

**CITY OF MANHATTAN BEACH
DEPARTMENT OF COMMUNITY DEVELOPMENT**

TO: Planning Commission

FROM: Richard Thompson, Director of Community Development

BY: Esteban Danna, Associate Planner

DATE: December 11, 2013

SUBJECT: Consideration of a Coastal Development Permit and Use Permit to allow a new 2-story commercial building (retail space on the ground floor and office space on the second floor) located at 211/213 Manhattan Beach Blvd and 208/214 Center Place.

RECOMMENDATION

Staff recommends that the Planning Commission **CONDUCT** the Public Hearing and **ADOPT** the attached Draft Resolution, approving the project with conditions.

APPLICANT

Kyle Ransford on behalf of 213 Manhattan Beach Blvd Partners, LLC.
2301 Rosecrans Ave
El Segundo, CA 90254

PROJECT OVERVIEW

Location

<u>Location</u>	211/213 Manhattan Beach Blvd and 208/214 Center Place
<u>Area District</u>	III
<u>Legal Description</u>	Lots 6 and 7, Block 66, Manhattan Beach Division No. 2.
<u>Coastal Zone</u>	Non-Appealable

Landuse

<u>General Plan</u>	Downtown Commercial
<u>Zoning</u>	CD – Downtown Commercial
<u>Existing Land Use</u>	Mixed-use building with retail and residential uses
<u>Proposed Land Use</u>	Commercial Building with retail (ground level) and office uses (second level)

Neighboring Zoning and Land Uses

North – CD (Downtown Commercial) – Restaurant/Parking Structure
South – CD (Downtown Commercial) – Retail
East – CD (Downtown Commercial) – Retail/Personal Services/Office
West – CD (Downtown Commercial) – Bank

Project Description

The proposed 2-story building will include a pedestrian-friendly street-front with large retail windows adjacent to the sidewalk and access directly off the ground floor on Manhattan Beach Boulevard. The second floor offices will also have an entrance at the sidewalk level. Although not required, building bulk reduction is provided through decks at the second level. The building also features a mid-level towards the rear to provide storage for its tenants. Vehicular access to the six required parking spaces is located on Center Place. Secondary access to the building and an elevator are provided next to the parking area.

ENVIRONMENTAL REVIEW

The Project is Categorically Exempt from the requirements of the California Environmental Quality Act (CEQA), pursuant to Section 15332.

BACKGROUND:

The subject property is currently developed with three buildings consisting of two tenant retail spaces on the ground floor and two residential units on the second floor on two unmerged lots. The property does not currently have a Use Permit. The applicant proposes to demolish the existing buildings and build a new two-story commercial building with 3,371 square feet of retail space on the ground floor and 3,073 square feet of office space on the second floor. The second floor will also have a 1,061 square-foot deck. A Coastal Development Permit and Use Permit are required. The applicant is also required to complete the lot merger process in order to build the structure which straddles the existing property line. The lot merger is an administrative application on which the Community Development Department will take action.

DISCUSSION:

Code Requirements

The proposed building will comply with all required Zoning Code standards for the district in which it is located. Specifically, the project complies with square footage, height, and parking requirements as follows:

Square Footage

The maximum allowed square footage for the 5,400 square-foot lot is 8,100 square feet. The project proposes to build 6,927 square feet of building area. This proposal merges two standard 2,700 square-foot lots. The Zoning Code does not limit lot size in commercial districts.

Height

The maximum allowed building height for the Downtown Commercial district is 26 feet above the average of the four lot corner elevations, which, for the subject property is 240.93'. The proposed top of building will be 240.29'.

Parking

Parking requirements are calculated based on proposed uses and square footage for each use. MBMC Section 10.64.050 exempts the floor area equal to the lot area, in this case 5,400 square feet, from the parking requirement. The subject project proposes 3,371 square feet of retail space and 3,073 square feet of office space. Section 10.64.030 requires one parking space per 200 square feet of retail space and one parking space per 300 square feet of office space. The project is required to provide parking for 1,322 square feet. A total of six off-street parking spaces are thus required. One of the six proposed parking spaces, or 16.67 percent, will be compact. Section 10.64.100 allows up to 30 percent of the parking spaces to be compact.

Setbacks

The Zoning Code does not require setbacks on commercial properties and does not require a daylight plane when the commercial property does not abut a residential property. The proposed setbacks vary throughout the building. The chart below shows the minimum and maximum setbacks provided per side and per level.

	First Level	Second Level
North (rear)	22.5 – 27.5 ft.	10.5 – 15.5 ft.
South (front)	0 ft.	5.5 – 26 ft.
East (side)	0 ft.	0 – 13.5 ft.
West (side)	0 ft.	5 – 21.5 ft.

Encroachment

A separate Encroachment permit will be required for the installation of an awning over the public sidewalk at Manhattan Beach Boulevard. The awning will be required to comply with all City of Manhattan Beach standards and will be processed administratively.

Coastal Development Permit Requirement

A Coastal Development Permit is required for the proposed project as it is located in the Non-appealable section of the City’s Coastal Zone. The Use Permit will incorporate all of the Coastal Development Permit facts and findings.

Coastal Development Permit Findings

The project is consistent with the policies of the Manhattan Beach Local Coastal Program as follows:

Policy I.C.4: The City shall ensure that future residential and commercial development provides the parking necessary to meet the standards set forth in Section A.64 of Chapter 2 of the Implementation Plan, except that residential parking requirements shall not be reduced for units less than 550 square feet.

Policy I.C.7: The City shall require, when feasible, that commercial development using on-site ground level parking provide vehicular access from the rear of the lot only, so as not to conflict with pedestrian traffic.

Policy II.A.2: Preserve the predominant existing commercial building scale of one and two stories, by limiting any future development to a 2-story maximum, with a 30' height limitation as required by Sections A.04.030, A.16.030, and A.60.050 of Chapter 2 of the Implementation Plan.

Policy II.A.3: Encourage the maintenance of commercial area orientation to the pedestrian.

Policy II.A.4: Discourage commercial lot consolidations of greater than two standard city lots.

Additionally, the project is also consistent with Section A.16.010 of the Local Coastal Program, which identifies specific purposes for the commercial district regulations as follows:

- A. Provide appropriately located areas consistent with the General Plan and Local Coastal Plan for a full range of office, retail commercial, and service commercial uses needed by residents of, and visitors to, the Coastal Zone.
- B. Strengthen the city's economic base, but also protect small businesses that serve city residents.
- C. Create suitable environments for various types of commercial and compatible residential uses, and protect them from the adverse effects of inharmonious uses.
- D. Minimize the impact of commercial development on adjacent residential districts.
- E. Ensure that the appearance and effects of commercial buildings and uses are harmonious with the character of the area in which they are located. Commercial projects involving the combination of three or more lots or on sites exceeding 5,400 square feet shall be approved only if the scale and articulation of the facade of the proposed structure is consistent with this purpose statement.
- F. Ensure the provision of adequate off-street parking and loading facilities.
- G. Provide sites for public and semipublic uses needed to complement commercial development or compatible with a commercial environment.
- H. Encourage commercial buildings that area oriented to the pedestrian, by providing windows and doors accessible from city sidewalks at or near sidewalk level, protecting pedestrian access along sidewalks and alleys and maintaining pedestrian links to parks, open space, and the beach.

I. Carry out the policies and programs of the certified Land Use Plan.

Use Permit Requirement

Per Manhattan Beach Municipal Code (MBMC) Section 10.16.020, a use permit is required when the proposed building area exceeds 5,000 square feet or an office use in downtown exceeds 2,500 square feet.

Use Permit Findings

In order to approve a Use Permit the following findings must be made by the Planning Commission in accordance with MBMC Section 10.84.060. The findings are met as follows:

1. *The proposed location of the use is in accord with the objectives of this title and the purposes of the district in which the site is located.*

The proposed building is located within the downtown commercial district. The proposed uses are consistent with MBMC Section 10.16.010 which states that the district is intended to provide opportunities for commercial uses, to provide a broad range of community businesses, and to serve beach visitors.

2. *The proposed location of the use and the proposed conditions under which it would be operated or maintained will be consistent with the General Plan; will not be detrimental to the public health, safety or welfare of persons residing or working on the proposed project site or in or adjacent to the neighborhood of such use; and will not be detrimental to properties or improvements in the vicinity or to the general welfare of the city.*

The proposed uses pose no detrimental effects to the public health, safety, or welfare of persons working on the proposed project site or on the adjacent properties.

The General Plan of the City of Manhattan Beach poses certain goals and policies which reflect the expectations and wishes of the City with respect to land uses. Specifically, the project is consistent with the following Goals and Policies of the General Plan:

Goal LU-6: Maintain the viability of the commercial areas of Manhattan Beach.

Policy LU-6.1: Support and encourage small businesses throughout the City.

Policy LU-6.2: Encourage a diverse mix of businesses that support the local tax base, are beneficial to residents, and support the economic needs of the community.

Policy LU-6.3: Recognize the need for a variety of commercial development types and designate areas appropriate for each. Encourage development proposals that meet the intent of these designations.

Goal LU-7: Continue to support and encourage the viability of the Downtown area of Manhattan Beach.

Policy LU-7.1: Encourage the upgrading and growth of businesses in the downtown area to serve as a center for the community and to meet the needs of local residents and visitors.

Policy LU-7.2: Encourage the use of the Downtown Design Guidelines to improve the Downtown's visual identification as a unique commercial area.

Policy LU-7.3: Support pedestrian-oriented improvements to increase accessibility in and around Downtown.

Policy LU-7.4: Encourage first-floor street front businesses with retail, restaurants, service/commercial, and similar uses to promote lively pedestrian activity on Downtown streets, and consider providing zoning regulations that support these uses.

- 3. The proposed use will comply with the provisions of this title, including any specific condition required for the proposed use in the district in which it would be located;*

The proposed retail and office uses on the site will be in compliance with applicable provisions of the (CD) Downtown Commercial zone and the required notice, hearing, and findings for the Coastal Development Permit and Use Permit.

- 4. The proposed use will not adversely impact nor be adversely impacted by nearby properties. Potential impacts are related but not necessarily limited to: traffic, parking, noise, vibration, odors, resident security and personal safety, and aesthetics, or create demands exceeding the capacity of public services and facilities which cannot be mitigated.*

The proposed project will not adversely impact nearby resident or commercial properties as they are related to traffic, parking, noise, vibration, odors, personal safety, or aesthetics, or create demands exceeding the capacity of public services and facilities. The proposed uses will provide the required off-street parking and will not create an additional demand for public services and facilities which cannot be mitigated.

Downtown Design Guidelines

As part of the plan review in preparation for the Planning Commission's hearing and discussion, Staff ensures that the proposed project is consistent with the Downtown Design Guidelines.

The Downtown Design Guidelines identifies the following goals:

Goal 1: Preserve the small-town village character of downtown Manhattan Beach.

Goal 2: Preserve and enhance the pedestrian orientation of downtown Manhattan Beach.

Goal 3: Protect and encourage streetscape amenities.

Upon review, it is Staff's opinion that the project is consistent with the aforementioned goals. Specifically, the architectural design adds to the mixed nature of downtown architectural design. The building layout is consistent with surrounding buildings while providing articulation through bulk reduction at the second level. The building also enhances pedestrian orientation with retail space on the ground floor street front and office on the second floor.

City Council Strategic Plan

One of the objectives included in the current six month (July 2013 through July 2014) City Council Strategic Plan is for Staff to review the current commercial regulations on office, banks and other uses in the Downtown area. The recommendation is to encourage a vibrant and sustainable downtown environment that increases retail business and sales tax revenue by encouraging retail uses to be located on the ground floor and thus create pedestrian-friendly streets. The proposed project is consistent with the City Council's desire to encourage retail businesses at street level.

Planning Commission Authority

In accordance with Chapter 10.84 of the MBMC, the Planning Commission conducts a public hearing and has the authority to approve, approve with conditions or deny the Use Permit application. With any action the Use Permits findings must be considered (10.84.060A), and conditions may be placed on an application (10.84.070). The Commission has the ability to approve only portions of the request and modify the proposal to meet the Use Permit purpose, findings, and criteria.

City Departments Input

Plans of the proposed project were circulated through the City's Building, Public Works, Fire, and Police Departments. Planning Staff did not receive comments opposing the project.

Public Input

A public notice for the project was mailed to the property owners within 500 feet of the site and published in the Beach Reporter newspaper. Staff did not receive any comments at the writing of this report.

CONCLUSION

The project before the Planning Commission is a Coastal Development Permit and Use Permit to allow a new two-story commercial building with retail space on the ground floor and office space on the second floor located at 211/213 Manhattan Beach Blvd and 208/214 Center Place. Conditions limit ground floor uses to retail and office and personal services on the second floor. The conditions prohibit office uses on the ground floor and eating and drinking establishments on the site. Staff recommends that the Planning Commission review the information presented in the report, open the public hearing, discuss the project, close the public hearing, and adopt the Draft Resolution approving the project with conditions.

Attachments:

- A. Draft Resolution No. PC 13-XX
- B. Application Materials
- C. Public Notice
- D. Vicinity Map
- E. Plans

RESOLUTION NO. PC 13-XX

RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF MANHATTAN BEACH APPROVING A COASTAL DEVELOPMENT PERMIT AND USE PERMIT TO ALLOW A NEW 2-STORY COMMERCIAL BUILDING (RETAIL SPACE ON THE GROUND FLOOR AND OFFICE SPACE ON THE SECOND FLOOR) AT 211/213 MANHATTAN BEACH BLVD AND 208/214 CENTER PLACE

THE PLANNING COMMISSION OF THE CITY OF MANHATTAN BEACH DOES HEREBY RESOLVE AS FOLLOWS:

SECTION 1. The Planning Commission of the City of Manhattan Beach hereby makes the following findings:

- A. Pursuant to applicable law, the Planning Commission of the City of Manhattan Beach conducted a public hearing on December 11, 2013, received testimony, and considered an application for a Coastal Development and Use Permit to allow a new 2-story commercial building located on the properties legally described as Lots 6 and 7, in Block 66, Manhattan Beach Division No. 2, located at 211/213 Manhattan Beach Blvd and 208/214 Center Place in the City of Manhattan Beach.
- B. The proposed 2-story building will include a pedestrian-friendly street-front with large retail windows adjacent to the sidewalk and access directly off the ground floor on Manhattan Beach Boulevard. The second floor offices will also have an entrance at the sidewalk level. Although not required, building bulk reduction is provided through decks at the second level. The building also features a mid-level towards the rear to provide storage for its tenants. Vehicular access to the six required parking spaces is located on Center Place. Secondary access to the building and an elevator are provided next to the parking area.
- C. The proposed project requires a Certificate of Compliance for the merger of two contiguous lots and an Encroachment Permit for the projection of a commercial awning over the public right-of-way. Both are administrative applications, will be subject to all applicable standards, and are subject to review and approval by the Community Development Department.
- D. The applicant for the subject project is Kyle Ransford on behalf of 213 Manhattan Beach Blvd Partners, LLC.
- E. Pursuant to the Manhattan Beach Local Coastal Program, a Coastal Development permit is required for the proposed demolition of the existing building and construction of the new building. This document constitutes the required Coastal Development Permit.
- F. Pursuant to Manhattan Beach Municipal Code (MBMC) Section 10.16.020 (Subsections L-24 and B), a Use Permit is required for projects exceeding 2,500 square feet of office use and/or 5,000 square feet of buildable floor area.
- G. The subject properties or uses therein are currently not under a use permit.

- H. The project is Categorical Exempt (Section 15332) from the requirements of the California Environmental Quality Act (CEQA).
- I. The project will not individually nor cumulatively have an adverse effect on wildlife resources, as defined in Section 711.2 of the Fish and Game Code.
- J. The General Plan designation for the property is Downtown Commercial. The General Plan encourages commercial uses such as this that serve City residents and visitors.
- K. The zoning designation for the property is CD (Downtown Commercial).
- L. The zoning districts surrounding the property are CD (Downtown Commercial). The existing land use for the property is commercial and residential.
- M. Pursuant to the City's Local Coastal Program, the project is consistent with the following policies of the Manhattan Beach Local Coastal Program:

Policy I.C.4: The City shall ensure that future residential and commercial development provides the parking necessary to meet the standards set forth in Section A.64 of Chapter 2 of the Implementation Plan, except that residential parking requirements shall not be reduced for units less than 550 square feet.

Policy I.C.7: The City shall require, when feasible, that commercial development using on-site ground level parking provide vehicular access from the rear of the lot only, so as not to conflict with pedestrian traffic.

Policy II.A.2: Preserve the predominant existing commercial building scale of one and two stories, by limiting any future development to a 2-story maximum, with a 30' height limitation as required by Sections A.04.030, A.16.030, and A.60.050 of Chapter 2 of the Implementation Plan.

Policy II.A.3: Encourage the maintenance of commercial area orientation to the pedestrian.

Policy II.A.4: Discourage commercial lot consolidations of greater than two standard city lots.

Additionally, the project is also consistent with Section A.16.010 of the Local Coastal Program, which identifies specific purposes for the commercial district regulations as follows:

1. Provide appropriately located areas consistent with the General Plan and Local Coastal Plan for a full range of office, retail commercial, and service commercial uses needed by residents of, and visitors to, the Coastal Zone.
2. Strengthen the city's economic base, but also protect small businesses that serve city residents.

