CITY OF MANHATTAN BEACH DEPARTMENT OF COMMUNITY DEVELOPMENT MEMORANDUM

TO: Planning Commission

FROM: Marisa Lundstedt, Director of Community Development

BY: Eric Haaland, Associate Planner

DATE: December 10, 2014

SUBJECT: Consideration of a Use Permit and Vesting Tentative Parcel Map 72494

for Proposed Construction of Five Residential Condominium Units Located at 757-761 Manhattan Beach Boulevard (761MB Blvd LLC)

RECOMMENDATION

Staff recommends that the Planning Commission **CONDUCT** the Public Hearing and **ADOPT** the attached resolution approving the project subject to certain conditions.

APPLICANT

761 MB Blvd LLC/Tim Roth 329 Pacific Coast Hwy. Hermosa Beach, CA 90254

BACKGROUND

The subject site presently consists of a slightly odd-shaped corner lot fronting on Manhattan Beach Boulevard (Laurel Ave. at corner side) with a four residential duplex buildings containing a total of eight units. A short private alley that is shared with number of other neighboring residential properties, referred to as Center Place, abuts the rear of the site. The project proposes a single 3-story building containing five residential units with on-grade parking. A vesting tentative parcel map is proposed to subdivide the property into separate ownership for each of the units in accordance with Section 11.04.030 of the Manhattan Beach Municipal Code. Section 10.12.020 of the City's Zoning Code requires use permit approval for residential condominium project of 3 or more units, and all residential projects of 4 or more units.

PROJECT OVERVIEW

LOCATION

Location 757-761 Manhattan Beach Blvd. at the

northwest corner of MBB and Laurel Ave..

(See Vicinity Map).

Lot 17, Block 114, MB Subdivision No. 3. Legal Description

Area District Ш

LAND USE

General Plan High Density Residential RH, High Density Residential Zoning

> Existing Proposed

5 residential condominium Land Use 8 residential apartments

units

Neighboring Zoning/Land North (across Center Pl) RH/Apartments Uses

South (across MBB) RH/Apartments

East (across Laurel) RH AD II/Apts-Condos

West RH/Triplex

PROJECT DETAILS

Proposed Requirement (Staff Rec) Parcel Size: 2,700 sq. ft. min. 7,095 sq. ft. 1 unit /1000 sq. ft. lot area max. Residential Density: 1 unit / 1419 sq. ft. lot area Building Floor Area: 10,102 sq. ft. 12,062 sq. ft. max Height 30 ft. max. 30 ft. Setbacks Front 5 ft. 5 ft. 5/2 ft. Rear 5/2 ft. East side 1 ft. 1 ft. West side 5 ft. 5 ft.

Parking: 15 spaces 15 Spaces Vehicle Access 1 Center Place driveway N/A

Open Space 15% of unit area 15% of unit area min. Landscaping 714 sq. ft. total 78 sq. ft. front yard min.

21.8 sq. ft. corner side min.

DISCUSSION

The submitted plans show an existing multi-family residential site to be redeveloped with a 3-story building containing five residential units, which would be owned separately in a condominium subdivision. The site would contain a 10,102 square feet of living area primarily above 15 on-grade parking spaces in the form of 2-car garages and open guest spaces that are adjacent to the enclosed garages. Pedestrian and driveway access would be taken from the private alley known as Center Place, in addition to pedestrian access to the front three units from Manhattan Beach Boulevard. This Manhattan Beach Boulevard access includes depressed front-door entry landings abutting the public sidewalk.

The proposed 3-story building would replace the four existing 2-story buildings on the property with substantially increased floor area. Two existing street driveways would be eliminated by a common driveway accessed from the private rear alley. While the residences are attached, each 3-story unit is stacked independently with interior garage access. Although the site is 75 feet wide, a basic 5-foot interior (west) side yard is permitted for projects exceeding 2 units. Upper levels provide required supplemental side yard setbacks, and deck area/open space provides additional building modulation. Five existing trees are proposed to be retained on the Laurel Avenue (tree-section) facing side of the site.

The project conforms to the City's requirements for use, height, floor area, setbacks, parking, landscaping, and open space (MBMC 10.12.030). The project issues that warrant discussion include the following: trash, private alley, and project design.

Private Alley:

The subject property provides the required rear alley access (Section 10.52.110), in the form of a private easement between neighboring property owners, that has the appearance of an extension of the downtown public alley named Center Place. Together with the larger than average width of the site, the alley is able to provide all project vehicle access, which benefits neighborhood traffic, parking, and aesthetics. By practice, the private alley has often been mistakenly treated as public roadway, and proper title and management of the easement shall be required by the proposed use permit.

Trash:

The Zoning Code (Section 10.52.110) requires condominiums to provide enclosed trash areas, and the Public Works Department determines appropriate storage and pick-up procedures. Larger residential projects may require commercial service and storage, however, Public Works has determined that minimal residential trash service is appropriate for this 5-unit development. The project has been accordingly designed with garage space for trash and recycling cans in each unit, to be placed in the private alley for weekly pick-up. Since the standard yard waste bins wouldn't be provided on-site, a condition has been placed in the proposed project resolution requiring association gardener removal of yard waste.

Project Design:

The project design is in conformance with all applicable regulations including the 1.7 floor area ratio (12,062 sq. ft. max.) of the RH zone. The overall appearance of the project is traditional style featuring deck area recessions and a partial sloped metal roof. The project would replace four detached two-story buildings with a single 3-story building with substantially more floor area, but is consistent with the size and scale of recent beach area buildings.

General:

Pursuant to Section 10.84.060 of the Manhattan Beach Municipal, Staff believes that the following required findings for the Use Permit can be made:

- 1. The proposed location of the use is in accord with the objectives of this title and the purposes of the district in which the site is located;
- 2. The proposed location of the use and the proposed conditions under which it would be operated or maintained will be consistent with the General Plan; will not be detrimental to the public health, safety or welfare of persons residing or working on the proposed project site or in or adjacent to the neighborhood of such use; and will not be detrimental to the public health, safety or welfare of persons residing or working on the proposed project site or in adjacent to the neighborhood of such use; and will not be detrimental to properties or improvements in the vicinity or to the general welfare of the city;
- 3. The proposed use will comply with the provisions of this title, including any specific condition required for the proposed use in the district in which it would be located; and
- 4. The proposed use will not adversely impact or be adversely impacted by nearby properties. Potential impacts are related but not necessarily limited to: traffic, parking noise, vibration, odors, resident security and personal safety, and aesthetics, or create demands exceeding the capacity of public services and facilities which cannot be mitigated.

The General Plan encourages residential development such as this that provides for housing of a more intensive form, including apartments, condominiums, and senior housing. The project is specifically consistent with General Plan Policies as follows:

- LU-1.1 Limit the height of new development to three stories where the height limit is thirty feet, or to two stories where the height limit is twenty-six feet, to protect the privacy of adjacent properties, reduce shading, protect vistas of the ocean, and preserve the low-profile image of the community.
- LU-1.2 Require the design of all new construction to utilize notches, balconies, rooflines, open space, setbacks, landscaping, or other

architectural details to reduce the bulk of buildings and to add visual interest to the streetscape.

LU-2.3 Protect existing mature trees throughout the City, and encourage their replacement with specimen trees whenever they are lost or removed.

LU-3.1: Continue to encourage quality design in all new construction.

Public Input:

A public notice for the project was mailed to property owners within 500 feet of the site and published in the Beach Reporter newspaper. Staff has received a few inquiries, and no other responses to the project hearing notice

ENVIRONMENTAL DETERMINATION

The Project is Categorically Exempt from the requirements of the California Environmental Quality Act (CEQA), pursuant to Sections 15303 and 15332 based on staff's determination that the project is a small infill development within an urbanized area.

CONCLUSION

Staff recommends that the Planning Commission accept public hearing testimony, discuss the project issues, and adopt the attached resolution approving the project subject to certain conditions.

Attachments:

A. Draft Resolution No. PC 14-

B. Vicinity MapC. Applicant description

Plans (separate)

c: 761 MB Blvd LLC, Applicant Srour & Associates, Applicant Rep. Doug Leach, Architect.

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RESOLUTION NO. PC 14-

RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF MANHATTAN BEACH APPROVING A USE PERMIT FOR CONSTRUCTION OF A NEW FIVE-UNIT RESIDENTIAL CONDOMINUM BUILDING ON THE PROPERTY LOCATED AT 757-761 MANHATTAN BEACH BOULEVARD (761 MB Blvd LLC)

THE PLANNING COMMISSION OF THE CITY OF MANHATTAN BEACH DOES HEREBY RESOLVE AS FOLLOWS:

<u>SECTION 1.</u> The Planning Commission of the City of Manhattan Beach hereby makes the following findings:

- A. The Planning Commission of the City of Manhattan Beach conducted a public hearing on December 10, 2014, received testimony, and considered an application for a use permit and Vesting Tentative Parcel Map No. 72494 for construction of a proposed 10,102 square foot 5-unit residential condominium building at 757-761 Manhattan Beach Boulevard in the City of Manhattan Beach. Said public hearing was advertised pursuant to applicable law, testimony was invited and received.
- B. The existing legal description of the site is Lot 17, Block 114, Manhattan Beach Subdivision No. 3.
- C. The applicant for the subject project is 761 MB Blvd LLC, the owner of the property.
- D. The Project is Categorically Exempt from the requirements of the California Environmental Quality Act (CEQA), pursuant to Sections 15303 and 15332 based on staff's determination that the project is a small infill development within an urbanized area.
- E. The project will not individually nor cumulatively have an adverse effect on wildlife resources, as defined in Section 711.2 of the Fish and Game Code.
- F. The property is located within Area District III and is zoned RH, High Density Residential. The use is permitted by the zoning code and is appropriate as conditioned for the high density residential area. The surrounding private land uses consist of Multi-Family Residential dwellings.
- G. The General Plan designation for the property is High Density Residential. The General Plan encourages residential development such as this that provides for housing of a more intensive form, including apartments, condominiums, and senior housing. The project is specifically consistent with General Plan Policies as follows:
 - LU-1.1 Limit the height of new development to three stories where the height limit is thirty feet, or to two stories where the height limit is twenty-six feet, to protect the privacy of adjacent properties, reduce shading, protect vistas of the ocean, and preserve the low-profile image of the community.
 - LU-1.2 Require the design of all new construction to utilize notches, balconies, rooflines, open space, setbacks, landscaping, or other architectural details to reduce the bulk of buildings and to add visual interest to the streetscape.
 - LU-2.3 Protect existing mature trees throughout the City, and encourage their replacement with specimen trees whenever they are lost or removed.
 - LU-3.1: Continue to encourage quality design in all new construction.

EXHIBIT A PC MTG 12-10-14

- H. Pursuant to Section 10.84.060 of the Manhattan Beach Municipal, the following findings for the Use Permit are made:
 - 1. The proposed location of the use is in accord with the objectives of this title and the purposes of the district in which the site is located;
 - 2. The proposed location of the use and the proposed conditions under which it would be operated or maintained will be consistent with the General Plan; will not be detrimental to the public health, safety or welfare of persons residing or working on the proposed project site or in or adjacent to the neighborhood of such use; and will not be detrimental to the public health, safety or welfare of persons residing or working on the proposed project site or in adjacent to the neighborhood of such use; and will not be detrimental to properties or improvements in the vicinity or to the general welfare of the city;
 - 3. The proposed use will comply with the provisions of this title, including any specific condition required for the proposed use in the district in which it would be located; and
 - 4. The proposed use will not adversely impact or be adversely impacted by nearby properties. Potential impacts are related but not necessarily limited to: traffic, parking noise, vibration, odors, resident security and personal safety, and aesthetics, or create demands exceeding the capacity of public services and facilities which cannot be mitigated.
- I. The project shall be in compliance with applicable provisions of the Manhattan Beach Municipal Code including Title 11 (Subdivisions), requiring State Subdivision Map Act and Zoning compliance.
- J. The project will not create adverse impacts on, nor be adversely impacted by, the surrounding area, or create demands exceeding the capacity of public services and facilities.
- K. This Resolution, upon its effectiveness, constitutes the Use Permit for the subject project.

