

**CITY OF MANHATTAN BEACH
DEPARTMENT OF COMMUNITY DEVELOPMENT
MEMORANDUM**

TO: Planning Commission

FROM: Marisa Lundstedt, Director of Community Development

BY: Eric Haaland, Associate Planner

DATE: December 10, 2014

SUBJECT: Consideration of a Use Permit and Vesting Tentative Parcel Map 72494 for Proposed Construction of Five Residential Condominium Units Located at 757-761 Manhattan Beach Boulevard (761MB Blvd LLC)

RECOMMENDATION

Staff recommends that the Planning Commission **CONDUCT** the Public Hearing and **ADOPT** the attached resolution approving the project subject to certain conditions.

APPLICANT

761 MB Blvd LLC/Tim Roth
329 Pacific Coast Hwy.
Hermosa Beach, CA 90254

BACKGROUND

The subject site presently consists of a slightly odd-shaped corner lot fronting on Manhattan Beach Boulevard (Laurel Ave. at corner side) with a four residential duplex buildings containing a total of eight units. A short private alley that is shared with number of other neighboring residential properties, referred to as Center Place, abuts the rear of the site. The project proposes a single 3-story building containing five residential units with on-grade parking. A vesting tentative parcel map is proposed to subdivide the property into separate ownership for each of the units in accordance with Section 11.04.030 of the Manhattan Beach Municipal Code. Section 10.12.020 of the City's Zoning Code requires use permit approval for residential condominium project of 3 or more units, and all residential projects of 4 or more units.

PROJECT OVERVIEW

LOCATION

Location	757-761 Manhattan Beach Blvd. at the northwest corner of MBB and Laurel Ave.. (See Vicinity Map).
Legal Description	Lot 17, Block 114, MB Subdivision No. 3.
Area District	III

LAND USE

General Plan Zoning	High Density Residential RH, High Density Residential	
Land Use	<u>Existing</u> 8 residential apartments	<u>Proposed</u> 5 residential condominium units
Neighboring Zoning/Land Uses	North (across Center Pl) South (across MBB) East (across Laurel) West	RH/Apartments RH/Apartments RH AD II/Apts-Condos RH/Triplex

PROJECT DETAILS

Parcel Size:	<u>Proposed</u> 7,095 sq. ft.	<u>Requirement (Staff Rec)</u> 2,700 sq. ft. min.
Residential Density:	1 unit / 1419 sq. ft. lot area	1 unit /1000 sq. ft. lot area max.
Building Floor Area:	10,102 sq. ft.	12,062 sq. ft. max
Height	30 ft.	30 ft. max.
Setbacks		
Front	5 ft.	5 ft.
Rear	5/2 ft.	5/2 ft.
East side	1 ft.	1 ft.
West side	5 ft.	5 ft.
Parking:	15 spaces	15 Spaces
Vehicle Access	1 Center Place driveway	N/A
Open Space	15% of unit area	15% of unit area min.
Landscaping	714 sq. ft. total	78 sq. ft. front yard min. 21.8 sq. ft. corner side min.

DISCUSSION

The submitted plans show an existing multi-family residential site to be redeveloped with a 3-story building containing five residential units, which would be owned separately in a condominium subdivision. The site would contain a 10,102 square feet of living area primarily above 15 on-grade parking spaces in the form of 2-car garages and open guest spaces that are adjacent to the enclosed garages. Pedestrian and driveway access would be taken from the private alley known as Center Place, in addition to pedestrian access to the front three units from Manhattan Beach Boulevard. This Manhattan Beach Boulevard access includes depressed front-door entry landings abutting the public sidewalk.

The proposed 3-story building would replace the four existing 2-story buildings on the property with substantially increased floor area. Two existing street driveways would be eliminated by a common driveway accessed from the private rear alley. While the residences are attached, each 3-story unit is stacked independently with interior garage access. Although the site is 75 feet wide, a basic 5-foot interior (west) side yard is permitted for projects exceeding 2 units. Upper levels provide required supplemental side yard setbacks, and deck area/open space provides additional building modulation. Five existing trees are proposed to be retained on the Laurel Avenue (tree-section) facing side of the site.

The project conforms to the City's requirements for use, height, floor area, setbacks, parking, landscaping, and open space (MBMC 10.12.030). The project issues that warrant discussion include the following: trash, private alley, and project design.

Private Alley:

The subject property provides the required rear alley access (Section 10.52.110), in the form of a private easement between neighboring property owners, that has the appearance of an extension of the downtown public alley named Center Place. Together with the larger than average width of the site, the alley is able to provide all project vehicle access, which benefits neighborhood traffic, parking, and aesthetics. By practice, the private alley has often been mistakenly treated as public roadway, and proper title and management of the easement shall be required by the proposed use permit.

Trash:

The Zoning Code (Section 10.52.110) requires condominiums to provide enclosed trash areas, and the Public Works Department determines appropriate storage and pick-up procedures. Larger residential projects may require commercial service and storage, however, Public Works has determined that minimal residential trash service is appropriate for this 5-unit development. The project has been accordingly designed with garage space for trash and recycling cans in each unit, to be placed in the private alley for weekly pick-up. Since the standard yard waste bins wouldn't be provided on-site, a condition has been placed in the proposed project resolution requiring association gardener removal of yard waste.

Project Design:

The project design is in conformance with all applicable regulations including the 1.7 floor area ratio (12,062 sq. ft. max.) of the RH zone. The overall appearance of the project is traditional style featuring deck area recessions and a partial sloped metal roof. The project would replace four detached two-story buildings with a single 3-story building with substantially more floor area, but is consistent with the size and scale of recent beach area buildings.

General:

Pursuant to Section 10.84.060 of the Manhattan Beach Municipal, Staff believes that the following required findings for the Use Permit can be made:

1. The proposed location of the use is in accord with the objectives of this title and the purposes of the district in which the site is located;
2. The proposed location of the use and the proposed conditions under which it would be operated or maintained will be consistent with the General Plan; will not be detrimental to the public health, safety or welfare of persons residing or working on the proposed project site or in or adjacent to the neighborhood of such use; and will not be detrimental to the public health, safety or welfare of persons residing or working on the proposed project site or in adjacent to the neighborhood of such use; and will not be detrimental to properties or improvements in the vicinity or to the general welfare of the city;
3. The proposed use will comply with the provisions of this title, including any specific condition required for the proposed use in the district in which it would be located; and
4. The proposed use will not adversely impact or be adversely impacted by nearby properties. Potential impacts are related but not necessarily limited to: traffic, parking noise, vibration, odors, resident security and personal safety, and aesthetics, or create demands exceeding the capacity of public services and facilities which cannot be mitigated.

The General Plan encourages residential development such as this that provides for housing of a more intensive form, including apartments, condominiums, and senior housing. The project is specifically consistent with General Plan Policies as follows:

- LU-1.1 Limit the height of new development to three stories where the height limit is thirty feet, or to two stories where the height limit is twenty-six feet, to protect the privacy of adjacent properties, reduce shading, protect vistas of the ocean, and preserve the low-profile image of the community.
- LU-1.2 Require the design of all new construction to utilize notches, balconies, rooflines, open space, setbacks, landscaping, or other

architectural details to reduce the bulk of buildings and to add visual interest to the streetscape.

LU-2.3 Protect existing mature trees throughout the City, and encourage their replacement with specimen trees whenever they are lost or removed.

LU-3.1: Continue to encourage quality design in all new construction.

Public Input:

A public notice for the project was mailed to property owners within 500 feet of the site and published in the Beach Reporter newspaper. Staff has received a few inquiries, and no other responses to the project hearing notice

ENVIRONMENTAL DETERMINATION

The Project is Categorically Exempt from the requirements of the California Environmental Quality Act (CEQA), pursuant to Sections 15303 and 15332 based on staff's determination that the project is a small infill development within an urbanized area.

CONCLUSION

Staff recommends that the Planning Commission accept public hearing testimony, discuss the project issues, and adopt the attached resolution approving the project subject to certain conditions.

Attachments:

- A. Draft Resolution No. PC 14-
- B. Vicinity Map
- C. Applicant description
Plans (separate)

c: 761 MB Blvd LLC, Applicant
Srouer & Associates, Applicant Rep.
Doug Leach, Architect.

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RESOLUTION NO. PC 14-

RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF MANHATTAN BEACH APPROVING A USE PERMIT FOR CONSTRUCTION OF A NEW FIVE-UNIT RESIDENTIAL CONDOMINIUM BUILDING ON THE PROPERTY LOCATED AT 757-761 MANHATTAN BEACH BOULEVARD (761 MB Blvd LLC)

THE PLANNING COMMISSION OF THE CITY OF MANHATTAN BEACH DOES HEREBY RESOLVE AS FOLLOWS:

SECTION 1. The Planning Commission of the City of Manhattan Beach hereby makes the following findings:

- A. The Planning Commission of the City of Manhattan Beach conducted a public hearing on December 10, 2014, received testimony, and considered an application for a use permit and Vesting Tentative Parcel Map No. 72494 for construction of a proposed 10,102 square foot 5-unit residential condominium building at 757-761 Manhattan Beach Boulevard in the City of Manhattan Beach. Said public hearing was advertised pursuant to applicable law, testimony was invited and received.
- B. The existing legal description of the site is Lot 17, Block 114, Manhattan Beach Subdivision No. 3.
- C. The applicant for the subject project is 761 MB Blvd LLC, the owner of the property.
- D. The Project is Categorically Exempt from the requirements of the California Environmental Quality Act (CEQA), pursuant to Sections 15303 and 15332 based on staff's determination that the project is a small infill development within an urbanized area.
- E. The project will not individually nor cumulatively have an adverse effect on wildlife resources, as defined in Section 711.2 of the Fish and Game Code.
- F. The property is located within Area District III and is zoned RH, High Density Residential. The use is permitted by the zoning code and is appropriate as conditioned for the high density residential area. The surrounding private land uses consist of Multi-Family Residential dwellings.
- G. The General Plan designation for the property is High Density Residential. The General Plan encourages residential development such as this that provides for housing of a more intensive form, including apartments, condominiums, and senior housing. The project is specifically consistent with General Plan Policies as follows:
 - LU-1.1 Limit the height of new development to three stories where the height limit is thirty feet, or to two stories where the height limit is twenty-six feet, to protect the privacy of adjacent properties, reduce shading, protect vistas of the ocean, and preserve the low-profile image of the community.
 - LU-1.2 Require the design of all new construction to utilize notches, balconies, rooflines, open space, setbacks, landscaping, or other architectural details to reduce the bulk of buildings and to add visual interest to the streetscape.
 - LU-2.3 Protect existing mature trees throughout the City, and encourage their replacement with specimen trees whenever they are lost or removed.
 - LU-3.1: Continue to encourage quality design in all new construction.

H. Pursuant to Section 10.84.060 of the Manhattan Beach Municipal, the following findings for the Use Permit are made:

1. The proposed location of the use is in accord with the objectives of this title and the purposes of the district in which the site is located;
2. The proposed location of the use and the proposed conditions under which it would be operated or maintained will be consistent with the General Plan; will not be detrimental to the public health, safety or welfare of persons residing or working on the proposed project site or in or adjacent to the neighborhood of such use; and will not be detrimental to the public health, safety or welfare of persons residing or working on the proposed project site or in adjacent to the neighborhood of such use; and will not be detrimental to properties or improvements in the vicinity or to the general welfare of the city;
3. The proposed use will comply with the provisions of this title, including any specific condition required for the proposed use in the district in which it would be located; and
4. The proposed use will not adversely impact or be adversely impacted by nearby properties. Potential impacts are related but not necessarily limited to: traffic, parking noise, vibration, odors, resident security and personal safety, and aesthetics, or create demands exceeding the capacity of public services and facilities which cannot be mitigated.