3. Create suitable environments for various types of commercial and compatible residential uses, and protect them from the adverse effects of inharmonious uses.
 4. Minimize the impact of commercial development on adjacent residential districts.
 5. Ensure that the appearance and effects of commercial buildings and uses are harmonious with the character of the area in which they are located. Commercial projects involving the combination of three or more lots or on sites exceeding 5,400 square feet shall be approved only if the scale and articulation of the facade of the proposed structure is consistent with this purpose statement.
 6. Ensure the provision of adequate off street parking and loading facilities.
 7. Provide sites for public and semipublic uses needed to complement commercial development or compatible with a commercial environment.
 8. Encourage commercial buildings that area oriented to the pedestrian, by providing windows and doors accessible from city sidewalks at or near sidewalk level, protecting pedestrian access along sidewalks and alleys and maintaining pedestrian links to parks, open space, and the beach.
 9. Carry out the policies and programs of the certified Land Use Plan.
- N. Pursuant to Section 10.84.060 of the Manhattan Beach Municipal Code and Section A.84.060 of the Manhattan Beach Local Coastal Program, the following findings for the Use Permit are made:

1. *The proposed location of the use is in accord with the objectives of this title and the purposes of the district in which the site is located.*

The proposed building is located within the downtown commercial district. The proposed uses are consistent with MBMC Section 10.16.010 which states that the district is intended to provide opportunities for commercial uses, to provide a broad range of community businesses, and to serve beach visitors.

2. *The proposed location of the use and the proposed conditions under which it would be operated or maintained will be consistent with the General Plan; will not be detrimental to the public health, safety or welfare of persons residing or working on the proposed project site or in or adjacent to the neighborhood of such use; and will not be detrimental to properties or improvements in the vicinity or to the general welfare of the city.*

The proposed uses pose no detrimental effects to the public health, safety, or welfare of persons working on the proposed project site or on the adjacent properties. The General Plan of the City of Manhattan Beach poses certain goals and policies which reflect the expectations and wishes of the City with respect to land uses. Specifically, the project is consistent with the following Goals and Policies of the General Plan:

Goal LU-6: Maintain the viability of the commercial areas of Manhattan Beach.

Policy LU-6.1: Support and encourage small businesses throughout the City.

Policy LU-6.2: Encourage a diverse mix of businesses that support the local tax base, are beneficial to residents, and support the economic needs of the community.

Policy LU-6.3: Recognize the need for a variety of commercial development types and designate areas appropriate for each. Encourage development proposals that meet the intent of these designations.

Goal LU-7: Continue to support and encourage the viability of the Downtown area of Manhattan Beach.

Policy LU-7.1: Encourage the upgrading and growth of businesses in the downtown area to serve as a center for the community and to meet the needs of local residents and visitors.

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- 3. The proposed use will comply with the provisions of this title, including any specific condition required for the proposed use in the district in which it would be located;*

The proposed retail and office uses on the site will be in compliance with applicable provisions of the (CD) Downtown Commercial zone and the required notice, hearing, and findings for the Coastal Development Permit and Use Permit.

- 4. The proposed use will not adversely impact nor be adversely impacted by nearby properties. Potential impacts are related but not necessarily limited to: traffic, parking, noise, vibration, odors, resident security and personal safety, and aesthetics, or create demands exceeding the capacity of public services and facilities which cannot be mitigated.*

The proposed project will not adversely impact nearby resident or commercial properties as they are related to traffic, parking, noise, vibration, odors, personal safety, or aesthetics, or create demands exceeding the capacity of public services and facilities. The proposed uses will provide the required off-street parking and will not create an additional demand for public services and facilities which cannot be mitigated.

N. As part of the plan review in preparation for the Planning Commission's hearing and discussion, Staff ensures that the proposed project is consistent with the Downtown Design Guidelines. This project is consistent with the said guidelines. The Downtown Design Guidelines identifies the following goals:

Goal 1: Preserve the small-town village character of downtown Manhattan Beach.

Goal 2: Preserve and enhance the pedestrian orientation of downtown Manhattan Beach.

Goal 3: Protect and encourage streetscape amenities.

O. One of the objectives included in the six month (July 2013 through July 2014) City Council Strategic Plan is for Staff to review the current commercial regulations on office, banks and other uses in the Downtown area. The recommendation is to encourage a vibrant and sustainable downtown environment that increases retail business and sales tax revenue by encouraging retail businesses to be located on the ground floor and thus create pedestrian-friendly streets. The proposed project is consistent with the City Council's desire to encourage retail businesses at street level.

SECTION 2. The Planning Commission of the City of Manhattan Beach hereby **APPROVES** the subject Use Permit and Coastal Development Permit subject to the following conditions:

Site Preparation / Construction

1. The project shall be in substantial compliance with the submitted plans and project description as approved by the Planning Commission on December 11, 2013. Any substantial deviation from the approved plans and project description must be reviewed and approved by the Planning Commission.
2. All electrical, telephone, cable television system, and similar service wires and cables shall be installed underground to the appropriate utility connections in compliance with all applicable Building and Electrical Codes, safety regulations, and orders, rules of the Public Utilities Commission, the serving utility company, and specifications of the Public Works Department.
3. All defective or damaged curb, gutter, street paving, and sidewalk improvements shall be removed and replaced with improvements as required by the Public Works Department. New sidewalk shall be constructed along Manhattan Beach Blvd with tile or other materials as required by the Public Works Department.
4. Right-of-way trees shall be replaced if required by the Public Works Department. Tree size and species shall be approved by the Public Works Department prior to installation.
5. No waste water shall be permitted to be discharged from the premises. Waste water shall be discharged into the sanitary sewer system.
6. Property line clean outs, mop sinks, erosion control, and other sewer and storm water items shall be installed and maintained as required by the Department of Public Works or Building Official.

7. Security lighting for the site shall be provided in conformance with Municipal Code requirements and shall include glare prevention design.
8. During building construction of the site, the soil shall be watered in order to minimize the impacts of dust on the surrounding area.

Commercial Operational Restrictions

9. The subject site may include up to 6,928 square feet of commercial space. Commercial uses shall be limited to Retail on the ground floor, and General Office or Personal Services on the second floor. Other uses permitted in the Downtown Commercial zone with parking requirements that do not exceed those of the approved uses that promote a pedestrian-oriented environment may be allowed with the approval of the Director of Community Development. Eating and Drinking Establishments shall be prohibited. Banks and Office uses shall be prohibited on the ground floor.
10. Parking shall be provided in conformance with the current Manhattan Beach Municipal Code. Commercial parking spaces shall not be labeled or otherwise restricted for use by any individual tenant and customers of the property. Gates or other obstructions to commercial parking areas shall be prohibited.
11. Wheel stops shall be installed for each parking stall as required by the Community Development Department.
12. The management of the property shall police the property and all areas adjacent to the business during hours of operation to keep it free of litter and debris.
13. No refuse generated at the subject site shall be located in the public right-of-way for storage or pick-up.
14. A covered trash enclosure, with adequate capacity for refuse and recycling, shall be provided on the site subject to the specifications and approval of the Public Works Department, Community Development Department, and City's waste contractor. A trash and recycling plan shall be provided as required by the Public Works Department.
15. All signs shall be in compliance with the City's Sign Code. Pole signs and internally illuminated awnings shall be prohibited. A sign program shall be submitted to the Community Development Department for review and approval prior to occupancy.
16. Any outside sound or amplification system or equipment is prohibited.
17. Operations shall remain in compliance with all Fire and Building occupancy requirements at all times.
18. The Fire Department Connection (FDC), fire suppression valve, and related equipment shall be incorporated into the design of the project and screened from off-site views to the extent reasonably possible.
19. The operators of the facility shall provide adequate management and supervisory techniques to prevent loitering and other security concerns outside the subject businesses.

20. The project shall conform to all disabled access requirements subject to the approval of the Building Official. Property must provide one handicap parking space as required by 2010 Building Code for the entire site.

Procedural

21. This Coastal Development Permit and Use Permit shall lapse two years after its date of approval, unless implemented or extended pursuant to 10.84.090 of the Municipal Code and the standards set forth by the City's Local Coastal Program.
22. Pursuant to Public Resources Code section 21089(b) and Fish and Game Code section 711.4(c), the project is not operative, vested or final until the required filing fees are paid.

Applicant shall defend, indemnify, and hold the City, its elected officials, officers, employees, volunteers, agents, and those City agents serving as independent contractors in the role of City officials (collectively "Indemnitees") free and harmless from and against any and all claims (including, without limitation, claims for bodily injury, death, or damage to property), demands, obligations, damages, actions, causes of action, suits, losses, judgments, fines, penalties, liabilities, costs, and expenses (including, without limitation, attorneys' fees, consequential damages, disbursements, and court costs) of every kind and nature whatsoever (individually, a "Claim," collectively, "Claims"), in any manner arising out of or incident to: (i) this approval and related entitlements, (ii) the City's environmental review of this project, (iii) any construction related to this approval, or (iv) the use of the property that is the subject of this approval. Applicant shall pay and satisfy any judgment, award or decree that may be rendered against City or the other Indemnitees in any such suit, action, or other legal proceeding arising out of or incident to this approval, any construction related to this approval, or the use of the property that is the subject of this approval. The City shall have the right to select counsel of its choice. Applicant shall reimburse the City, and the other Indemnitees, for any and all legal expenses and costs incurred by each of them in connection therewith or in enforcing the indemnity herein provided. Applicant's obligation to indemnify shall not be restricted to insurance proceeds, if any, received by Applicant or Indemnitees. This indemnity shall apply to all Claims and liability regardless of whether any insurance policies are applicable. Nothing in this Section shall be construed to require Applicant to indemnify Indemnitees for any Claim arising from the sole negligence or willful misconduct of the Indemnitees. In the event such a legal action is filed challenging the City's determinations herein or the issuance of the coastal permit, the City shall estimate its expenses for the litigation. Applicant shall deposit said amount with the City or enter into an agreement with the City to pay such expenses as they become due.

23. At any time in the future, the Planning Commission or City Council may review the Coastal Development Permit and Use Permit for the purposes of revocation or modification. Modification may consist of conditions deemed reasonable to mitigate or alleviate impacts to adjacent land uses.

SECTION 3. Pursuant to Government Code Section 65009 and Code of Civil Procedure Section 1094.6, any action or proceeding to attack, review, set aside, void or annul this decision, or concerning any of the proceedings, acts, or determinations taken, done or made prior to such decision or to determine the reasonableness, legality or validity of any condition attached to this decision shall not be maintained by any person unless the action or proceeding is commenced within 90 days of the date of this resolution and the City Council is served within 120 days of the date of this resolution. The City Clerk shall send a certified copy of this resolution to the applicant, and if any, the appellant at the address of said person set forth in the record of the proceedings and such mailing shall constitute the notice required by Code of Civil Procedure Section 1094.6.

I hereby certify that the foregoing is a full, true, and correct copy of the Resolution as adopted by the Planning Commission at its regular meeting of December 11, 2013 and that said Resolution was adopted by the following vote:

AYES:

NOES:

ABSTAIN:

ABSENT:

RICHARD THOMPSON
Secretary to the Planning Commission

Rosie Lackow
Recording Secretary



MASTER APPLICATION FORM

CITY OF MANHATTAN BEACH
COMMUNITY DEVELOPMENT DEPARTMENT

Office Use Only
Date Submitted: 9/30/13
Received By: MR F.R.E.D.
F&G Check Submitted:

213 MANHATTAN BEACH BLVD, MANHATTAN BEACH, CA
Project Address
LOT 6 & 7, BLOCK 66, MANHATTAN BEACH DIVISION NO.2
M.B. 1-95-96, APN 4179-021-005
Legal Description

COMMERCIAL DISTRICTS
General Plan Designation

CD
Zoning Designation

III
Area District

CA 13-33

For projects requiring a Coastal Development Permit, select one of the following determinations¹:

- | | |
|---|---|
| <i>Project located in Appeal Jurisdiction</i> | <i>Project not located in Appeal Jurisdiction</i> |
| <input type="checkbox"/> Major Development (Public Hearing required) | <input checked="" type="checkbox"/> Public Hearing Required (due to UP, Var., etc.) |
| <input type="checkbox"/> Minor Development (Public Hearing, if requested) | <input type="checkbox"/> No Public Hearing Required |

Submitted Application (check all that apply)

- | | | | |
|--|-------|--|-------|
| <input type="checkbox"/> Appeal to PC/PPIC/BBA/CC | _____ | <input type="checkbox"/> Use Permit (Residential) | _____ |
| <input checked="" type="checkbox"/> Coastal Development Permit | 1660 | <input checked="" type="checkbox"/> Use Permit (Commercial) | 8255 |
| <input checked="" type="checkbox"/> Environmental Assessment | 215 | <input type="checkbox"/> Use Permit Amendment | _____ |
| <input type="checkbox"/> Minor Exception | _____ | <input type="checkbox"/> Variance | _____ |
| <input type="checkbox"/> Subdivision (Map Deposit)4300 | _____ | <input checked="" type="checkbox"/> Public Notification Fee / \$85 | 85 |
| <input type="checkbox"/> Subdivision (Tentative Map) | _____ | <input type="checkbox"/> Park/Rec Quimby Fee 4425 | _____ |
| <input type="checkbox"/> Subdivision (Final) | _____ | <input type="checkbox"/> Lot Merger/Adjustment/\$15 rec. fee | _____ |
| <input type="checkbox"/> Subdivision (Lot Line Adjustment) | _____ | <input type="checkbox"/> Other | _____ |

Fee Summary: Account No. 4225 (calculate fees on reverse)

Pre-Application Conference: Yes No _____ Date: _____ Fee: _____
Amount Due: \$ 14215 (less Pre-Application Fee if submitted within past 3 months)
Receipt Number: _____ Date Paid: _____ Cashier: _____

Applicant(s)/Appellant(s) Information

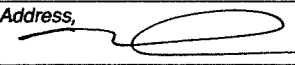
213 MANHATTAN BEACH BLVD PARTNERS, LLC CONTACT PERSON: KYLE RANSFORD
Name

2301 ROSECRANS AVENUE, SUITE 4194, EL SEGUNDO, CA 90254
Mailing Address

OWNER
Applicant(s)/Appellant(s) Relationship to Property

STARR DESIGN GROUP/ JONATHAN STARR/ DESIGNER 310.376.6997 jon@starr-design.com
Contact Person (include relation to applicant/appellant) Phone number / e-mail

643 CYPRESS AVENUE, HERMOSA BEACH, CA 90245
Address,


Applicant(s)/Appellant(s) Signature 310-780-9955 kyle@cardinalinvestments.com
Phone number

Complete Project Description- including any demolition (attach additional pages if necessary)

NEW MIXED USE PROECT W/ RETAIL SPACES, AND OFFICE UNITS. DOMOLITION OF EXISTING BUILDINGS

¹ An Application for a Coastal Development Permit shall be made prior to, or concurrent with, an application for any other permit or approvals required for the project by the City of Manhattan Beach Municipal Code. (Continued on reverse)

OWNER'S AFFIDAVIT

STATE OF CALIFORNIA
 COUNTY OF LOS ANGELES

I/We 213 MANHATTAN BEACH BLVD PARTNERS, LLC being duly sworn,
 depose and say that I am/we are the owner(s) of the property involved in this application and that
 the foregoing statements and answers herein contained and the information herewith submitted
 are in all respects true and correct to the best of my/our knowledge and belief(s).

 9-30-13
 Signature of Property Owner(s) – (Not Owner in Escrow or Lessee)

213 MANHATTAN BEACH BLVD PARTNERS, LLC
 Print Name

2301 ROSECRANS AVENUE, SUITE 4194, EL SEGUNDO, CA 90245
 Mailing Address

310-780-9955
 Telephone

Subscribed and sworn to before me,
 this _____ day of _____, 20____
 in and for the County of _____
 State of _____ *★ please see attachment for Notarization*

Notary Public

Fee Schedule Summary

Below are the fees typically associated with the corresponding applications. Additional fees not shown on this sheet may apply – refer to current City Fee Resolution (contact the Planning Department for assistance.) Fees are subject to annual adjustment.