<u>Section 2.</u> The Planning Commission of the City of Manhattan Beach hereby **APPROVES** the subject Use Permit and Vesting Tentative Parcel Map No. 72494 application for a residential condominium building, subject to the following conditions (*indicates a site specific condition):

Site Preparation / Construction

- 1. The project shall be constructed and operated in substantial compliance with the submitted plans and project description as approved by the Planning Commission on December 10, 2014. Any other substantial deviation from the approved plans must be reviewed and approved by the Planning Commission.
- 2. A Traffic Management Plan shall be submitted in conjunction with all construction and other building plans, to be approved by the Community Development and Public Works Departments prior to issuance of building permits. The plan shall provide for the management of all construction related traffic during all phases of construction, including delivery of materials and parking of construction related vehicles.
- 3. All electrical, telephone, cable television system, and similar service wires and cables shall be installed underground to the appropriate utility connections in compliance with all applicable Building and Electrical Codes, safety regulations, and orders, rules of the Public Utilities Commission, the serving utility company, and specifications of the Public Works Department.
- 4. During building construction of the site, the soil shall be watered in order to minimize the impacts of dust on the surrounding area.

- 5. The siting of construction related equipment (job site offices, trailers, materials, etc.) shall be subject to the approval from the Director of Community Development prior to the issuance of any building permits.
- 6. A site landscaping plan utilizing drought tolerant plants shall be submitted for review and approval concurrent with the building permit application. All plants shall be identified on the plan by the Latin and common names. The current edition of the Sunset Western Garden Book contains a list and description of drought tolerant plants suitable for this area.
- 7. A low pressure or drip irrigation system shall be installed in the landscaped areas, which shall not cause any surface run-off. Details of the irrigation system shall be noted on the landscaping plans. The type and design shall be subject to the approval of the Public Works and Community Development Departments.
- 8. * Landscape maintenance shall be provided by the condominium homeowners association, and shall include removal of yard waste off-site as determined to be appropriate by the Public Works Department.
- 9. Backflow prevention valves shall be installed as required by the Department of Public Works, and the locations of any such valves or similar devices shall be subject to approval by the Community Development Department prior to issuance of building permits.
- 10. All defective or damaged curb, gutter, street paving, and sidewalk improvements shall be removed and replaced with standard improvements, subject to the approval of the Public Works Department.
- 11. No waste water shall be permitted to be discharged from the premises. Waste water shall be discharged into the sanitary sewer system.
- 12. Property line clean outs, mop sinks, erosion control, and other sewer and storm water items shall be installed and maintained as required by the Department of Public Works or Building Official. Oil clarifiers and other post construction water quality items may be required. The project shall comply with Standard Urban Stormwater Mitigation Plan as required by the Public Works Department and Building and Safety.
- 13. Security lighting for the site shall be provided in conformance with Municipal Code requirements including glare prevention design.

Condominium Conditions

- 14. A survey suitable for purposes of recordation shall be performed by a Civil Engineer or Land Surveyor licensed in the State of California, including permanent monumentation of all property corners and the establishment or certification of centerline ties at the intersections of:
 - a. Laurel Avenue with Manhattan Beach Blvd.
 - b. Highview Avenue with Manhattan Beach Blvd.
 - c. Laurel Avenue with 12th Street.
 - d. Highview Avenue with 12th Street
- 15. Each new condominium shall have separate water and sewer laterals as required by the Director of Public Works.
- Vesting Tentative Parcel Map No. 72494 shall be approved for an initial period of 3 years with the option of future extensions. The final map shall be recorded prior to condominium occupancy.
- 17. The private alley abutting the subject property, known as Center Place, shall be recorded and maintained as determined to be appropriate by the Community Development and Public Works Directors.

Procedural

- 18. This Use Permit shall lapse three years after its date of approval, unless implemented or extended pursuant to 10.84.090 of the Municipal Code.
- 19. Pursuant to Public Resources Code section 21089(b) and Fish and Game Code section 711.4(c), the project is not operative, vested or final until the required filing fees are paid.
- 20. The applicant agrees as a condition of approval of this project to pay all reasonable legal and expert fees and expenses of the City of Manhattan Beach in defending any legal action brought against the City within 90 days after the city's final approval, other than one by the Applicant, challenging the approval of the project or any action or failure to act by the City relating to the environmental review process pursuant to the California Environmental Quality Act. In the event such a legal action is filed against the City, the City shall estimate its expenses for the litigation. The Applicant shall deposit said amount with the City or enter into an agreement with the City to pay such expenses as they become due.
- 21. The applicant must submit in writing to the City of Manhattan Beach acceptance of all conditions within 30 days of approval of Use Permit.

SECTION 3. Pursuant to Government Code Section 65009 and Code of Civil Procedure Section 1094.6, any action or proceeding to attack, review, set aside, void or annul this decision, or concerning any of the proceedings, acts, or determinations taken, done or made prior to such decision or to determine the reasonableness, legality or validity of any condition attached to this decision shall not be maintained by any person unless the action or proceeding is commenced within 90 days of the date of this resolution and the City Council is served within 120 days of the date of this resolution. The City Clerk shall send a certified copy of this resolution to the applicant, and if any, the appellant at the address of said person set forth in the record of the proceedings and such mailing shall constitute the notice required by Code of Civil Procedure Section 1094.6.

I hereby certify that the foregoing is a full, true, and correct copy of the Resolution as adopted by the Planning Commission at its regular meeting of December 10, 2014 and that said Resolution was adopted by the following vote:

| AYES: |
|--|
| NOES: |
| ABSTAIN: |
| ABSENT: |
| MARISA LUNDSTEDT, Secretary to the Planning Commission |
| Rosemary Lackow, Recording Secretary |

Vicinity Map

757-761 Manhattan Beach Blvd.





EXHIBIT B PC MTG 12-10-14

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FINDINGS RELATIVE TO A CONDITIONAL USE PERMIT FOR A FIVE UNIT CONDOMINIUM DEVELOPMENT AT 757-761 MANHATTAN BEACH BLVD.

- 1. The RH zone anticipates high density residential and also specifies development standards for multi-unit residential development, the highest and most intense residential classification. Zoning standards permit nine units on this site whereas only five units are proposed. The site presently contains four detached buildings with a total of eight units.
- 2. The General Plan designation anticipates the type of development proposed and the Zoning Code sets forth standards that new development must adhere to. These standards promote compatibility between adjacent uses and establish an acceptable environment for the residents of the new development. These new homes will provide contemporary housing opportunities for the community and thus enhance the existing housing stock. Furthermore, this location is appropriate in that the Manhattan Beach Blvd. corridor is a main east-west arterial thoroughfare and is characterized by high density apartment and condominium development.
- 3. The proposed plans comply with all pertinent zoning standards and new construction will comply with applicable building code requirements.
- 4. The proposed development will not adversely impact adjacent development as it has been designed to incorporate all typical necessities within the development, including private and guest parking, private open space, secure entries, comfortable living areas, storage areas, and segregated utilities. Traffic flow and relationship of residential use with the street will be greatly enhanced as two existing curb cuts, driveways and garages on the boulevard and at the intersection with Laurel Avenue be eliminated and all vehicular access will come from the alley at rear of the site.

The proposal will not result in any change to the planned use for this area, as multi-unit housing already exists at this location. In addition, proposed five units is consistent with the kinds of uses that are permitted by right or with a conditional use permit. Most importantly, the proposal incorporates an owner-occupied residential environment and a significantly lower number of units than permitted by Code.

The proposal complies with development standards and land use regulations established in the MB Zoning Code and is consistent with the Goals & Policies of the City's General Plan, all of which seek compatibility within the particular land use area and zoning district.

EXHIBIT C PC MTG 12-10-14

ATTACHMENT TO ENVIRONMENTAL INFORMATION FORM 757-761 MANHATTAN BEACH BLVD.

September 2014

Solid Waste/Litter

The proposed residential use will not result in the generation of any remarkable amount of solid waste or litter. However, during the course of demolition of existing structures and new construction there will be a substantial amount of debris generated on a temporary basis. Best management practices will be incorporated throughout the course of construction including daily clean up and disposal and/or recycling of construction debris at authorized landfill sites throughout the County and pursuant to City ordinance.

Water Quality Impacts

The new development will not result in any impact on water bodies or systems. The development will alter existing surface drainage patterns, and plans incorporate a landscaping and drainage plan in compliance with State and National standards for urban runoff and pollution controls. The site will be properly graded to obtain maximum onsite drainage and soil stability and all runoff will be directed to permeable areas for natural drainage or to the public storm drain system.

Noise levels

The project, when completed, will not substantially change existing noise or vibration levels in the vicinity. Ambient noise that might emanate from Manhattan Beach Blvd. will be buffered with the incorporation of sound attenuation techniques such as insulation, double paned windows. etc. The project will result in short term noise generated from heavy equipment during site preparation and construction. This will be temporary and subject to the City policy regulating hours of construction. Construction noise from the project would not represent unusual construction noise in this urban environment and will not be greater than for other similar projects in the area.

Municipal Services

There will be a reduction in the number of residential units on this site, thus there will be a decrease in overall density. For that reason, there is no anticipated impact on existing public school facilities or municipal services. The location of proposed development is within an area already fully served by City Services, and the new homes will not compromise the ability of the City to continue providing a full range of public services.

The proposal complies with development standards and land use regulations established in the MB Zoning Code. It is consistent with the Goals & Policies of the City's General Plan, all of which seek compatibility within the surrounding land use area and zoning district. Proposed site development, with the elimination of an existing driveway and garage on Manhattan Beach Blvd. & and at the intersection with Laurel Avenue, and directing all vehicular access to the alley at rear of site, improves the relationship of this site with the boulevard and improves the interface of pedestrian patterns and traffic flow along the busy street and at the intersection as well.





- 1. Location of service shall be approved by Southern California Edison Company.
- 2. All interior doors shall be Douglas fir panitied doors with 1-3/4" thickness solid core approved by
- 3. Doors that swing over a landing or porch require a landing equal to the width of the floor in length and not more than 1/2" below threshold. Doors that do not swing over a top step or landing may open on a landing or top step that is not more than 8" below floor level.
- Provide a water saving low flush water closet. Max. 1.6 gallons per flush. Shower heads (2.5 Gallons Per Minute), & faucets (2.2 GPM).
- Materials other than structural elements shall be moisture resistant. Wall coverings shall be cement plaster or tile, 70^mhigh above drain of shower or tub with shower. This sett les of 58th water resistant Oppsum Board at walls. Set till sover min. 3th morter bed over approved shower pan at floors.
- Glass doors and walls panels of bathtubs and shower enclosures shall be laminated, fully tempered or wire class.
- 7. Glass, which is less than 60" from a floor and within a 24" arc of a doorway's vertical edge, must be
- 8. Drip pans or other devices for laundry room, waters and dishwashers must be approved.
- 9. Provide a one horsepower waste disposal.
- 10. Plumb refrigerator space for icemaker
- 12. Provide tile or granite counterlops at bathrooms per owner. All bathroom counterlops heights to be 36"
- 13. Provide granite countertops at kitchen per owner
- 14. Provide smooth steel trowel finish at all stucco
- 15. Provide R-11 or R-13 insulation at interior walls of all bathrooms and bedrooms. Provide R-30
- 16. Provide a sectional roll-up garage door with automatic opener, and detail as shown on elevation.
- 18. Provide built up roofing See roof plan for details
- Handrall or guardrall on open side shall not allow that a 4" diameter sphere pass through; and the open space at riser, tread and bottom element of guardrall shall not allow a 8" diameter sphere pass through
- 20. All hose bibs shall be protected by back flow prevention device.
- Important Note: HVAC installer shall confer with Architect for necessary furr down locations. Consult
 with owner for possible FAU with Air Conditioning capability. Provide zoned heating.
- 23. F.A.U. In attic
- A. Provide plywood sheathing at entire attic space.