I. The project shall be in compliance with applicable provisions of the Manhattan Beach Municipal Code including Title 11 (Subdivisions), requiring State Subdivision Map Act and Zoning compliance.

J. The project will not create adverse impacts on, nor be adversely impacted by, the surrounding area, or create demands exceeding the capacity of public services and facilities.

K. This Resolution, upon its effectiveness, constitutes the Use Permit for the subject project.

Section 2. The Planning Commission of the City of Manhattan Beach hereby **APPROVES** the subject Use Permit and Vesting Tentative Parcel Map No. 72494 application for a residential condominium building, subject to the following conditions (*indicates a site specific condition):

Site Preparation / Construction

1. The project shall be constructed and operated in substantial compliance with the submitted plans and project description as approved by the Planning Commission on December 10, 2014. Any other substantial deviation from the approved plans must be reviewed and approved by the Planning Commission.
2. A Traffic Management Plan shall be submitted in conjunction with all construction and other building plans, to be approved by the Community Development and Public Works Departments prior to issuance of building permits. The plan shall provide for the management of all construction related traffic during all phases of construction, including delivery of materials and parking of construction related vehicles.
3. All electrical, telephone, cable television system, and similar service wires and cables shall be installed underground to the appropriate utility connections in compliance with all applicable Building and Electrical Codes, safety regulations, and orders, rules of the Public Utilities Commission, the serving utility company, and specifications of the Public Works Department.
4. During building construction of the site, the soil shall be watered in order to minimize the impacts of dust on the surrounding area.

5. The siting of construction related equipment (job site offices, trailers, materials, etc.) shall be subject to the approval from the Director of Community Development prior to the issuance of any building permits.
6. A site landscaping plan utilizing drought tolerant plants shall be submitted for review and approval concurrent with the building permit application. All plants shall be identified on the plan by the Latin and common names. The current edition of the Sunset Western Garden Book contains a list and description of drought tolerant plants suitable for this area.
7. A low pressure or drip irrigation system shall be installed in the landscaped areas, which shall not cause any surface run-off. Details of the irrigation system shall be noted on the landscaping plans. The type and design shall be subject to the approval of the Public Works and Community Development Departments.
8. * Landscape maintenance shall be provided by the condominium homeowners association, and shall include removal of yard waste off-site as determined to be appropriate by the Public Works Department.
9. Backflow prevention valves shall be installed as required by the Department of Public Works, and the locations of any such valves or similar devices shall be subject to approval by the Community Development Department prior to issuance of building permits.
10. All defective or damaged curb, gutter, street paving, and sidewalk improvements shall be removed and replaced with standard improvements, subject to the approval of the Public Works Department.
11. No waste water shall be permitted to be discharged from the premises. Waste water shall be discharged into the sanitary sewer system.
12. Property line clean outs, mop sinks, erosion control, and other sewer and storm water items shall be installed and maintained as required by the Department of Public Works or Building Official. Oil clarifiers and other post construction water quality items may be required. The project shall comply with Standard Urban Stormwater Mitigation Plan as required by the Public Works Department and Building and Safety.
13. Security lighting for the site shall be provided in conformance with Municipal Code requirements including glare prevention design.

Condominium Conditions

14. A survey suitable for purposes of recordation shall be performed by a Civil Engineer or Land Surveyor licensed in the State of California, including permanent monumentation of all property corners and the establishment or certification of centerline ties at the intersections of:
 - a. Laurel Avenue with Manhattan Beach Blvd.
 - b. Highview Avenue with Manhattan Beach Blvd.
 - c. Laurel Avenue with 12th Street.
 - d. Highview Avenue with 12th Street
15. Each new condominium shall have separate water and sewer laterals as required by the Director of Public Works.
16. Vesting Tentative Parcel Map No. 72494 shall be approved for an initial period of 3 years with the option of future extensions. The final map shall be recorded prior to condominium occupancy.
17. The private alley abutting the subject property, known as Center Place, shall be recorded and maintained as determined to be appropriate by the Community Development and Public Works Directors.

Procedural

- 18. This Use Permit shall lapse three years after its date of approval, unless implemented or extended pursuant to 10.84.090 of the Municipal Code.
- 19. Pursuant to Public Resources Code section 21089(b) and Fish and Game Code section 711.4(c), the project is not operative, vested or final until the required filing fees are paid.
- 20. The applicant agrees as a condition of approval of this project to pay all reasonable legal and expert fees and expenses of the City of Manhattan Beach in defending any legal action brought against the City within 90 days after the city’s final approval, other than one by the Applicant, challenging the approval of the project or any action or failure to act by the City relating to the environmental review process pursuant to the California Environmental Quality Act. In the event such a legal action is filed against the City, the City shall estimate its expenses for the litigation. The Applicant shall deposit said amount with the City or enter into an agreement with the City to pay such expenses as they become due.
- 21. The applicant must submit in writing to the City of Manhattan Beach acceptance of all conditions within 30 days of approval of Use Permit.

SECTION 3. Pursuant to Government Code Section 65009 and Code of Civil Procedure Section 1094.6, any action or proceeding to attack, review, set aside, void or annul this decision, or concerning any of the proceedings, acts, or determinations taken, done or made prior to such decision or to determine the reasonableness, legality or validity of any condition attached to this decision shall not be maintained by any person unless the action or proceeding is commenced within 90 days of the date of this resolution and the City Council is served within 120 days of the date of this resolution. The City Clerk shall send a certified copy of this resolution to the applicant, and if any, the appellant at the address of said person set forth in the record of the proceedings and such mailing shall constitute the notice required by Code of Civil Procedure Section 1094.6.

I hereby certify that the foregoing is a full, true, and correct copy of the Resolution as adopted by the Planning Commission at its regular meeting of December 10, 2014 and that said Resolution was adopted by the following vote:

AYES:

NOES:

ABSTAIN:

ABSENT:

MARISA LUNDSTEDT,
 Secretary to the Planning Commission

Rosemary Lackow,
 Recording Secretary

Vicinity Map
757-761 Manhattan Beach Blvd.

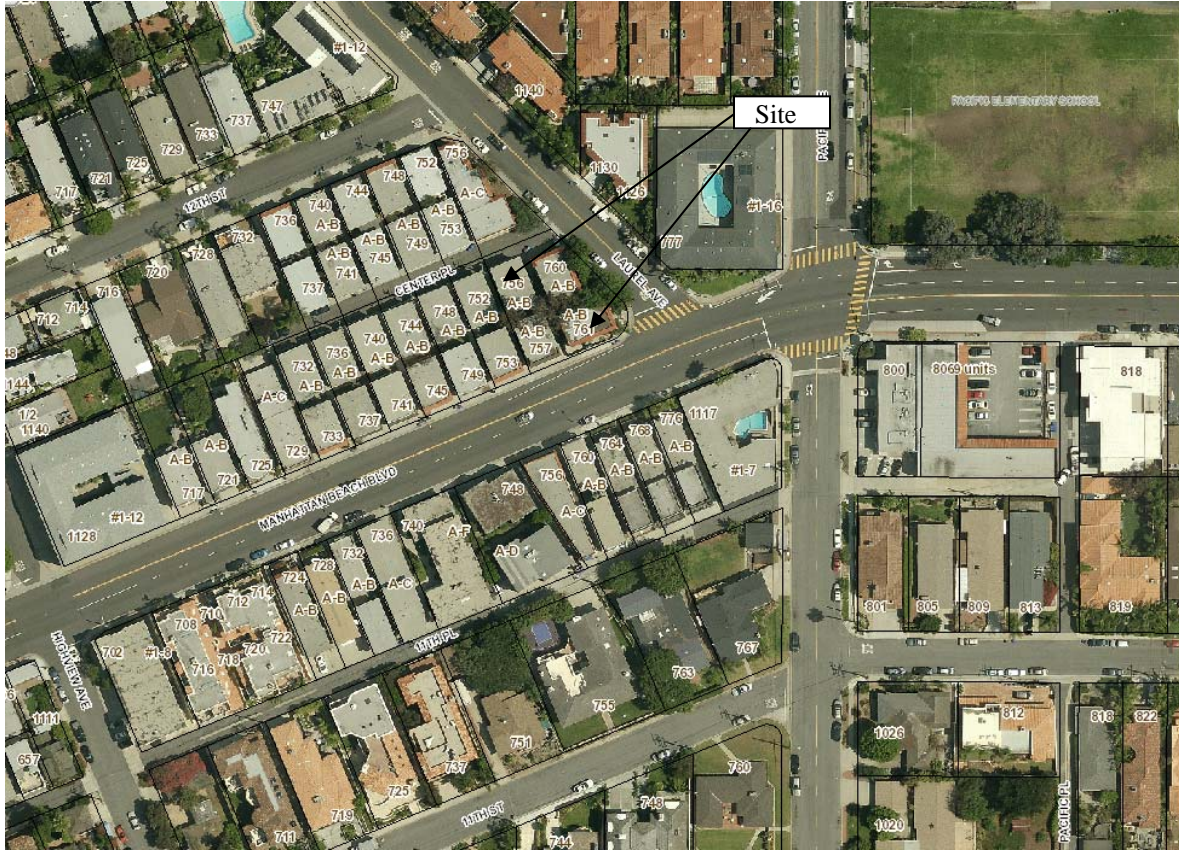


EXHIBIT B
PC MTG 12-10-14

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September 2014

FINDINGS RELATIVE TO A CONDITIONAL USE PERMIT FOR A FIVE UNIT
CONDOMINIUM DEVELOPMENT AT 757-761 MANHATTAN BEACH BLVD.

1. The RH zone anticipates high density residential and also specifies development standards for multi-unit residential development, the highest and most intense residential classification. Zoning standards permit nine units on this site whereas only five units are proposed. The site presently contains four detached buildings with a total of eight units.
2. The General Plan designation anticipates the type of development proposed and the Zoning Code sets forth standards that new development must adhere to. These standards promote compatibility between adjacent uses and establish an acceptable environment for the residents of the new development. These new homes will provide contemporary housing opportunities for the community and thus enhance the existing housing stock. Furthermore, this location is appropriate in that the Manhattan Beach Blvd. corridor is a main east-west arterial thoroughfare and is characterized by high density apartment and condominium development.
3. The proposed plans comply with all pertinent zoning standards and new construction will comply with applicable building code requirements.
4. The proposed development will not adversely impact adjacent development as it has been designed to incorporate all typical necessities within the development, including private and guest parking, private open space, secure entries, comfortable living areas, storage areas, and segregated utilities. Traffic flow and relationship of residential use with the street will be greatly enhanced as two existing curb cuts, driveways and garages on the boulevard and at the intersection with Laurel Avenue be eliminated and all vehicular access will come from the alley at rear of the site.

The proposal will not result in any change to the planned use for this area, as multi-unit housing already exists at this location. In addition, proposed five units is consistent with the kinds of uses that are permitted by right or with a conditional use permit. Most importantly, the proposal incorporates an owner-occupied residential environment and a significantly lower number of units than permitted by Code.

The proposal complies with development standards and land use regulations established in the MB Zoning Code and is consistent with the Goals & Policies of the City's General Plan, all of which seek compatibility within the particular land use area and zoning district.

**EXHIBIT C
PC MTG 12-10-14**

ATTACHMENT TO ENVIRONMENTAL INFORMATION FORM
757-761 MANHATTAN BEACH BLVD.

September 2014

Solid Waste/Litter

The proposed residential use will not result in the generation of any remarkable amount of solid waste or litter. However, during the course of demolition of existing structures and new construction there will be a substantial amount of debris generated on a temporary basis. Best management practices will be incorporated throughout the course of construction including daily clean up and disposal and/or recycling of construction debris at authorized landfill sites throughout the County and pursuant to City ordinance.