Submitted Application (circle applicable fees, apply total to Fee Summary on application)

Coastal Development Permit	
Filing Fee (public hearing – no other discretionary approval required):	\$ 4,615 <input checked="" type="checkbox"/>
Filing Fee (public hearing – other discretionary approvals required):	1,660 <input checked="" type="checkbox"/>
Filing Fee (no public hearing required – administrative):	920 <input checked="" type="checkbox"/>
Use Permit	
Use Permit Filing Fee:	\$ 5,200 <input checked="" type="checkbox"/>
Master Use Permit Filing Fee:	8,255 <input checked="" type="checkbox"/>
Master Use Permit Amendment Filing Fee:	4,740 <input checked="" type="checkbox"/>
Master Use Permit Conversion:	4,075 <input checked="" type="checkbox"/>
Variance	
Filing Fee:	\$ 5,160 <input checked="" type="checkbox"/>
Minor Exception	
Filing Fee (without notice):	\$ 1,775
Filing Fee (with notice):	2,020 <input checked="" type="checkbox"/>
Subdivision	
Certificate of Compliance:	\$ 1,560
Final Parcel Map + mapping deposit:	515
Final Tract Map + mapping deposit:	595
Mapping Deposit (paid with Final Map application):	500
Merger of Parcels or Lot Line Adjustment:	1,155
Quimby (Parks & Recreation) fee (per unit/lot):	1,817
Tentative Parcel Map (4 or less lots / units) No Public Hearing:	915
Tentative Parcel Map (4 or less lots / units) Public Hearing:	3,325 <input checked="" type="checkbox"/>
Tentative Tract Map (5 or more lots / units):	4,080 <input checked="" type="checkbox"/>
Environmental Review (contact Planning Division for applicable fee)	
Environmental Assessment (no Initial Study prepared):	\$ 215
Environmental Assessment (if Initial Study is prepared):	2,260
Fish and Game/CEQA Exemption County Clerk Posting Fee ² :	75
<input checked="" type="checkbox"/> Public Notification Fee applies to all projects with public hearings and covers the city's costs of envelopes, postage and handling the mailing of public notices. Add this to filing fees above, as applicable:	\$ 85

²Make a separate \$75 check payable to LA County Clerk, (DO NOT PUT DATE ON CHECK)

CALIFORNIA JURAT WITH AFFIANT STATEMENT
GOVERNMENT CODE § 8202

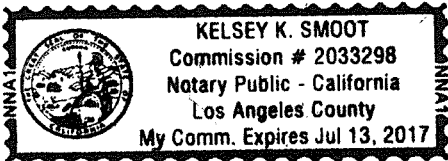
- See Attached Document (Notary to cross out lines 1-6 below)
 See Statement Below (Lines 1-6 to be completed only by document signer[s], *not* Notary)

1
2
3
4
5
6

(Signature of Document Signer No. 1) *(Signature of Document Signer No. 2 (if any))*

State of California
County of Los Angeles

Subscribed and sworn to (or affirmed) before me
on this _____ day of _____, 20____,
by Date Month Year
(1) Kyle Ransford
(2) N/A
Name(s) of Signer(s)



Place Notary Seal Above

proved to me on the basis of satisfactory evidence
to be the person(s) who appeared before me.
Signature *(Signature)*
Signature of Notary Public

OPTIONAL

*Though this section is optional, completing this information can deter alteration of the document
or fraudulent reattachment of this form to an unintended document.*

Description of Attached Document

Title or Type of Document: Owner's Affidavit
Document Date: 9/30/13 Number of Pages: 2 (3 with attached)
Signer(s) Other Than Named Above: N/A



ENVIRONMENTAL INFORMATION FORM

(to be completed by applicant)

CITY OF MANHATTAN BEACH
COMMUNITY DEVELOPMENT DEPARTMENT

Date Filed: _____

APPLICANT INFORMATION

Name: 213 MANHATTAN BEACH BLVD PARTNERS, LLC Contact Person: STARR DESIGN GROUP
2301 ROSECRANS AVENUE,
Address: SUITE 4194, EL SEGUNDO, CA 90245 Address: 643 CYPRESS AVENUE, HERMOSA BEACH
Phone number: 310-780-9955 Phone number: 310.376.6997
Relationship to property: OWNER Association to applicant: DESIGNER

PROJECT LOCATION AND LAND USE

Project Address: 213 MANHATTAN BEACH BLVD, MANHATTAN BEACH, CA
Assessor's Parcel Number: M.B. 1-95-96, APN 4179-021-005
Legal Description: LOT 6 & 7, BLOCK 66, MANHATTAN BEACH DIVISION NO.2
Area District, Zoning, General Plan Designation: AREA III, CD, COMMERCIAL DISTRICTS
Surrounding Land Uses:
North PARKING West COMMERCIAL
South COMMERCIAL East COMMERCIAL
Existing Land Use: COMMERCIAL, RESIDENTIAL

PROJECT DESCRIPTION

Type of Project: Commercial Residential Other
If Residential, indicate type of development (i.e.; single family, apartment, condominium, etc.) and number of units: _____

If Commercial, indicate orientation (neighborhood, citywide, or regional), type of use anticipated, hours of operation, number of employees, number of fixed seats, square footage of kitchen, seating, sales, and storage areas: _____

If use is other than above, provide detailed operational characteristics and anticipated intensity of the development: _____

Removed/

	<u>Existing</u>	<u>Proposed</u>	<u>Required</u>	<u>Demolished</u>
Project Site Area:	5400 SF			
Building Floor Area:	4989 SF	7041 SF	8100 SF MAX	ALL EXISTING
Height of Structure(s)	~28'	25.5'	26'	ALL EXISTING
Number of Floors/Stories:	2	2	/	ALL EXISTING
Percent Lot Coverage:	N/A	N/A	N/A	N/A
Off-Street Parking:	6	6	6	ALL EXISTING
Vehicle Loading Space:	N/A	N/A	N/A	N/A
Open Space/Landscaping:	N/A	N/A	N/A	N/A

Proposed Grading:

Cut 10158 CBFT Fill _____ Balance _____ Imported _____ Exported 10158 CBFT

Will the proposed project result in the following (*check all that apply*):

- | <u>Yes</u> | <u>No</u> | |
|------------|-----------|--|
| _____ | <u>X</u> | Changes in existing features or any bays, tidelands, beaches, lakes, or hills, or substantial alteration of ground contours? |
| _____ | <u>X</u> | Changes to a scenic vista or scenic highway? |
| _____ | <u>X</u> | A change in pattern, scale or character of a general area? |
| _____ | <u>X</u> | A generation of significant amount of solid waste or litter? |
| _____ | <u>X</u> | A violation of air quality regulations/requirements, or the creation of objectionable odors? |
| _____ | <u>X</u> | Water quality impacts (surface or ground), or affect drainage patters? |
| _____ | <u>X</u> | An increase in existing noise levels? |
| _____ | <u>X</u> | A site on filled land, or on a slope of 10% or more? |
| _____ | <u>X</u> | The use of potentially hazardous chemicals? |
| _____ | <u>X</u> | An increased demand for municipal services? |
| _____ | <u>X</u> | An increase in fuel consumption? |
| _____ | <u>X</u> | A relationship to a larger project, or series of projects? |

Explain all "Yes" responses (*attach additional sheets or attachments as necessary*):

CERTIFICATION: I hereby certify that the statements furnished above and in attached exhibits present the data and information required for this initial evaluation to the best of my ability, and that the facts, statements, and information presented are true and correct to the best of my knowledge and belief.

Signature: _____ Prepared For: _____
 Date Prepared: _____
 Revised 7/97

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CITY OF MANHATTAN BEACH

**NOTICE OF A PUBLIC HEARING BEFORE THE PLANNING COMMISSION OF THE
CITY OF MANHATTAN BEACH TO CONSIDER AN APPLICATION FOR A NEW COASTAL
DEVELOPMENT PERMIT AND USE PERMIT TO BUILD A NEW 2-STORY COMMERCIAL
BUILDING LOCATED AT 213 MANHATTAN BEACH BLVD**

Applicant: 213 Manhattan Beach Blvd Partners, LLC. (Kyle Ransford)
Filing Date: September 30, 2013
Project Location: 213 Manhattan Beach Blvd
Project Description: Application for a new Coastal Development Permit and Use Permit to build a new 2-story commercial building with retail space on the ground floor and office space on the second floor.

Environmental Determination: This project is Categorically Exempt, Section 15332, California Environmental Quality Act (CEQA) Guidelines.

Project Planner: Esteban Danna, 310-802-5514, edanna@citymb.info

Public Hearing Date: Wednesday, December 11, 2013
Time: 6:30 p.m.
Location: Council Chambers, City Hall, 1400 Highland Avenue, Manhattan Beach

Further Information: Proponents and opponents may be heard at that time. For further information contact project Planner. The project file is available for review at the Community Development Department at City Hall.

A Staff Report will be available for public review at the Police Department on Saturday, December 7, 2013, or at the Community Development Department on Monday, December 9, 2013, or City website: <http://www.citymb.info> on Friday December 6, 2013 after 5 p.m.

Public Comments: Anyone wishing to provide written comments for inclusion in the Staff Report must do so by December 4, 2013. Written comments received after this date will be forwarded to the Planning Commission at, or prior to, the public hearing, but will not be addressed in the Staff Report. Oral and written testimony will be received during the public hearing.

Appeals: The Planning Commission's decision is appealable to the Manhattan Beach City Council within 15 days from the date of the Planning Commission's decision, of the City's final action. Appeals to the City Council shall be accompanied by a fee in the amount of \$500.

If you challenge the proposed actions in court, you may be limited to raising only those issues you or someone else raised at the public hearing described in this Notice, or in correspondence delivered to the Planning Commission at, or prior to the public hearing.

Mail: November 22, 2013
Publish: November 28, 2013 – Beach Reporter

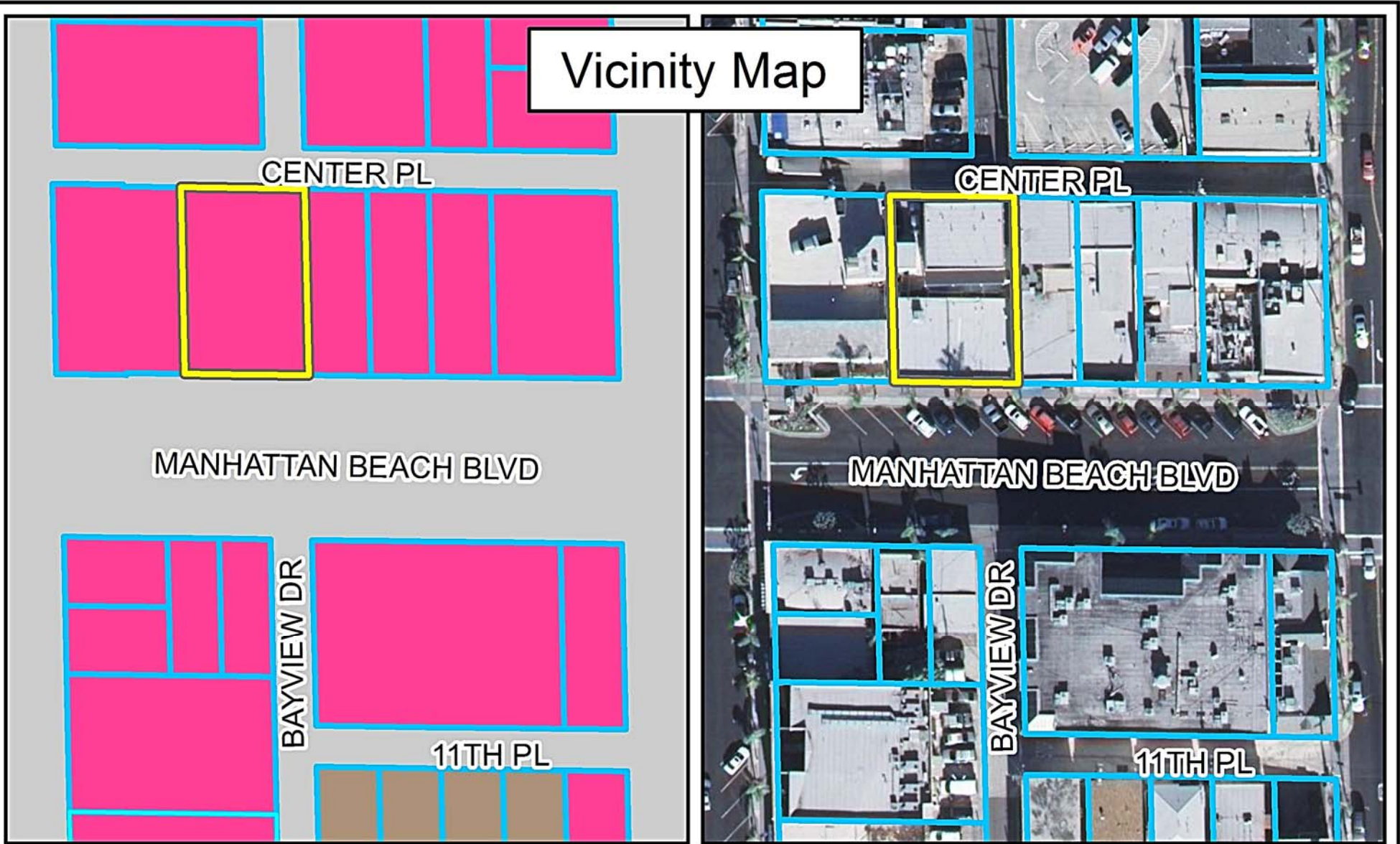
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PC MTG 12-11-13**

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Vicinity Map



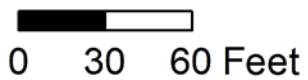
Legend

 211/213 Manhattan Beach Blvd

 Parcels

 CD

 RH



ATTACHMENT D
PC MTG 12-11-13

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PROJECT CONTACTS

OWNER
213 Manhattan Beach Blvd
Partners, LLC
2301 E Rowena Ave.
CA 90254
Contact: Kyle Ransford
(310) 445-5050 (o)
kyle@cardinalinvestments.com

CONTRACTOR
Envision Engineering, Inc.
1125 West Morena Blvd. Ste. B
San Diego, CA 92110
(619) 275-8726 tele
Contact: Alex Barajas

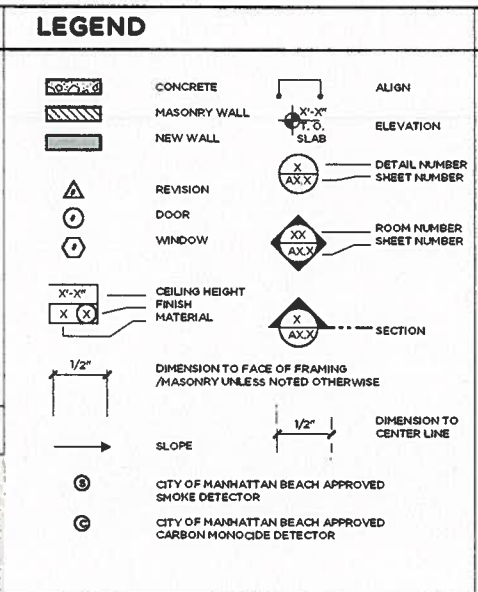
DESIGNER
Starr Design Group, Inc.
643 Cypress Avenue
Hermosa Beach, CA 90254
(310) 376-6997 tele
Contact: Jonathan Starr

SURVEYOR
Denn Engineers
3914 Del Arroyo Blvd., Ste. 921
Torrance, CA 90503
(310) 542-9433
(310) 542-9491 fax

STRUCTURAL ENGINEER
Envision Engineering, Inc.
1125 West Morena Blvd. Ste. B
San Diego, CA 92110
(619) 275-8726 tele
Contact: Alex Barajas

SOILS ENGINEER
NorCal Engineering

ENERGY
Alternative Energy Systems
229 North Central Avenue, ste. 406
San Jose, CA 95131
(408) 244-2844 tele
Contact: Troy Lindquist



PROJECT SUMMARY

JOB ADDRESS: 213 MANHATTAN BLVD
MANHATTAN BEACH, CA 90266

ZONE: CD

BUILDING TYPE: MIXED USE

OCCUPANCY GROUP: B OFFICE / M RETAIL

CONSTRUCTION TYPE: TYPE V-B, SPRINKLERED

NUMBER OF STORIES: 2 STORIES PLUS BASEMENT FOR MECHANICAL

APPLICABLE CODES:
2010 California Building Code
2010 California Plumbing Code
2010 California Mechanical Code
2010 California Electrical Code
2009 Energy Codes

LEGAL DESCRIPTION: LOT 6 & 7, BLOCK 66
MANHATTAN BEACH DIVISION NO.2
M.B. 1-95-96
APN 4179-021-005

LOT SIZE: 90' x 60' = 5400 SQ. FT.

SETBACKS: N/A

MAX FLOOR AREA FACTOR (FAF): 15 / (800 SQ.FT. MAX)

MAX HEIGHT: 26'

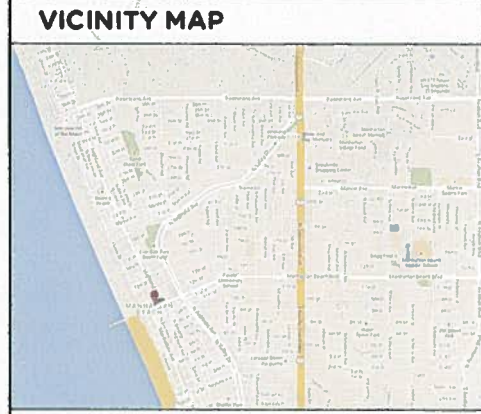
PROJECT DESCRIPTION: NEW MIXED USE PROJECT W/ RETAIL SPACES, AND OFFICE UNITS.

