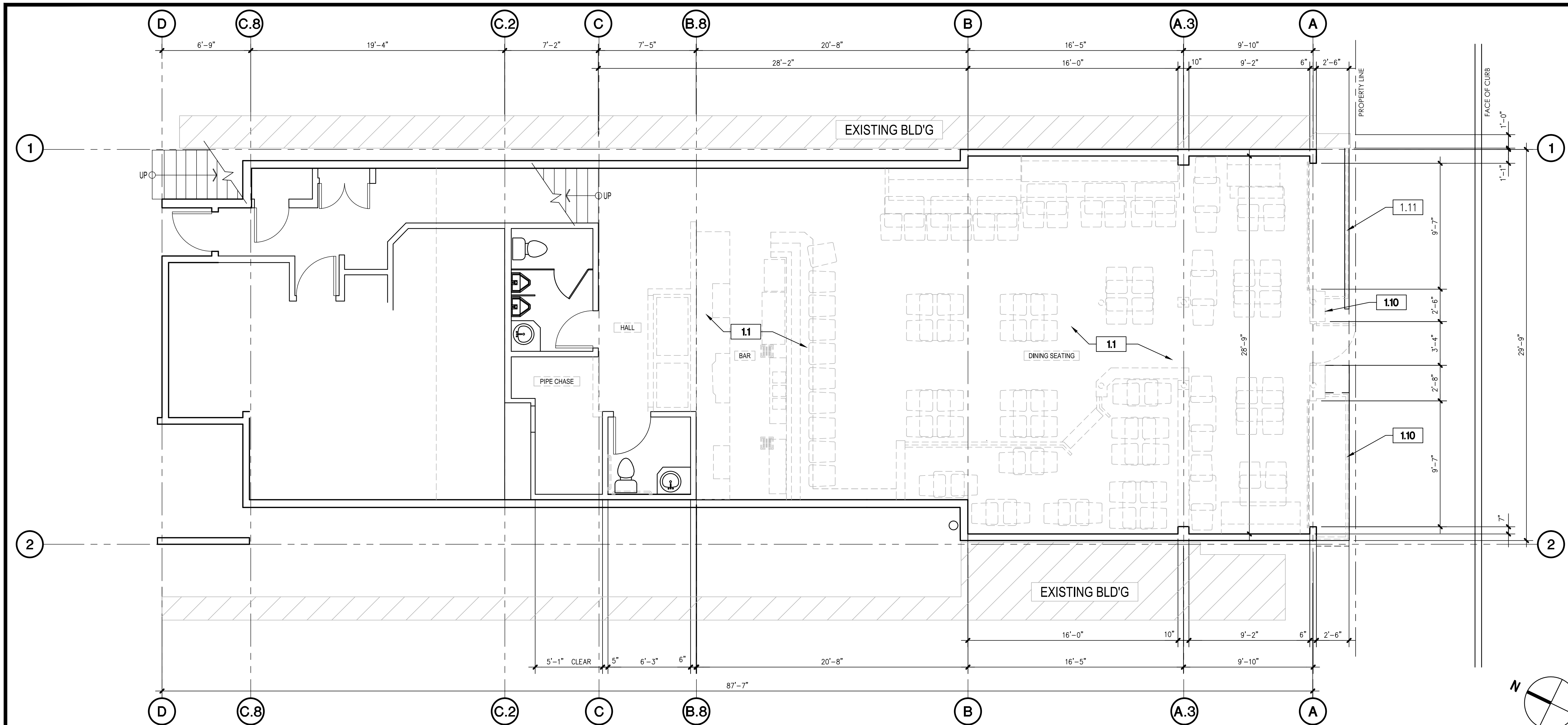
NO.	DESCRIPTION	DATE
1	PLANNING SUBMITTAL	09/18/18

### COVERSHEET

ALL DRAWINGS AND WRITTEN MATERIAL APPEARING HEREIN CONSTITUTE THE ORIGINAL AND UNPUBLISHED WORK OF THE ARCHITECT AND THE SAME MAY NOT BE REPRODUCED, USED OR DISCLOSED WITHOUT THE EXPRESS WRITTEN CONSENT OF THE ARCHITECT.  
© GAA ARCHITECTS. ALL RIGHTS RESERVED.

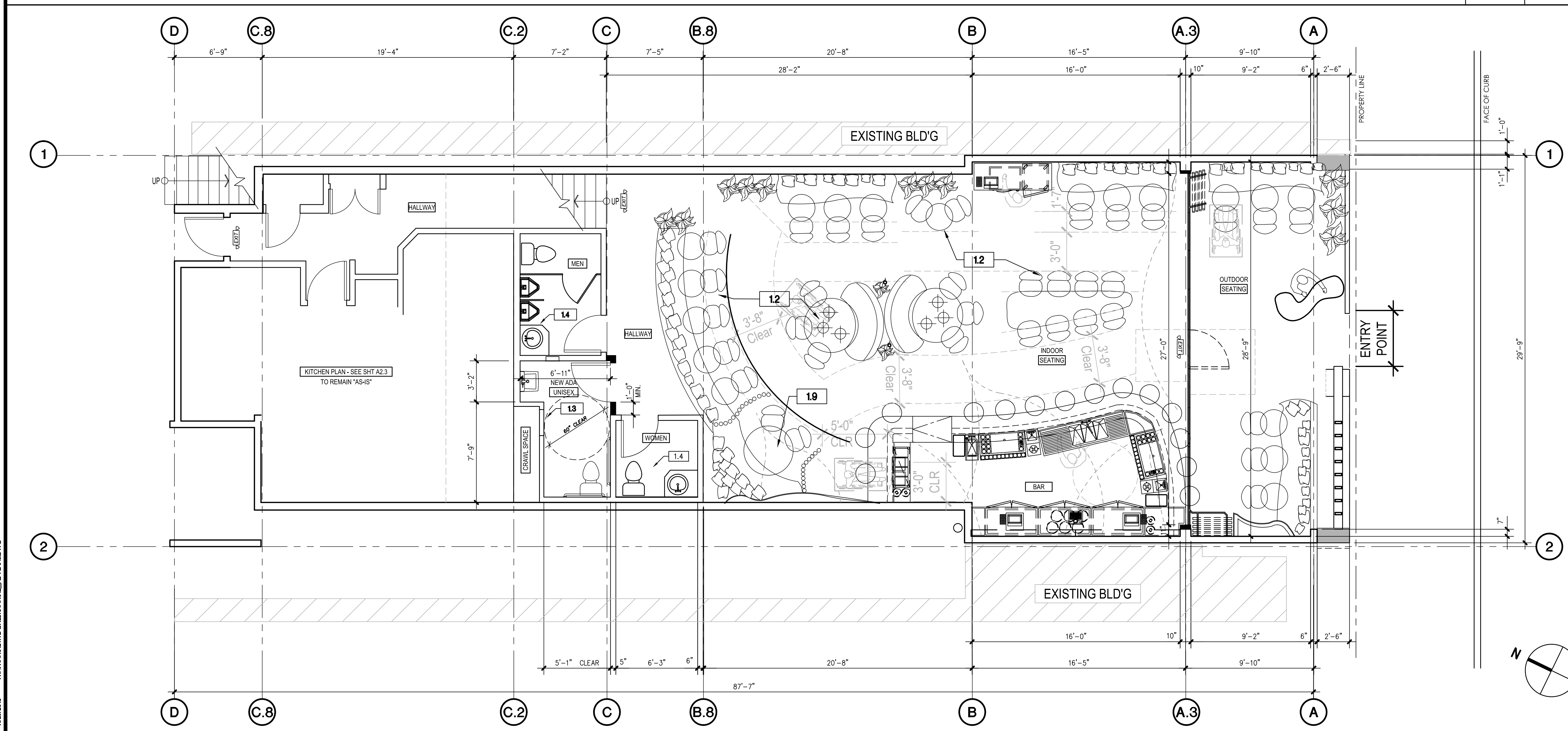
<b>JOB NO:</b>	NH012.01	<b>SHEET NO:</b>	T1
<b>DATE:</b>	09/13/18		
<b>DRAWN:</b>	GAA		
<b>FILE NAME:</b>	NH012_T1		