Water Quality Impacts

The new development will not result in any impact on water bodies or systems. The development will alter existing surface drainage patterns, and plans incorporate a landscaping and drainage plan in compliance with State and National standards for urban runoff and pollution controls. The site will be properly graded to obtain maximum onsite drainage and soil stability and all runoff will be directed to permeable areas for natural drainage or to the public storm drain system.

Noise levels

The project, when completed, will not substantially change existing noise or vibration levels in the vicinity. Ambient noise that might emanate from Manhattan Beach Blvd. will be buffered with the incorporation of sound attenuation techniques such as insulation, double paned windows, etc. The project will result in short term noise generated from heavy equipment during site preparation and construction. This will be temporary and subject to the City policy regulating hours of construction. Construction noise from the project would not represent unusual construction noise in this urban environment and will not be greater than for other similar projects in the area.

Municipal Services

There will be a reduction in the number of residential units on this site, thus there will be a decrease in overall density. For that reason, there is no anticipated impact on existing public school facilities or municipal services. The location of proposed development is within an area already fully served by City Services, and the new homes will not compromise the ability of the City to continue providing a full range of public services.

The proposal complies with development standards and land use regulations established in the MB Zoning Code. It is consistent with the Goals & Policies of the City's General Plan, all of which seek compatibility within the surrounding land use area and zoning district. Proposed site development, with the elimination of an existing driveway and garage on Manhattan Beach Blvd. & and at the intersection with Laurel Avenue, and directing all vehicular access to the alley at rear of site, improves the relationship of this site with the boulevard and improves the interface of pedestrian patterns and traffic flow along the busy street and at the intersection as well.



PLANS FOR 757-761 Manhattan Beach Blvd.
PC MTG 12-10-14



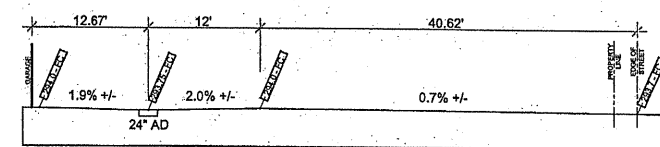
PLANS FOR 757-761 Manhattan Beach Blvd.
PC MTG 12-10-14

DEPARTMENT OF PUBLIC WORKS

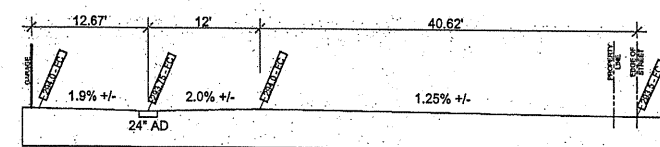
- All landscape irrigation backflow devices must meet current City requirements for proper installation.
- No discharge of construction wastewater, building materials, debris, or sediment from the site is permitted.
- A property line cleanout must be installed on the sanitary sewer lateral. See City Standard Plan ST-5. The sewer lateral must stay within the job sites property lines.
- A backwater valve is required on the sanitary sewer lateral if the discharges from fixtures with flood level rims are located below the next upstream manhole cover of the public sewer. See City Standard Plan ST-24.
- If any existing sewer lateral is used, it must be televised to check its structural integrity. The tape must be made available for review by the Public Works Department. The Public Works Department will review the tape and determine at that time if the sanitary lateral needs repairing, replaced, or that it is structurally sound and can be used in its present condition.
- Any unused water or sanitary sewer laterals must be abandoned at the city main.
- Residential properties must provide an enclosed storage area for refuse containers. These areas must be constructed to meet the requirements of M.B.M.C. 5.24.030.
- The back of driveway approach must be six inches higher than the flow line on the street. M.B.M.C. 9.76.030.
- The parkway area between the street and south property line must be improved and meet City Standard Plan ST-23.
- Sidewalk, driveway, curb, and gutter repairs or replacement must be completed per public works specifications. See City Standards Plans ST-1, ST-2, and ST-3.
- Water meters shall be placed near the property line and out of the driveway approach whenever possible.
- The water meter box must be purchased from the City, and must have a traffic lid if the box is located in the driveway.
- Erosion and sediment control devices BMPs (Best Management Practices) must be implemented around the construction site to prevent discharges to the street and adjacent properties. BMPs must be identified and shown on the plan. Control measures must also be taken to prevent street surface water entering the site.
- All storm water, nuisance water, etc. drain lines installed within the street right of way must be constructed of ductile iron pipe.
- Plan holder must have the plans rechecked and stamped for approval by the Public Works Department before the building permit is issued.

CITY OF MANHATTAN BEACH - PLANNING NOTES

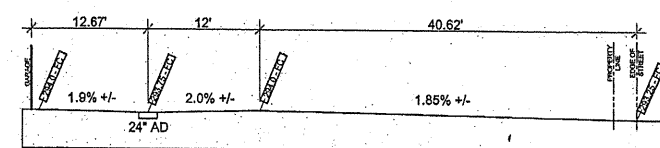
- Route of underground conduit to power pole per Public Works Department handout ST-13.
- Parapets, satellite antennae, rails, skylights, roof equipment must be within the height limit.
- Fence/wall/handrail and hedge heights, as measured from the lowest finished grade adjacent to each section of these structures, may be a maximum of 42" in the front yard setback, and 6' at all other locations on-site (3' if obstructing driveway visibility).
- Separate permits and plans are required for spas, pools, solar systems, demolition and sewer cap of existing buildings. If such improvements or demolition is required as a condition of approval for discretionary actions or to commence building, then such permits must be obtained before or at the time this proposed Building Permit is issued.
- Future Solar-Assisted Water Heating System:
Install on the cold water supply pipe at the top of the water heater a capped "T" fitting to plumb for future solar water heating.
- Visibility of a driveway crossing a street property line shall not be blocked between a height of 3 feet and 9 feet for a depth of 5 feet from the street property line as viewed from the edge of the right-of-way on either side of the driveway at a distance of 15 feet or at the nearest property line intersection the street property line, whichever is less. (M.B.M.C. 10.64.130). Area shown cross-hatched on Site Plan.
- Parking Note: (M.B.M.C. 10.64.100c)
 - Required parking area is to be 9' x 19' and 9' x 36' clear of any obstructions not less than 7' - 0" feet above the finished floor to any ceiling, beam pipe, vent, mechanical equipment or similar construction.
 - Non-structural storage improvements, including wall-mounted shelves, storage surface racks, or cabinet may encroach into the vertical clearance, provided a minimum 4' - 6" feet vertical clearance is maintained above the finished floor of the garage within the front 5' - 0" of the parking space.
 - The minimum height of access opening at the garage door shall be 6' - 8" & 9' - 0" wide.
- Provide irrigation systems and maintenance access for planters located in sideyards.
- Provide notarized owner's Encroachment Permit Agreement and agency-signed Insurance Endorsement Form #1 (General) to Community Development Department prior to final inspection.
- Submit encroachment permit application signed by property owner and provide plans, sections, and details showing encroachments in public right of way.



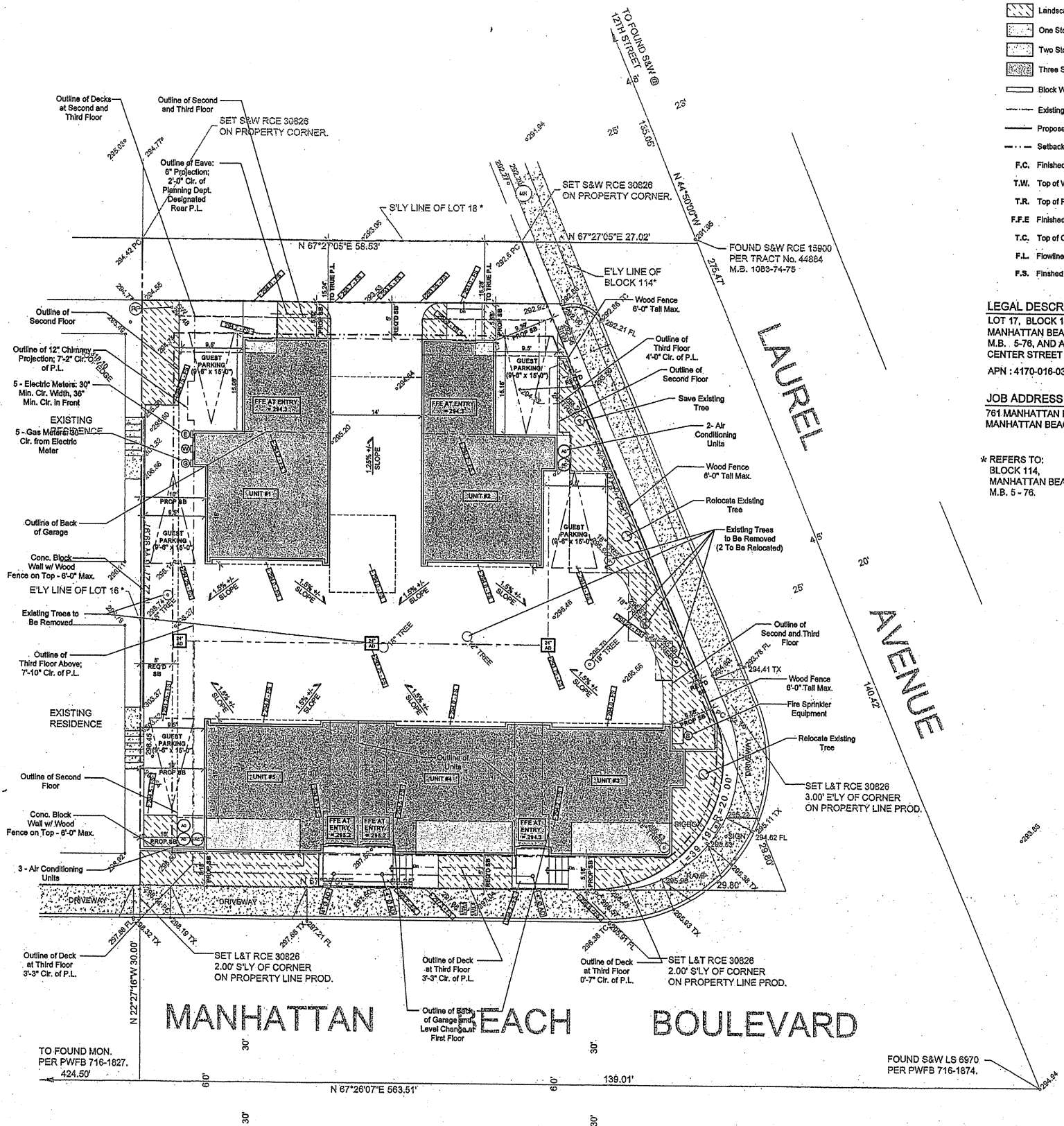
DRIVEWAY PROFILE A



DRIVEWAY PROFILE B



DRIVEWAY PROFILE C



LEGEND

[Symbol]	Landscape
[Symbol]	One Story Element
[Symbol]	Two Story Element
[Symbol]	Three Story Element
[Symbol]	Block Wall
[Symbol]	Existing Grade
[Symbol]	Proposed Grade
[Symbol]	Setback Line
[Symbol]	F.C. Finished Concrete
[Symbol]	T.W. Top of Wall
[Symbol]	T.R. Top of Railing
[Symbol]	F.F.E. Finished Floor Elevation
[Symbol]	T.C. Top of Curb
[Symbol]	F.L. Flowline at Street
[Symbol]	F.S. Finished Surface

LEGAL DESCRIPTION
 LOT 17, BLOCK 114,
 MANHATTAN BEACH SUBDIVISION NO. 3,
 M.B. 5-76, AND A PORTION OF VACATED
 CENTER STREET OF SAID TRACT.
 APN : 4170-016-030

JOB ADDRESS
 761 MANHATTAN BEACH BOULEVARD
 MANHATTAN BEACH, CA

* REFERS TO:
 BLOCK 114,
 MANHATTAN BEACH SUBDIVISION NO. 3,
 M.B. 5 - 76.