PUBLIC WORKS NOTES

1. ALL LANDSCAPE IRRIGATION BACKFLOW DEVICES MUST MEET CURRENT CITY REQUIREMENTS FOR PROPER INSTALLATION.
2. NO DISCHARGE OF CONSTRUCTION WASTEWATER, BUILDING MATERIALS, DEBRIS, OR SEDIMENT FROM THE SITE IS PERMITTED. NO REFUSE OF ANY KIND GENERATED ON A CONSTRUCTION SITE MAY BE DEPOSITED IN RESIDENTIAL COMMERCIAL OR PUBLIC REFUSE CONTAINERS AT ANY TIME. THE UTILIZATION OF WASTEWATER COLLECTION SERVICE BY THE CITY HAS AN FEE FOR ANY REFUSE GENERATED AT THE CONSTRUCTION SITE IS STRICTLY PROHIBITED. FULL DOCUMENTATION OF ALL MATERIALS TRASH AND RECYCLED MUST BE SUBMITTED TO THE PERMITS DIVISION IN COMPLIANCE OF THE CITY'S CONSTRUCTION AND DEMOLITION RECYCLING ORDINANCE.
3. A PROPERTY LINE CLEANOUT MUST BE INSTALLED ON THE SANITARY SEWER LATERAL. THE SEWER LATERAL MUST STAY WITHIN THE JOB SITE'S PROPERTY LINES SEE CITY STANDARD PLAN ST-15. CLEANOUT MUST BE ADDED TO THE SITE PLAN.
4. A BACKWATER VALVE IS REQUIRED ON THE SANITARY SEWER LATERAL IF THE DISCHARGES FROM FIXTURES WITH FLOOD LEVEL RISERS ARE LOCATED BELOW THE NEXT UPSTREAM HANDBOLE COVER OF THE PUBLIC SEWER. SEE CITY STANDARD PLAN ST-24 MUST BE SHOWN ON THE PLAN IF APPLICABLE.
5. A HOP BINK MUST BE INSTALLED AND SHOWN ON THE PLUMBING PLAN.
6. COMMERCIAL ENTERPRISES MUST COMPLY WITH THE NATIONAL POLLUTION DISCHARGE ELIMINATION SYSTEM (NPDES) CLEAN WATER REQUIREMENTS. DISCHARGE OF HOP WATER, FLOOR MAT WASHING, TRASH CAN CLEANING AND WASHING OUT TRASH ENCLOSURES INTO THE STREET OR STORM DRAIN SYSTEMS IS PROHIBITED. H.B.K. S. 84000 S. 84000.
7. A GREASE INTERCEPTOR MUST BE INSTALLED AND PLACED INTO A MAINTENANCE PROGRAM WITH REGULAR INSPECTIONS AND REMOVAL OF GREASE SLURRY.
8. ALL TRASH ENCLOSURES SHALL BE ENCLOSED, HAVE A ROOF, BUILT IN SUCH A MANNER THAT STORMWATER WILL NOT ENTER, AND A DRAIN INSTALLED THAT EMPTIES INTO THE SANITARY SEWER SYSTEM. FLOOR DRAIN OR SIMILAR TRAPS DIRECTLY CONNECTED TO THE DRAINAGE SYSTEM SHALL BE PROVIDED WITH AN APPROVED AUTOMATIC MEANS OF MAINTAINING THEIR WATER SEALS. SEE 1007 TO TRAP SEAL PROTECTION IN THE UNIFORM PLUMBING CODE. CONTACT THE CITY'S REFUSE CONTRACTOR FOR BIDDING OF THE ENCLOSURE. DRAWINGS OF THE TRASH ENCLOSURES MUST BE ON THE PLANS, AND MUST BE APPROVED BY THE PUBLIC WORKS DEPARTMENT BEFORE A PERMIT IS ISSUED. SEE STANDARD PLAN ST-20.
9. COMMERCIAL ESTABLISHMENTS ARE REQUIRED, BY THE MUNICIPAL CODE 5.24.030 (CX2), TO HAVE A SUFFICIENT REFUSE AND RECYCLING STORAGE SPACE TO ENCLOSE A COMMERCIAL LIFT CONTAINER. THE REFUSE STORAGE SPACE OR FACILITY MUST BE SCREENED FROM PUBLIC VIEW AND BE EITHER CONSTRUCTED WITHIN THE BUILDING STRUCTURE OR IN A SCREENED ENCLOSURE ON PRIVATE PROPERTY. PLEASE READ THE CODE SECTION FOR FURTHER CLARIFICATION.
10. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO PROTECT ALL THE STREET BONS AROUND THE PROPERTY IF BONS ARE DAMAGED, LOST OR REMOVED. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO REPLACE ANY / OR RELOCATE THE BONS AT THE CONTRACTOR'S EXPENSE. THE CONTRACTOR IS ALSO RESPONSIBLE FOR ANY STREET MARKINGS THAT ARE DAMAGED OR REMOVED BY THE CONTRACTOR'S OPERATIONS. CONTACT THE PUBLIC WORKS INSPECTOR FOR BON SPECIFICATION AND SUPPLIES.
11. SIDEWALK DRIVEWAY, CURB AND OUTER REPAIRS OR REPLACEMENT MUST BE COMPLETED PER PUBLIC WORKS SPECS. SEE CITY STANDARD PLANS ST-1, ST-2 AND ST-3. THE PLANS MUST HAVE A PROFILE OF THE DRIVEWAY, PERMITS (B) OF THE SLOPE ON THE DRIVEWAY AND DRIVEWAY ELEVATIONS IN THE CASE WHERE THE GARAGE LEVEL IS BELOW THE STREET DRAINAGE FLOW LINES, THE COMBINED SLOPE OF THE PUBLIC AND PRIVATE APPROACH SHALL NOT EXCEED 8%.
12. THE WATER METER BOX MUST BE PURCHASED FROM THE CITY AND MUST HAVE A TRAFFIC LID IF THE BOX IS LOCATED IN THE DRIVEWAY.
13. EROSION AND SEDIMENT CONTROL DEVICES (BMP'S) BEST MANAGEMENT PRACTICES MUST BE IMPLEMENTED AROUND THE CONSTRUCTION SITE TO PREVENT DISCHARGES TO THE STREET AND ADJACENT PROPERTIES. BMP'S MUST BE IDENTIFIED AND SHOWN ON THE PLAN. CONTROL MEASURES MUST ALSO BE TAKEN TO PREVENT STREET SURFACE WATER ENTERING THE STREET.
14. BACKFLOW PREVENTERS FOR FIRE AND DOMESTIC WATER SERVICE MUST BE INSTALLED PER PUBLIC WORKS DEPARTMENT REQUIREMENTS.
15. ALL STORM WATER, NUISANCE WATER, ETC. DRAIN LINES INSTALLED WITHIN THE STREET RIGHT-OF-WAY MUST BE CONSTRUCTED OF DUCTILE IRON PIPE. DRAINS MUST BE SHOWN ON PLAN.
16. PLAN HOLDER MUST HAVE THE PLANS RECHECKED AND STAMPED FOR APPROVAL BY THE PUBLIC WORKS DEPT. BEFORE THE BUILDING PERMIT IS ISSUED.

SHEET INDEX

A-0.0	COVER SHEET	M-10	HVAC
A-0.1	GENERAL NOTES	M-20	HVAC SCHEDULES
A-0.2	SURVEY	M-30	HVAC BASEMENT FLOOR PLAN
A-0.3	DOOR AND WINDOW SCHEDULES	M-31	HVAC FIRST FLOOR PLAN
A-0.4	TITLE 24	M-32	HVAC SECOND FLOOR PLAN
A-0.5	SITE PLAN	M-40	HVAC ROOF PLAN
A-0.6	ENCROACHMENT PERMIT	M-50	HVAC DETAILS
A-1.0	BASEMENT FLOOR PLAN	E-1	SINGLE LINE DIAGRAM AND SYMBOL LIST
A-1.1	FIRST FLOOR PLAN	E-2	GENERAL NOTES
A-1.2	SECOND FLOOR PLAN	E-3	LIGHTING PLAN
A-1.3	ROOF PLAN	E-4	POWER PLAN
A-2.0	RCP BASEMENT FLOOR PLAN	E-5	COMBINATION PLAN
A-2.1	RCP FIRST FLOOR PLAN	E-6	ROOF LIGHTING & POWER PLAN
A-2.2	RCP SECOND FLOOR PLAN	E-7	INTERIOR TITLE 24
A-3.0	BUILDING ELEVATIONS	E-8	EXTERIOR TITLE 24
A-3.1	BUILDING SECTIONS	P-1.0	PLUMBING SYMBOLS, ABBR. AND SPECS
A-4.0	BUILDING SECTION S	P-2.0	PLUMBING SCHEDULES AND DETAILS
A-4.1	BUILDING SECTION S	P-3.0	PLUMBING BASEMENT FLOOR PLAN
A-5.0	INTERIOR ELEVATIONS	P-3.1	PLUMBING FIRST FLOOR PLAN
A-5.1	INTERIOR ELEVATIONS	P-3.2	PLUMBING SECOND FLOOR PLAN
A-5.2	INTERIOR ELEVATIONS	P-4.0	PLUMBING ROOF PLAN
A-5.3	INTERIOR ELEVATIONS	P-5.0	PLUMBING RISER DIAGRAMS
A-6.0	DETAILS	S-1.0	GENERAL STRUCTURAL NOTES
A-6.1	DETAILS	S-1.1	GENERAL STRUCTURAL NOTES
A-6.2	DETAILS	S-1.2	TYPICAL STANDARD DETAILS
A-6.3	DETAILS	S-1.3	TYPICAL STANDARD DETAILS
A-6.4	DETAILS	S-1.4	STANDARD STEEL DETAILS
A-6.5	DETAILS	S-2.0	FIRST LEVEL FOUNDATION PLAN
A-6.6	DETAILS	S-2.1	SECOND LEVEL FRAMING PLAN
A-6.7	DETAILS	S-2.2	THIRD LEVEL FRAMING PLAN
A-6.8	DETAILS	S-2.3	ROOF FRAMING PLAN
A-6.9	DETAILS	S-2.4	FOUNDATION DETAILS
A-6.10	DETAILS	S-2.5	BASEMENT / MISC. DETAILS
A-6.11	DETAILS	S-2.6	TYPICAL DETAILS
A-6.12	DETAILS	S-2.7	TYPICAL DETAILS
A-6.13	DETAILS	S-2.8	MISC. DETAILS
A-6.14	DETAILS	S-2.9	SHEAR TRANSFER DETAILS
A-6.15	DETAILS	S-3.0	STEEL CONNECTION DETAIL
A-6.16	DETAILS	S-3.1	ROOF FRAMING DETAILS
A-6.17	DETAILS	S-3.2	MOMENT FRAME & MISC. DETAILS



SITE PLAN: SEE A0.5

SEPARATE PERMITS

SEPARATE PERMITS AND PLANS ARE REQUIRED FOR SIGNS, DEMOLITION, AND SEWER CAP OF EXISTING BUILDINGS. RIGHT OF WAY ENCROACHMENT

MAXIMUM BUILDING HEIGHT

HEIGHT RESTRICTION: 26'

AVERAGE GRADE = 214.93'
(214.93' + 221.57' + 214.57' + 209.47') = 859.54 Total of Corner Elevations
859.54 / 4 = 214.89' Average Grade Elevation
214.93' + 26' = 240.93' Max. Allowable Height Elevation

MAXIMUM ALLOWABLE BUILDING HEIGHT AT FINISH = 240.93'

FLOOR AREA CALCULATIONS

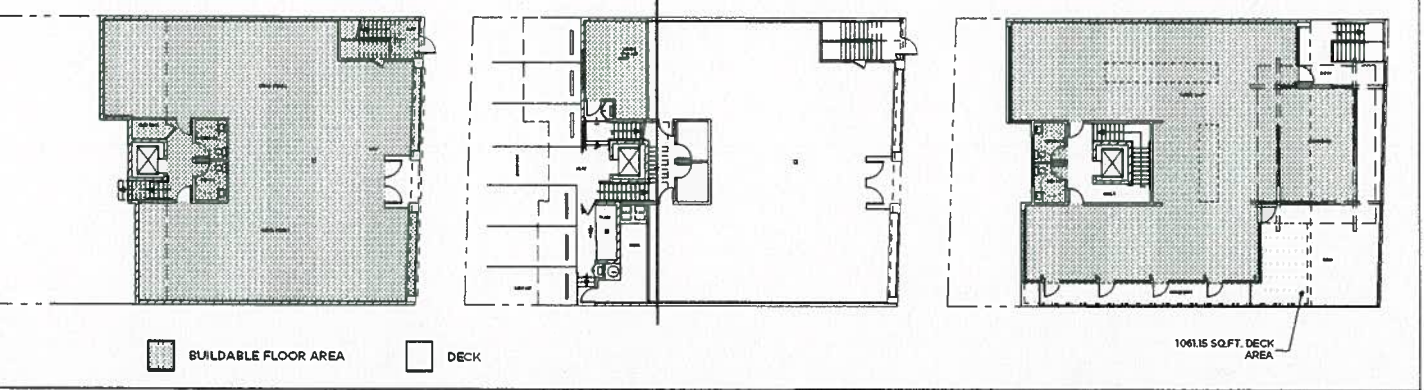
PROPOSED FLOOR AREA:

FIRST FLOOR: M	3371.43 SQ.FT.
STAIRS:	178.22 SQ.FT.
ELEV. MECH.	32.58 SQ.FT.
PARKING MECH. LEVEL: B	
OFFICE STORAGE:	272.49 SQ.FT.
SECOND FLOOR: B	3072.82 SQ.FT.
TOTAL:	6927.53 SQ.FT.

MAXIMUM BUILDABLE FLOOR AREA (15 x 5400) = 8100 SQ. FT.

TOTAL S.F.A.: 6927.53 SQ. FT.

6927.53 + 8100.00 sq ft = OK



PARKING CALCULATIONS

PROPOSED PARKING REQUIREMENT

TOTAL RETAIL SPACE (M):	3375.45 SQ.FT. + 200 SQ.FT.	16.88 SPACES
TOTAL OFFICE SPACE (B):	3072.82 SQ.FT. + 300 SQ.FT.	10.24 SPACES
PARKING LEVEL:		
OFFICE STORAGE SPACE (B):	273.57 SQ.FT. + 300 SQ.FT.	0.92 SPACES
TOTAL CODE REQUIREMENT		28.04 SPACES

PARKING EXCLUSIONS/EXEMPTIONS

PROPOSED TOTAL RETAIL, OFFICE & STORAGE AREA:
3375.45 SQ.FT. + 3072.82 SQ.FT. + 273.57 SQ.FT. = 6721.84 SQ.FT.

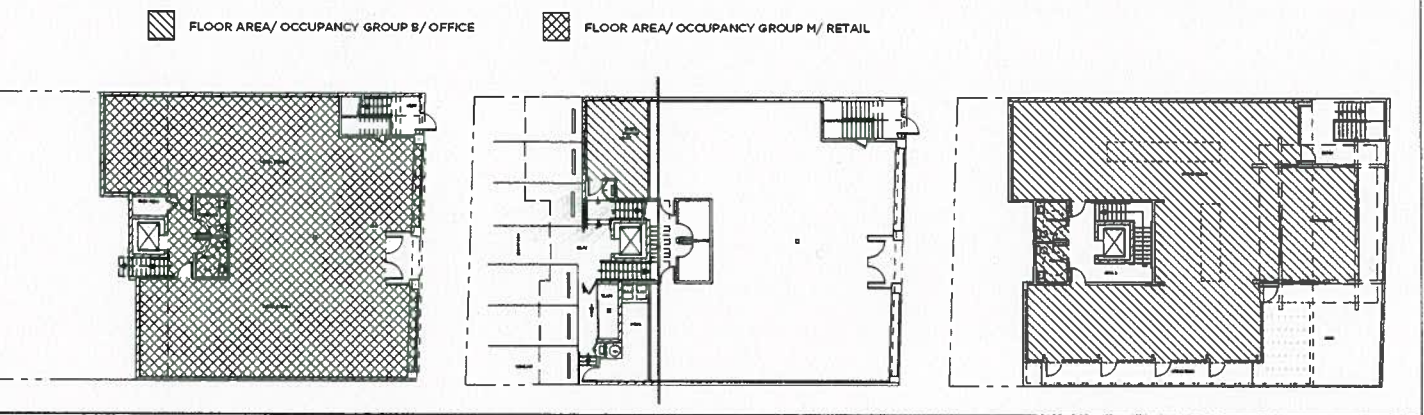
6721.84 SQ.FT. SITE FLOOR AREA - 5400 SQ.FT. EXCLUDABLE AREA = 1321.84 SQ.FT.

1321.84 SQ.FT. COUNTABLE FLOOR AREA + 6721.84 SQ.FT. = 0.197 OF TOTAL

NET PARKING REQUIREMENT FOR PROPOSED PROJECT

28.04 SPACES x 0.197 OF TOTAL = 5.53 / 6 SPACES REQUIRED

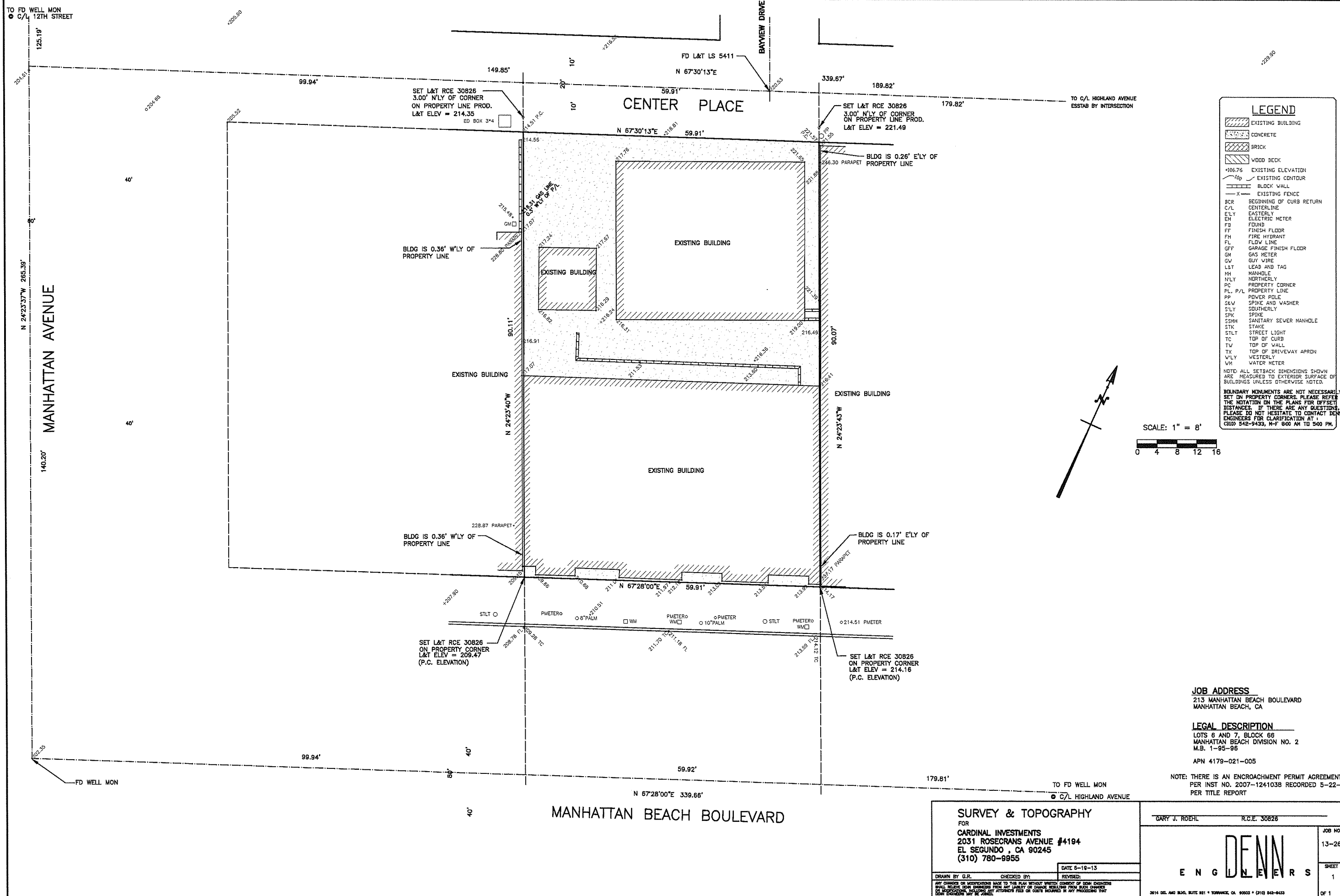
6 OFF STREET PARKING ON SITE



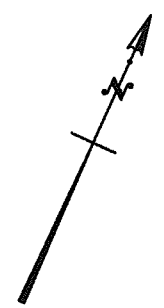
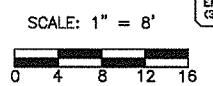
RENDERING

REVISIONS

DATE	10/23/13
SCALE	AS NOTED
PROJECT NUMBER	2013/14
SUBMITTALS	09/26/2013 SUBMITTED FOR TO PLANNING 10/23/2013 RESUBMITTED FOR PUBLIC HEARING
PROJECT NAME	213 MANHATTAN BEACH BLVD
PROJECT ADDRESS	213 MANHATTAN BEACH BLVD. MANHATTAN BEACH, CA
SHEET NAME	COVER SHEET
SHEET NUMBER	A-0.0



- LEGEND**
- EXISTING BUILDING
 - CONCRETE
 - BRICK
 - WOOD DECK
 - +106.76 EXISTING ELEVATION
 - EXISTING CONTOUR
 - BLOCK WALL
 - EXISTING FENCE
 - BCR BEGINNING OF CURB RETURN
 - C/L CENTERLINE
 - E'LY EASTERLY
 - EM ELECTRIC METER
 - FB FOUND
 - FF FINISH FLOOR
 - FH FIRE HYDRANT
 - FL FLOW LINE
 - GFF GARAGE FINISH FLOOR
 - GM GAS METER
 - GW GUY WIRE
 - L&T LEAD AND TAG
 - MH MANHOLE
 - N'LY NORTHERLY
 - PC PROPERTY CORNER
 - P/L, P/L PROPERTY LINE
 - PP POWER POLE
 - S&W SPIKE AND WASHER
 - S'LY SOUTHERLY
 - SPK SPIKE
 - SSMH SANITARY SEWER MANHOLE
 - STK STAKE
 - STLT STREET LIGHT
 - TC TOP OF CURB
 - TW TOP OF WALL
 - TX TOP OF DRIVEWAY APRON
 - W'LY WESTERLY
 - WM WATER METER
- NOTE: ALL SETBACK DIMENSIONS SHOWN ARE MEASURED TO EXTERIOR SURFACE OF BUILDINGS UNLESS OTHERWISE NOTED.
- BOUNDARY MONUMENTS ARE NOT NECESSARILY SET ON PROPERTY CORNERS. PLEASE REFER TO THE NOTATION ON THE PLANS FOR OFFSET DISTANCES. IF THERE ARE ANY QUESTIONS, PLEASE DO NOT HESITATE TO CONTACT DEAN ENGINEERS FOR CLARIFICATION AT 1:00 PM TO 5:00 PM.