 B. Double jotes supporting FAU unit and provide selamic eway braces.

 C. Provide selectrical outlet, light and switch @ access

 D. Condensation drain to approved plumining lixture required, if any.

 E Provide a 20" x 30" working space in front of the FAU, with 30" headroom
- 24. Provide circulation intake air supply duct of 2 square inches per 1000 BTU for F.A.U
- Clothes dryer moisture exhaust ducts are limited to 14' with two elbows. Reduce this length by 2' for each elbow in excess of two. Duct shall be minimum 4" diameter smooth metal.
- Provide "Firerock FIREPLACE" ESR-2599 or approved equal at metal fireplaces. All fireplaces shall be gas appliance only. NON WOOD-BURNING ONLY.
- 27. Provide 1-1/8" plwd. floor sheathing typical. Provide 5/8" plywood roof sheathing typical.
- 28. All windows and French doors shall have clad finish.
- Building address shall be provided on the building in such a position as to be plainly visible from the street, OBC section 502. Internally illuminated address sign shall not contain a screw-base socket and consume no more than 6 water of power as determined according to Section 130(d) per Section 1
- 30. Provide a 12" minimum access panel to bathfub trap slip joint connection or use rigid type connections.
- Control valve for shower and tub shall be of the pressure balance or thermostatic mixing valve type, section 410.7 CPC.
- 32. Laundry room door shall have 100 square inch minimum for dryer make up air (CMC section 908.2).
- 33. Provide baseboard and window and door casing and crown moulding as selected by general contractor
- 34. Provide straight edge at interior walls, typical
- 35. Provide smooth texture at all walls and ceilings
- 37. Provide water heater vent to outside.
- 38. Slope grade or paving away from building, minimum 1% slope.
- Provide stone over membrane over extenor garage (CCX) plwd. for exterior deck by: Crossfield Products Cop., ICBO # 1338 or equivalent material approved by the City Building Division.
- Provide the following at all stairways/steps
- Minimum 36" wide stairway and landings.

 Maximum 7.75" rise; minimum 10" run for private stairways (7" rise, 11" run for common areas serving
- R1).
 The largest rise or run in a flight of stairs may not exceed the smallest by more that 3/6*. Headroom over stairs to be 6'-8' minimum from nosing of tread.

 Caudralia on pen side of stairs over 30° above floor or adj
- Guardina may be 3 w 35 mg/n cmy at open size of stars.

 Handrall (required for 4 or more fisers) 34" to 35" above tread nosing,
 1 ½" clearance to wall, 1 ½" to 2" in cross section, with ends returned to wall or terminately post. Show handrall continuous for the length of the stairs.

 Enclosed usable space under stairs to be protected by 1-hour fire resistive miderials.
- 41. Exterior doors, doors between house and garage, and their hardware shall conform to the following
- security provisions:

 a. Doors shall be equipped with dead locking latch and dead bolt with hardened insert with 1" minimum throw and 5/8" minimum embedment into jamb. Both are to be key operated from the outside.

 b. Windows and door lights within 40" of the locking device shall be fully tempered/burglary resistant/or
- protected by bars.

 Overhead and stiding garage doors shall be capable of being securely locked when not otherwise
- d. Sliding glass doors and sliding windows shall be capable of withstanding forced entry attempts.

- Parking Note:
 Required parking area is to be one 9' x 19' and 9' x 36' clear of any obstruction not less than (7) feet above the finished floor to any celling, beam, pipe, vent, mechanical equipment or similar construction (MBMC 10.84, 100c).
- (MBMC 10.64.100c). Non-structural storage improvement, including wall mounted shelves, storage surface racks, or exhibits may encroach into the vertical clearance, provided a minimum of 4.5 feet vertical clearer
- c. The minimum height of access opening at garage door shall be 6-8" high and 8-0" wide. 43. See Detail () for typical cutting, boring and notching through wood framing.
- 44. See Detail (A-) for typical one-hour wall and ceiling details.
- 45. See Detail (A) for typical door and window opening frame details.
- All utilities earling the cite shall be installed per City of Manhattan Beach "Standard Undergroun Connection" subject to field inspection and verification (MBMC 9.12.140).
- 47. Obtain Sanitation District approval for any new sewer construction
- 48. An approved backwater valve is required for drainage piping serving fixtures located below the elevation of the next upstream manhole cover. Fixtures above such elevation shall not discharge through the backwater valve (UPC 710.1).
- Check city records to determinine existence of cesspool on property. Any existing cesspool shall be located and inspected by city personnel before demolition or building permits can be issued.
- Section 9.01.100 Sustainable Building Requirements for R-2 and R-3 Occupancies: Section 419.7 is hereby added per the above climatic findings as follows:
 - 19.1 Is hereby added por the above climatic findings as follows:

 Sustainable building, All new R-2 and R-3 occupancies are required to incorporate all the rollowing sustainable building and processes in addition to the requirements of the CEC, Title 104 surface and the requirement of the CEC, Title 24, Part 6 unless waived by the building official.

 24, Part 6 unless waived by the building official.

 25, Israel law emitting insulation in required areas of wells, floors, ceilings, and roof.

 3. Use flow votaitle organic computed (VCC) cautiling.

 4. Pre-pulmbling piping and sensor wiring from wells heater to attle for future solar water heading.

 5. Use duct mastic on all duct joints.

 6. Install "Energy Star" or equivalent bathroom fan vented to the outside.
- The fire resistance rating of exterior walls shall comply with the provisions of CBC 704.5, section 704.
 table 704.8, and table 602. Fire resistance-rated exterior wall construction shall be maintained through floor framing, and attle spaces in accordance with CBC 705.6. Further, project
- 52. Smoke alarms (i.e. smoke detectors) shall be installed and maintained at all of the following location:
- inoke slarms (i.e. smoke detectors) shall be installed and maintained on the control of the cont
- Means of egness doors shall be detailed as follows:

 a) Min. 32" (max 48") clear opening width of exit doorway. For swinging door, clear width is measured between the face of the door and the stop, with the door open 90 degrees. For non-exwinging door, the clear width is to be measured from the face of the door jamb.
 b) Min. height of 60" for exterior exit doorway, 78" for interior doorway, and 78" for all other exterior doorway, CBC 1008.1.1)
 c) Exterior egrees door shall be side-hinged swinging (CBC 1008.1.2)
 d) Max. 0.75" threshold height at sliding doors and max. 0.5" for other doors.
 a) Min. width of landing at door rehall not be less than width of stairway or door.
 b) Min. 38" length of landing at door assured in the direction of travel.

 9) Max. 7.75" below the top threshold height of once, does not swing over the landing errorised the storm or screen doors, does not swing over the landing
- egress provided the door, other than atom or screen doors, does not swing over the landing Door handles, pulls, latches, locks, and other operating devices shall be a minimum 34" to max 45" height above the floor. Manually operated flush bolts or surface botts are not permitted on doors required for egress.
- Straight run stairways shall be detailed as follows: a) Max. 7.75" and min. 4" rise height. b) Min. 10" tread depth. c) Min. 30" clear width. d) Min. 8"-8" vertical headroom measured verti
- 55. Stair treads and risers shall be detailed as follows
 - a) The tolerance between the largest and amaillest riser height or tread depth shall not exceed 0.375 in any flight of stale.
 b) The radius of curvature at the leading edge of the tread or beveiling of nosing shall not exceed 0.5 (CBC 1008.3.3)
 - 0.5" (CBC 1009.3.3)

 Olisers shall be vertical or sloped a max. 30 degrees from the vertical. (CBC 1009.3.3)

 Leading edge of tread shall not project more than 1.25" beyond tread below.

 Opening between treads shall not permit the passage of a 4" diameter sphere.
- Walts and soffits within enclosed useable space under stairways shall be protected as follows: Interior stairs require 0.5* gypsum board on the enclosed side.
- 57. The walking surface of treads and landings shall not be sloped steeper than 2% (1:48) in any direction
- Provide emergency escape and rescue from sleeping rooms. Min. net clear opening dimensions of 24" reight, 20" clear width, 5.7 sq. ft. area (5.0 sq. ft. at grade floor) and 44" max to bottom of clear opening
- Rooms containing bathtubs, showers, spas, and similar bathing fixtures shall be mechanicall ventilated. Provide an exhaust fan with a min. capacity of 50 CFM. Ductless fans are unacce
- Garage door extensions springs shall be fabricated from either hard drawn-spring wire or oil tempered wire and installed in accordance with the manufacturer's instruction, Garage door springs shall comply with requirements of CBC Sect. 1211.
- 61. Attached garage or carport to dwelling shall be separated as follows: a) Min. ½* gypsum board required on the garage side separating dwelling and attic area from
 - garage.

 b) Min.% gypsum board required between garage or carport and all habitable rooms located above garage or carport (including structural members supporting the upper floor, celling, post
 - c) Min. 1% thick solid wood doors or solid or honeycomb core steel door, or min. 20 minute
 - rated fire door assembly.

 d) Doors to be self-closing and self-latching.
 e) Garage shall not open directly into a room used for eleeping purposes.
 f) Min. 0.019° sheet steel with no opening for ducts in walls and ceilings that penetrate into the narrow.
- Penetralions in fire-resistance-rated walls shall comply with CBC 712.3. Through penetrations shall comply with CBC 712.3.1.1, CBC 712.3.1.2, or 712.3.1.
 - Steel, ferrous or copper pipes may penetrate fire-resistence rated walls, provided the opening is protected as follows:
 - Is protected as follows:

 I) Item penetrating concrete or masonry waits is a max. 6" nominal diameter and the area of the opening through the wall does not exceed 144 sq. in., concrets, grout or mortar is permitted where it is installed the full thickness of the wall or the thickness required to maintain the fire resisting rating; or

 ii) When the annular spaces is protected with material ASTM E 119.

 Penetrations shall be fire-stopped by a system installed as tested in accordance with ASTM E 414 or Ut. 1479, and shall have a finding or not less than the required fire-resisting-rating of the wall penetrated (CBC 712.3.1.2)

- c) Membrane penetrations of max 2 hr. fire resistance rated walls by steel electrical boxes are permitted, provided that each does not exceed 16 sq. in. In area and the total area of such openings does not exceed 100 sq. in. for any 100 sq. ft. of wall area, and the space between the wall membrane and the box does not exceed ½". Additionally, outlet boxes on opposite

- ciking shall be installed in combustible concealed locations in accordance with CBC 717.2.

 a) In concealed spaces of stud walls and partitions including furred spaces and parallel rows of studs or staggared stude as follows:

 1) Vertically at the ceiling and foor levels
 1) Hortocrally at Intervals not exceeding 10°
 1) At all Interconnections between concealed vertical stud wall or partition spaces and concealed vertical stud wall or partition spaces and concealed vertical and horzontal spaces such as occur at soffits, drop ceilings, cove ceilings, and similar locations.

 - locations.
 c) in concealed spaces between stair stringers at the top and bottom of the run. Enclosed spaces under stairs shall also comply with CBC 1009.5.3.
 d) When annular space protection is provided in accordance with CBC 707.2 EX. 6, CBC 712.4.1.2 EX. 1, or CBC 712.4.2 freblocking shall be installed at all openings around vents, pipes, ducts, chimneys, and freplaces with an approved material to restat the free passage of
- Draftstopping shall be installed in combustiable concealed locations in accordance with CBC 717.3 and 717.4, respectively, at the following locations:

 a) In floor-ceiling assembley and located above and in fine with the dwelling unit separation in
 - , respectively, at the following locations:

 a) In floor-ceiling assembley and located above and in line with the dwelling unit separation in duplexes not equipped with and automatic sprinkler system.

 b) In attics and concealed roof spaces such that any horizontal area does not exceed 3,000 sq.
 - b) In attics and concealed roof spaces such that any hortzontal area does not exceed 3,000 sq. ft. In dwolling not equipped with and automatic sprinkfor eyetom.
 c) Draftstopping materials shall not be less than ½" gypsum board, ½" wood structural panel, ½" particle board, 1" nominal lumber, coment fiberhoard, batts or blankets of mineral wool or glass fiber, or other approved materials adequately supported.
 d) Openings in the partitions shall be protected be self-closing doors with automatic latches constructed as required for the partitions.
- 65. Wall, floor, and ceiling shall not exceed the flame spread classifications in CBC T-803.5.
- 66. Interior floor finish and floor covering materials shall comply with CBC 804.2 through 804.4.1.
- Curved stairways shall have a minimum 6" tread depth with a minimum 10" tread depth measured
 right angle to the tread's leading edge at a point 12" from the side where the treads are narrower, (
 1003,3, 1009,7)
- 68. All electrical, telephone, cable television system, and similar service wires and cables shall be installed undor ground. Underground future stub out is required.
- 69. Each pane of saftey glazing installed in hazardous locations shall be identified by a manufacturer's designation specifying who applied the designation, the manufacturer or installer end the safety glastandard. The following shall be considered specific hazardous locations for the purposed of saftey glazing. Glazing in:
 - cing. Glazing in:
 a) Swing doors.
 b) Fixed and sliding panels of sliding door assemblies and panels in sliding and bi-fold cloest

 - of solutin score.