DEMO 1ST FLOOR RESTAURANT FLOOR PLAN

1/4"=1'-0" 1



NEW 1ST FLOOR RESTAURANT FLOOR PLAN

1/4"=1'-0" 2

KEYNOTES

- 1.0 GENERAL
- 1.1 DEMO. EXISTING DINING ROOM AND ROOF STRUCTURE ABOVE BETWEEN GRID LINES A AND B.
- 1.2 PROPOSED DINING ROOM.
- 1.3 PROPOSED ALL GENDER RESTROOM.
- 1.4 EXISTING RESTROOM TO REMAIN.
- 1.5 PROPOSED OUTDOOR SEATING.
- 1.6 KITCHEN AREA TO REMAIN. (NO CHANGES PROPOSED).
- 1.7 2ND FLOOR TO REMAIN. (NO CHANGES PROPOSED).
- 1.8 REBUILD 1st. FLOOR ROOF/2nd FLOOR DECK TO ALLOW ROOM FOR NEW A/C UNITS - ALL MECHANICAL EQUIPMENT MUST BE SCREENED.
- 1.9 AREA WHERE LIVE ENTERTAINMENT WILL HAPPEN AT TIMES - TABLE AND CHAIRS WOULD BE REMOVED.
- 1.10 REMOVE ENTIRE FRONT ENTRY ELEVATION.
- 1.11 REMOVE EXISTING METAL SEATING AREA RAILING.
- 1.12 ENTIRE CEILING TO BE REMOVED AND REPLACED.
- 1.13 NEW GYPSUM BOARD CEILING - PAINTED.



8811 Research Drive,  
Suite 200,  
Irvine, CA 92618  
T: 949 474 1775  
F: 949 553 9133

ESPERANZA

309 MANHATTAN BEACH BLVD.  
MANHATTAN BEACH, CA 90254

DEVELOPED FOR:  
NEWMAN HOSPITALITY

NO.	DESCRIPTION	DATE
1	PLANNING SUBMITTAL	09/18/18

DEMO 1ST FLOOR & NEW RESTAURANT FLOOR PLAN

ALL DRAWINGS AND WRITTEN MATERIAL APPEARING HEREIN CONSTITUTE THE ORIGINAL AND UNPUBLISHED WORK OF THE ARCHITECT AND THE SAME MAY NOT BE REPRODUCED, USED OR DISCLOSED WITHOUT THE EXPRESS WRITTEN CONSENT OF THE ARCHITECT.  
© GAA ARCHITECTS. ALL RIGHTS RESERVED.


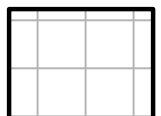
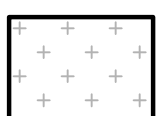
JOB NO. NH012.01	SHEET NO. A2.0
DATE: 09/13/18	
DRAWN: GAA	
FILE NAME: NH012_2.0A	

PC DATE: 11/29/2018 PANPANRTO\WDS\ESPERANZA\_02 PLANS.DWG Page 20 of 34 PC MTG 01-23-18



**KEYNOTES**

- 1.1 DEMO. EXISTING DINING ROOM AND ROOF STRUCTURE ABOVE BETWEEN GRID LINES A AND B - REFER TO STRUCTURAL DRAWINGS FOR NEW STRUCTURAL.
- 1.2 PROPOSED DINING ROOM - REFER TO INTERIOR DESIGN DRAWINGS.
- 1.3 PROPOSED ALL GENDER RESTROOM - REFER TO DETAIL X/X.
- 1.4 EXISTING RESTROOM TO REMAIN - REFER TO INTERIOR DESIGN DRAWINGS FOR NEW FLOOR AND WALL FINISHES.
- 1.5 NEW OUTDOOR SEATING - REFER TO INTERIOR DESIGN DRAWINGS.
- 1.6 KITCHEN AREA TO REMAIN. (NO CHANGES PROPOSED).
- 1.7 2ND FLOOR TO REMAIN. (NO CHANGES PROPOSED).
- 1.8 REBUILD 1st. FLOOR ROOF/2ND FLOOR DECK TO ALLOW ROOM FOR NEW A/C UNITS - ALL MECHANICAL EQUIPMENT MUST BE SCREENED.
- 1.9 AREA WHERE LIVE ENTRAINMENT WILL HAPPEN AT TIMES - TABLE AND CHAIRS WOULD BE REMOVED.
- 1.10 REMOVE ENTIRE FRONT ENTRY ELEVATION.
- 1.11 REMOVE EXISTING METAL SEATING AREA RAILING.
- 1.12 ENTIRE CEILING TO BE REMOVED AND REPLACED.
- 1.13 NEW BAR - REFER TO K SHEETS.

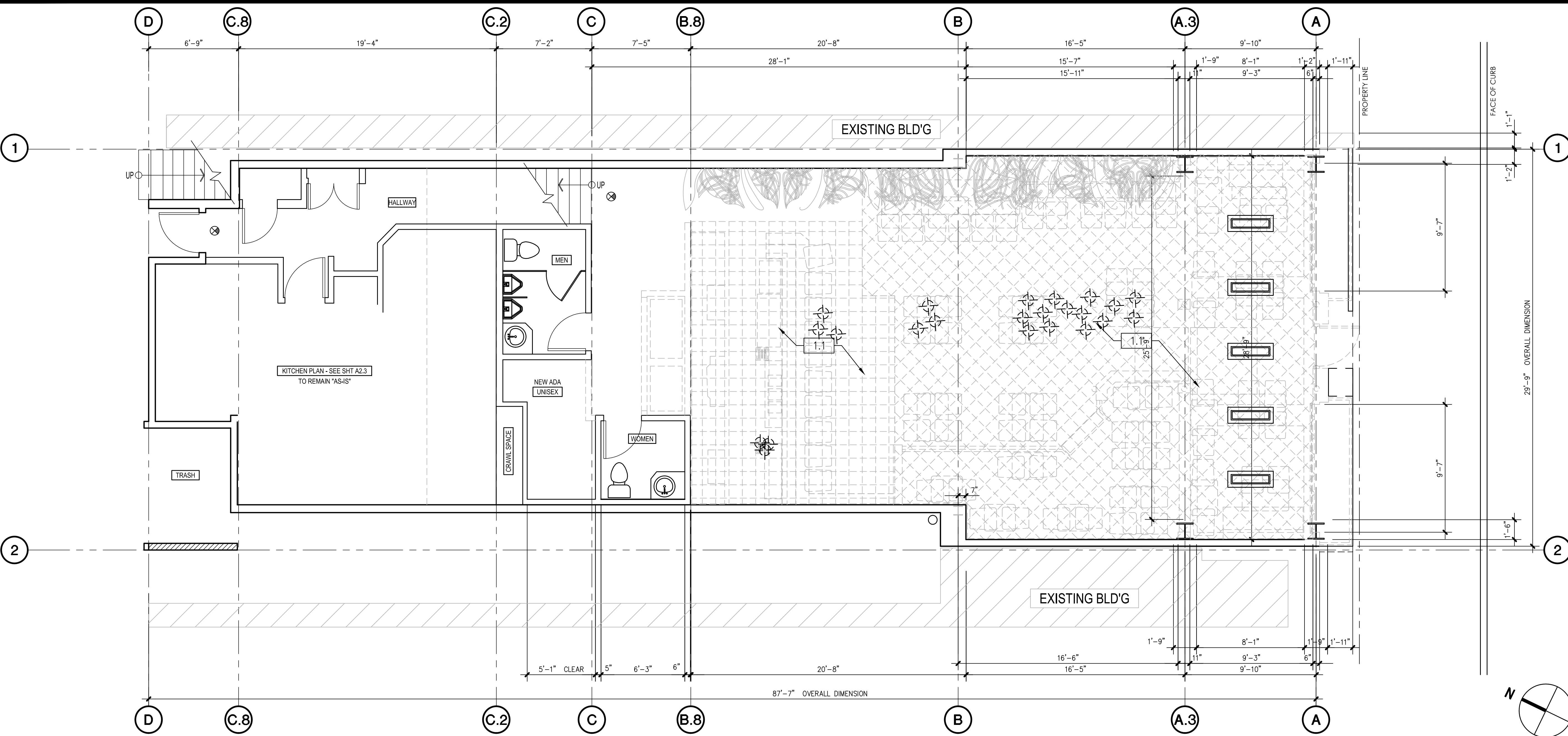
-  DINING AREA
-  BAR AREA
-  PATIO AREA