OWNER: GO BIG RED L.L.C. (5 UNIT) JOB ADDRESS: 757-761 MANHATTAN BEACH BOULEVARD, MANHATTAN BEACH

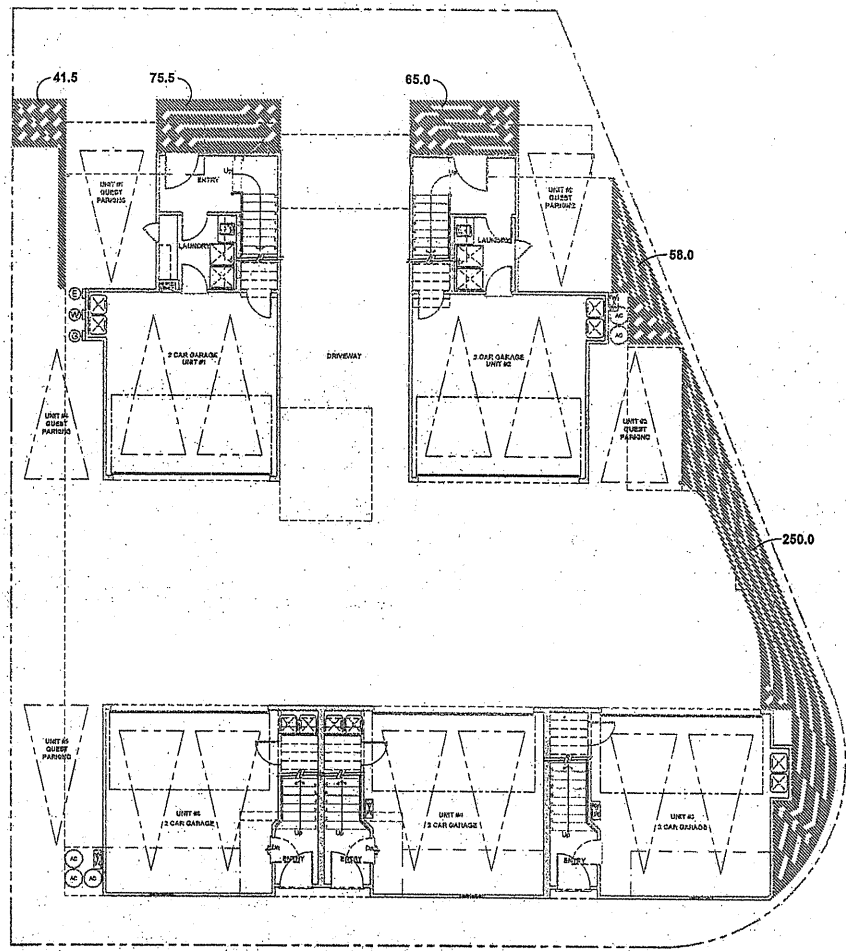
119 W. TOBRANCE BLVD., SUITE 24
 REDONDO BEACH, CALIFORNIA 90277
 PHONE: (310) 372-5580
 FAX: (310) 318-5801

DOUGLAS J. LEACH ARCHITECT

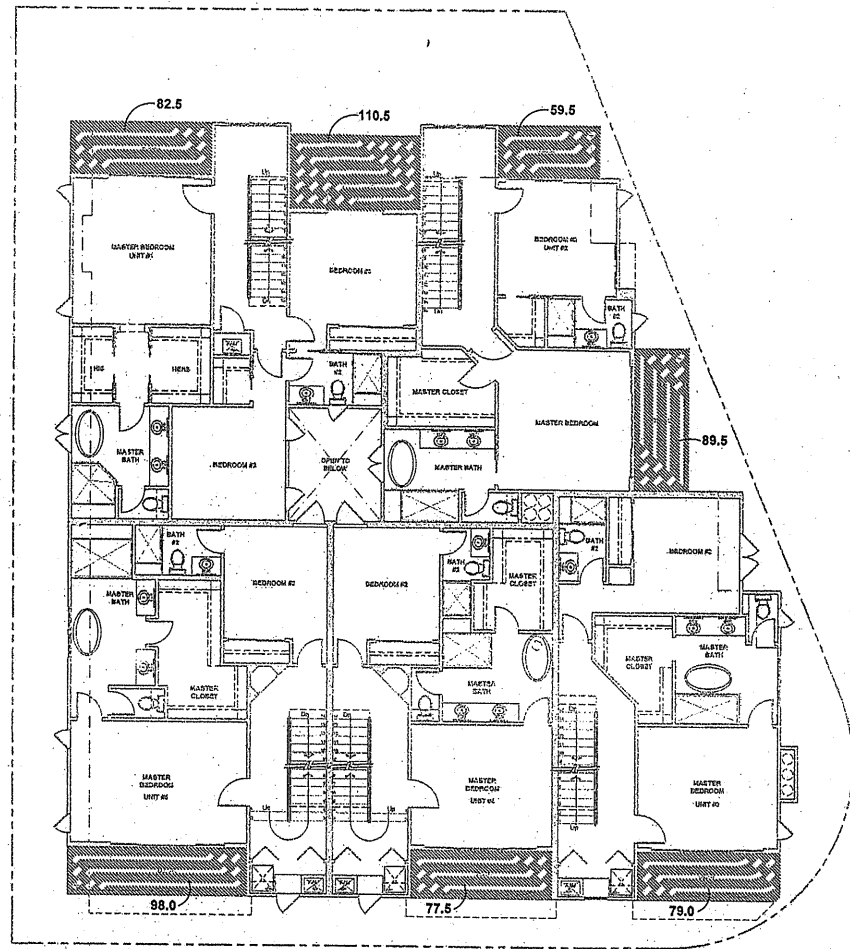
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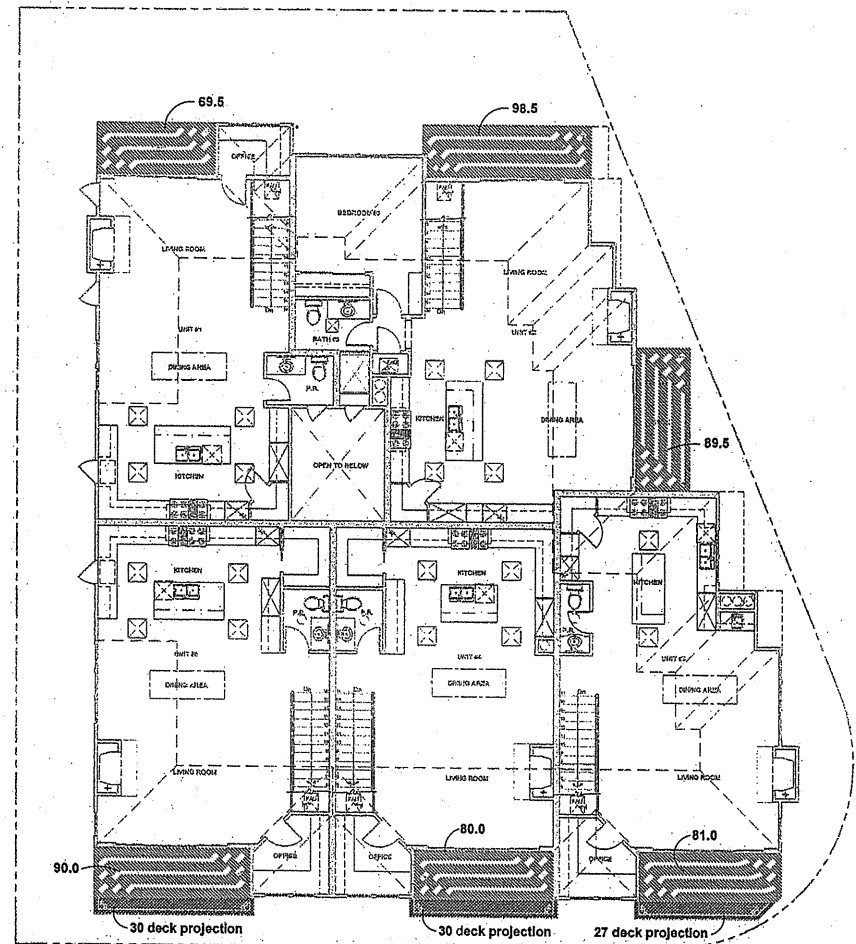
SITE PLAN
 1/8" = 1'-0"



FIRST FLOOR PLAN
1/8" = 1'-0"



SECOND FLOOR PLAN
1/8" = 1'-0"



THIRD FLOOR PLAN
1/8" = 1'-0"

Open Space at First Floor

Provided @ First Floor (At Ground) =	490.0 sq. ft.
Divided between units:	
Unit #1 =	65.0 sq. ft.
Unit #2 =	22.0 sq. ft.
Unit #3 =	118.0 sq. ft.
Unit #4 =	110.0 sq. ft.
Unit #5 =	110.0 sq. ft.
Total =	429.5 sq. ft.
Extra =	60.5 sq. ft.

Open Space Table - Unit #1

Req'd Open Space = 2,182 x .15 =	327.5 sq. ft.
Provided @ First Floor (At Ground) =	65.0 sq. ft.
Provided @ Second Floor (Master Bedroom Deck) =	82.5 sq. ft.
(Bedroom #3 Deck) =	110.5 sq. ft.
Provided @ Third Floor (Great Room Deck) =	69.5 sq. ft.
Total Provided =	327.5 sq. ft. Provided = 327.5 sq. ft. Required

Open Space Table - Unit #2

Req'd Open Space = 2,267 x .15 =	340.0 sq. ft.
Provided @ First Floor (At Ground) =	22.0 sq. ft.
Provided @ Second Floor (Master Bedroom Deck) =	89.5 sq. ft.
(Bedroom #2 Deck) =	59.5 sq. ft.
Provided @ Third Floor (Great Room Deck) =	98.5 sq. ft.
(Dining Area Deck) =	89.5 sq. ft.
Total =	358.0 sq. ft.
Chk Max @ Third Floor: 186.0 sq. ft. - 170.0 sq. ft.	
50% x 340.0 = 170.0 Allowed	18.0 sq. ft. OVER
Total Provided =	358.0 sq. ft. + 18.0 sq. ft. = 340.0 sq. ft.
	Provided = 340.0 Required

Open Space Table - Unit #3

Req'd Open Space = 1,853 x .15 =	278.0 sq. ft.
Provided @ First Floor (At Ground) =	118.0 sq. ft.
Provided @ Second Floor (Master Bedroom Deck) =	79.0 sq. ft.
Provided @ Third Floor (Great Room Deck) =	81.0 sq. ft.
Total Provided =	278.0 sq. ft. Provided = 278.0 sq. ft. Required

Open Space Table - Unit #4

Req'd Open Space = 1,814 x .15 =	272.0 sq. ft.
Provided @ First Floor (At Ground) =	114.5 sq. ft.
Provided @ Second Floor (Master Bedroom Deck) =	77.5 sq. ft.
Provided @ Third Floor (Great Room Deck) =	80.0 sq. ft.
Total Provided =	272.0 sq. ft. Provided = 272.0 sq. ft. Required

Open Space Table - Unit #5

Req'd Open Space = 1,886 x .15 =	283.0 sq. ft.
Provided @ First Floor (At Ground) =	110.0 sq. ft.
Provided @ Second Floor (Master Bedroom Deck) =	88.0 sq. ft.
Provided @ Third Floor (Great Room Deck) =	90.0 sq. ft.
Total Provided =	288.0 sq. ft. Provided = 288.0 sq. ft. Required

OPEN SPACE CALCULATION

OWNER: GO BIG RED L.L.C. (5 UNIT) JOB ADDRESS: 757-761 MANHATTAN BEACH BOULEVARD, MANHATTAN BEACH

119 W. TORRANCE BLVD., SUITE 24
REDONDO BEACH, CALIFORNIA 90277
PHONE: (310) 372-5580
FAX: (310) 318-5801

DOUGLAS J. LEACH
ARCHITECT

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FLOOR AREAS	LIVING
UNIT #1	1,189 sq. ft.
UNIT #2	922 sq. ft.
UNIT #3	935 sq. ft.
UNIT #4	889 sq. ft.
UNIT #5	1,017 sq. ft.