 1) Uniformed swinging doors.

 1) Uniformed swinging doors.

 2) Door and enclosures for hot tube, whitpools, saumas, steam rooms, bath tubs, and showers.

 1) section of the steam of the steam of the steam rooms of the glazing is well of the steam of the steam
 - g) Fixed or operable panel, other than the described in items e and f, which meets all of the

 - g) Fixes or operated parish, there was no set of the following conditions,

 i) Exposed area of an Individual pane greater than 8 sq. ft.

 ii) Exposed bottom edge less than 18° above the floor.

 iii) Exposed top edge greater than 33° above the floor.

 iv) One or more walking sutraces within 36° hortcontailty of the plane of the glazing.

 iv) Olandes and railings regardless of area or height above a walking surface. Included are structural balluster panels and non-structural in-fill panels.

 ii) Walls and fences enclosing indoor and outdoor wimming pools and spas where all of the following conditions are present:
 - nowing containons are present.

 1) The bottom edge of the glazing is less than 60" above a walking surface on the pool or
 - 1) The bottom edge of the glazing is sess than 60° above a wairung surface on une pook or ops also of glazing.
 1) The glazing is within 60° of a swimming pool or spe water's edge.
 2) Adjacent to stainway, landings and rampe within 30° horizontally of a waking surface; when the exposed surface of the glass is less than 60° above the plane of the adjacent walking surface. (Read the code for exceptions with installation).
 3() Adjacent to stainway within 60° notrotatlay of the bottom tread of a stainway in any direction when the exposed surface of the glass is less than 60° above the nose of the tread.
- Access to mechanical appliances in under-floor areas, in attic spaces, and on roofs, or elevated structures shall be in accordance with the California Mechanical Code. Driveway approaches shall comply with Standard Detail ST-1 of the Department of Public Works maximum slope shall not exceed 15%.
- 72. Guards shall be detailed as such:

 a) Guards shall be located along open-sided walking surfaces, mezzanines, stairways, ramps and landings that are more then 30° above the floor or grade above.

 b) Guard whose to prail does not serve as a handrall shall have a height of 42° high above the
 - se top rall serves as a handrall shall have a height of 34" to 38" high above the leading edge of the tread.
 d) Triangular opening formed by tread, stair, and bottom rail shall not permit a 8" diameter sphere to pass through. (CBC 1013.3)
- Handralls shall be detailed as follows:
 a) Confinuous handrall is required when 4 or more treads are provided (CBC 1009.10).
 b) Min 34* to max 38* high above the stair tread nosing (CBC 1012.2).
 c) Min 1.25* to max. 2* circular cross section for handgrip portion of handrall.
 d) Min. 4* to max. 6.25* perimeter dimension with max 2.25* cross section for non-circular handgrip portion of handrall (CBC 1012.3).
 e) Min. 0.01* readits for edge of handrall (no sharp corner).

- 74. Weather proof all decks and balconies by providing Dex-o-tex (ER-1338) or an approved equa

- 75. Roof drainage system shall comply with the following requirements
 - urainage system shall comply with the following requirements:

 a) Size the roof drains and overflow drains in accordance with Chapter 11 of the CPC.

 b) System shall be sized for min. rain injensity of 3° per hour.

 c) The roof drain and overflow drain must maintain independent lines to the yard box.

 c) Roof drainage is not permitted to flow over public property.

 c) Secondary roof drains having the same size as the primary roof drains shall be installed will, the linet flow line located a min. 2° above the low point of the roof.
 - f) Scuppers through paraget walls adjacent to the low point of the roof may be used a
- 76. Chimneys shall extend a min. 2' above any portion of the building within 10', but not less than 3' above the roof. Chimneys shall be equipped with an approved spark amentor.
- This project shall comply with title 24, and 2010 CBC, 2010 CMC, 2010 CPC, 2010 NEC, 2010 CRC, and 2008 Energy Standards. Separate permits are required for retaining wells of block fence wells, grading work, spas, pools, separate structures, shoring, solar systems, demolition, (electrical, mechanical, and or plumbing work) and sewer cap of existing buildings.
- 79. All building features projecting into required setbacks are indicated on plot plan
- 80. AQMD notification is required 10 days prior to beginning any partial or complete demolition work.
- 82. Building Address shall be provided on the building in such a position as to be plainly visible and legible from the street.
- 83. Slope grade away from building minimum 2% slope (1/4" per foot).
- 84. See additional notes on sheet A1
- Proposed utility meters need to be acreened if located on the interior side of a dwelling and recessed behind the setback.
- Contractor shall post the installation Certificate (CF-6R) form and insulation Certificate (IC-1) form in a conspicuous location or kept with plans and made available to the inspector.
- Contractor shall provide copies of the <u>California Guide to Home Comfort and Energy Savings</u>, CF-1R, MF-1R, CF-8R and Io-1 forms to the building owner.
- 88. Radiant barrier shall an emittance of 0.05 or less.
- 89. Garage Door Springs: (per CBC Sect. 1211)

 a) Spring shall be fabricated from either hard drawn spring wire (per ASTM A227-21) or oil-tempered wire (per ASTM A229-71).

 b) Minimum design standard shall be 9,000 cycles.
 c) Physical cycling tests shall be performed and certified by an approved testing agency,
 d) Each spring shall be equipped with an approved device capable of restraining the spring or any part thereof in the event it breaks. Containment device shall be tested and certified by an approved testing agency.
- Ducts penetrating wall or ceiling penetrations between garage and dwelling unit shall be constructed of 25 gage minimum sheet metal and shall have no opening into the garage per Sect. R302.5.2

SHEET INDEX

- CS: General Project Information A7: Exterior Elevations A1: Site Plan A8: Exterior Elevations
- A1a: Open Space Calculation A3: Second Floor Plan A4: Third Floor Plan
- A5: Room Finish Schedule Door & Window Schedules

Areas

Total Living

Garage

A10: Building Cross Sections A11: Building Cross Sections A12: Roof Plan & Roof Details

A9: Building Cross Sections

- A6: Exterior Elevations
- TS: Topographic Survey

341 sq. ft.

ARCHITECT & CONSULTANTS

ARCHITECT: DOUGLAS J. LEACH, ARCHITECTS, INC.

Douglas J. Leach 119 W. Torrance Blvd. Suite 24

Redondo Beach, CA 90277 Phone: (310) 372-5580 Fax: (310) 318-5801

STRUCTURAL ENGINEER: T.B.D.

TITLE 24 CALCULATIONS: MELISSA ALVES

> 512 Ave. G #321 Redondo Beach, CA 90277

Phone: (310) 341-8658 SURVEYOR: **DENN ENGINEERS**

3914 Del Amo Blvd., Ste. 921 Torrance, CA 90503 Phone: (310) 542-9433 Fax: (310) 542-9491

Height Calculation

(294.55 + 292.92 + 298.44 + 295.66) + 4 = 295.39 + 30 = 325.39Southeast Corner Avg. (296.57 + 294.76) + 2 = 295.66

M.B. 5-76

Manhattan Beach Subdivision No. 3

Legal Description Lot 16 & 17

Block 114

Sprinkler System:

187 sq. ft.

Code Research Zoning: RH. Area District III

Setbacks. Front: 5.0' Minimum Sides:

West Side - 5.0' Minimum East Side - 1.0' Minimum Rear: 5.0' Minimum

Height Limit: 30'-0"/Max. Elevation = 325.39 10 Enclosed - 2 per Garage 5 Guest Parking Spots - 1 per Unit

Licensed Installer Shall Submit Shop

Drawings for Approval Prior to Installation

Total

634 sq. ft.

4,952 sq. ft.

4,516 sq. ft.

10,102 sq. ft.

1.938 sq. ft.

1,085 sq. ft.

Type of Construction: R3 at Llving; U at Garage Occupancies: Number of Stories:

Unit #1 Unit #2 Unit #3 Unit #4 Unit #5 First Floor Living 196 sq. ft 167 sq. ft. 91 sq. ft. 91 sq. ft. 89 sq. ft. Second Floor Living 1,189 sq. ft. 922 sq. ft. 935 sq. ft. 889 sq. ft. Third Floor Living 797 sq. ft. 1.178 sq. ft 827 sq. ft. 880 sq. ft. 834 sq. ft. 2,182 sq. ft. 2.267 sq. ft. 1,853 sq. ft. 1.814 sq. ft. 1,986 sq. ft. 393 sq. ft. 389 sq. ft. 399 sq. ft. 380 sq. ft.

Lot Area (Gross): 7.701 sq. ft. Lot Area (Net): 7,095 sq. ft. $7,095 \text{ sq. ft.} \times 1.7 = 12,062 \text{ sq. ft.}$ Proposed B.F.A.

187 sq. ft.

PROPOSED 5 UNIT CONDOMINIUMS FOR

GO BIG RED L.L.C.

757 Manhattan Beach Boulevard, Manhattan Beach

757-761 Manhattan Beach Blvd. PC MTG 12-10-14

Required Throughout Residence and Garage: REVISION REVISED

119 W. REDON PHONE FAX:

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PLANS FOR

11.25-14

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PC MTG 12-10-14

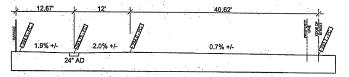
DEPARTMENT OF PUBLIC WORKS

- 1. All landscape irrigation backflow devices must meet current City requirements for proper installation.
- 2. No discharge of construction wastewater, building materials, debris, or sediment from the site is permitted.
- 3. A property line cleanout must be installed on the sanitary sewer lateral. See City Standard Plan ST-5. The sewer lateral must stay within the job sites property lines.
- 4. A backwater valve is required on the sanitary sewer lateral if the discharges from fixtures with flood level rims are located below the next upstream manhole cover of the public
- 5. If any existing sewer lateral is used, it must be televised to check its structural Integrity. The tape must be made available for review by the Public Works Department will review the tape and determine at that time if the sanitary lateral needs repairing, replaced, or that it is structurally sound and can be used in its present
- 6. Any unused water or sanitary sewer laterals must be abandoned at the city main.
- 7. Residential properties must provide an enclosed storage area for refuse containers. These areas must be constructed to meet the requirements of M.B.M.C. 5.24.030
- The back of driveway approach must be six inches higher than the flow line on the street, M.B.M.C. 9.76.030.
- 9. The parkway area between the street and south property line must be improved and meet City Standard Plan ST-23.
- 10. Sidewalk, driveway, curb, and gutter repairs or replacement must be completed per public works specifications. See City Standards Plans ST-1, ST-2, and ST-3.
- 11. Water meters shall be placed near the property line and out of the driveway approach whenever possible
- 12. The water meter box must be purchased from the City, and must have a traffic lid if the box is located in the driveway.
- 13. Erosion and sediment control devices BMPs (Best Management Practices) must be implemented around the construction site to prevent discharges to the street and adjacent properties. BMPs must be identified and shown on the plan. Control measures must also be taken to prevent street surface water entering the site.
- 14. All storm water, nulsance water, etc. drain lines installed within the street right of way must be constructed of ductile iron pipe.
- 15. Plan holder must have the plans rechecked and stamped for approval by the Public Works Department before the building permit is issued.