**EXISTING OCCUPANCY DIAGRAM**

ROOMSPACE	AREA	LOAD FACTOR	LOAD
COOKLINE	755	1/200	4.00
BEHIND BAR	85	1/200	1.00
MAIN FLOOR	649	1/15	44.00
BAR STANDING ROOM	45	1/7	7.00
WEST BENCHS (LF)	6	1/2	3.00
EAST BENCHS (LF)	26	1/2	13.00
BAR STOOL (SEATS)	10	1	10.00
<b>TOTAL</b>			<b>82</b>

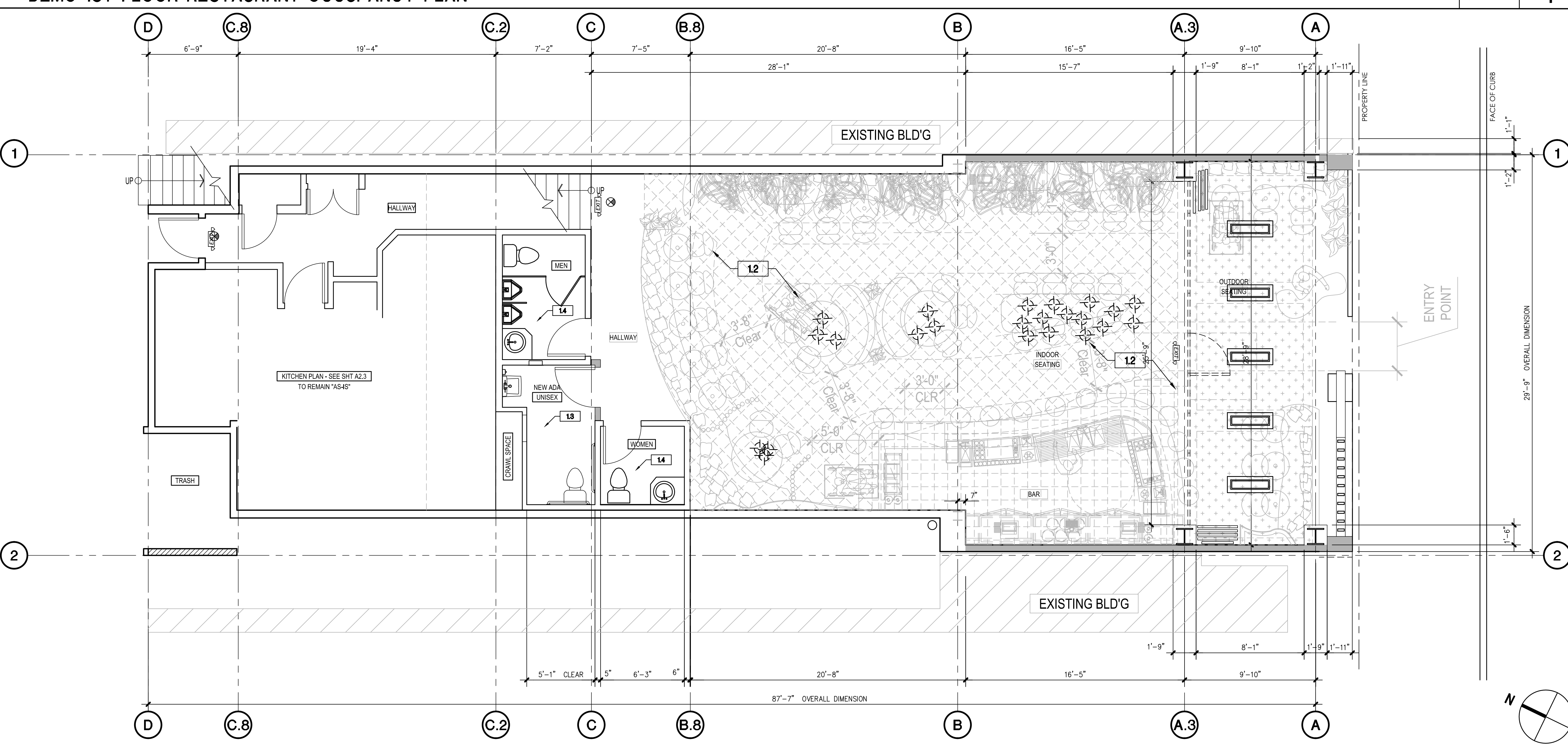
**PROPOSED OCCUPANCY DIAGRAM**

ROOMSPACE	AREA	LOAD FACTOR	LOAD
KITCHEN (GROSS)	755	1/200	4.00
BEHIND BAR	85	1/200	1.00
MAIN FLOOR	506	1/15	34.00
BAR STANDING ROOM	16	1/7	3.00
NORTH BENCHS (LF)	21	1/2	11.00
EAST BENCHS (LF)	21	1/2	11.00
BAR STOOL (SEATS)	14	1	14.00
<b>TOTAL INTERIOR</b>			<b>76</b>
PATIO MAIN FLOOR	210	1/15	14.00
PATIO EAST BENCHS (LF)	8	1/2	4.00
PATIO SOUTH BENCHS (LF)	8	1/2	4.00
<b>TOTAL PATIO</b>			<b>22.00</b>
<b>TOTAL</b>			<b>100</b>