JOB ADDRESS
 213 MANHATTAN BEACH BOULEVARD
 MANHATTAN BEACH, CA

LEGAL DESCRIPTION
 LOTS 6 AND 7, BLOCK 66
 MANHATTAN BEACH DIVISION NO. 2
 M.B. 1-95-98
 APN 4179-021-005

NOTE: THERE IS AN ENCROACHMENT PERMIT AGREEMENT PER INST NO. 2007-1241038 RECORDED 5-22-07 PER TITLE REPORT

SURVEY & TOPOGRAPHY
 FOR
 CARDINAL INVESTMENTS
 2031 ROSECRANS AVENUE #4194
 EL SEGUNDO, CA 90245
 (310) 780-8855

DATE 6-19-13

DRAWN BY G.R. CHECKED BY: REVISIONS:

ANY CHANGES OR MODIFICATIONS MADE TO THIS PLAN WITHOUT WRITTEN CONSENT OF DEAN ENGINEERS SHALL RELY ON ENGINEERS FROM ANY AGENCY OR JURISDICTION OTHER THAN DEAN ENGINEERS. DEAN ENGINEERS SHALL NOT BE RESPONSIBLE FOR ANY CHANGES OR MODIFICATIONS MADE TO THIS PLAN WITHOUT WRITTEN CONSENT OF DEAN ENGINEERS.

GARY J. ROEHL R.C.E. 30826

DEAN ENGINEERS

JOB NO. 13-260
 SHEET 1
 OF 1

3814 DEL. AVE. SUITE 801 • TORRANCE, CA 90503 • (310) 842-8433

PEDESTRIAN PROTECTION:
 PEDESTRIAN PROTECTION STRUCTURE SHALL BE INSPECTED BY THE CITY INSPECTOR PRIOR TO ANY DEMOLITION OR CONSTRUCTION. SHALL COMPLY WITH CBC SEC 2306 OBTAIN PUBLIC WORKS ENCROACHMENT PERMIT AND LOCATION OF PEDESTRIAN PROTECTION APPROVAL PRIOR TO ISSUANCE OF THE BUILDING PERMIT FOR THE PEDESTRIAN PROTECTION STRUCTURE. SEE DETAILS ON A3.1

PLANNING DIVISION REQUIREMENTS: SEPARATE PERMITS SEPARATE PERMITS AND PLANS ARE REQUIRED FOR POOLS, SPAS, SOLAR SYSTEMS, DEMOLITION AND SEWER CAP OF EXISTING BUILDINGS. IF SUCH IMPROVEMENTS OR DEMO IS REQ. AS A CONDITION OF APPROVAL FOR DISCRETIONARY ACTIONS OR TO COMMENCE BUILDING, THEN SUCH PERMITS MUST BE OBTAINED BEFORE OR TIME THE PROPOSED BUILDING PERMIT IS ISSUED.

CESSPOOL NOTE:
 CHECK CITY RECORDS TO DETERMINE EXISTENCE OF CESSPOOL ON PROPERTY. ANY EXISTING CESSPOOL MUST BE INSPECTED BY CITY PERSONNEL PRIOR TO ISSUANCE OF DEMOLITION OR BUILDING PERMITS.

SHORING PERMIT AND GRADING PLAN:
 THE SHORING PERMIT AND GRADING PLAN MUST BE APPROVED PRIOR TO ISSUANCE OF BUILDING PERMIT AND SHALL BE ISSUED UNDER SEPARATE PERMIT.

TITLE-24 NOTE:
 CONTRACTOR SHALL POST INSULATION CERTIFICATE (CF-6R) FORM AND INSULATION CERTIFICATE (IC-1) FORM IN A CONSPICUOUS LOCATION OR KEPT WITH PLAN AND MADE AVAILABLE TO THE INSPECTOR

CONTRACTOR SHALL PROVIDE COPIES OF THE CALIFORNIA GUIDE TO HOME COMFORT AND ENERGY SAVINGS, CF-1R, HF-1R, CF-6R AND IC-1 FORMS TO THE BUILDING OWNER.

AN APPROVED HERS PROVIDER AND CERTIFIED RATER SHALL CONDUCT THE FIELD VERIFICATION AND DIAGNOSTIC TESTING.

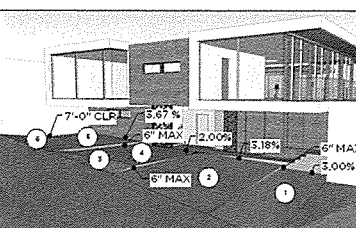
CONTRACTOR SHALL PROVIDE A COPY OF CERTIFICATE OF FIELD VERIFICATION AND DIAGNOSTIC TESTING (CF-4R), SIGNED AND DATED BY THE HERS RATER, TO THE BUILDING DEPARTMENT PRIOR TO FINAL INSPECTION.

PLANNING DIVISION REQUIREMENTS:
 FENCE & WALL HEIGHTS IN SETBACK FENCE/WALL/HANDRAIL & HEDGE HEIGHTS, AS MEASURED FROM THE LOWEST FINISHED GRADE ADJACENT TO EACH SECTION OF THE STRUCTURES, MAY BE A MAXIMUM OF 42" IN THE FRONTYARD SETBACK AND 6'-0" IN ALL OTHER LOCATIONS ON SITE (EXCEPT 3'-0" IF OBSTRUCTING DRIVEWAY VISIBILITY).

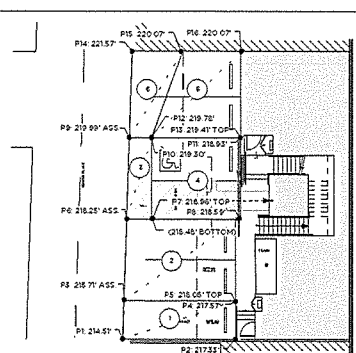
PARAPET, SATELLITE ANTENNAE, RAILS, SKYLIGHTS, ROOF EQUIPMENT MUST BE WITHIN THE HEIGHT LIMIT.

UTILITIES
 ALL UTILITIES SHALL BE UNDER GROUND, PER SECT.10.60.110 HBC

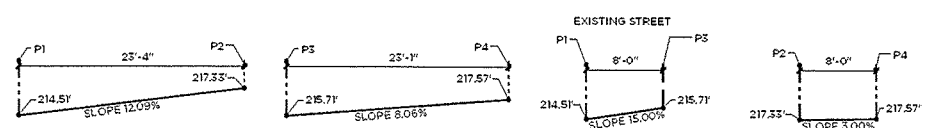
PARKING RENDERING



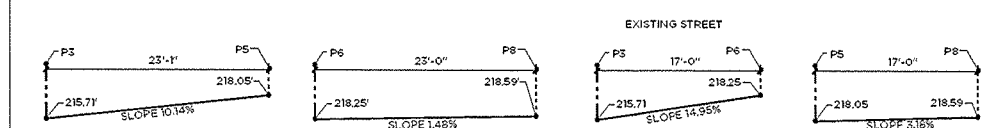
PARKING SLOPE AREA



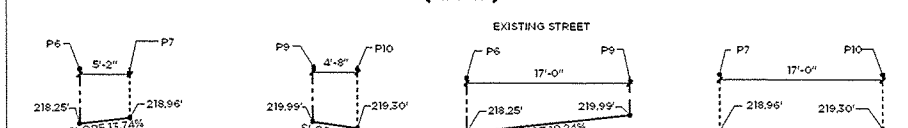
PARKING SLOPE PROFILES AREA 1



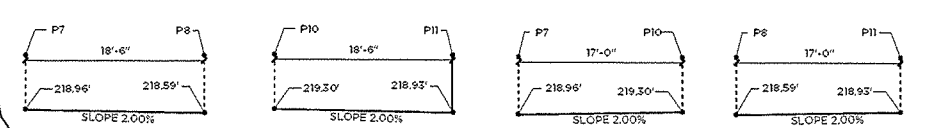
PARKING SLOPE PROFILES AREA 2



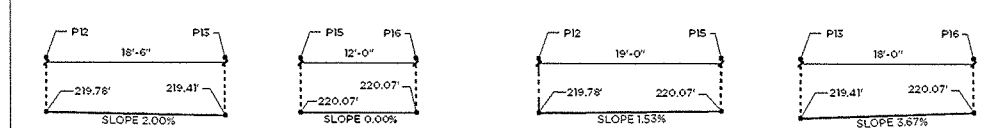
PARKING SLOPE PROFILES AREA 3 (RAMP)



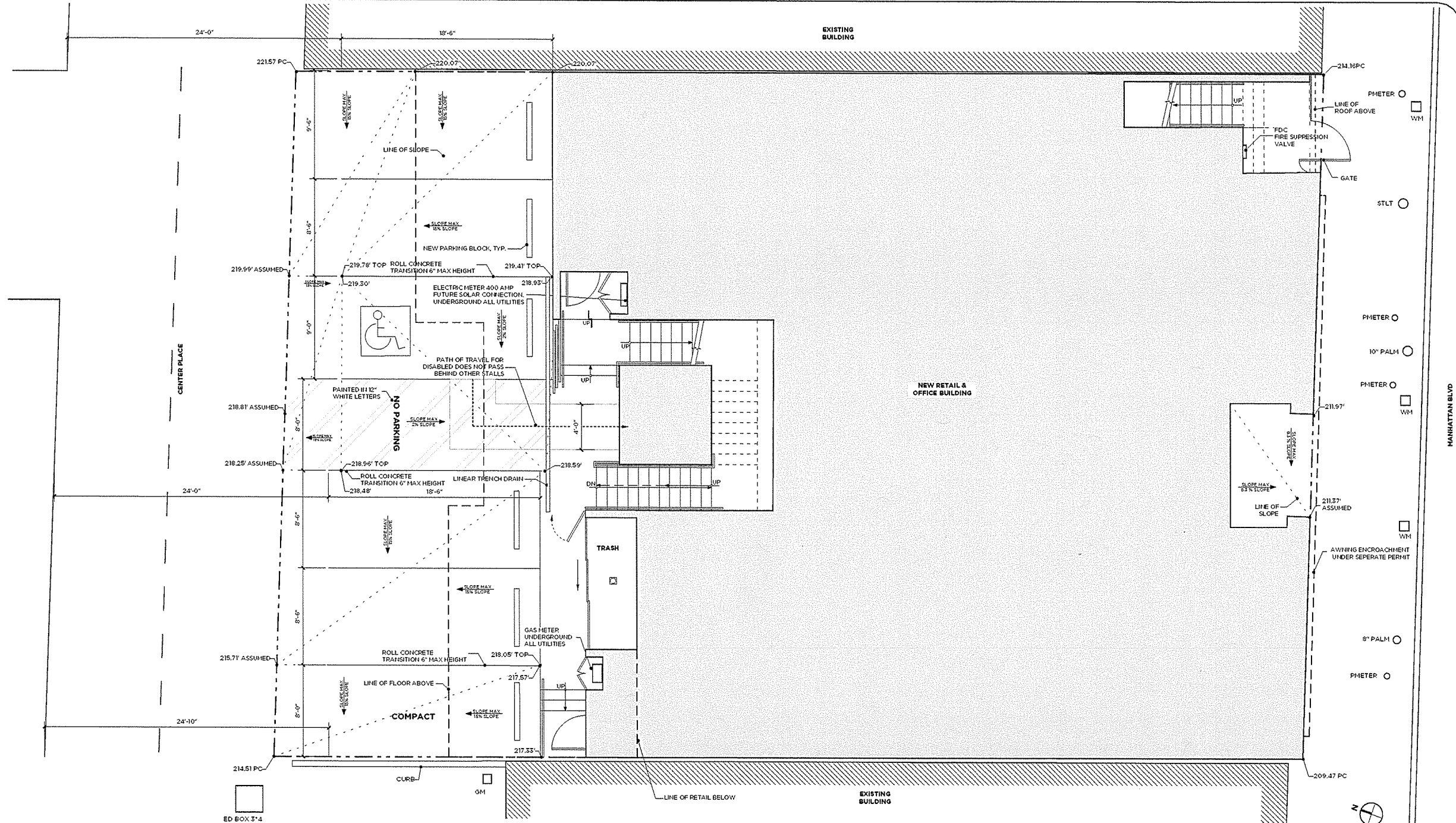
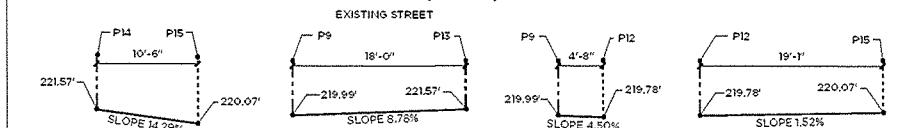
PARKING SLOPE PROFILES AREA 4 (HANDICAPPED PARKING)



PARKING SLOPE PROFILES AREA 5 (PARKING SPOTS EAST)



PARKING SLOPE PROFILES AREA 6 (RAMP)



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 643 Cypress Avenue / Hermosa Beach, CA / 310-376-6697

REVISIONS
DATE 10/23/15
SCALE 1/4" = 1'-0"
PROJECT NUMBER 2015/14

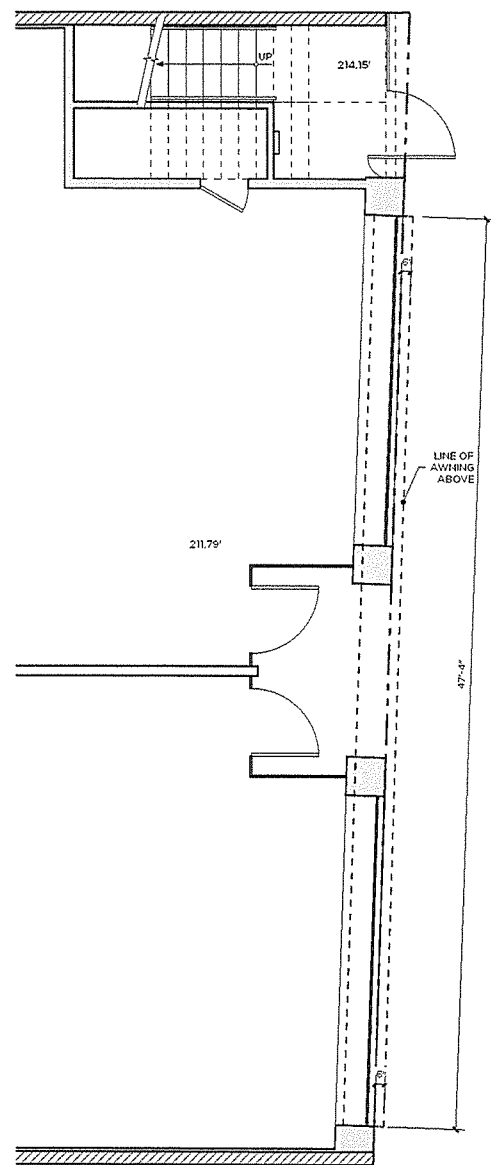
SUBMITTALS
 09/29/2015 SUBMITTED FOR TO PLANNING
 10/23/2015 RESUBMITTED FOR PUBLIC HEARING

PROJECT NAME
213 MANHATTAN BEACH BLVD

PROJECT ADDRESS
 213 MANHATTAN BEACH BLVD, MANHATTAN BEACH, CA

SHEET NAME
SITE PLAN

SHEET NUMBER
A0.5



ENCROACHMENT AREA PLAN



213 MANHATTAN BEACH BLVD

PLANNING DIVISION REQUIREMENTS: FENCE & WALL HEIGHTS IN SETBACK FENCE/WALL/HANDRAIL & HEDGE HEIGHTS, AS MEASURED FROM THE LOWEST FINISHED GRADE ADJACENT TO EACH SECTION OF THE STRUCTURES, MAY BE A MAXIMUM OF: 42" IN THE FRONTYARD SETBACK AND 6'-0" IN ALL OTHER LOCATIONS ON SITE (EXCEPT 3'-0" IF OBSTRUCTING DRIVEWAY VISIBILITY).