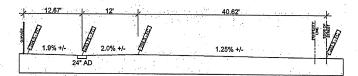
CITY OF MANHATTAN BEACH - PLANNING NOTES

- 1. Route of underground conduit to power pole per Public Works Department handout ST-13.
- 2. Parapets, satellite antennae, ralls, skylights, roof equipment must be within the height limit.
- 3. Fence/wall/handrall and hedge heights, as measured from the lowest finished grade adjacent to each section of these structures, may be a maximum of: 42" in the front yard setback, and 6' at all other locations on-site (3' if obstructing driveway visibility).
- 4. Separate permits and plans are required for spas, pools, solar systems, demolition and sewer cap of existing buildings. If such improvements or demolition is required as a condition of approval for discretionary actions or to commence building, then such permits must be obtained before or at the time this proposed Building Permit is issued.
- Future Solar-Assisted Water Heating System: Install on the cold water supply pipe at the top of the water heater a capped "" fitting to plumb for future solar water heating.
- 6. Visibility of a driveway crossing a street property line shall not be blocked between a height of 3 feet and 9 feet for a depth of 5 feet from the street property line as viewed from the edge of the right-of-way on either side of the driveway at a distance of 15 feet or at the nearest property line intersection the street property line, whichever is less (MBMC 10.84.130). Area shown cross-hatched on Site Plan.
- 7. Parking Note: (MBMC 10.94,100c)
 a Required parking are is to be 9' x 19' and 9' x 36' clear of any obstructions not less than 7' 0" feet above the finished floor to any celling, beam pipe, vent, mechanical equipment or similar construction.
 b Non-structural storage improvements, including wall-mounted shelves, storage surface racks, or cabinet may encroach into the vertical clearance, provided a minimum 4" 6" feet vertical clearance is maintained above the finished floor of the garage within the front 5' 0" of the parking space.
 c The minimum height of access opening at the garage door shall be 6' 8" & 9' 0" wide.

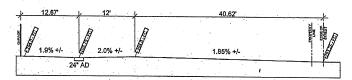
- 8. Provide Irrigation systems and maintenance access for planters located in sideyards.
- 9. Provide notarized owner's Encroachment Permit Agreement and agency-signed insurance Endorsement Form #1 (General) to Community Development Department prior to
- 10. Submit encroachment permit application signed by property owner and provide plans, sections, and details showing encroachments in public right of way.



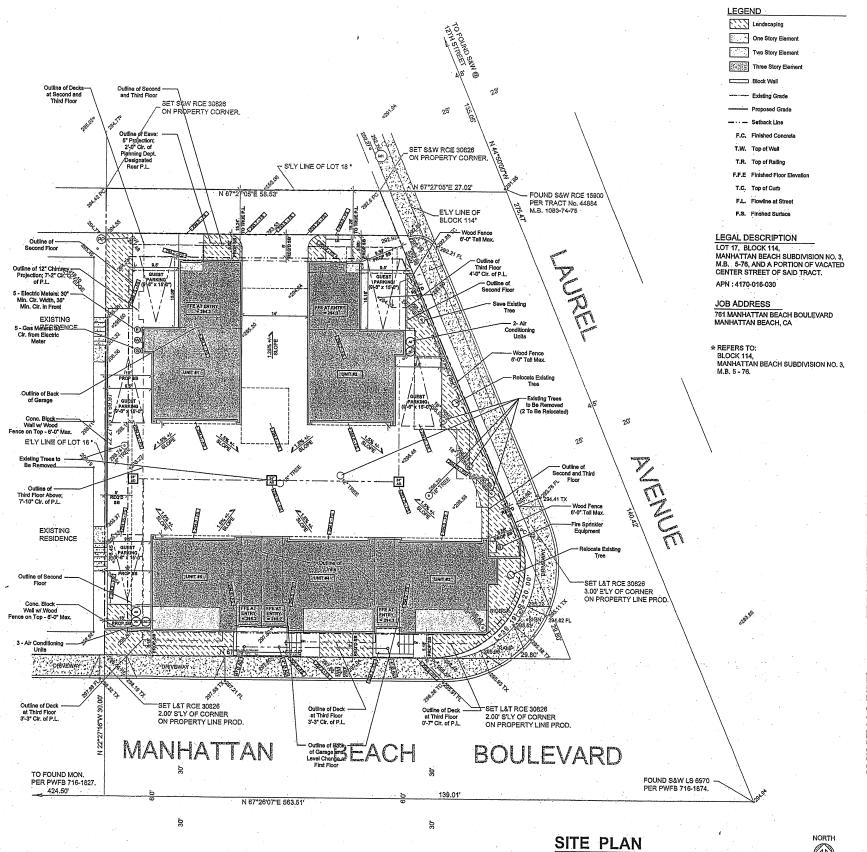
DRIVEWAY PROFILE A



DRIVEWAY PROFILE B



DRIVEWAY PROFILE C

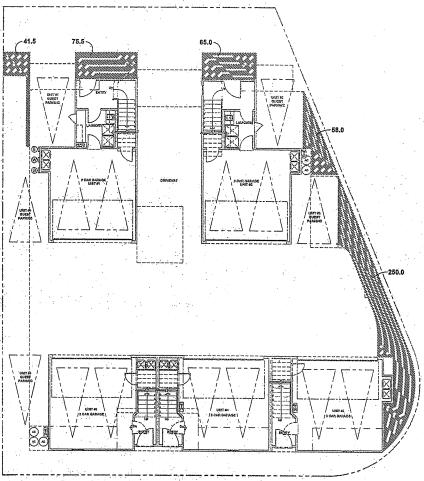


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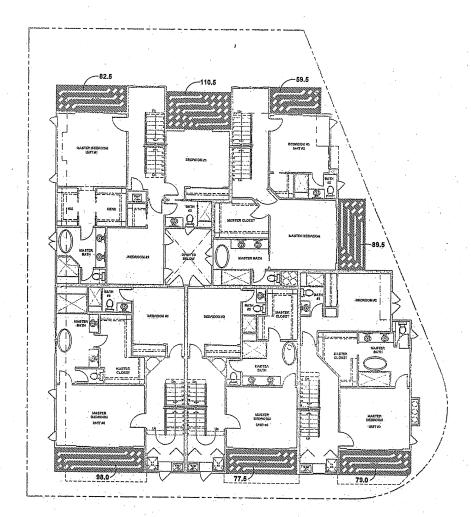
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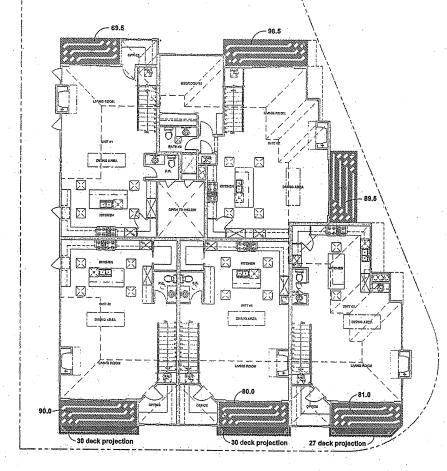


FIRST FLOOR PLAN

NORTH



SECOND FLOOR PLAN
1/8" = 1'-0"



THIRD FLOOR PLAN

Open Space at First Floor

| Provided @ First Floor | |
|------------------------|---------------------------------------|
| (At Ground) = | 490,0 sq |
| Divided between units: | |
| Unit #1 = | 65.0 sq. |
| Unit #2 = | 22.0 sq. |
| Unit #3 = | 118.0 sq |
| Unit #4 = | 114.5 sq |
| Unit #5 = | 110.0 sq |
| | 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 |
| Total = | 429,5 sq |
| Fxtra = | 80.5 00 |

Open Space Table - Unit #1

| Provided @ First Floor | |
|-------------------------|------------------------|
| (At Ground) = | 65.0 sq. ft. |
| Provided @ Second Floor | |
| (Master Bedroom Deck) = | 82.5 sq. ft. |
| (Bedroom #3 Deck) = | 110.5 sq. ft. |
| Provided @ Third Floor | |
| (Great Room Deck) = | 69.5 sq. ft. |
| Total Provided = | 327.5 sq. ft. Provided |
| | 327.5 sq. ft. Regulred |

Open Space Table - Unit #2

| Reo'd Open Space = 2,267 x .15 = | 340.0 sq. ft. |
|----------------------------------|-----------------------|
| Provided @ First Floor | |
| (At Ground) = | 22.0 sq. ft. |
| Provided @ Second Floor | · V |
| (Master Bedroom Deck) =: | |
| (Bedroom #2 Deck) = | 58.5 sq. ft. |
| Provided @ Third Floor | |
| (Great Room Deck) = | 98.5 sq. ft. |
| (Dining Area Deck) = | 89.5 sq. ft. |
| Total = | 358.0 sq. ft. |
| Chk Max @ Third Floor; | 186.0 sq. ft 170.0 sq |
| 50% x 340.0 = 170.0 Allowed | 18.0 sq. ft. OVER |
| Total Provided = | 358.0 sq. ft 18.0 sq. |

Open Space Table - Unit #3

| Open Space Table | #3 - Unii #3 |
|-----------------------------------|--------------------------|
| Req'd Open Space = 1,853 x .15 =_ | 278.0 sq. ft. |
| Provided @ First Floor | |
| (At Ground) = | , 118.0 sq. ft. |
| Provided @ Second Floor | |
| (Master Bedroom Deck) = | 79.0 sq. ft. |
| Provided @ Third Floor | |
| (Great Room Deck) = | 81.0 sq. ft. |
| Total Provided = | 278.0 sq. ft. Provided = |
| | 278.0 sq. ft. Required |

Open Space Table - Unit #4

| | opon opaso rabio. Omit | |
|---------------|---|--------------|
| | Req'd Open Space = 1,814 x .15 = 272.0 sq. ft. | |
| | Provided @ First Floor | |
| 100 | (At Ground) = 114.5 sq. ft. | |
| | Provided @ Second Floor | |
| * - | (Master Bedroom Deck) =77.5 sq. ft. | |
| | Provided @ Third Floor | |
| | (Great Room Deck) =80.0 sq. ft. | |
| ded = lred | Total Provided = 272.0 sq. ft. Provided 272.0 sq. ft. Required | = , , |
| | | |

Open Space Table - Unit #5

| Open opace rable - Offit #5 |
|--|
| Reg'd Open Space = 1,986 x .15 = 298.0 sq. ft. |
| Provided @ First Floor (At Ground) = 110.0 sq. ft. Provided @ Second Floor |
| (Master Bedroom Deck) =98.0 sq. ft. Provided @ Third Floor |
| (Great Room Deck) = 90.0 sq. ft. Total Provided = 298.0 sq. ft. Provided = 298.0 sq. ft. Required |