DEMO 1ST FLOOR RESTAURANT OCCUPANCY PLAN

1/4"=1'-0" 1



NEW 1ST FLOOR RESTAURANT OCCUPANCY PLAN

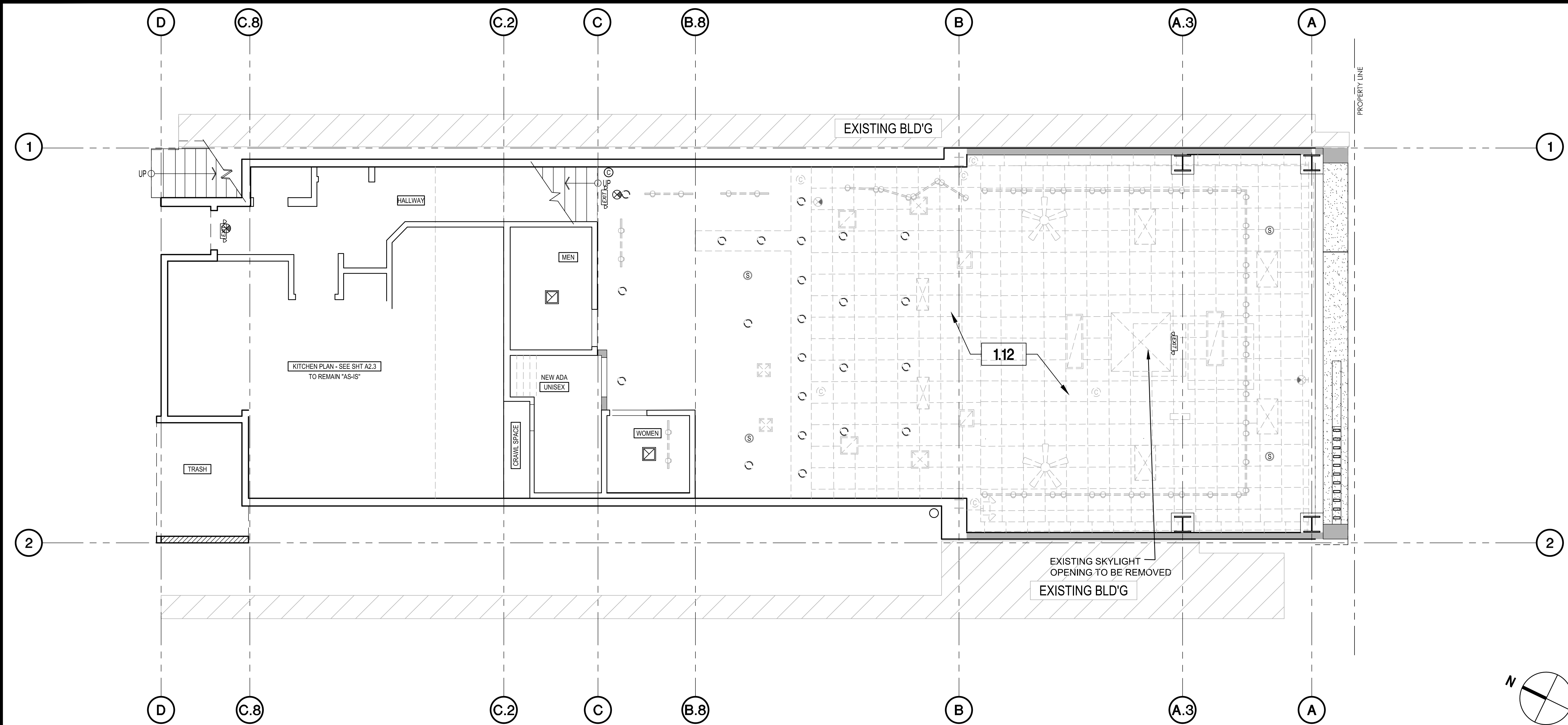
1/4"=1'-0" 2

NO.	DESCRIPTION	DATE
△	PLANNING SUBMITTAL	09/18/18

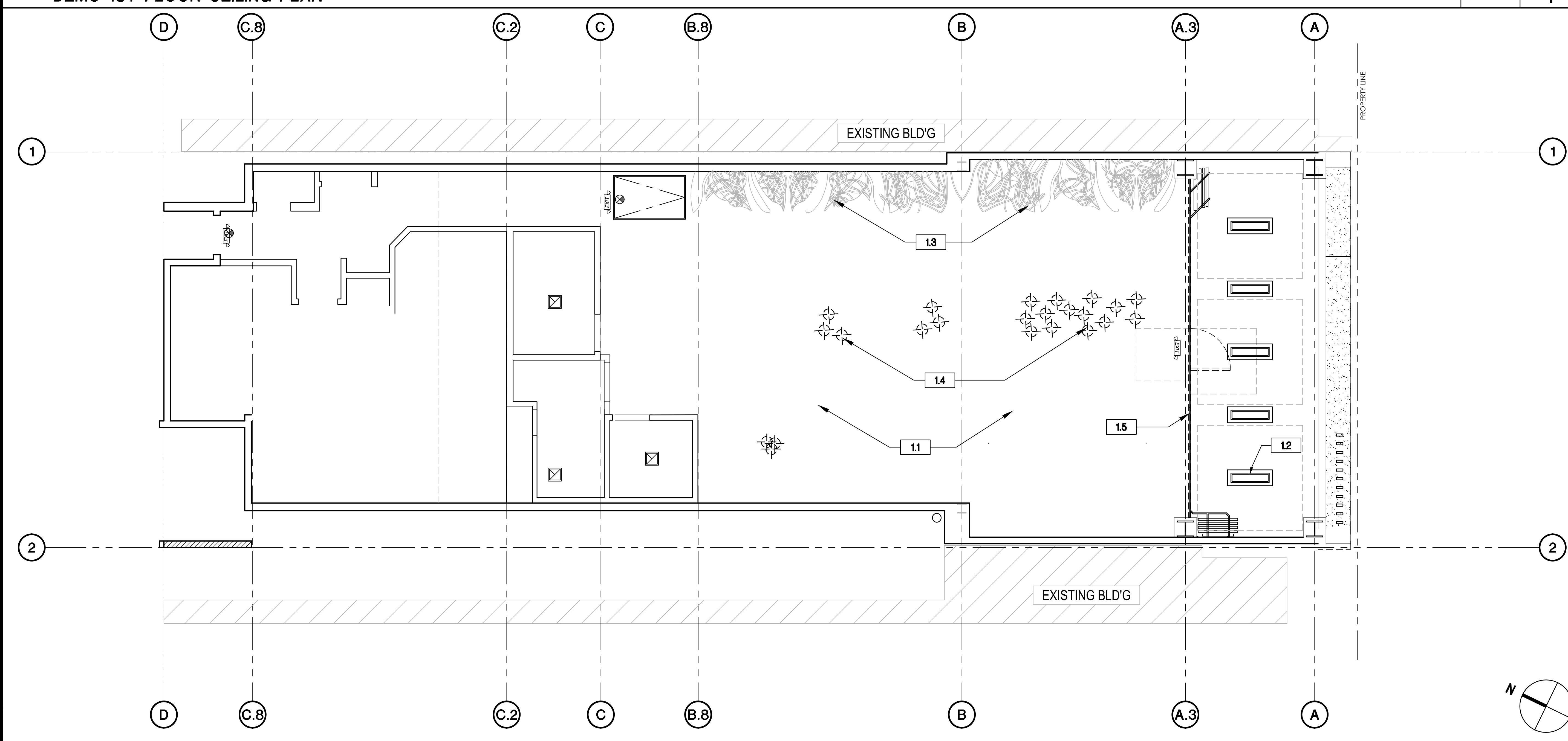
**1ST FLOOR EXISTING & NEW OCCUPANCY PLAN**

ALL DRAWINGS AND WRITTEN MATERIAL APPEARING HEREIN CONSTITUTE THE ORIGINAL AND UNPUBLISHED WORK OF THE ARCHITECT AND THE SAME MAY NOT BE REPRODUCED, COPIED OR DISCLOSED WITHOUT THE EXPRESS WRITTEN CONSENT OF THE ARCHITECT.  
© GAA ARCHITECTS. ALL RIGHTS RESERVED.





DEMO 1ST FLOOR CEILING PLAN



NEW 1ST FLOOR CEILING PLAN

PLAN KEYNOTES

- 1.1 DEMO. EXISTING DINING ROOM AND ROOF STRUCTURE ABOVE BETWEEN GRID LINES A AND B - REFER TO STRUCTURAL DRAWINGS FOR NEW STRUCTURAL.
- 1.2 PROPOSED DINING ROOM - REFER TO INTERIOR DESIGN DRAWINGS.
- 1.3 PROPOSED ALL GENDER RESTROOM - REFER TO DETAIL X/X.
- 1.4 EXISTING RESTROOM TO REMAIN - REFER TO INTERIOR DESIGN DRAWINGS FOR NEW FLOOR AND WALL FINISHES.
- 1.5 NEW OUTDOOR SEATING - REFER TO INTERIOR DESIGN DRAWINGS.
- 1.6 KITCHEN AREA TO REMAIN. (NO CHANGES PROPOSED).
- 1.7 2ND FLOOR TO REMAIN. (NO CHANGES PROPOSED).
- 1.8 REBUILD 1st. FLOOR ROOF/2nd FLOOR DECK TO ALLOW ROOM FOR NEW A/C UNITS - ALL MECHANICAL EQUIPMENT MUST BE SCREENED.
- 1.9 AREA WHERE LIVE ENTRAINMENT WILL HAPPEN AT TIMES - TABLE AND CHAIRS WOULD BE REMOVED.
- 1.10 REMOVE ENTIRE FRONT ENTRY ELEVATION.
- 1.11 REMOVE EXISTING METAL SEATING AREA RAILING.
- 1.12 ENTIRE CEILING TO BE DEMOLISHED AND REPLACED.

CEILING KEYNOTES

- 1.1 NEW 5/8 TYPE 'X' GYPSUM BOARD CEILING - REFER TO INTERIOR DESIGN DRAWINGS FOR FINISH.
- 1.2 FLUSH MOUNTED AREA HEATERS - REFER TO ELECTRICAL DRAWINGS AND DETAIL X/X.
- 1.3 ETCHED PLASTER DESIGN - REFER TO INTERIOR DESIGN DRAWINGS.

STEEL FIXED CHANNEL OR APPROVED EQUAL.