SECOND FLOOR PLAN
1/4" = 1'-0"



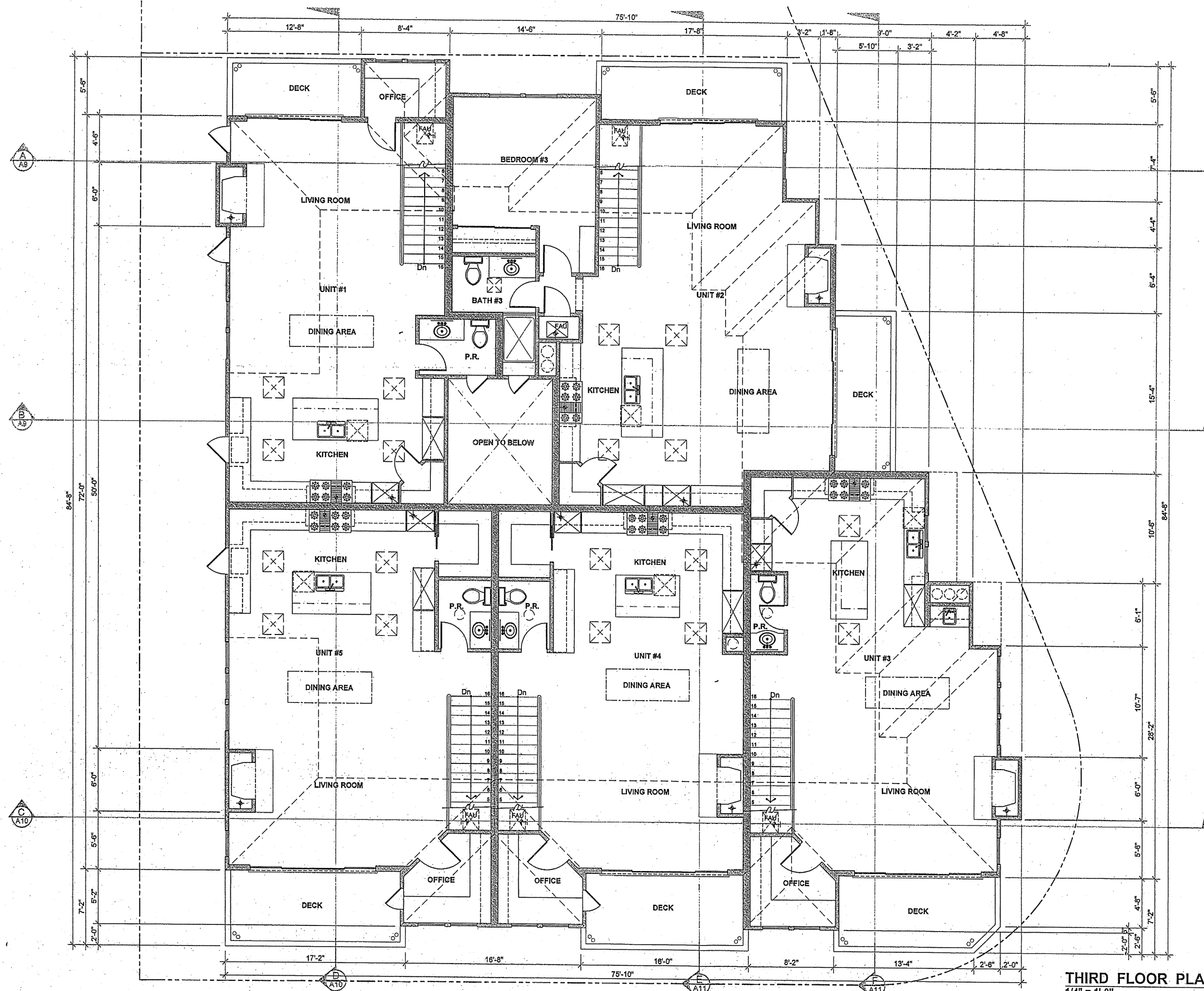
OWNER: GO BIG RED L.L.C. (5 UNIT) JOB ADDRESS: 757-761 MANHATTAN BEACH BOULEVARD, MANHATTAN BEACH

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FAX: (310) 318-5801

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ARCHITECT



FLOOR AREAS	LIVING
UNIT #1	797 sq. ft.
UNIT #2	1,178 sq. ft.
UNIT #3	827 sq. ft.
UNIT #4	834 sq. ft.
UNIT #5	880 sq. ft.

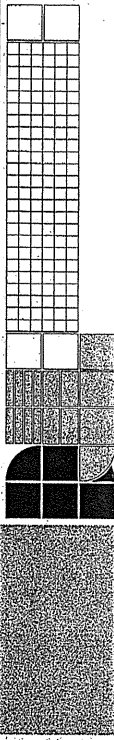
THIRD FLOOR PLAN
1/4" = 1'-0"



OWNER: GO BIG RED L.L.C. (5 UNIT) JOB ADDRESS: 757-761 MANHATTAN BEACH BOULEVARD, MANHATTAN BEACH

119 W. TORRANCE BLVD., SUITE 24
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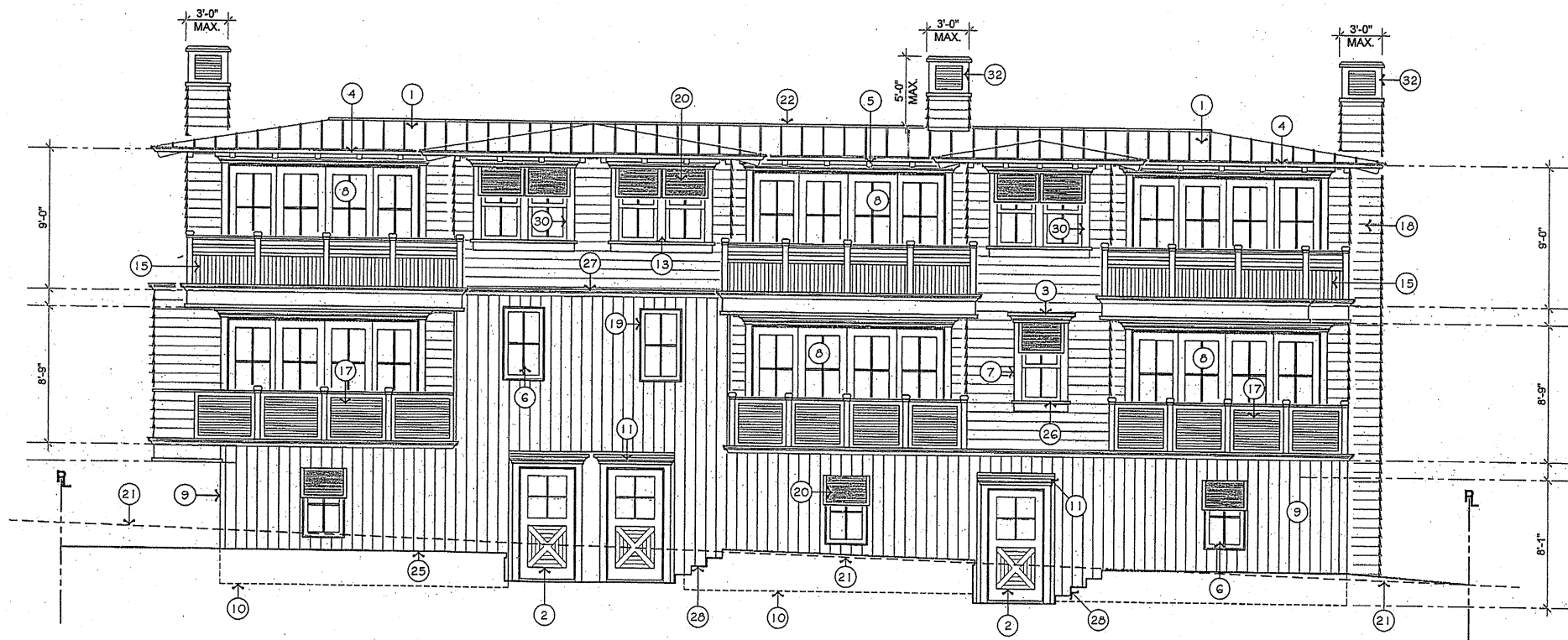


LEFT SIDE WEST ELEVATION
1/4" = 1'-0"

ELEVATION NOTES:

- ① Metal roofing w/ zinc coating & 1" standing seam @ 16" O.C.
- ② Entry door w/ glass @ top return brick back to entry door as shown
- ③ Cove moulding above window - See detail (C)
- ④ 5" Ø half round copper gutter
- ⑤ 4x rafter tails per detail (D) or (E)
- ⑥ Aluminum clad window assembly w/ muntins as shown
- ⑦ 2x6 trim/painted around windows per (F)
- ⑧ Aluminum clad french door assembly w/ muntins as shown
- ⑨ 8" x wide vertical reclaimed wood siding
- ⑩ Outline of floor and wall below grade
- ⑪ Crown mldg above door - See detail (G)
- ⑫ Square posts w/ 3" cove moulding @ top and 1 1/2" horizontal moulding 12" lower per detail (H)
- ⑬ See detail (I) for jamb between windows
- ⑭ Framing thickness above garage doors
- ⑮ Deck guardrail per detail (J)
- ⑯ Sectional roll-up garage door w/ remote opener and glass @ top as shown
- ⑰ Wood shutter guardrail - See detail (K) or (L)
- ⑱ Pre-primed "Artisan" Hardie cement fiber beveled siding w/ 7" exposure
- ⑲ Trim detail @ window per detail (M)
- ⑳ Decorative Bermuda shutter
- ㉑ Outline of sidewalk @ Man. Bch. Blvd.
- ㉒ See detail (N) for transition to flat roof
- ㉓ Reduce chimney width as shown
- ㉔ See details (O) & (P) for head & jamb @ garage door
- ㉕ Finished grade
- ㉖ See details (Q) and (R) for typ. window sill detail
- ㉗ Horizontal trim per detail (S) w/ 2x3 batts above over Hardie planking
- ㉘ Exterior steps per site plan
- ㉙ Outline of grade @ alley
- ㉚ See details (T) & (U) for head & jamb @ double hung windows
- ㉛ Flat roof eave per detail (V)
- ㉜ Chimney detail per detail (W)

VERY IMPORTANT NOTES
Framer and general contractor shall verify exact elevation of highest beam and shall notify architect of this elevation prior to any roof framing. Adjustments may be required with respect to height limit.
1. Parapets, satellite antennae, rails, skylight, and roof equipment must be within the height limit.
2. Provide 2-layers of 15# felt or equivalent over all exterior wall plywood (shear panels).