OPEN SPACE CALCULATION

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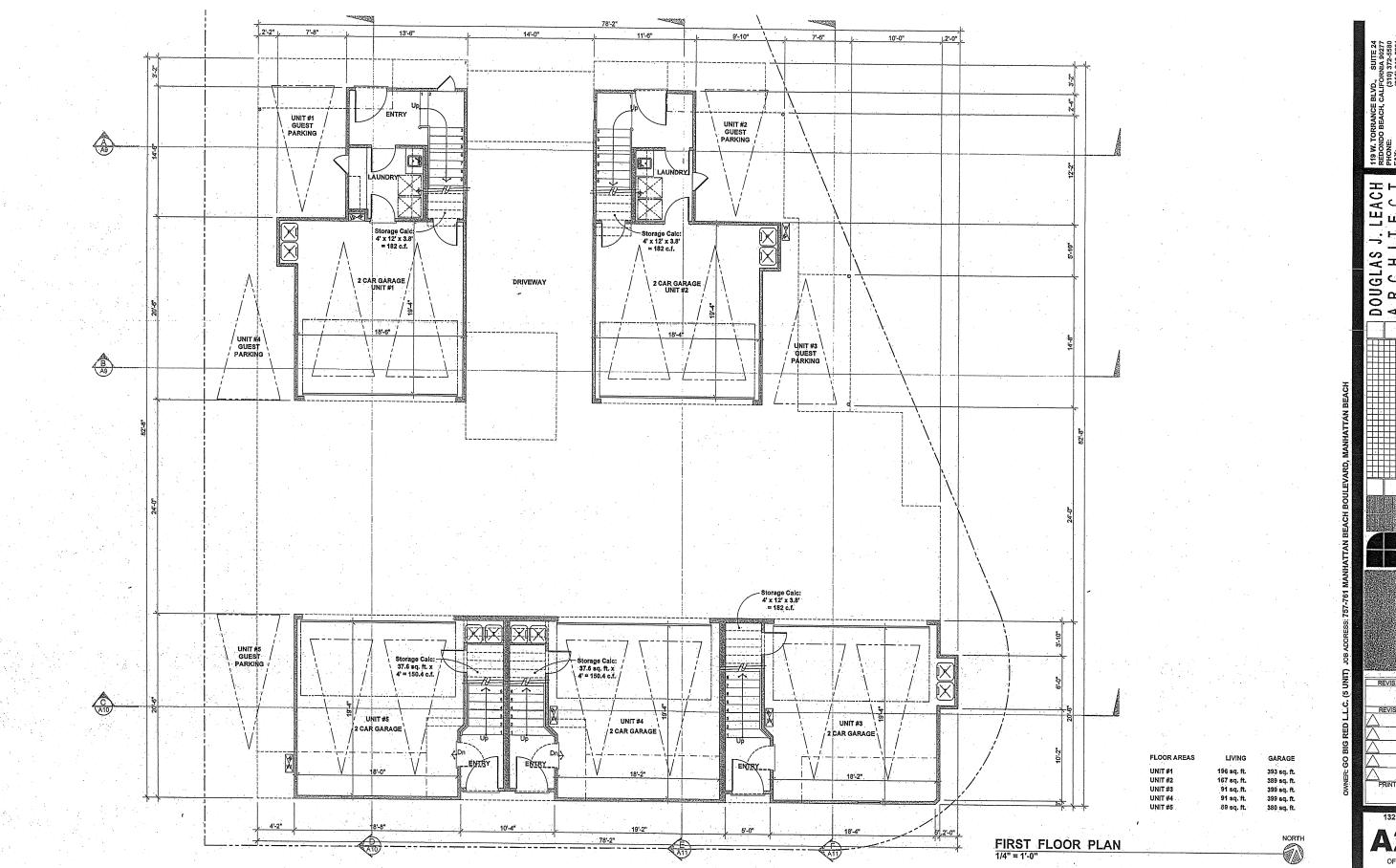
DOUGLAS J. LEACH REDONDO BEACH, CALIFORNIA 90277
A R C H I T E C T FAX: (310) 312-580

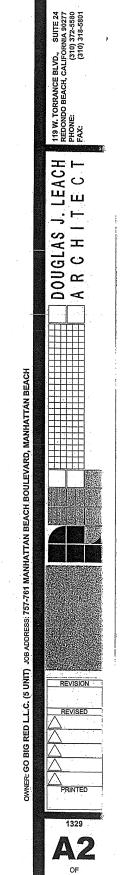
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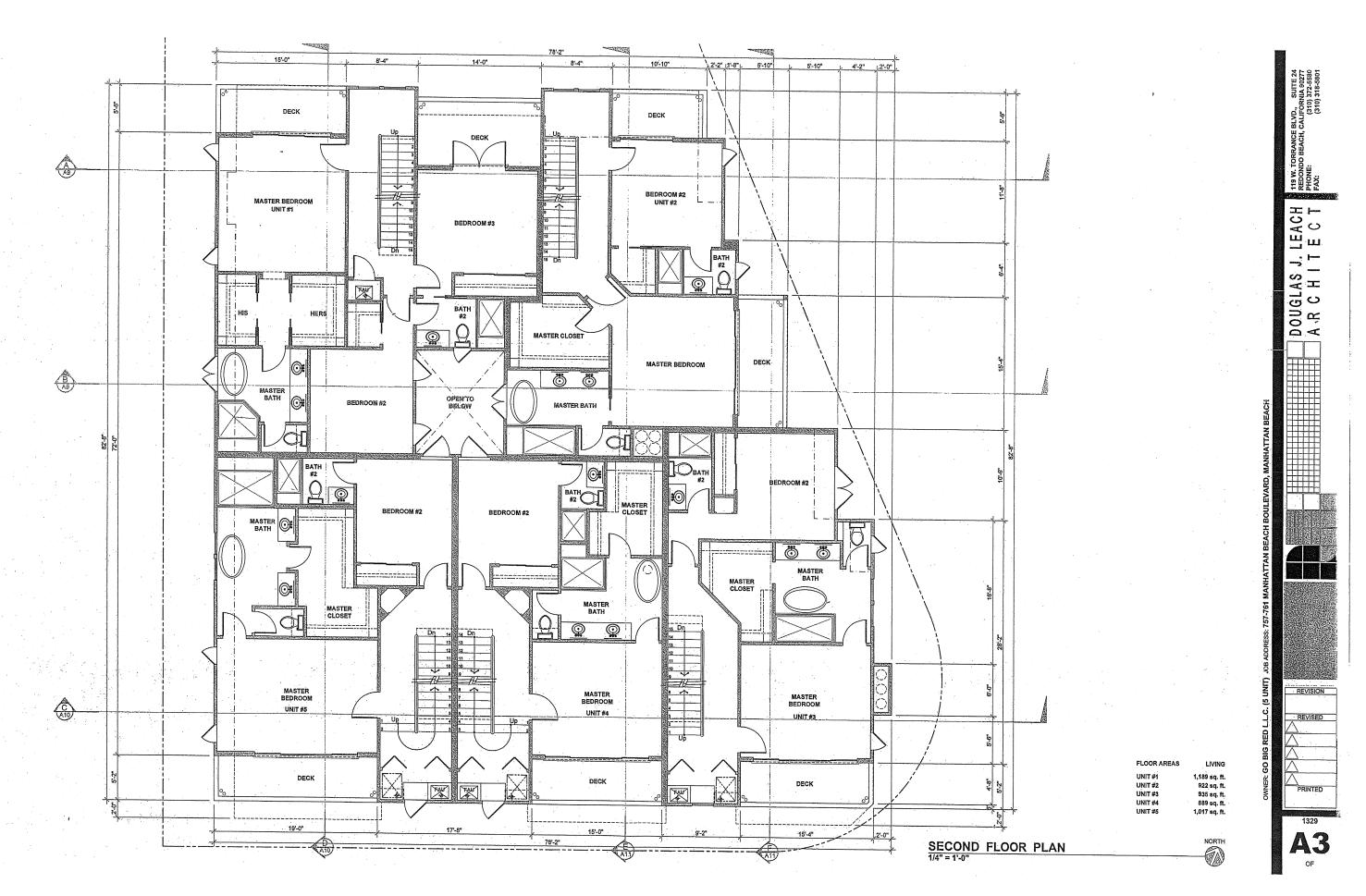
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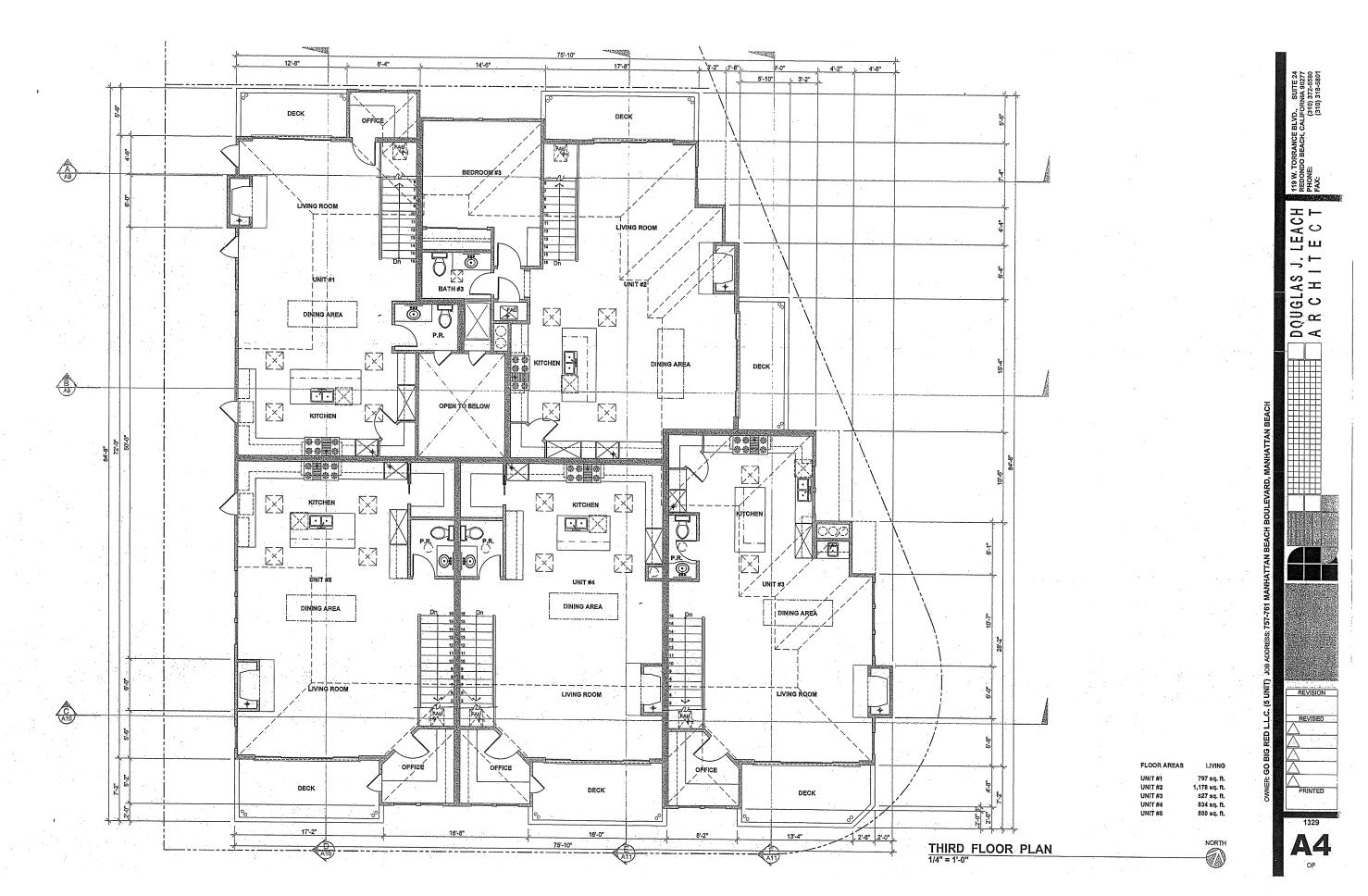
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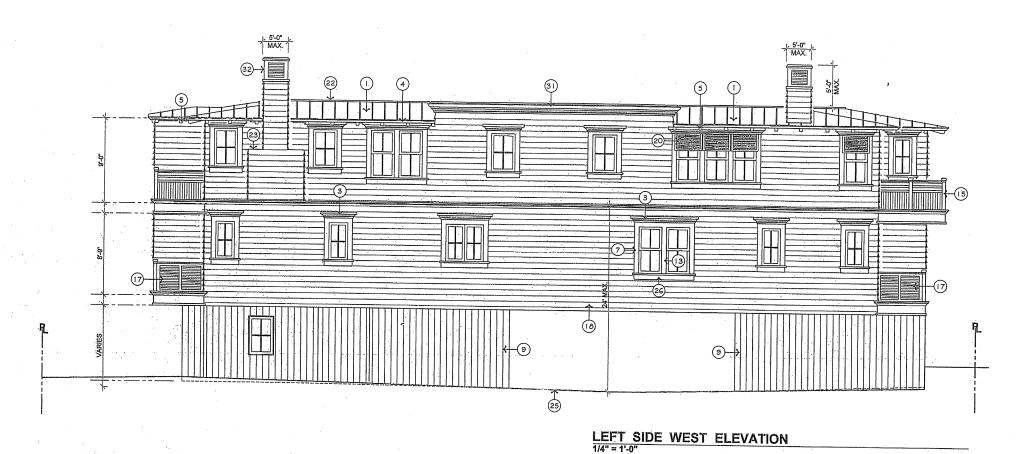
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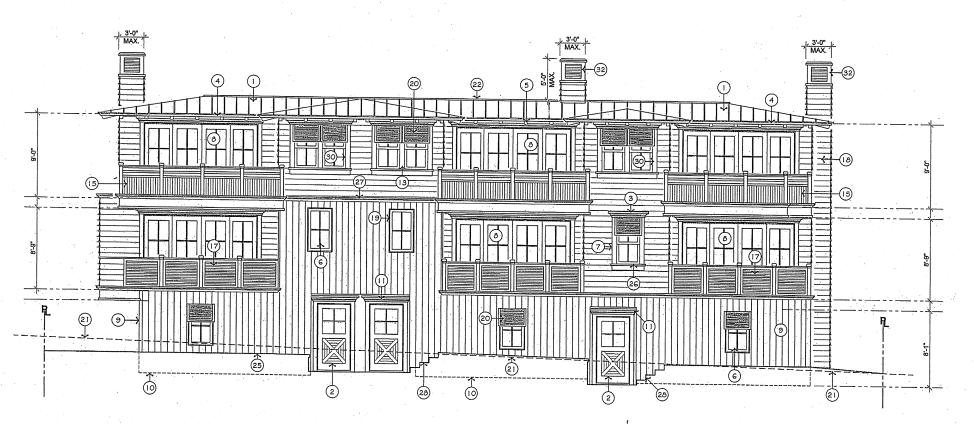