8811 Research Drive,  
Suite 200,  
Irvine, CA 92618  
T: 949 474 1775  
F: 949 553 9133

ESPERANZA

309 MANHATTAN BEACH BLVD.  
MANHATTAN BEACH, CA 90254

DEVELOPED FOR:  
NEWMAN HOSPITALITY

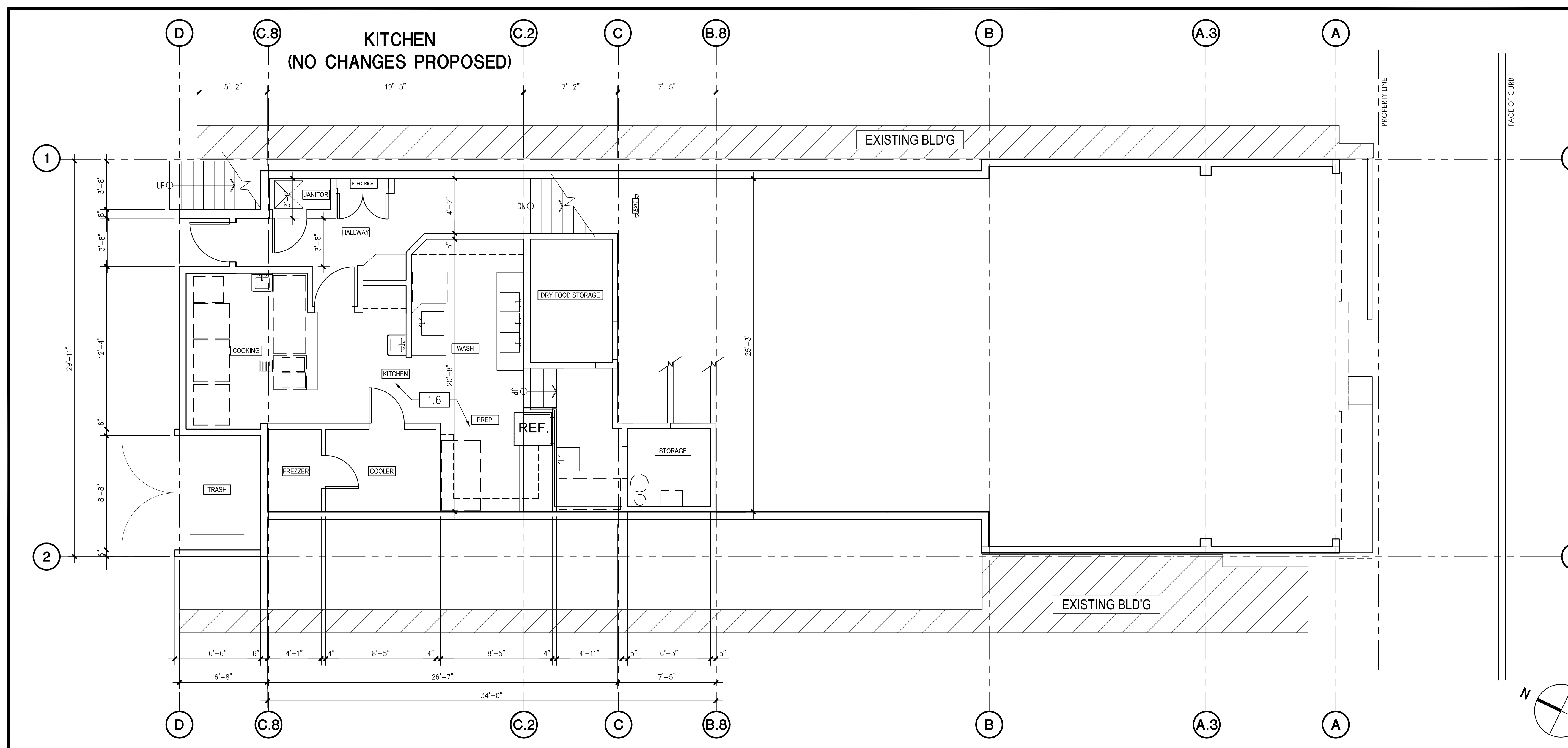
NO.	DESCRIPTION	DATE
1	PLANNING SUBMITTAL	09/18/18

DEMO 1ST FLOOR CEILING PLAN & NEW 1ST FLOOR CEILING PLAN

ALL DRAWINGS AND WRITTEN MATERIAL APPEARING HEREIN CONSTITUTE THE ORIGINAL AND UNPUBLISHED WORK OF THE ARCHITECT AND THE SAME MAY NOT BE REPRODUCED, COPIED OR SOLELY USED WITHOUT THE EXPRESS WRITTEN CONSENT OF THE ARCHITECT.  
© GAA ARCHITECTS. ALL RIGHTS RESERVED.

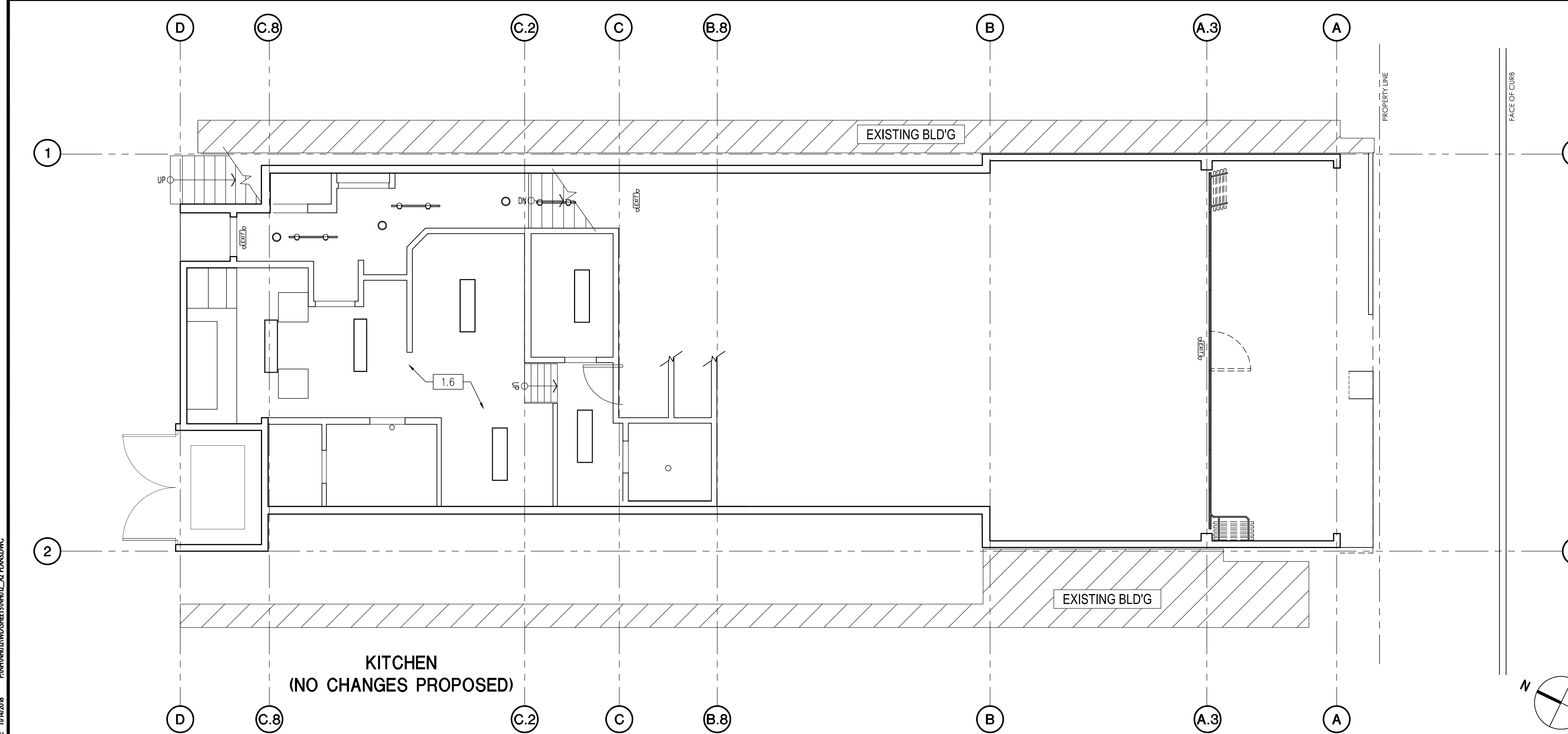
JOB NO:	NH012.01	SHEET NO:	A2.2
DATE:	09/13/18		
DRAWN:	GAA		
FILE NAME:	NH012_2.2A		

ROOT DATE: 10/20/18  
 PLAN NUMBER: 20180913\_02\_PLANS.DWG



EXISTING 1.5 FLOOR RESTAURANT FLOOR PLAN

1/4"=1'-0" 1



EXISTING 1.5 FLOOR RESTAURANT CEILING PLAN

1/4"=1'-0" 2

KEYNOTES

- 1.0 GENERAL
- 1.1 DEMO. EXISTING DINING ROOM
- 1.2 PROPOSED DINING ROOM
- 1.3 PROPOSED ALL GENDER RESTROOM.
- 1.4 EXISTING RESTROOM TO REMAIN.
- 1.5 PROPOSED OUTDOOR SEATING
- 1.6 KITCHEN AREA TO REMAIN. (NO CHANGES PROPOSED)
- 1.7 2ND FLOOR TO REMAIN. (NO CHANGES PROPOSED)
- 1.8 MODIFY EXISTING DECK TO ALLOW ROOM FOR NEW A/C UNITS - ALL MECHANICAL EQUIPMENT MUST BE SCREENED
- 1.9 AREA WHERE LIVE ENTAINMENT WILL HAPPEN AT TIMES - TABLE AND CHAIRS WOULD BE REMOVED.
- 1.10 REMOVE ENTIRE FRONT ENTRY ELEVATION.
- 1.11 REMOVE EXISTING METAL SEATING AREA RAILING.
- 1.12 ENTIRE CEILING TO BE REMOVED AND REPLACED.
- 1.13 NEW GYPSUM BOARD CEILING - PAINTED .