FRONT SOUTH ELEVATION MANHATTAN BEACH BOULEVARD
1/4" = 1'-0"

OWNER: GO BIG RED L.L.C. (5 UNIT) JOB ADDRESS: 757-761 MANHATTAN BEACH BOULEVARD, MANHATTAN BEACH

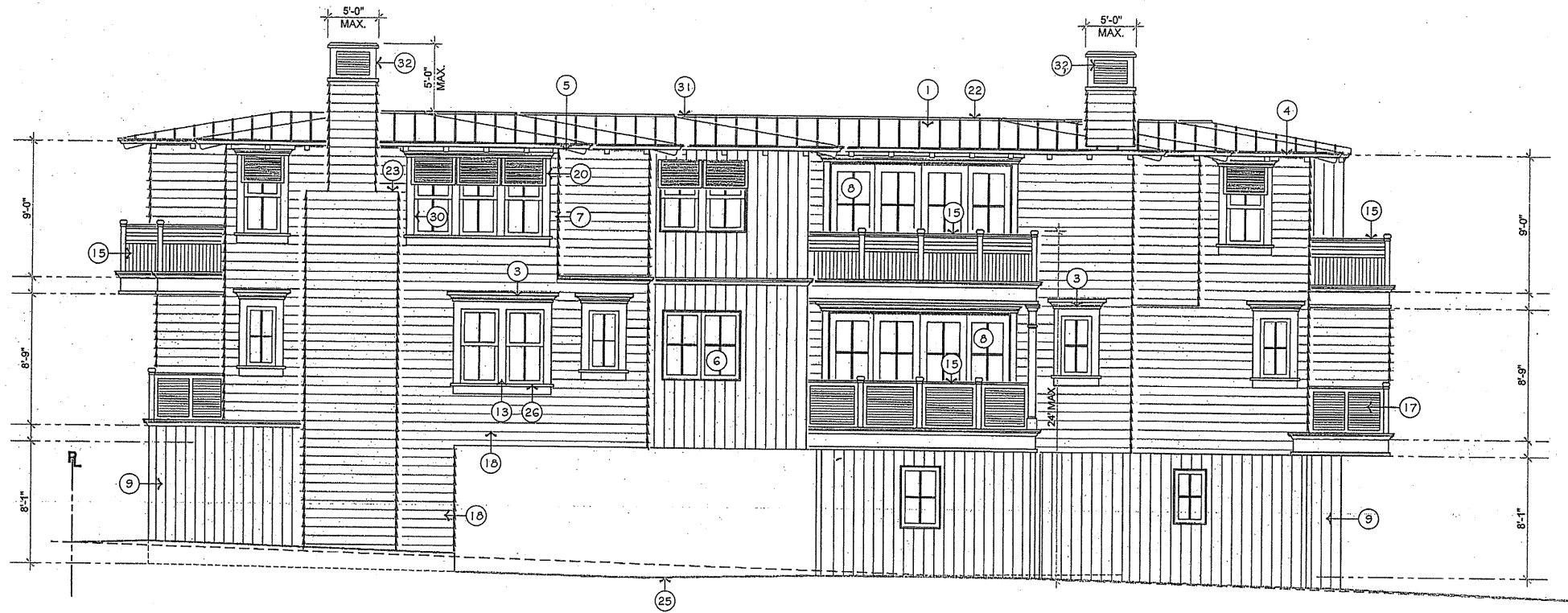
119 W. TORRANCE BLVD., SUITE 24
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ARCHITECT

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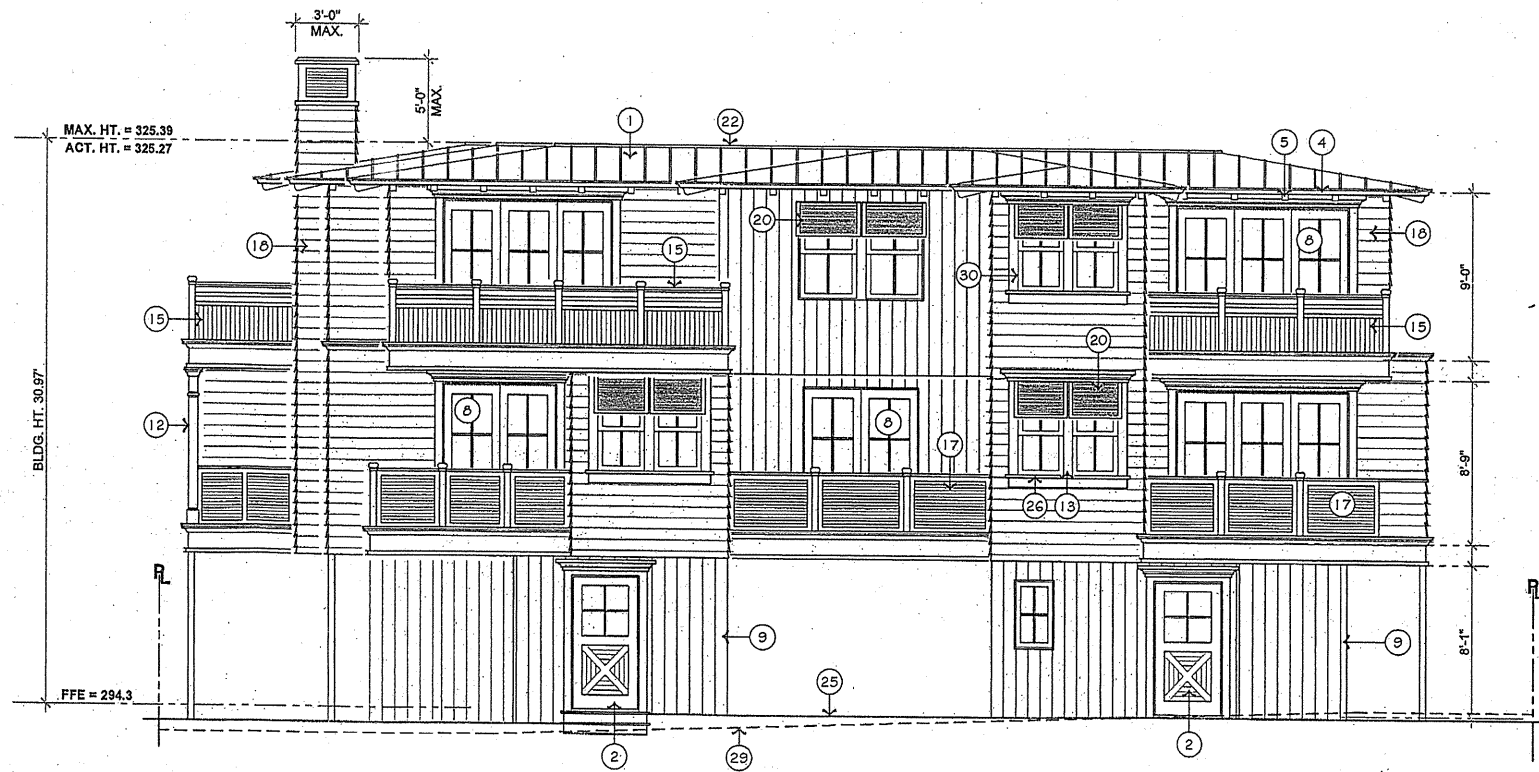
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RIGHT SIDE EAST ELEVATION - LAUREL AVENUE
1/4" = 1'-0"

ELEVATION NOTES:

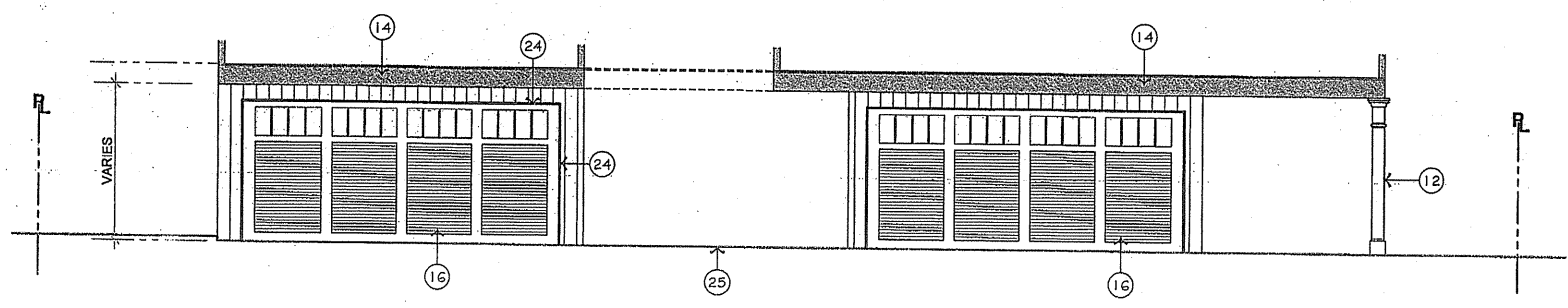
- | | |
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| <ul style="list-style-type: none"> 1 Metal roofing w/ zinc coating & 1" standing seam @ 16" O.C. 2 Entry door w/ glass @ top return brick back to entry door as shown 3 Cove moulding above window - See detail 4 5" Ø half round copper gutter 5 4x rafter tails per detail or 6 Aluminum clad window assembly w/ muntins as shown 7 2x6 trim/painted around windows per 8 Aluminum clad french door assembly w/ muntins as shown 9 8"± wide vertical reclaimed wood siding 10 Outline of floor and wall below grade 11 Crown mldg above door - See detail 12 Square posts w/ 3" cove moulding @ top and 1 1/2" horizontal moulding 12" lower per detail 13 See detail for jamb between windows 14 Framing thickness above garage doors 15 Deck guardrail per detail 16 Sectional roll-up garage door w/ remote opener and glass @ top as shown 17 Wood shutter guardrail - See detail or 18 Pre-primed "Artisan" Hardie cement fiber beveled siding w/ 7" exposure | <ul style="list-style-type: none"> 19 Trim detail @ window per detail 20 Decorative Bermuda shutter 21 Outline of sidewalk @ Man. Bch. Blvd. 22 See detail for transition to flat roof 23 Reduce chimney width as shown 24 See details & for head & jamb @ garage door 25 Finished grade 26 See details and for typ. window sill detail 27 Horizontal trim per detail w/ 2x3 batts above over Hardie planking 28 Exterior steps per site plan 29 Outline of grade @ alley 30 See details & for head & jamb @ double hung windows 31 Flat roof eave per detail 32 Chimney detail per detail <p>VERY IMPORTANT NOTES
Framer and general contractor shall verify exact elevation of highest beam and shall notify architect of this elevation prior to any roof framing. Adjustments may be required with respect to height limit.
1. Parapets, satellite antennae, ralls, skylight, and roof equipment must be within the height limit.
2. Provide 2-layers of 15# felt or equivalent over all exterior wall plywood (shear panels).</p> |
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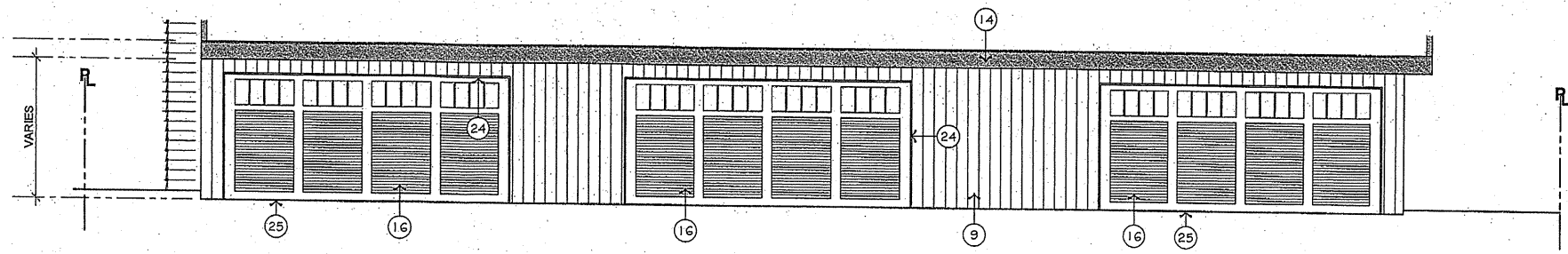
REAR NORTH ELEVATION - ALLEY
1/4" = 1'-0"

OWNER: GO BIG RED L.L.C. (5 UNIT) JOB ADDRESS: 757-761 MANHATTAN BEACH BOULEVARD, MANHATTAN BEACH
 119 W. TORRANCE BLVD., SUITE 24
 REDONDO BEACH, CALIFORNIA 90277
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PARTIAL SOUTH ELEVATION - GARAGE
 1/4" = 1'-0"