- Metal roofing w/ zinc coating & 1" standing seam @ 16"± O.C.
- 2 Entry door w/ glass @ top return brick back to entry door as shown
 Cove moulding above window See
- (4) 5" Ø half round copper gutter
- 5 4x rafter tails per detail or or
- Aluminum clad window assembly w/ muntins as shown 2x6 trim/painted around windows per
- 8) Aluminum clad french door assembly w/.
- 9) 8"± wide vertical reclaimed wood siding
- Outline of floor and wall below grade
- (11) Crown mldg above door See detail 12) Square posts w/ 3" cove moulding @ top and 1 ½" horizontal moulding 12" lower per detail for jamb between windows
- (14) Framing thickness above garage doors
- 15) Deck guardrail per detail
- Sectional roll-up garage door w/ remote opener and glass @ top as shown
- Wood shutter guardrail See detail or
- Pre-primed "Artisan" Hardie cement fiber beveled siding w/ 7" exposure
- 19 Trim detail @ window per detail (20) Decorative Bermuda shutter Outline of sidewalk @ Man. Bch. Blvd. 22) See detail for transition to flat roof
 23) Reduce chimney width as shown 24 See details & for head & jamb @ garage door

 25 Finished grade 26 See details and for typ. window sill detail
 27 Horizontal trim per detail w/ 2x3 batts above over Hardle planking 28 Exterior steps per site plan
 29 Outline of grade @ alley 30) See details & for head & jamb @ double hung windows (31) Flat roof eave per detail 32) Chimney detail e detail

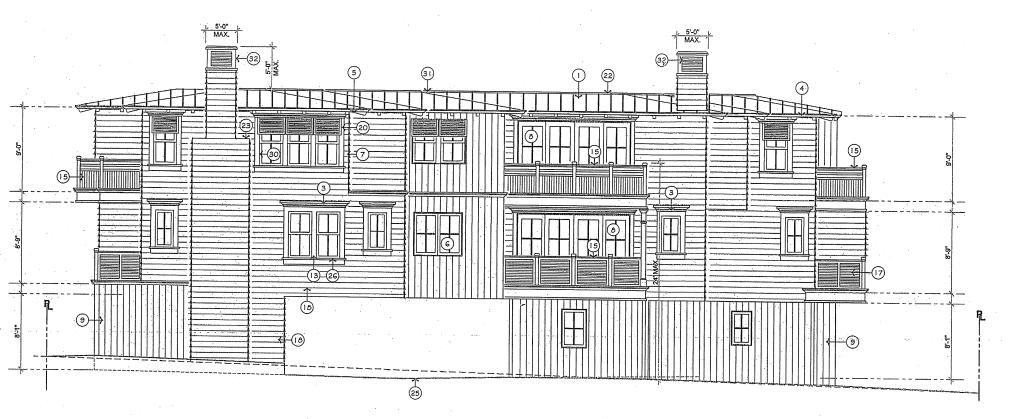
VERY IMPORTANT NOTES
Framer and general contractor shall verify exact elevation of highest beam and shall notify architect of this elevation prior to any roof framing. Adjustments may be required with respect to height limit. Parapets, satellite antennae, rails, skylight, and roof equipment must be within the height 2. Provide 2-layers of 15# felt or equivalent

over all exterior wall plywood (shear panels).



FRONT SOUTH ELEVATION MANHATTAN BEACH BOULEVARD

DOUGLAS A R C H I REVISION 1329 **A6**

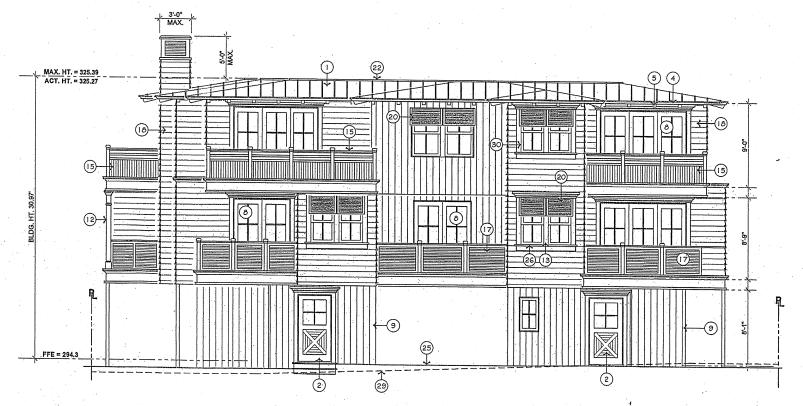


RIGHT SIDE EAST_ELEVATION - LAUREL AVENUE

ELEVATION NOTES:

- Metal roofing w/ zinc coating & 1" standing seam @ 16"± O.C.
- 2 Entry door w/ glass @ top return brick back to entry door as shown
 Cove moulding above window See
- 4) 5" Ø half round copper gutter
- 5 4x rafter tails per detail or Aluminum clad window assembly w/ muntins as shown
- 7) 2x6 trim/painted around windows per
- Aluminum clad french door assembly w/ muntins as shown
- 9 8"± wide vertical reclaimed wood siding
- (10) Outline of floor and wall below grade
- Crown midg above door See detail
- Square posts w/ 3" cove moulding @ top and 1 ½" horizontal moulding 12" lower per detail
- See detail for jamb between windows (14) Framing thickness above garage doors
- Deck guardrail per detail (16) Sectional roll-up garage door w/ remote
- opener and glass @ top as shown Wood shutter guardrall - See detail or
- 18 Pre-primed "Artisan" Hardie cement fiber beveled siding w/ 7" exposure
- Trim detail @ window per detail Decorative Bermuda shutter Outline of sidewalk @ Man. Bch. Blvd. See detail ___ for transition to flat roof Reduce chimney width as shown See details & for head & jamb @ garage door Finished grade 26 See details and for typ. window sill detail

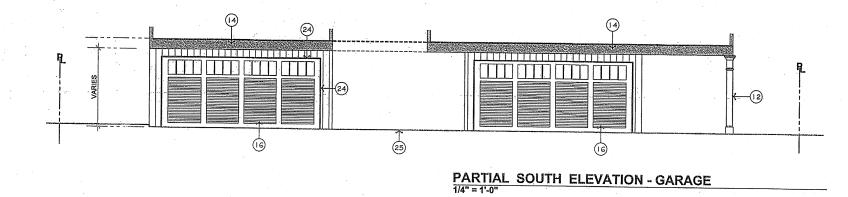
 27 Horizontal trim per detail w/ 2x3 batts above over Hardle planking Exterior steps per site plan (29) Outline of grade @ alley 30) See details & for head & jamb @ double hung windows 31) Flat roof eave per detail 32) Chimney detail _____ VERY IMPORTANT NOTES
 - Framer and general contractor shall verify exact elevation of highest beam and shall notify architect of this elevation prior to any roof framing. Adjustments may be required with respect to height limit. Parapets, satellite antennae, ralls, skylight, and roof equipment must be within the height
- limit.
 2. Provide 2-layers of 15# felt or equivalent over all exterior wall plywood (shear panels).



REAR NORTH ELEVATION - ALLEY

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DOUGLAS J. L A R C H I T



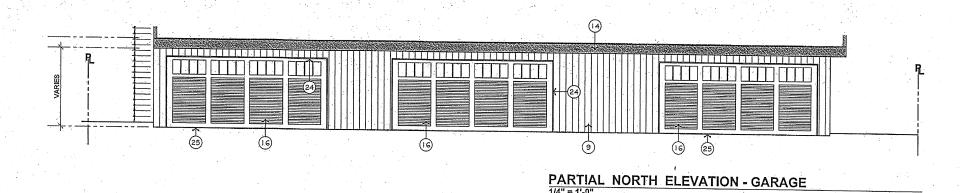
ELEVATION NOTES:

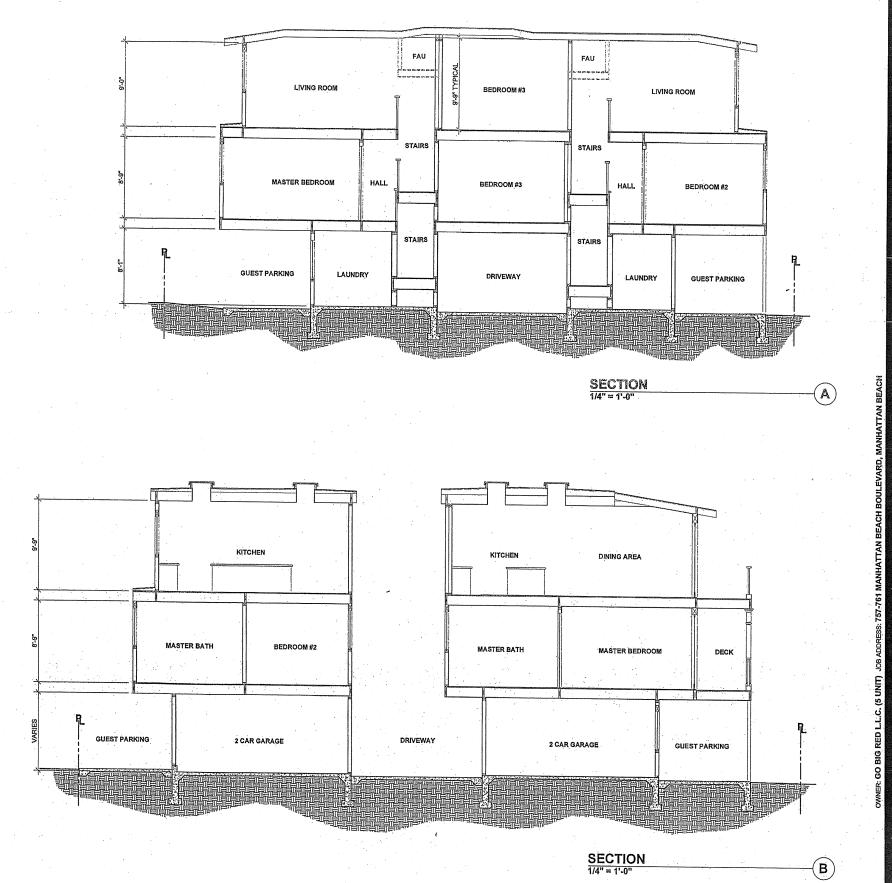
- Metal roofing w/ zinc coating & 1" standing seam @ 16"± O.C.
- 2 Entry door w/ glass @ top return brick back to entry door as shown
 3 Cove moulding above window See
- 4) 5" Ø half round copper gutter
- 5 4x rafter talls per detail or or
- Aluminum clad window assembly w/
 muntins as shown
 2x6 trim/painted around windows per.
- 8 Aluminum cled french door assembly w/ muntins as shown
- 9) 8"± wide vertical reclaimed wood siding
- (10) Outline of floor and wall below grade
- (11) Crown midg above door See detail
- Square posts w/ 3" cove moulding @ top and 1 ½" horizontal moulding 12" lower per detail
- See detail for jamb between windows
- (14) Framing thickness above garage doors
- Deck guardrali per detail 16) Sectional roll-up garage door wi remote
- opener and glass @ top as shown Wood shutter guardrail - See detail or
- Pre-primed "Artisan" Hardie cement fiber beveled slding w/ 7" exposure