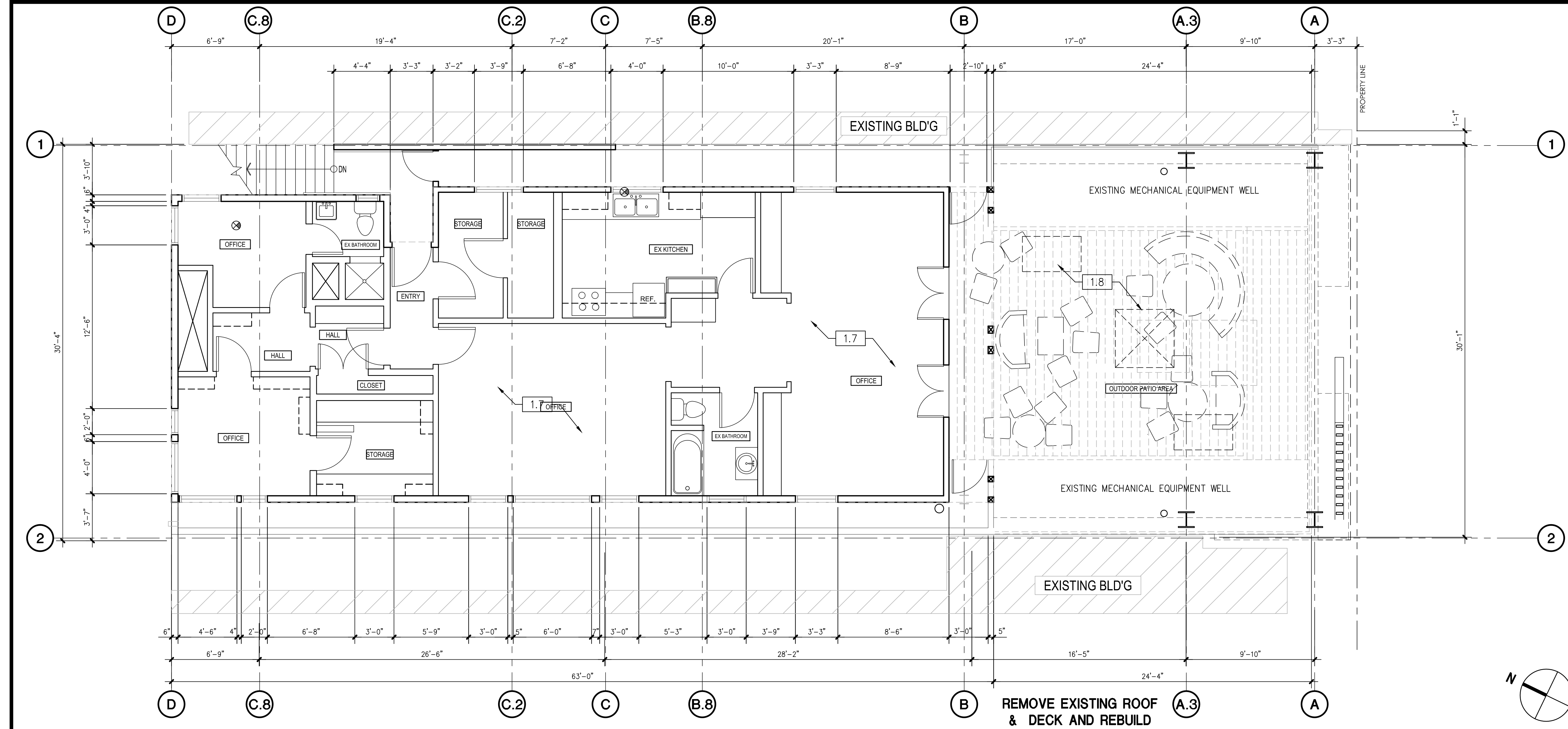
NO.	DESCRIPTION	DATE
1	PLANNING SUBMITTAL	09/18/18

EXISTING 1.5 FLOOR RESTAURANT

ALL DRAWINGS AND WRITTEN MATERIAL APPEARING HEREIN CONSTITUTE THE ORIGINAL AND UNPUBLISHED WORK OF THE ARCHITECT AND THE SAME MAY NOT BE REPRODUCED, COPIED, OR DISCLOSED WITHOUT THE EXPRESS WRITTEN CONSENT OF THE ARCHITECT.  
© GAA ARCHITECTS. ALL RIGHTS RESERVED.

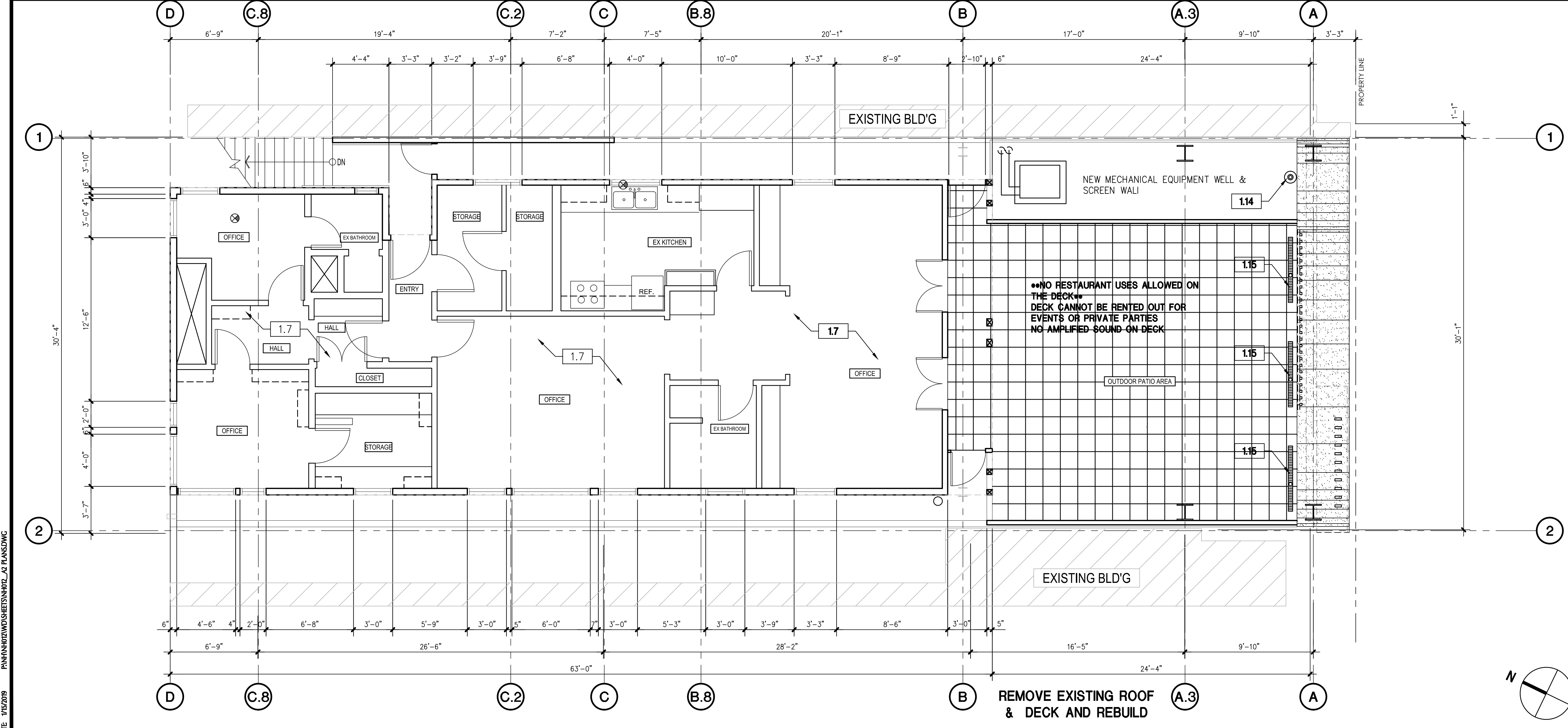
JOB NO:	NH012.01	SHEET NO:	A2.3
DATE:	09/13/18	DRAWN:	GAA
FILE NAME:	NH012_2.3A		