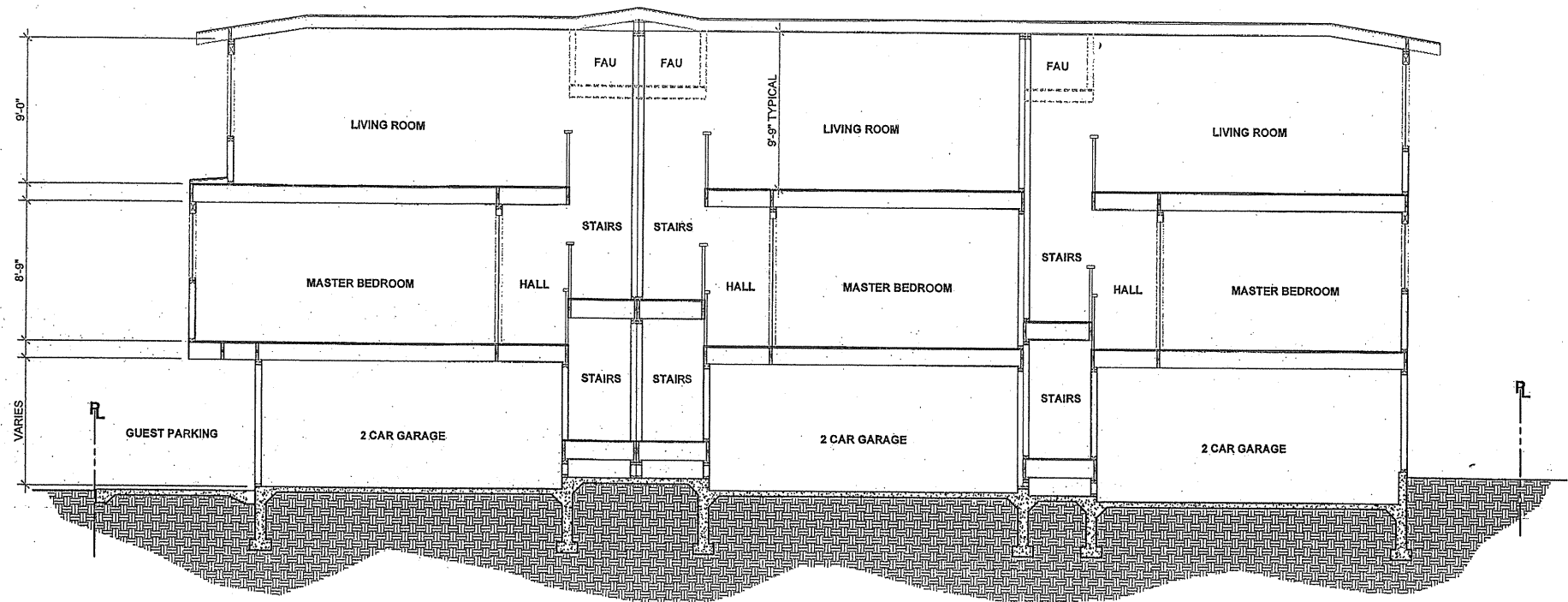


PARTIAL NORTH ELEVATION - GARAGE
 1/4" = 1'-0"

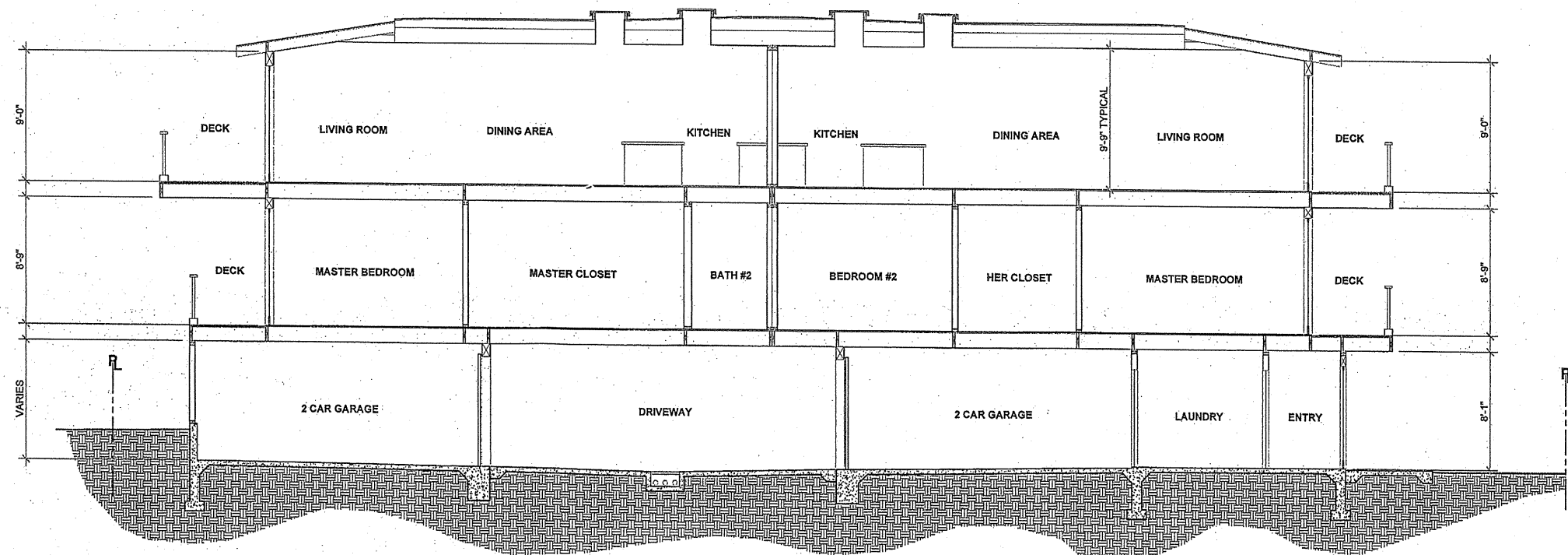
ELEVATION NOTES:

- ① Metal roofing w/ zinc coating & 1" standing seam @ 16"± O.C.
- ② Entry door w/ glass @ top return brick back to entry door as shown
- ③ Cove moulding above window - See ③
- ④ 5" Ø half round copper gutter
- ⑤ 4x rafter tails per detail ⑤ or ⑥
- ⑥ Aluminum clad window assembly w/ muntins as shown
- ⑦ 2x6 trim/painted around windows per ⑦
- ⑧ Aluminum clad french door assembly w/ muntins as shown
- ⑨ 8"± wide vertical reclaimed wood sliding
- ⑩ Outline of floor and wall below grade
- ⑪ Crown midg above door - See detail ⑪
- ⑫ Square posts w/ 3" cove moulding @ top and 1 1/2" horizontal moulding 12" lower per detail ⑫
- ⑬ See detail ⑬ for jamb between windows
- ⑭ Framing thickness above garage doors
- ⑮ Deck guardrail per detail ⑮
- ⑯ Sectional roll-up garage door w/ remote opener and glass @ top as shown
- ⑰ Wood shutter guardrail - See detail ⑰ or ⑱
- ⑱ Pre-primed "Artisan" Hardie cement fiber beveled siding w/ 7" exposure
- ⑲ Trim detail @ window per detail ⑲
- ⑳ Decorative Bermuda shutter
- ㉑ Outline of sidewalk @ Man. Bch. Blvd.
- ㉒ See detail ㉒ for transition to flat roof
- ㉓ Reduce chimney width as shown
- ㉔ See details ㉔ & ㉕ for head & jamb @ garage door
- ㉕ Finished grade
- ㉖ See details ㉖ and ㉗ for typ. window sill detail
- ㉗ Horizontal trim per detail ㉗ w/ 2x3 batts above over Hardie planking
- ㉘ Exterior steps per site plan
- ㉙ Outline of grade @ alley
- ㉚ See details ㉚ & ㉛ for head & jamb @ double hung windows
- ㉛ Flat roof eave per detail ㉛
- ㉜ Chimney detail per detail ㉜

VERY IMPORTANT NOTES
 Framing and general contractor shall verify exact elevation of highest beam and shall notify architect of this elevation prior to any roof framing. Adjustments may be required with respect to height limit.
 1. Parapets, satellite antennae, rails, skylight, and roof equipment must be within the height limit.
 2. Provide 2-layers of 15# felt or equivalent over all exterior wall plywood (shear panels).



SECTION C
1/4" = 1'-0"

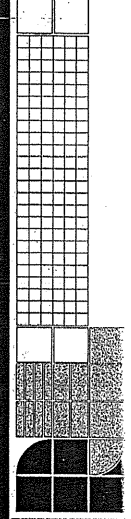


SECTION D
1/4" = 1'-0"