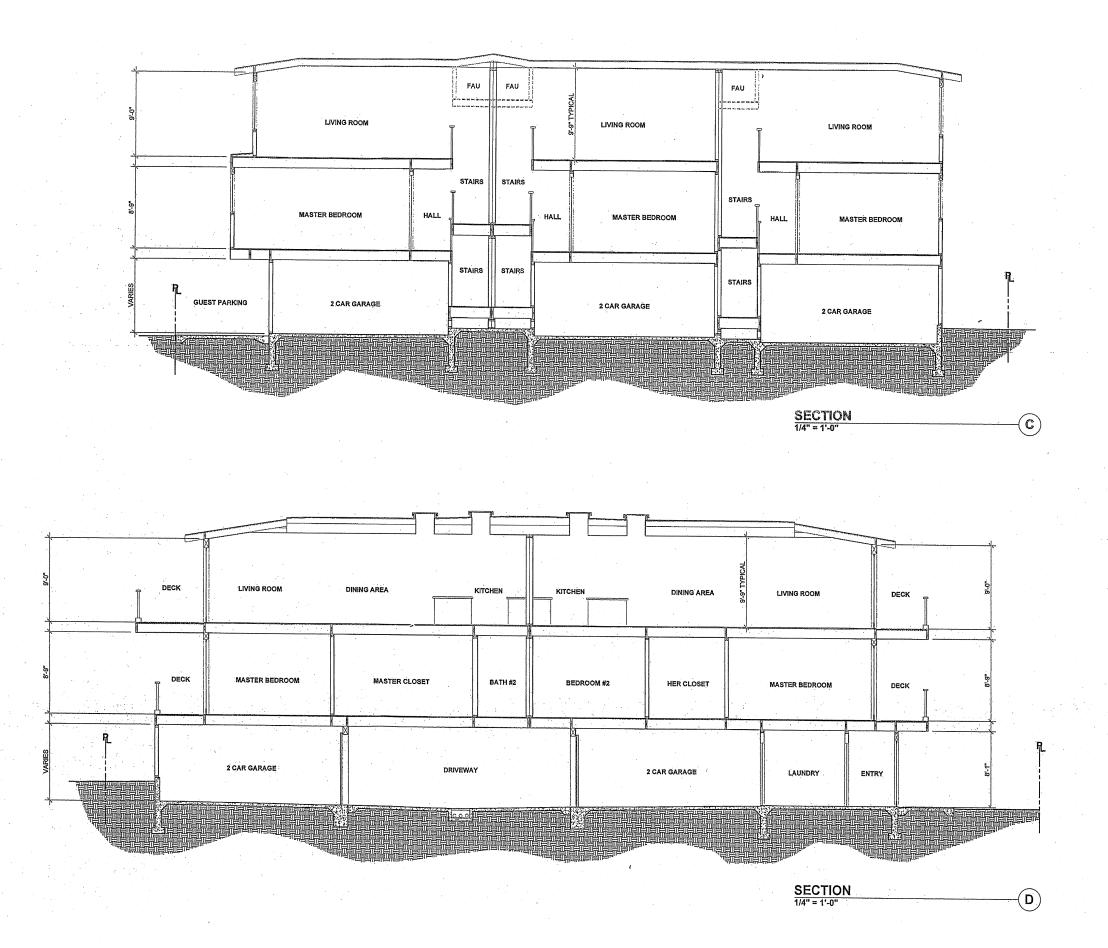
- 19 Trim detail @ window per detail Decorative Bermuda shutter
- (21) Outline of sidewalk @ Man. Bch. Blvd.
 - See detail ___ for transition to flat roof
 - 23) Reduce chimney width as shown
 - See details for head & Jamb @ garage door
 - 25) Finished grade
 - See details and for typ. window sill detail
 - Horizontal trim per detail w/ 2x3 batts above over Hardie planking
 - 28 Exterior steps per site plan
 29 Outline of grade @ alley

 - 30) See details & for head & jamb @ double hung windows
 - (31) Flat roof eave per detail
 - (32) Chimney detail _____
 - VERY IMPORTANT NOTES VERY IMPORTANT NOTES
 Framer and general contractor shall verify exact elevation of highest beam and shall notify architect of this elevation prior to any roof framing. Adjustments may be required with respect to height limit.

 1. Parapets, satellite antennae, ralis, skylight, and roof equipment must be within the height limit.
 - Provide 2-layers of 15# feit or equivalent over all exterior wall plywood (shear panels).



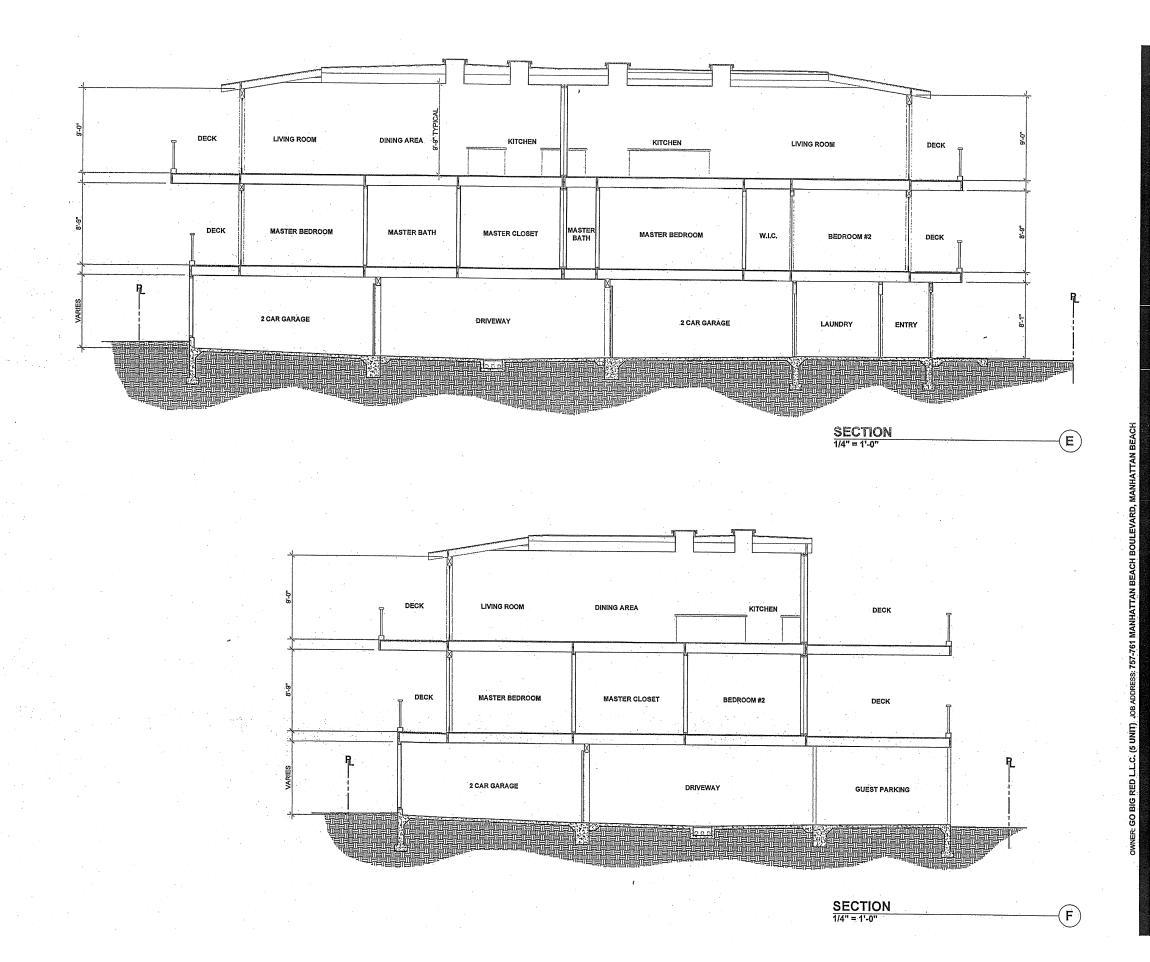




REVISION

1329 **A10**

DOUGLAS J. LEACH A R C H I T E C T



1329

REVISION

DOUGLAS J. LEACH A R C H I T E C T



NORTH

ROOF PLAN NOTES

- Minimum class "B" roof material: Metal roofing w/ zinc coating & 1" standing seam @ 16"± O.C. Ideal Roofing Company Ltd. (ESR-3100) Over minimum 2 layers of 15# felt laid with 19" overlap when slope is less than 4:12
- 2. Roof Pitch ≃ See Plans
- 3. Skylights to be "Bristol Fiberlite" ER-2469 or other listed make approved by Bullding Official.
- 4. All fireplaces to be provided with approved spark arrestor.
- 5. Built-up roofing 2 layers 15# felt with 90# cap sheet Maximum slope 1/2:12 nall base sheet per table 15-E. Hot mop in between layers, 1/2" per foot slope
- 6. Attic Vent Calculations:
- Lower level attic area = 0 og, ft. /150 = 0 og, ft. of vents; therefore, 0 vents provided (
 Upper level attic area = -0 og, ft. /150 = 0 og, ft. of vents; therefore, 0 vents provided (
 sq. attic vents provided Concrete Model "Flat" Vents by O'Hadins inc. (I/CC = 9650).
- 7. All gutters shall be copper half round w/ 6" Ø.



DOUGLAS J. LEACH A R C H I T E C T

VESTING TENTATIVE

TRACT MAP NO. 72494

CONCRETE BRICK WOOD DECK

•109.76 EXISTING ELEVATION

•109. EXISTING CONTOUR

BLOCK WALL

X EXISTING FENCE IN THE CITY OF MANHATTAN BEACH **COUNTY OF LOS ANGELES** STATE OF CALIFORNIA

FOR CONDOMINIUM PURPOSES



REV 10-30-2014 DATE 9-5-2013

DENN ENGINEERS 3914 DEL AMO BLVD., STE. 921

TORRANCE, CA 90503 (310) 542-9433

NOTES

1. ALL EXISTING STRUCTURES TO BE REMOVED UNLESS OTHERWISE NOTED.

2. ALL UTILITIES ARE LOCATED IN ADJACENT STREETS

3. THIS IS A 5 UNIT CONDOMINIUM PROJECT.

EASEMENT NOTES:

- 12' EASEMENT TO GENERAL TELEPHONE COMPANY OF CALIFORNIA FOR PUBLIC UTILITIES. RECORDED 3-14-69, INST. No. 2538 10' EASEMENT TO SOUTHERN
- CALIFORNIA EDISON COMPANY FOR PUBLIC UTILITIES. RECORDED 4-1-69, INST. No. 3614
- 10' EASEMENT TO MANHATTAN PACIFIC INVESTMENT CO. FOR INGRESS AND EGRESS. RECORDED 12-19-72, INST, No. 440
- EASEMENT FOR INGRESS AND EGRESS RECORDED 1-3-2012 INST No. 20120024629, FOR THE BENEFIT OF LOT 1 OF THIS TRACT.

920 MANHATTAN BEACH BLVD., #6 MANHATTAN BEACH, CA 90266 (310) 938-6008

LEGAL DESCRIPTION MANHATTAN BEACH SUBDIVISION NO. 3, M.B. 5-76, AND A PORTION OF VACATED CENTER STREET OF SAID TRACT. APN: 4170-016-030

JOB ADDRESS

761 MANHATTAN BEACH BOULEVARD MANHATTAN BEACH, CA

* REFERS TO: MELOCK 114, MANHATTAN BEACH SUBDIVISION NO. 3, M.B. 5 - 76.