DRIVEWAY VISIBILITY: VISIBILITY OF A DRIVEWAY CROSSING A STREET P.L. SHALL NOT BE BLOCKED BETWEEN A HEIGHT OF 3 FEET AND 9 FEET FOR A DEPTH OF 5 FEET FROM THE STREET P.L. AS VIEWED FROM THE EDGE OF THE RIGHT-OF-WAY ON EITHER SIDE OF THE DRIVEWAY AT A DISTANCE OF 15 FEET OR AT THE NEAREST P.L. INTERSECTION THE STREET P.L., WHICHEVER IS LESS.

ENCROACHMENT PERMIT: PROVIDE NOTARIZED OWNER'S ENCROACHMENT PERMIT AGREEMENT AND AGENCY SIGNED INSURANCE ENDORSEMENT FORM #1 (GENERAL) TO COMMUNITY DEVELOPMENT DEPARTMENT PRIOR TO FINAL INSPECTION. NO EASEMENTS KNOWN PER TILE REPORT

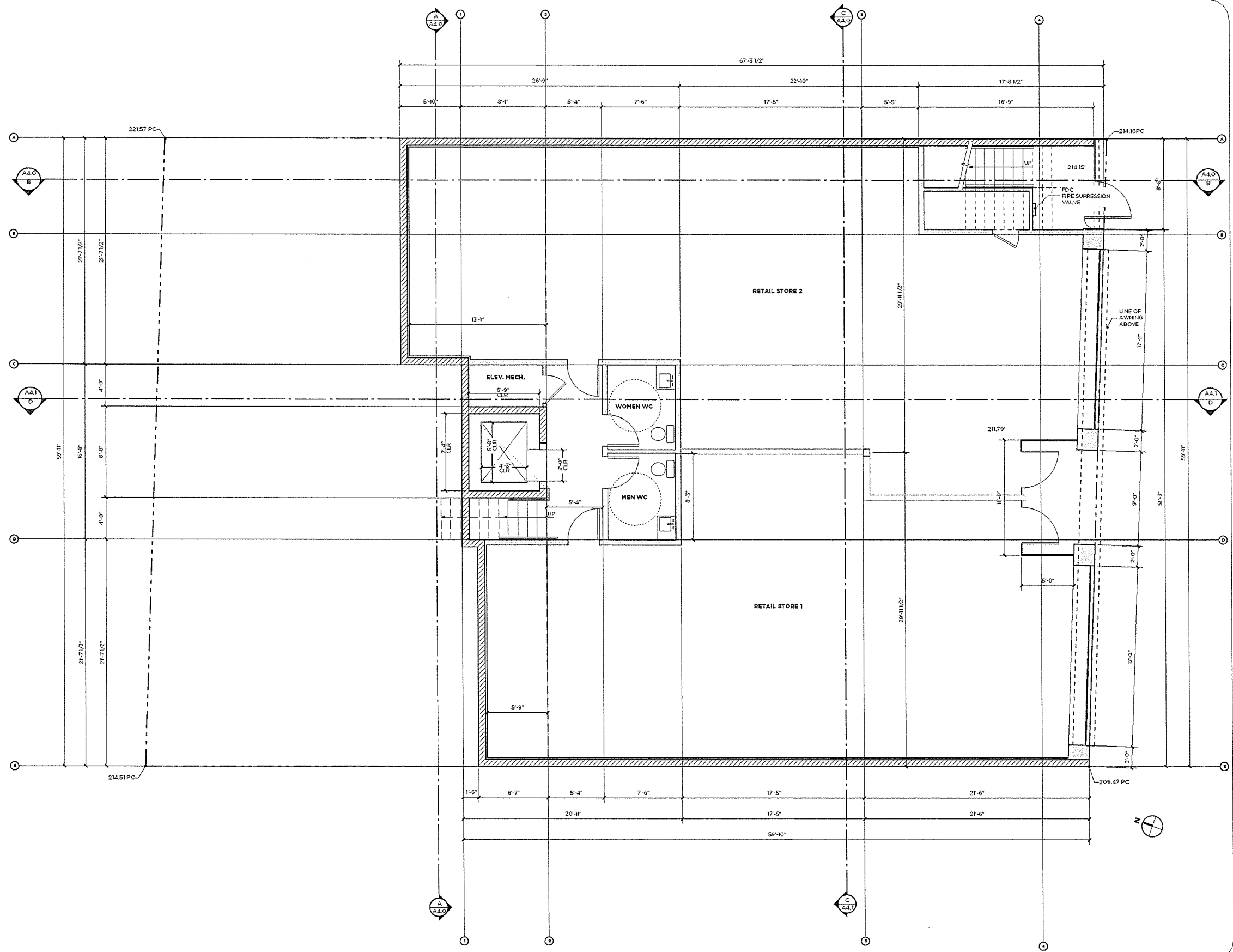
SITE DRAINAGE NOTES: PROVIDE PLUMBING DEVICE OR USE SEVERAL PIPES TO DRAIN TO ALLEY TO AVOID CONCENTRATED FLOW.

SITE DRAINS TO DRAIN TO DAYLIGHT AT ALLEY - MIN SLOPE 1%.

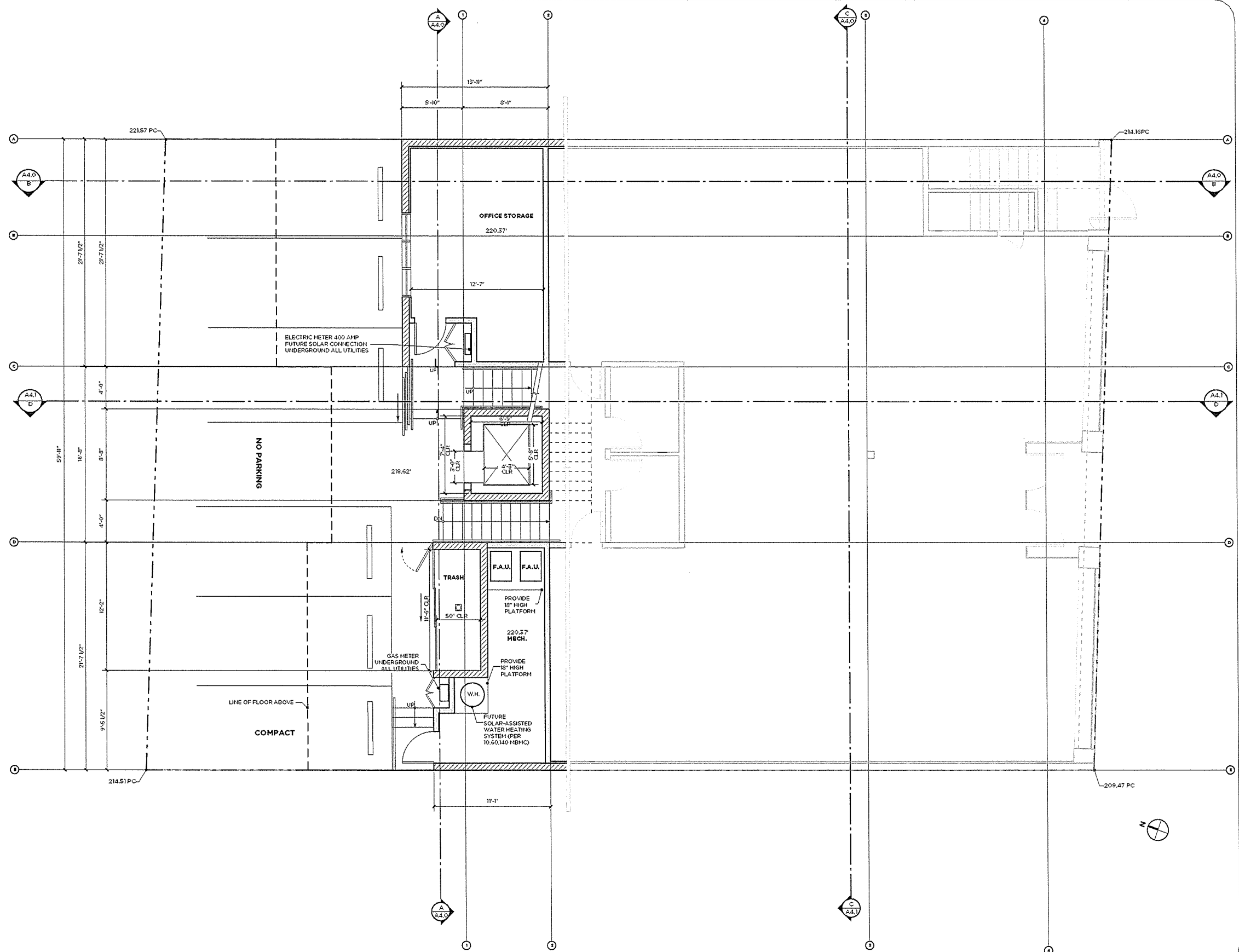
ALL SITE DRAINAGE TO BE CONTAINED IN NON-EROSIVE PIPE.

ENCROACHMENT AREA:
 PROVIDE NOTARIZED OWNER'S ENCROACHMENT AGREEMENT AND AGENCY-SIGNED INSURANCE ENDORSEMENT FORM #1 TO COMMUNITY DEPT. PRIOR TO FINAL INSPECTION.

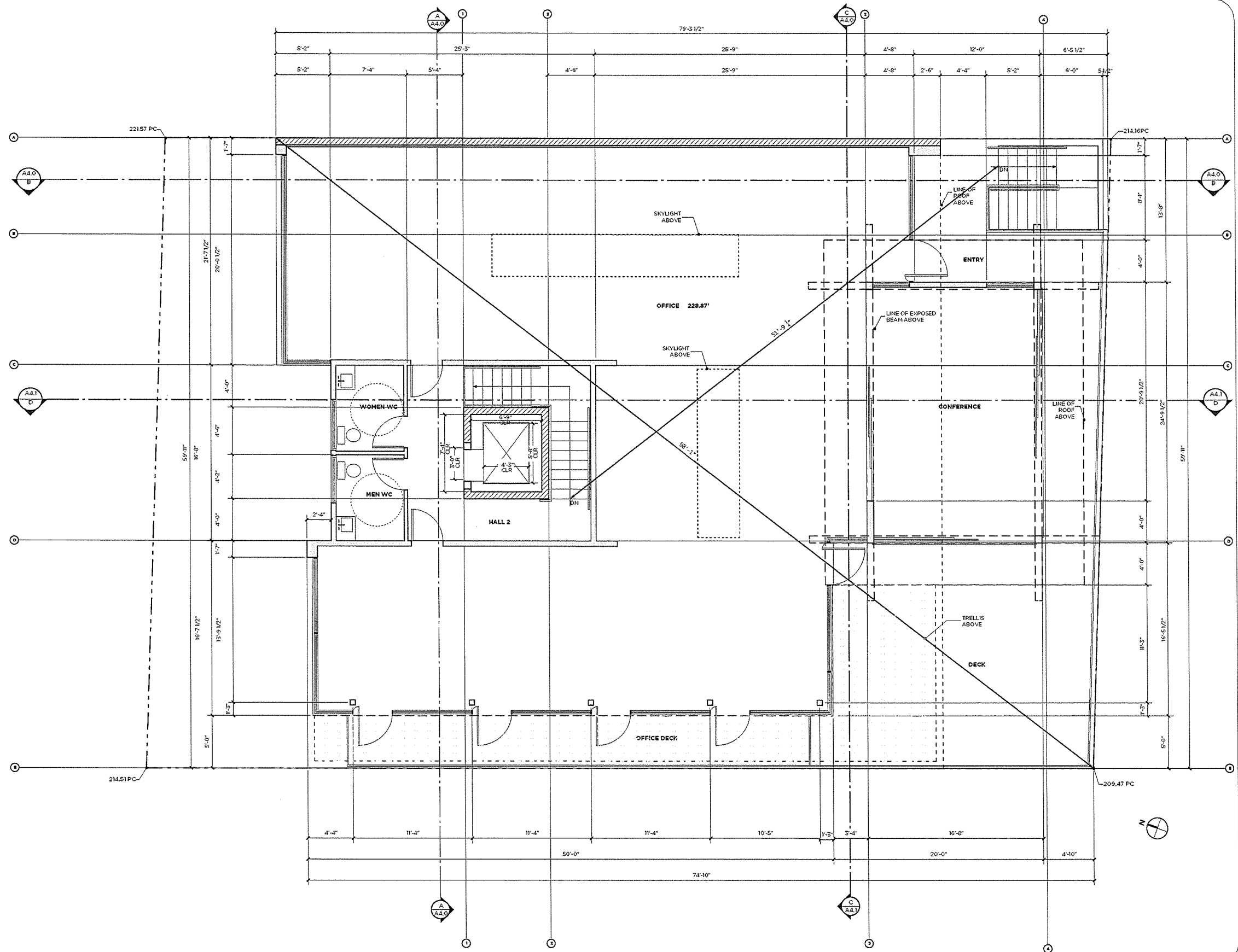
REVISIONS
DATE 10/23/15
SCALE
PROJECT NUMBER 2015/14
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SUBMITTALS 09/26/2015 SUBMITTED FOR TO PLANNING 10/23/2015 RESUBMITTED FOR PUBLIC HEARING
PROJECT NAME 213 MANHATTAN BEACH BLVD
PROJECT ADDRESS 213 MANHATTAN BEACH BLVD. MANHATTAN BEACH, CA
SHEET NAME ENCROACHMENT PLAN
SHEET NUMBER A0.6



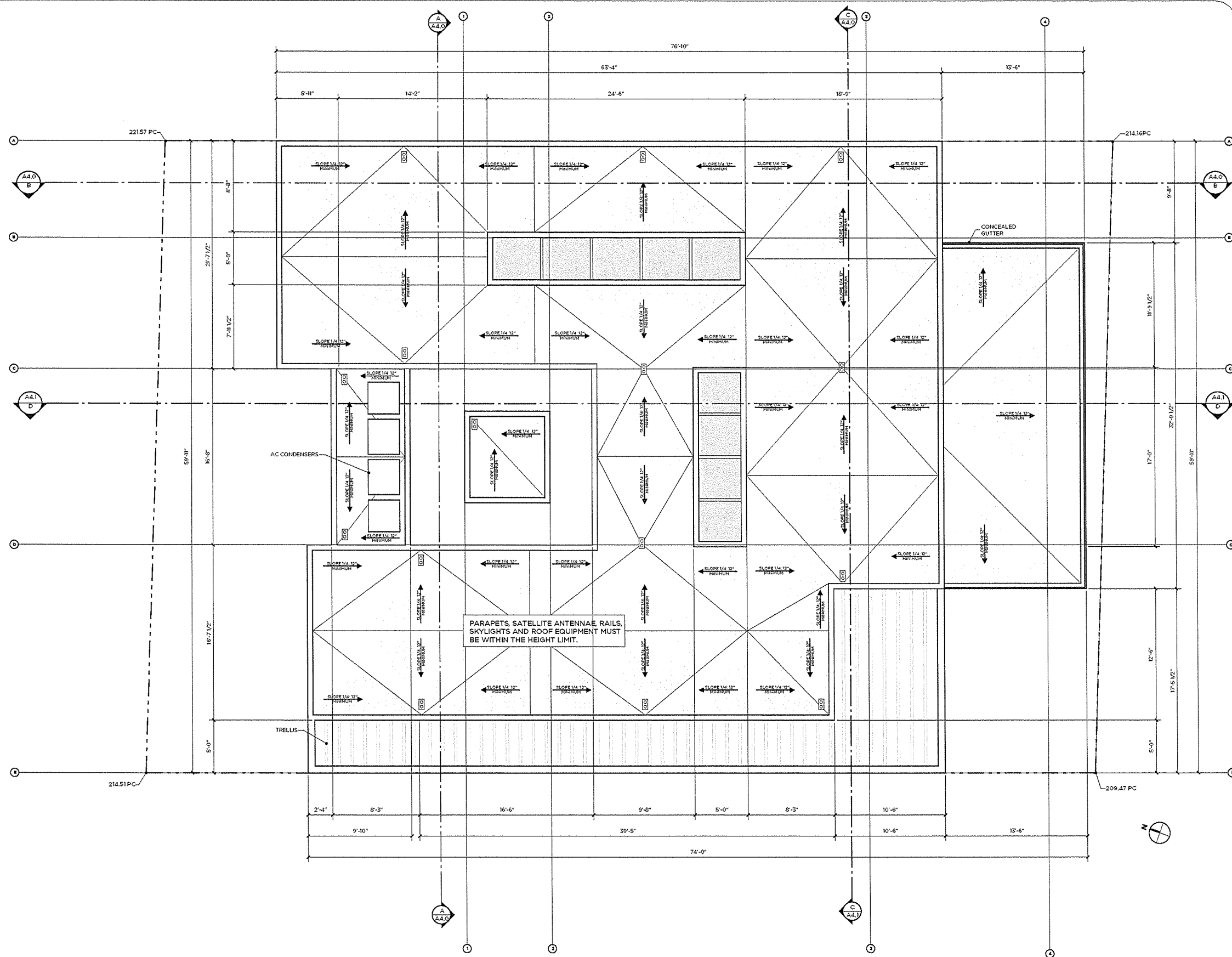
REVISIONS
DATE 10/23/15
SCALE 1/4" = 1'-0"
PROJECT NUMBER 2015.14
SUBMITTALS 09/26/2015 SUBMITTED FOR PLANNING 10/23/2015 SUBMITTED FOR PUBLIC HEARING
PROJECT NAME 213 MANHATTAN BEACH BLVD
PROJECT ADDRESS 213 MANHATTAN BEACH BLVD. MANHATTAN BEACH, CA
SHEET NAME GROUND FLOOR RETAIL
SHEET NUMBER A-1.0