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FAX: (310) 318-5601

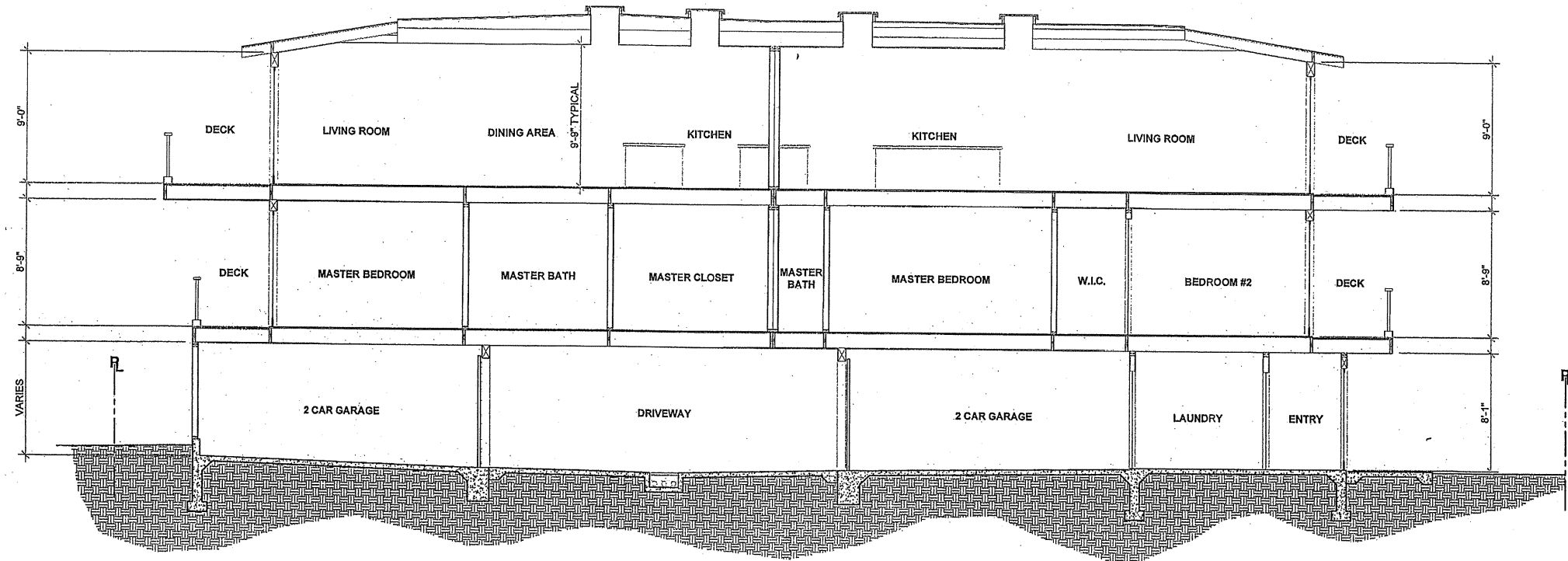
DOUGLAS J. LEACH
ARCHITECT

OWNER: GO BIG RED L.L.C. (5 UNIT) JOB ADDRESS: 757-761 MANHATTAN BEACH BOULEVARD, MANHATTAN BEACH



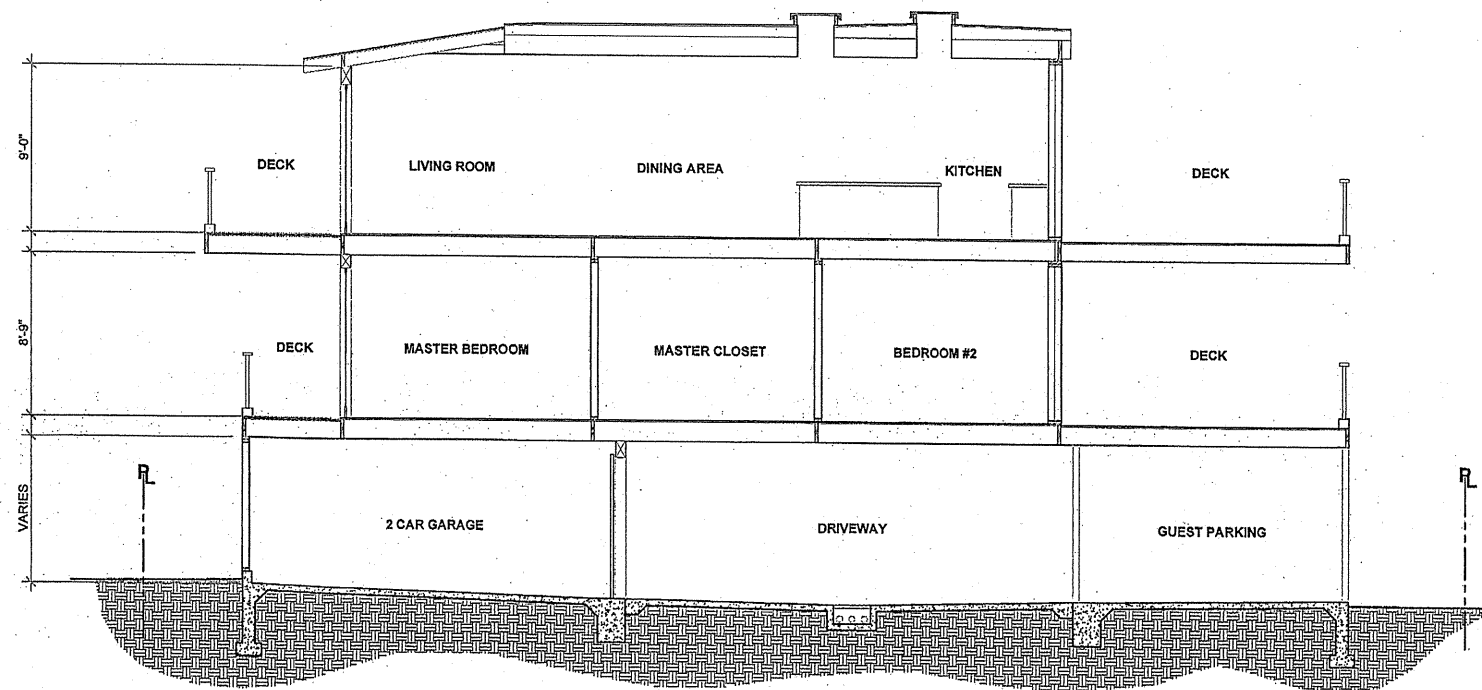
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SECTION
1/4" = 1'-0"

(E)



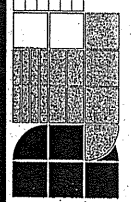
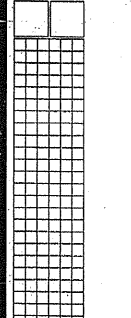
SECTION
1/4" = 1'-0"

(F)

OWNER: GO BIG RED L.L.C. (5 UNIT) JOB ADDRESS: 757-761 MANHATTAN BEACH BOULEVARD, MANHATTAN BEACH

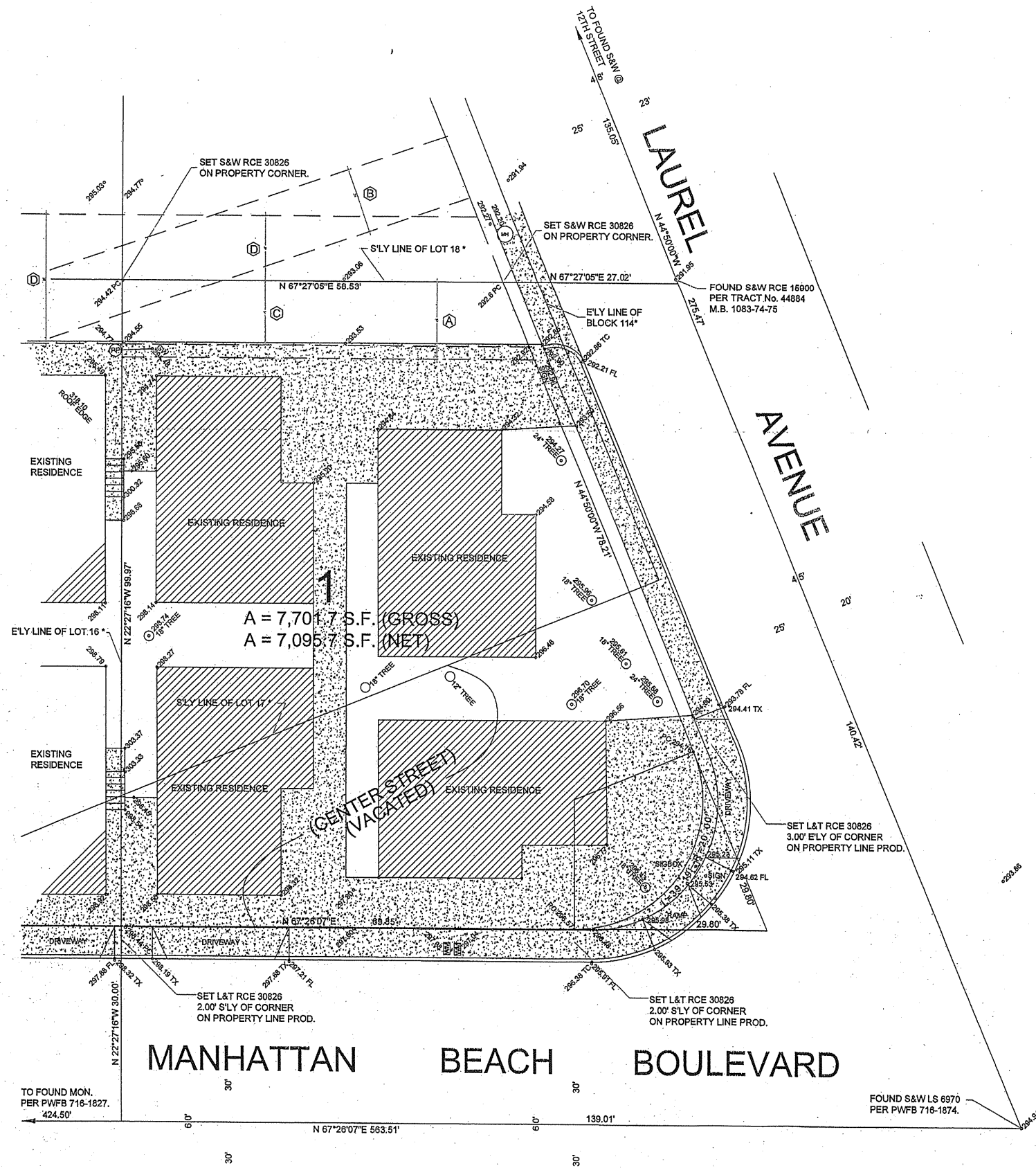
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LEGEND

- EXISTING BUILDING
- CONCRETE
- BRICK
- WOOD DECK
- *108.76 EXISTING ELEVATION
- EXISTING CONTOUR
- BLOCK WALL
- EXISTING FENCE
- SCR CENTERLINE
- CA CENTERLINE
- ELY EXISTING FLOOR
- FF FINISH FLOOR
- FH FIRE HYDRANT FLOW LINE
- GM GAS METER
- GW GAS WIRE
- LAT LEAD AND TAG
- MH MANHOLE
- NLY NORTH ARROW
- PC PROPERTY CORNER
- PL, PL PL PROPERTY LINE
- PP POLE AND WIRE
- SPK SPIKE AND WASHER
- SLY SOUTHERLY
- SSMH SANITARY SEWER MANHOLE
- STK STAKE
- SLYT STREET LIGHT
- TC TOP OF CURB
- TW TOP OF WALL
- TX TOP OF DRIVEWAY APRON
- WLY WESTERLY
- WM WATER METER

NOTE: ALL SETBACK DIMENSIONS SHOWN ARE MEASURED TO EXTERIOR SURFACE OF BUILDINGS UNLESS OTHERWISE NOTED.

BOUNDARY MONUMENTS ARE NOT NECESSARILY SET ON PROPERTY CORNERS. PLEASE REFER TO THE NOTATION ON THE PLANS FOR OFFSET DISTANCES. IF THERE ARE ANY QUESTIONS, PLEASE DO NOT HESITATE TO CONTACT DENN ENGINEERS FOR CLARIFICATION AT: (310) 542-9433, M-F 8:00 AM TO 5:00 PM.

VESTING TENTATIVE

TRACT MAP NO. 72494

IN THE CITY OF MANHATTAN BEACH
COUNTY OF LOS ANGELES
STATE OF CALIFORNIA

FOR CONDOMINIUM PURPOSES

ENGINEER
DENN ENGINEERS
3914 DEL AMO BLVD., STE. 921
TORRANCE, CA 90503
(310) 542-9433

REV 10-30-2014
DATE 9-5-2013

Gary J. Roehl
GARY J. ROEHL R.C.E. 30826

- NOTES:**
- ALL EXISTING STRUCTURES TO BE REMOVED UNLESS OTHERWISE NOTED.
 - ALL UTILITIES ARE LOCATED IN ADJACENT STREETS
 - THIS IS A 5 UNIT CONDOMINIUM PROJECT.

- EASEMENT NOTES:**
- (A) 12' EASEMENT TO GENERAL TELEPHONE COMPANY OF CALIFORNIA FOR PUBLIC UTILITIES. RECORDED 3-14-69, INST. No. 2538
 - (B) 10' EASEMENT TO SOUTHERN CALIFORNIA EDISON COMPANY FOR PUBLIC UTILITIES. RECORDED 4-1-69, INST. No. 3614
 - (C) 10' EASEMENT TO MANHATTAN PACIFIC INVESTMENT CO. FOR INGRESS AND EGRESS. RECORDED 12-19-72, INST. No. 440
 - (D) EASEMENT FOR INGRESS AND EGRESS RECORDED 1-3-2012 INST No. 20120024629. FOR THE BENEFIT OF LOT 1 OF THIS TRACT.

SUBDIVIDER
ROBB STROYKE
920 MANHATTAN BEACH BLVD., #8
MANHATTAN BEACH, CA 90286
(310) 938-6008

LEGAL DESCRIPTION
LOT 17, BLOCK 114,
MANHATTAN BEACH SUBDIVISION NO. 3,
M.B. 5-76, AND A PORTION OF VACATED
CENTER STREET OF SAID TRACT.
APN : 4170-016-030

JOB ADDRESS
761 MANHATTAN BEACH BOULEVARD
MANHATTAN BEACH, CA

* REFERS TO:
BLOCK 114,
MANHATTAN BEACH SUBDIVISION NO. 3,
M.B. 5 - 76.

SCALE: 1" = 8'
13-370

OWNER: GO BIG RED L.L.C. (5 UNIT) JOB ADDRESS: 757-761 MANHATTAN BEACH BOULEVARD, MANHATTAN BEACH

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DOUGLAS J. LEACH
ARCHITECT

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