- PLAN KEYNOTES**
- 1.1 DEMO. EXISTING DINING ROOM AND ROOF STRUCTURE ABOVE BETWEEN GRID LINES A AND B – REFER TO STRUCTURAL DRAWINGS FOR NEW STRUCTURAL.
  - 1.2 PROPOSED DINING ROOM – REFER TO INTERIOR DESIGN DRAWINGS.
  - 1.3 PROPOSED ALL GENDER RESTROOM – REFER TO DETAIL X/X.
  - 1.4 EXISTING RESTROOM TO REMAIN – REFER TO INTERIOR DESIGN DRAWINGS FOR NEW FLOOR AND WALL FINISHES.
  - 1.5 NEW OUTDOOR SEATING – REFER TO INTERIOR DESIGN DRAWINGS.
  - 1.6 KITCHEN AREA TO REMAIN. (NO CHANGES PROPOSED).
  - 1.7 2ND FLOOR TO REMAIN. (NO CHANGES PROPOSED).
  - 1.8 REBUILD 1st. FLOOR ROOF/2nd FLOOR DECK TO ALLOW ROOM FOR NEW A/C UNITS – ALL MECHANICAL EQUIPMENT MUST BE SCREENED.
  - 1.9 AREA WHERE LIVE ENTRAINMENT WILL HAPPEN AT TIMES – TABLE AND CHAIRS WOULD BE REMOVED.
  - 1.10 REMOVE ENTIRE FRONT ENTRY ELEVATION.
  - 1.11 REMOVE EXISTING METAL SEATING AREA RAILING.
  - 1.12 ENTIRE CEILING TO BE REMOVED AND REPLACED.
  - 1.13 NEW BAR – REFER TO K SHEETS.
  - 1.14 NEW ROOF DRAIN –
  - 1.15 NEW DECK DRAIN – INFINITY DRAIN 60" – #EA-6560 –

DEMO 2ND FLOOR ROOF DECK 1/4"=1'-0" 1



NEW 2ND FLOOR ROOF DECK 1/4"=1'-0" 2

NO.	DESCRIPTION	DATE
1	PLANNING SUBMITTAL	09/18/18

DEMO 2ND FLOOR & NEW ROOF DECK

ALL DRAWINGS AND WRITTEN MATERIAL APPEARING HEREIN CONSTITUTE THE ORIGINAL AND UNPUBLISHED WORK OF THE ARCHITECT AND THE SAME MAY NOT BE DUPLICATED, USED OR DISCLOSED WITHOUT THE EXPRESS WRITTEN CONSENT OF THE ARCHITECT.  
© GAA ARCHITECTS. ALL RIGHTS RESERVED.

JOB NO: NH012.01	SHEET NO: A2.4
DATE: 09/13/18	
DRAWN: GAA	
FILE NAME: NH012_2.4A	









NEW ENTRY ELEVATION

1



NEW BAR ELEVATION

3



NEW DINING ELEVATION LOOKING TO STREET

2

**G|A|A**  
ARCHITECTS

8811 Research Drive,  
Suite 200,  
Irvine, CA 92618  
T: 949 474 1775  
F: 949 553 9133

**ESPERANZA**

309 MANHATTAN BEACH BLVD.  
MANHATTAN BEACH, CA 90254

DEVELOPED FOR:  
NEWMAN HOSPITALITY

NO.	DESCRIPTION	DATE
1	PLANNING SUBMITTAL	09/18/18

**BAR & ENTRY RENDERINGS**

ALL DRAWINGS AND WRITTEN MATERIAL APPEARING HEREIN CONSTITUTE THE ORIGINAL AND UNPUBLISHED WORK OF THE ARCHITECT AND THE SAME MAY NOT BE REPRODUCED, COPIED, DISCLOSED WITHOUT THE EXPRESS WRITTEN CONSENT OF THE ARCHITECT.  
© GAA ARCHITECTS. ALL RIGHTS RESERVED.

JOB NO:	NH012.01	SHEET NO:	A2.6
DATE:	09/13/18		
DRAWN:	GAA		
FILE NAME:	NH012_2.5A		



## Attachment E

### DOWNTOWN LIST OF RESTAURANTS & BARS WITH ALCOHOL SERVICE

	Establishment	Address	Approved Hours of Operation	Approved Alcohol Hours	Alcohol License	Resolution Nos. & Dates	Entertainment
1	900 Manhattan Club/Downstairs Bar	900 Manhattan Ave.	9am-12am, Sunday 11am-12am, Mon-Wed 11am-12am, Thu (downstairs) 11am-1am, Thu (upstairs) 11am-1am, Fri 9am-1am, Sat	9am-12am, Sunday 11am-12am, Mon-Wed 11am-12am, Thu (downstairs) 11am-1am, Thu (upstairs) 11am-1am, Fri 9am-1am, Sat	Full Liquor	CC Reso. 18-0075 06/06/18	Live allowed on 2nd floor Dancing allowed on Fri/Sat nights
2	Sugarfish	304 12th Street	10am-12am, Sun-Thu 10am-1am, Fri-Sat	10am-12am, Sun-Thu 10am-1am, Fri-Sat	Full Liquor	CC Reso. 4471 02/16/88 BZA 87-36 12/08/87	Live Entertainment & Dancing
3	Arthur J's	903 Manhattan Ave.	11am-12am, Sun-Thu 11am-2am, Fri-Sat	11am-12am, Sun-Thu 11am-2am, Fri-Sat	Full Liquor	CC Reso. 4108 01/03/84	No Limit
4	Darren's Restaurant	1141 Manhattan Ave.	11am-11pm, Sun-Thu 6am-12am, Fri-Sat	11am-11pm, Sun-Thu 6am-12am, Fri-Sat	Full Liquor	02-28 08/28/02	None
5	El Sombrero	1005 Manhattan Ave.	7am-11pm, Sun-Thu 7am-12am, Fri-Sat	7am-11pm, Sun-Thu 7am-12am, Fri-Sat	Beer & Wine	07-09 06/25/07	None
6	Ercoles	1101 Manhattan Ave.	11am-2am, Daily	11am-2am, Daily	Full Liquor	85-32 11/12/85	None
7	Homie	1140 Highland Ave.	6am-10pm, Sun-Thu 6am-11pm, Fri-Sat	6am-10pm, Sun-Thu 6am-11pm, Fri-Sat	Beer & Wine	02-14 05/08/02	None
8	Fishing with Dynamite	1148 Manhattan Ave.	7am-11pm, Sun-Wed 7am-12am, Thu-Sat	7am-11pm, Sun-Wed 7am-12am, Thu-Sat	Full Liquor	01-24 11/28/01	None
9	Fonzs	1017 Manhattan Ave.	9am-9pm, Sun 5:30am-10pm, Mon-Thu 5:30am-11pm, Fri-Sat	9am-9pm, Sun 5:30am-10pm, Mon-Thu 5:30am-11pm, Fri-Sat	Full Liquor	01-04 02/14/01	None
10	Fusion Sushi	1150 Morningside Dr.	9am-11pm Sun-Wed 7am-12am Thu-Sat	9am-11pm Sun-Wed 7am-12am Thu-Sat	Beer & Wine	05-05 03/23/05	Entertainment/Dancing for Private Parties In Banquet Room Only Thu-Sat
11	Hennesseys	313 Manhattan Beach Blvd.	11am-2am, Daily No Outdoor Dining After 10pm When Entertainment Performs	11am-2am, Daily	Full Liquor	83-18 04/26/83	Live entertainment til 1:30am, Mon-Sun
12	Izaka-Ya	1133 Highland Ave.	11:00am-11:00pm Sun-Wed 11:00am-12am Thu-Sat	11:00am-11:00pm Sun-Wed 11:00am-12am Thu-Sat	Beer & Wine	10-04 07/14/10	None
13	Kettle	1138 Highland Ave.	24 Hours Daily	11am-1am	Beer & Wine	83-06 01/11/83	None