REVISIONS
DATE 10/23/15
SCALE 1/4" = 1'-0"
PROJECT NUMBER 2015.14
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SUBMITTALS 09/26/2015 SUBMITTED FOR PLANNING 10/23/2015 SUBMITTED FOR PUBLIC HEARING
PROJECT NAME 213 MANHATTAN BEACH BLVD
PROJECT ADDRESS 213 MANHATTAN BEACH BLVD. MANHATTAN BEACH, CA
SHEET NAME PARKING AND UTILITIES
SHEET NUMBER A-1.1



REVISIONS
DATE 10/23/13
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PROJECT NUMBER 2013.14
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SUBMITTALS 09/26/2013 SUBMITTED FOR PLANNING 10/23/2013 SUBMITTED FOR PUBLIC HEARING
PROJECT NAME 213 MANHATTAN BEACH BLVD
PROJECT ADDRESS 213 MANHATTAN BEACH BLVD. MANHATTAN BEACH, CA
SHEET NAME SECOND FLOOR OFFICE
SHEET NUMBER A-1.2

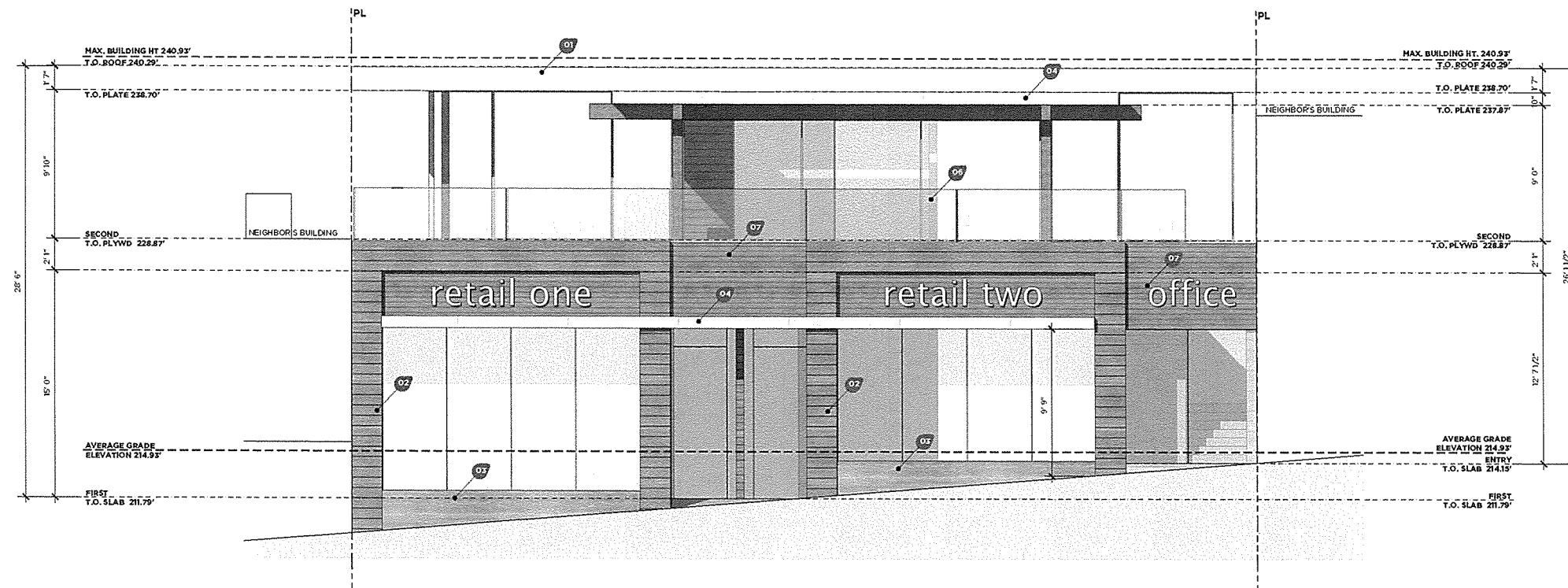


REVISIONS
DATE 10/23/15
SCALE 1/4" = 1'-0"
PROJECT NUMBER 2015.14
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SUBMITTALS 09/26/2015 SUBMITTED FOR PLANNING 10/23/2015 SUBMITTED FOR PUBLIC HEARING
PROJECT NAME 213 MANHATTAN BEACH BLVD
PROJECT ADDRESS 213 MANHATTAN BEACH BLVD. MANHATTAN BEACH, CA
SHEET NAME ROOF PLAN
SHEET NUMBER A-1.3

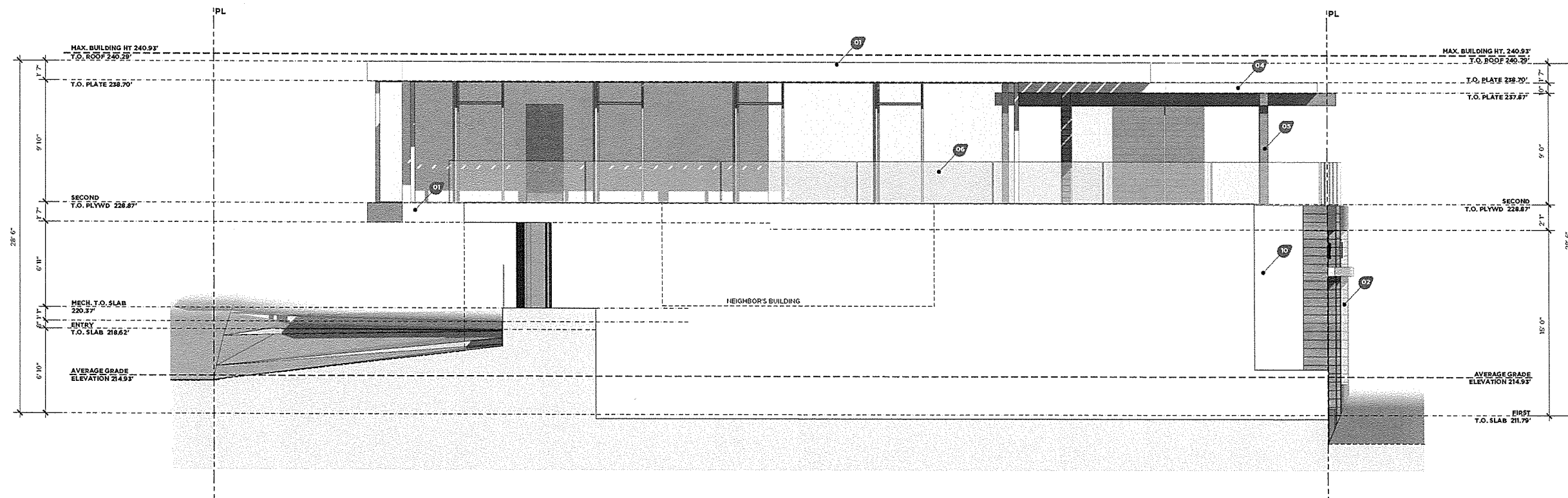
starr design group
6415 Cypress Avenue / Hermosa Beach, CA / 310-376-6997

MATERIAL KEY

- 01 STUCCO FINISH
- 02 WOOD SIDING
- 03 BOARD FORMED CONCRETE
- 04 SHEET METAL
- 05 WOOD POSTS & BEAMS
- 06 GLASS GUARDRAIL MIN 42"
- 07 WOOD SIDING/ SMALL
- 08 METAL GATE
- 09 SKYLIGHT
- 10 STUCCO FINISH/ DARK



SOUTH ELEVATION



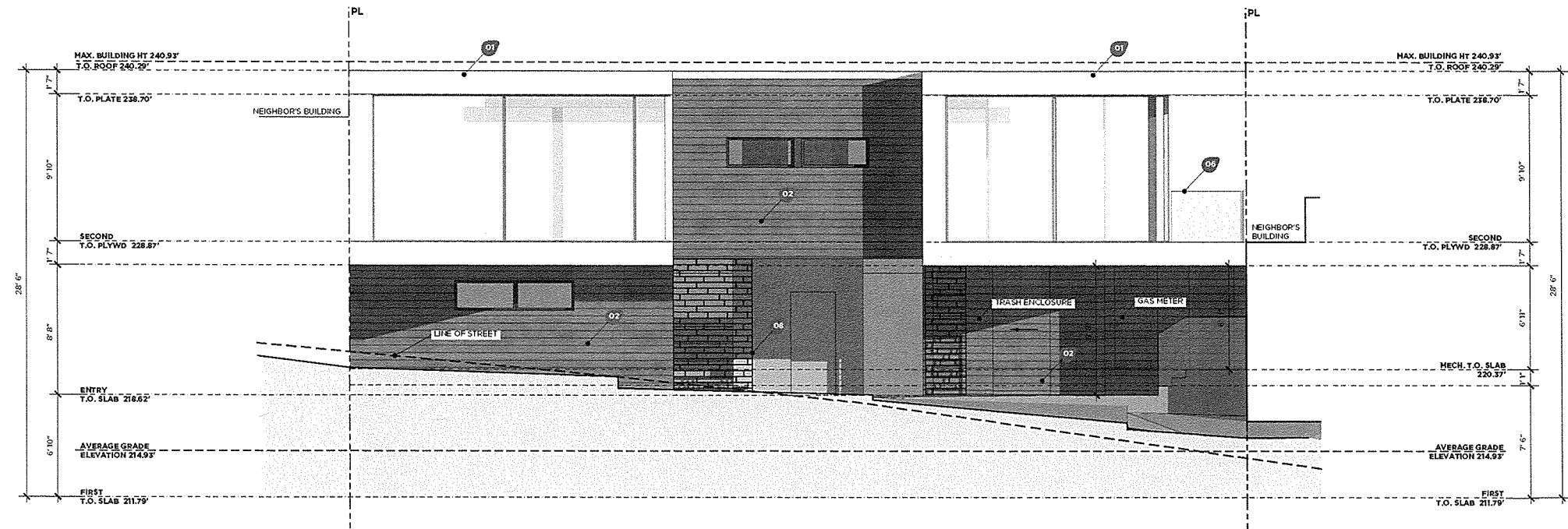
WEST ELEVATION

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 643 Cypress Ave / Hermosa Beach, CA / 310.376.6997

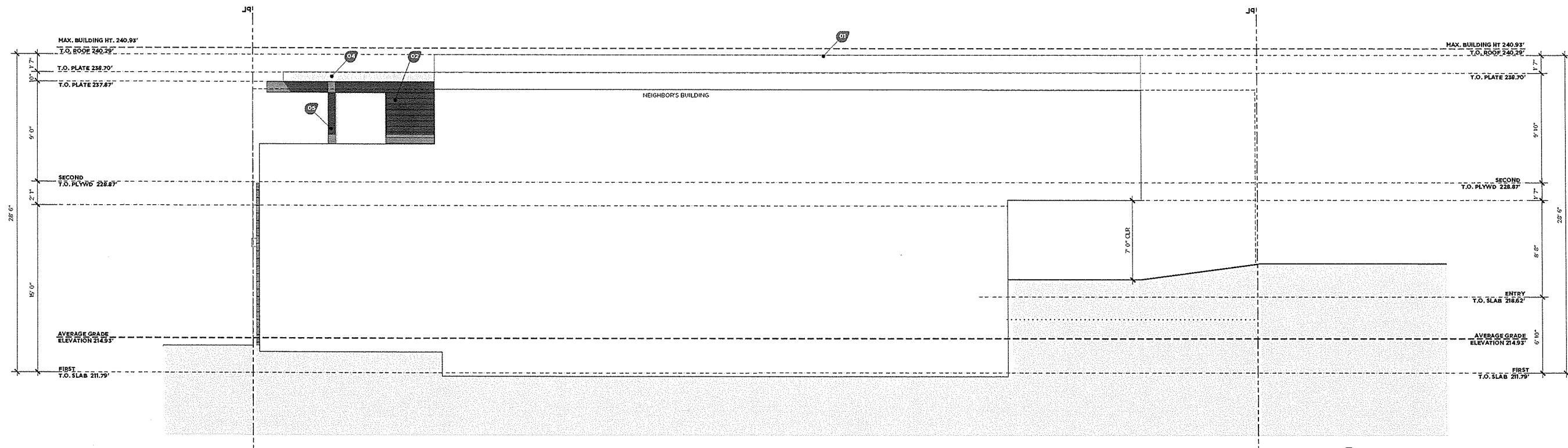
REVISIONS
DATE 10/23/13
SCALE 1/4" = 1'-0"
PROJECT NUMBER 2013.14
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SUBMITTALS 09/26/2013 SUBMITTED FOR PLANNING 10/23/2013 RESUBMITTED FOR PUBLIC HEARING
PROJECT NAME 213 MANHATTAN BEACH BLVD
PROJECT ADDRESS 213 MANHATTAN BEACH BLVD. MANHATTAN BEACH, CA
SHEET NAME WEST & SOUTH ELEVATIONS
SHEET NUMBER A3.0

MATERIAL KEY

- 01 STUCCO FINISH
- 02 WOOD SIDING
- 03 BOARD FORMED CONCRETE
- 04 SHEET METAL
- 05 WOOD POSTS & BEAMS
- 06 GLASS GUARDRAIL MIN 42"
- 07 WOOD SIDING / SMALL
- 08 METAL GATE
- 09 SKYLIGHT
- 10 STUCCO FINISH / DARK



NORTH ELEVATION



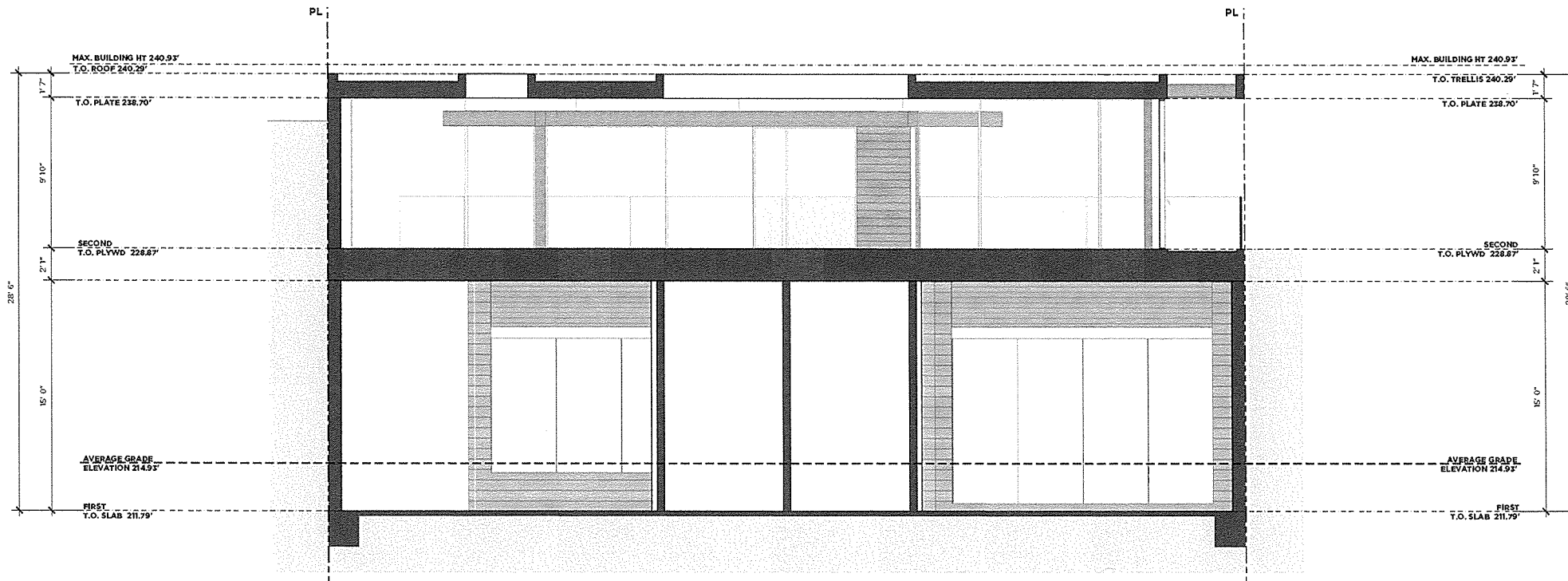
EAST ELEVATION

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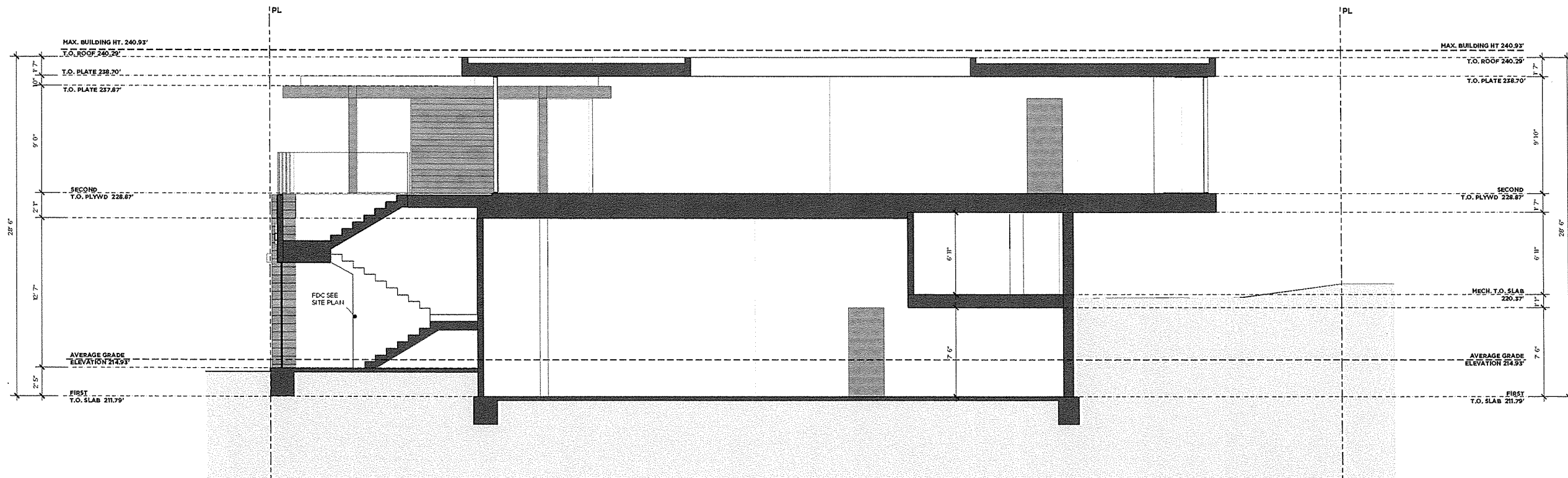
REVISIONS
DATE 10/23/13
SCALE 1/4" = 1'-0"
PROJECT NUMBER 2013.14
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SUBMITTALS 09/26/2013 SUBMITTED FOR PLANNING 10/23/2013 RESUBMITTED FOR PUBLIC HEARING
PROJECT NAME 213 MANHATTAN BEACH BLVD
PROJECT ADDRESS 213 MANHATTAN BEACH BLVD. MANHATTAN BEACH, CA
SHEET NAME EAST & NORTH ELEVATIONS
SHEET NUMBER A3.1