14	Le Pain Quotidien	451 Manhattan Beach Blvd.	7am-7:30pm, Daily	10am-7:30pm, Daily	Limited Selection of Beer & Wine	CC 5770 07/16/02 08-08 05/14/08	2 Unamplified Entertainers Background Music Class I Entertainment Permit Required for More
15	Little Sister	1131 Manhattan Ave.	6am-11pm, Sun-Thu 6am-12am, Fri-Sat	6am-11pm, Sun-Thu 6am-12am, Fri-Sat	Beer & Wine	CC Reso. 5175 06/20/95	None
16	Love and Salt	317 Manhattan Beach Blvd.	9am-1am, Daily	9am-1am, Daily	Full Liquor & Caterer's	94-20 07/13/94	2 entertainers til 1am Fri, Sat & 12am Sun
17	Mama D's	1125 A Manhattan Ave.	6am-11pm, Sun-Thu 6am-1am, Fri-Sat	6am-11pm, Sun-Thu 6am-1am, Fri-Sat	Beer & Wine	CC Reso. 5175 06/20/95	None
18	Mangiamo	128 Manhattan Beach Blvd.	11am-12am, Mon-Sat 8am-12am, Sun	11am-12am, Mon-Sat 8am-12am, Sun	Full Liquor	83-28 06/14/83	Maximum 3 musicians, nonamplified
19	Manhattan Pizzeria	133 Manhattan Beach Blvd.	6am-2am, Daily	6am-2am, Daily	Beer & Wine	CC Reso. 5175 06/20/95 86-38 12/09/86	None
20	MB Brewing Co	124 Manhattan Beach Blvd.	7am-12am, Sun-Thu 7am-1am, Fri-Sat	7am-12am, Sun-Thu 7am-1am, Fri-Sat	Full Liquor	09-01 01/14/09	None
21	Nick's Manhattan Beach	451 Manhattan Beach Blvd Suite D-126 1200 Morningside	6am-11pm, Sun-Thu 6am-12am, Fri-Sat	6am-10:30pm, Sun-Thu 6am-11:30pm, Fri-Sat	Full Liquor	CC 18-0074 06/05/2018 CC 5770 07/16/02	2 Unamplified Entertainers Background Music Class I Entertainment Permit Required for More
22	Jimmy's Kouzina	1001 Manhattan Ave.	7am-11pm, Sun-Thu 7am-12am, Fri-Sat	7am-11pm, Sun-Thu 7am-12am, Fri-Sat	Beer & Wine	07-09 06/25/07	None
23	Petro's	451 Manhattan Beach Blvd Suite B-110	6am-12 am, Sun-Thu 6am-1am, Fri-Sat	6am-11:30pm, Sun-Thu 6am-12:30am, Fri-Sat	Full Liquor	06-20 12/13/06 CC 5770 07/16/02	2 Unamplified Entertainers Background Music Class I Entertainment Permit Required for More
24	Pitfire Pizza	401 Manhattan Beach Blvd.	7am-11pm, Daily	7am-11pm, Daily	Beer & Wine	05-05 03/23/05	None
25	MB Post	1142 Manhattan Ave.	11am-11pm, Mon-Wed 11am-12am, Thu-Fri 7am-12am, Sat 7am-11pm, Sun	11am-11pm, Mon-Wed 11am-12am, Thu-Fri 7am-12am, Sat 7am-11pm, Sun No Alcohol on Patio After 10pm	Full Liquor	CC 5513 10/19/99	"Kids Night" Monday 5pm-7pm

26	Rice	820 Manhattan Ave.	7am-10:30pm, Sun-Thu 7am-11:30pm, Fri-Sat	7am-10:30pm, Sun-Thu 7am-11:30pm, Fri-Sat	Beer & Wine	89-23 06/27/89	Nonamplified live music
27	Rock N Fish	120 Manhattan Beach Blvd.	7am-12am, Sun-Thu 7am-1am, Fri-Sat	7am-12am, Sun-Thu 7am-1am, Fri-Sat	Full Liquor	99-04 02/10/99	None
28	Rockefeller	1209 Highland Ave.	7am-11pm, Sun-Thu 7am-12am, Fri-Sat	7am-11pm, Sun-Thu 7am-12am, Fri-Sat	Beer & Wine	07-04 05/09/07	None
29	Shade Hotel	1221 Valley Drive	Zinc Lobby Bar & Zinc Terrace: 11pm Daily Interior Courtyard (for Special Events Only) 11pm, Sun-Thurs 12am, Fri-Sat Rooftop Deck, 10pm Daily	Zinc Lobby Bar & Zinc Terrace: 11pm Daily Interior Courtyard (for Special Events Only) 10:30pm, Sun-Thurs 11:30pm, Fri-Sat Rooftop Deck, 9pm Daily	Full Liquor	05-08 05/25/05 CC 5770 07/16/02 (CC 6275 07/09/10 Hours Not Shown As Reso. Not Yet Implemented)	2 Unamplified Entertainers Background Music Class I Entertainment Permit Required for More
30	Sharks Cove	309 Manhattan Beach Blvd.	7am-2am, Daily	7am-2am, Daily	Full Liquor	84--37 08/14/84	Live entertainment 1:30am, Mon - Sun
31	Shellback	116 Manhattan Beach Blvd.	No Resolution	No Resolution	Full Liquor	No Resolution	
32	Simmzy's	229 Manhattan Beach Blvd.	6am - 11pm, Mon-Thu 6am-12am, Fri-Sat	6am - 11pm, Mon-Thu 6am-12am, Fri-Sat	Full Liquor	18-15 09/26/18	None
33	The Strand House	117 Manhattan Beach Blvd.	10am-12am, Mon-Thu 10am-1am, Fri 8am-1am, Sat 8am-12am, Sun	10am-12am, Mon-Thu 10am-1am, Fri 8am-1am, Sat 8am-12am, Sun	Full Liquor	CC Reso. 6304 04/19/11 PC 11-02 02/23/11	Live Entertainment & Dancing Fri-Sat, till 1am Thu & Sun, till 11:30pm
34	Wahoo's	1129 Manhattan Ave.	6am-11pm, Sun-Thu 6am-12am, Fri-Sat	6am-11pm, Sun-Thu 6am-12am, Fri-Sat	Beer & Wine	CC Reso. 5312 02/18/97	None

THIS PAGE  
INTENTIONALLY  
LEFT BLANK



# Attachment F

( http : // s h a r k s c o v e m b . c o m / )

== premiere sports viewing in manhattan beach ==

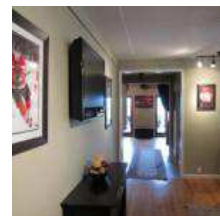
## PRIVATE ROOM

Shark's Cove is the premiere destination to hold your next event. With over 1,500 sq ft of both outdoor and indoor space for your guests, there are numerous ways to personalize your party. A beautiful view of downtown Manhattan Beach can be seen from our large sun deck complete with patio furniture, twinkling lights, and a fire pit. Inside, the space holds five large LCD TV's equipped with Direct TV programming and airplay capabilities. Our private event room is ideal for Birthdays, Alumni Events, Corporate Gatherings, Holiday Parties, Engagement Parties, Sports Viewing Parties, and more. Let the Shark's Cove superb staff take care of every last detail – from set up to clean up, letting you enjoy your party from start to finish!

FOR BOOKING DETAILS AND REQUESTS CONTACT:  
SAMANTHA SANCHEZ AT (310) 567-2408  
OR VIA EMAIL TO SCPROMO@SHARKEEZ.NET (MAILTO:SCPROMO@SHARKEEZ.NET)



(http://sharkscovemb.com/wp-content/uploads/2013/03/31600080e02b3838664019f2a73201312687660349e556210b80251a4570131238747993.jpg)2fd37c18e70912578c0151268747993.jpg



(http://sharkscovemb.com/wp-content/uploads/2013/03/1eb78ffb28da97410c1a167201303747998.jpg)351ed73050124182e20131268747998.jpg)6578bfb24ff61d5c0131268747998.jpg



(http://sharkscovemb.com/wp-content/uploads/2013/03/69ac4620e11bd22a21e877e01303747992.jpg)468da366a71603a420031268747992.jpg)Daa0e3dd8764e77c9d15f41268747996.jpg)



## HOURS OF OPERATION

**Monday**  
11:00 am - 2:00 am  
**Tuesday**

THIS PAGE  
INTENTIONALLY  
LEFT BLANK



Attachment G  
Vicinity Map



THIS PAGE  
INTENTIONALLY  
LEFT BLANK