NOTES:

- 01 CONCRETE STEM FOOTING PER STRUCTURAL ENGINEER'S DRAWINGS AND SPECIFICATIONS.
- 02 EXTERIOR HOUSE STUDS: 2x4's U.L.O. SEE FLOOR PLAN WITH SPACING AND SPECIFICATIONS PER STRUCTURAL ENGINEER. FIREBLOCK STUDS AT CEILINGS AND AT MID-HEIGHT STUDS BETWEEN FINISH FLOOR AND CEILING HEIGHT PER STRUCTURAL ENGINEER.
- 03 INTERIOR WALL STUDS: 2x4's (EXCEPT WHERE NOTED OTHERWISE ON FLOOR PLANS) WITH SPACING AND SPECIFICATIONS PER STRUCTURAL ENGINEER.
- 04 EXTERIOR AND INTERIOR THICKENED WALLS SHALL BE CONSTRUCTED FROM MULTIPLE ROWS OF 2x6 STUDS, SPACING AND SPECIFICATIONS PER STRUCTURAL ENGINEER.
- 05 DRAFT STOPS SHALL BE PROVIDED WITHIN ATTICS, MANSARDS, OVERHANGS, AND SIMILAR CONCEALED SPACES FORMED OF COMBUSTIBLE CONSTRUCTION.
- 06 TRUSS JOIST FLOOR SYSTEM: SEE STRUCTURAL DRAWINGS FOR SIZE, SPACING, BLOCKING AND SPECIFICATIONS.
- 07 ROOF RAFTERS: SEE STRUCTURAL DRAWINGS FOR SIZE, SPACING, AND SPECIFICATIONS.
- 08 CEILING JOISTS: SEE STRUCTURAL DRAWINGS FOR SIZE, SPACING, AND SPECIFICATIONS.
- 09 FLOOR SHEATHING: 1-3/8" TONGUE AND GROOVE PLYWOOD. PROVIDE A CONTINUOUS BEAD OF CONSTRUCTION ADHESIVE BETWEEN PLYWOOD AND SUPPORTS. ALL FLOOR SHEATHING TO BE SCREWED. SEE STRUCTURAL DRAWINGS FOR SIZE, SPACING, AND SPECIFICATIONS.
- 10 DECK SHEATHING: SEE STRUCTURAL DRAWINGS FOR SIZE, SPACING, AND SPECIFICATIONS. SLOPE SHEATHING 1/4" PER 1'-0" TO DRAINS. VERIFY WITH DECK MANUFACTURER'S SPECIFICATIONS AND RECOMMENDATIONS.
- 11 ROOF SHEATHING: SEE STRUCTURAL DRAWINGS FOR SIZE, SPACING, AND SPECIFICATIONS. VERIFY WITH ROOF MANUFACTURER'S SPECIFICATIONS AND RECOMMENDATIONS.
- 12 THERMAL INSULATION: ALL WALLS TO BE THERMAL INSULATED.
R-22 WOOD FRAMED RAFTER
R-19 FACTOR THERMAL INSULATION AT ALL 2x6 EXTERIOR WALLS.
R-30 FACTOR IN ROOF WHERE BATT INSULATION OCCURS.
R-30 MIN. FACTOR IN ROOF WHERE RIGID INSULATION OCCURS.
R-30 FACTOR THERMAL INSULATION AT ALL FLOOR JOIST AREAS.
R-19 AT INTERIOR WALLS FOR MOISTURE REDUCTION.
- 13 5/8" GYPSUM BOARD FINISH FASTENED TO WALLS AND CEILING WITH DRYWALL SCREWS.
- 14 EXTERIOR PLASTER OVER WIRE LATH AND 1 LAYER GRADE D BUILDING PAPER (SUPER JUNIBO TEK OR EQ.) OVER 1 LAYER TYVEK OR TYPAR. ALL CORNERS BEADED.
- 15 ALL GUARDRAILS SHALL BE A MINIMUM HEIGHT OF 42" MEASURED FROM TOP OF FINISH SURFACE UNLESS NOTED OTHERWISE. SEE DETAILS PER STRUCTURAL ENGINEER.
- 16 PROVIDE COSELLA DORIKEN DELTA DRAIN 6200 O/ BENTONITE WATERPROOFING (CETCO VOLCLAY SWELLITITE LA R99 24735 OR APPROVED EQUAL) O/ SELF-ADHERING SHEET/ RUBBERIZED ASPHALT SHEET WATERPROOFING (CETCO EMURO SHEET OR APPROVED EQUAL) FOR FOUNDATION WATERPROOFING. INSTALL PER MANUFACTURER'S RECOMMENDATIONS.
- 17 CONCRETE SLAB PER STRUCTURAL DRAWINGS.
- 18 CONCRETE SLAB PER STRUCTURAL DRAWINGS O/ 2" SAND O/ WATERPROOF MEMBRANE O/ 2" SAND O/ GRAVEL BED OVER COMPACTED OR UNDISTURBED SOIL, TYP.
- 19 1" HIGH MIN. RIGID, NON-BIODEGRADABLE CANT WITH LIQUID MEMBRANE COATING AT TOP SURFACE, TYP.
- 20 FILTER FABRIC OVER 4" DRAIN TILE WITH GRAVEL FILL. SHAPE SOIL TO FORM GUTTER, DRAIN TO DAYLIGHT, TYP.



CROSS-SECTION A



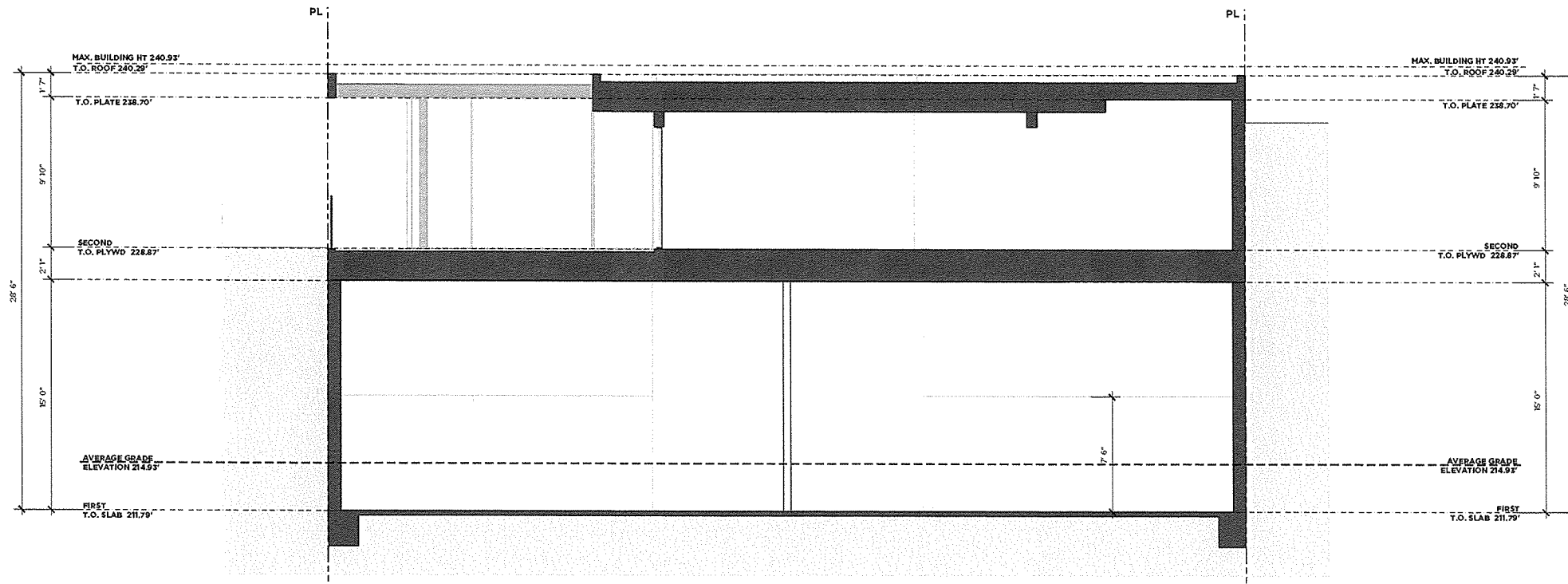
LONGITUDINAL SECTION B

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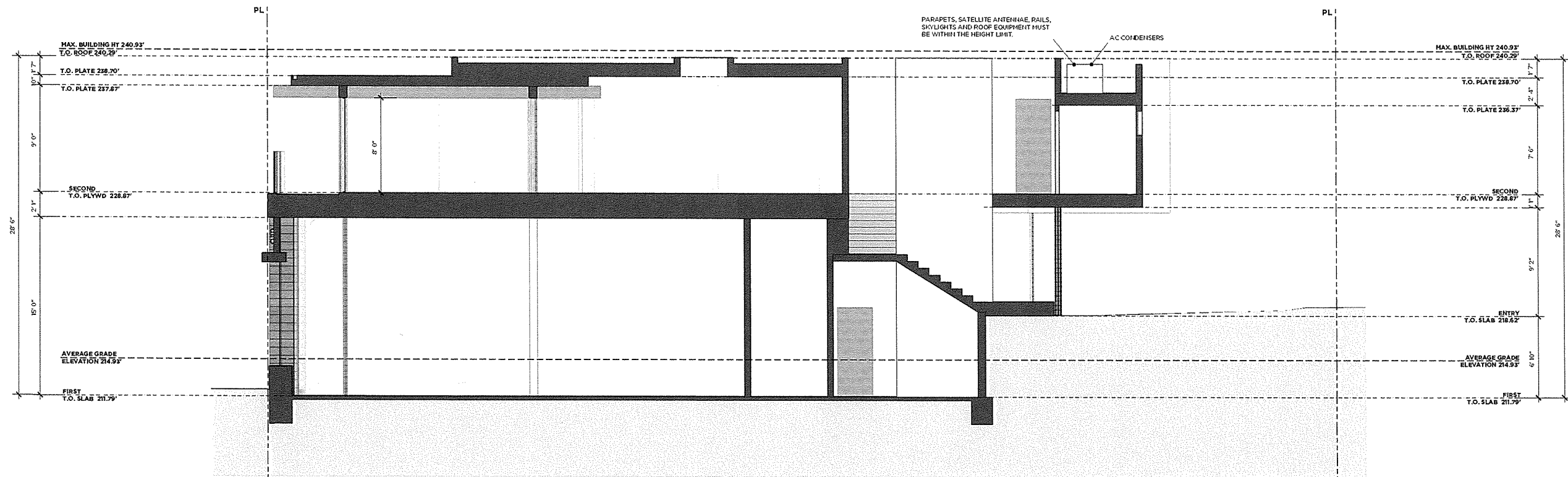
REVISIONS
DATE 10/23/13
SCALE 1/4" = 1'-0"
PROJECT NUMBER 2013.14
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SUBMITTALS 09/26/2013 SUBMITTED FOR PLANNING 10/23/2013 RESUBMITTED FOR PUBLIC HEARING
PROJECT NAME 213 MANHATTAN BEACH BLVD
PROJECT ADDRESS 213 MANHATTAN BEACH BLVD. MANHATTAN BEACH, CA
SHEET NAME SECTIONS
SHEET NUMBER A-4.0

NOTES:

- 01 CONCRETE STEM FOOTING PER STRUCTURAL ENGINEER'S DRAWINGS AND SPECIFICATIONS.
- 02 EXTERIOR HOUSE STUDS: 2x6's 1/4" O. SEE FLOOR PLAN WITH SPACING AND SPECIFICATIONS PER STRUCTURAL ENGINEER. FIREBLOCK STUDS AT CEILINGS AND AT MID-HEIGHT STUDS BETWEEN FINISH FLOOR AND CEILING HEIGHT PER STRUCTURAL ENGINEER.
- 03 INTERIOR WALL STUDS: 2x4's (EXCEPT WHERE NOTED OTHERWISE ON FLOOR PLANS) WITH SPACING AND SPECIFICATIONS PER STRUCTURAL ENGINEER.
- 04 EXTERIOR AND INTERIOR THICKENED WALLS SHALL BE CONSTRUCTED FROM MULTIPLE ROWS OF 2x6 STUDS, SPACING AND SPECIFICATIONS PER STRUCTURAL ENGINEER.
- 05 DRAFT STOPS SHALL BE PROVIDED WITHIN ATTICS, MANHARDS, OVERHANGS, AND SIMILAR CONCEALED SPACES FORMED OF COMBUSTIBLE CONSTRUCTION.
- 06 TRUSS JOIST FLOOR SYSTEM: SEE STRUCTURAL DRAWINGS FOR SIZE, SPACING, BLOCKING AND SPECIFICATIONS.
- 07 ROOF RAFTERS: SEE STRUCTURAL DRAWINGS FOR SIZE, SPACING, AND SPECIFICATIONS.
- 08 CEILING JOISTS: SEE STRUCTURAL DRAWINGS FOR SIZE, SPACING, AND SPECIFICATIONS.
- 09 FLOOR SHEATHING: 1-3/8" TONGUE AND GROOVE PLYWOOD. PROVIDE A CONTINUOUS BEAD OF CONSTRUCTION ADHESIVE BETWEEN PLYWOOD AND SUPPORTS. ALL FLOOR SHEATHING TO BE SCREWED. SEE STRUCTURAL DRAWINGS FOR SIZE, SPACING, AND SPECIFICATIONS.
- 10 DECK SHEATHING: SEE STRUCTURAL DRAWINGS FOR SIZE, SPACING, AND SPECIFICATIONS. SLOPE SHEATHING 1/4" PER 1'-0" TO DRAINS. VERIFY WITH DECK MANUFACTURER'S SPECIFICATIONS AND RECOMMENDATIONS.
- 11 ROOF SHEATHING: SEE STRUCTURAL DRAWINGS FOR SIZE, SPACING, AND SPECIFICATIONS. VERIFY WITH ROOF MANUFACTURER'S SPECIFICATIONS AND RECOMMENDATIONS.
- 12 THERMAL INSULATION: ALL WALLS TO BE THERMAL INSULATED.
R-22 WOOD-FRAMED RAFTER
R-19 FACTOR THERMAL INSULATION AT ALL 2x6 EXTERIOR WALLS.
R-30 FACTOR IN ROOF WHERE BATT INSULATION OCCURS.
R-30 MIN. FACTOR IN ROOF WHERE RIGID INSULATION OCCURS.
R-30 FACTOR THERMAL INSULATION AT ALL FLOOR JOIST AREAS.
R-19 AT INTERIOR WALLS FOR NOISE REDUCTION.
- 13 5/8" GYPSUM BOARD FINISH FASTENED TO WALLS AND CEILING WITH DRYWALL SCREWS.
- 14 EXTERIOR PLASTER OVER WIRE LATH AND 1 LAYER GRADE D BUILDING PAPER (SUPER JUMBO TEK OR EQ.) OVER 1 LAYER TYVEK OR TYPAR. ALL CORNERS BEADED.
- 15 ALL GUARDRAILS SHALL BE A MINIMUM HEIGHT OF 42" MEASURED FROM TOP OF FINISH SURFACE UNLESS NOTED OTHERWISE. SEE DETAILS PER STRUCTURAL ENGINEER.
- 16 PROVIDE COSELLA DORVEN DELTA DRAIN 6200 O/ BENTONITE WATERPROOFING (CETCO VOLCLAY SVELLITITE LA RR 24735 OR APPROVED EQUAL) O/ SELF-ADHERING SHEET/ RUBBERIZED ASPHALT SHEET WATERPROOFING (CETCO EMBROSHEET OR APPROVED EQUAL) FOR FOUNDATION WATERPROOFING. INSTALL PER MANUFACTURER'S RECOMMENDATIONS.
- 17 CONCRETE SLAB PER STRUCTURAL DRAWINGS.
- 18 CONCRETE SLAB PER STRUCTURAL DRAWINGS O/ 2" SAND O/ WATERPROOF MEMBRANE O/ 2" SAND O/ GRAVEL BED OVER COMPACTED OR UNDISTURBED SOIL, TYP.
- 19 1" HIGH MIN. RIGID, NON-BIODEGRADABLE CANT WITH LIQUID MEMBRANE COATING AT TOP SURFACE, TYP.
- 20 FILTER FABRIC OVER 4" DRAIN TILE WITH GRAVEL FILL. SHAPE SOIL TO FORM GUTTER, DRAIN TO DAYLIGHT, TYP.



CROSS-SECTION C



LONGITUDINAL SECTION D

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REVISIONS
DATE 10/23/15
SCALE 1/4" = 1'-0"
PROJECT NUMBER 2015.14
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