

**CITY OF MANHATTAN BEACH
COMMUNITY DEVELOPMENT DEPARTMENT**

TO: Planning Commission

FROM: Richard Thompson, Director of Community Development

BY: Esteban Danna, Associate Planner

DATE: May 8, 2013

SUBJECT: Consideration of a Coastal Development Permit and Minor Exception to Allow an Addition to an Existing Duplex at 2808 The Strand.

RECOMMENDATION

Staff recommends that the Planning Commission **CONDUCT** the Public Hearing and **APPROVE** the subject request

APPLICANT /OWNER

Ross and Launi Nathan
2808 The Strand
Manhattan Beach, CA 90266

Location

<u>Location</u>	2808 The Strand between 28 th and 29 th Streets (Attachment B)
<u>Legal Description</u>	Portion of Lot 8, Block 7, Peck's Manhattan Beach Tract
<u>Area District</u>	III

Land Use

<u>General Plan</u>	Medium Density Residential				
<u>Zoning</u>	RM, Residential Medium Density				
<u>Land Use</u>	<table><tr><td><u>Existing</u></td><td><u>Proposed</u></td></tr><tr><td>3,552 sq. ft. Duplex</td><td>3,399 sq. ft. Duplex</td></tr></table>	<u>Existing</u>	<u>Proposed</u>	3,552 sq. ft. Duplex	3,399 sq. ft. Duplex
<u>Existing</u>	<u>Proposed</u>				
3,552 sq. ft. Duplex	3,399 sq. ft. Duplex				

Neighboring Zoning /

<u>Land Uses</u>	North: RM / Single-family residence
	South: RM / Duplex
	East: RH / Triplex
	West: Strand Gardens

Project Details

	<u>Proposed</u>	<u>Requirement</u>
Parcel Size:	3,499 sq.ft.	2,700 sq. ft. min
Building Floor Area:	3,399 sq. ft.	5,598 sq. ft. max.
Height	29 ft. 11 ½ in.	30 ft. max.
Parking:	3 enclosed, 1 open	2 enclosed, 2 open
Setbacks		
Front (west)	2 ft. (balcony), 4.67 ft.	5 ft.
Rear (east)	(building)	5 ft. min
Interior Side (north)	5 ft.	3.33 ft. min.
Interior Side (south)	3.33 ft.	3.33 ft. min
	3 ft. 6 in. (building), 2 ft. 3 in. (chimney projection)	
Usable Open Space		
Unit 1	486 sq. ft.	440 sq. ft.
Unit 2	220 sq. ft.	220 sq. ft.

Non-Conformities

- Front yard setback.
- Chimney projection at the south side setback.

BACKGROUND

A Coastal Development Permit is required when projects include a greater-than 10 percent addition and the project site is within the appealable area, where a decision is appealable to the State Coastal Commission. A public hearing is required, without the option of a waiver of the public hearing, because the application includes a Minor Exception request to retain nonconforming setbacks.

Minor Exceptions are typically processed administratively. Most appealable coastal permit applications involving single-family homes and duplexes may proceed administratively as well through the public hearing waiver process provided by the Local Coastal Program (LCP) section A.96.260. However, applications that require discretionary approvals in addition to the Coastal Development Permit such as minor exceptions, variances, use permits, and subdivision maps, must be reviewed by the Planning Commission at a public hearing.

DISCUSSION

The applicant proposes to demolish one of the two structures (the rear adjacent to Ocean Drive) and build a new two-story structure attached to the remaining structure. The project proposes to maintain the existing front structure (adjacent to The Strand), which has a non-conforming front yard setback. The remaining structure will also retain an existing non-conforming chimney projection at the south side setback. Manhattan Beach Municipal Code (MBMC) Sections 10.60.040(G) and 10.68.030(E) allow the chimney projection to remain regardless of the project valuation and is therefore not within the scope of this Minor Exception. The proposed project will comply with all other applicable zoning code standards.

The rest of the building's existing setbacks are conforming and new construction will conform to current setback requirements. The existing non-conforming front setback in the remaining structure will not be altered. The project exceeds 50% of the existing building's replacement valuation, and therefore must generally correct all nonconformities to meet the code and coastal development standards unless a Minor Exception is approved. The resulting 3,399 square-feet of total floor area would be 61 percent of the site's allowable 5,598 square-feet of Buildable Floor Area (BFA). Per MBMC Section 10.84.120, the project is eligible for Minor Exception approval (under 66% of BFA) to allow the setback nonconformities to remain.

The existing building's front wall will not be structurally altered. The existing front setback is 4.67 feet measured from the front property line to the building. Per MBMC Section 10.68.030(E), this non-conformity would not typically require a Minor Exception. However, the retention of the existing non-conforming projecting balcony, which extends three feet into the front yard setback and extends the entire width of the building, triggers the Minor Exception requirement.

Minor Exception and Coastal Permit Findings

Section 10.84.120 of the Zoning Code provides findings for Minor Exception approval of nonconforming setbacks for residential remodel and addition projects. In order to approve this Minor Exception, the following findings must be made:

- a. *The proposed project will be compatible with properties in the surrounding area, including, but not limited to, scale, mass, orientation, size and location of setbacks, and height.*

The proposed project will be only 61 percent of the total allowed square footage, will not exceed the maximum allowed height, and, with the exception of the front yard, will comply with setback requirements.

- b. *There will be no significant detrimental impact to surrounding neighbors, including, but not limited to, impacts to privacy, pedestrian and vehicular accessibility, light, and air.*

The existing non-conforming setback to remain is along The Strand and any significant detrimental effects are therefore minimized as the balcony faces a public right-of-way.

- c. *There are practical difficulties which warrant deviation from Code standards, including, but not limited to, lot configuration, size, shape, or topography, and/or relationship of existing building(s) to the lot.*

There are practical difficulties which warrant deviation from Code standards. The relationship of the existing building to the front yard setback is non-conforming and will remain.

- d. *That existing non-conformities will be brought closer to or in conformance with Zoning Code and Building Safety requirements where deemed to be reasonable and feasible.*

With the exception of the front yard setback, the project will conform to all applicable zoning code standards.

- e. *That the proposed project is consistent with the City's General Plan, the purposes of this title and the zoning district where the project is located, the Local Coastal Program, if applicable, and with any other current applicable policy guidelines.*
The proposed project is currently used as a duplex and will continue to be used as a duplex which is consistent with the General Plan and Local Coastal Program.

It is Staff's opinion that these findings can be made since the resulting building will be well below the maximum size and the new construction will be compatible with the neighborhood. The project is also consistent with a primary intention of Minor Exceptions (MBMC 10.84.010), which is to encourage retention of smaller buildings with nonconformity challenges rather than prompting property owners to build new maximum size buildings.

Staff finds that the additional criteria for the Minor Exception, per Section 10.84.120(G), applicable to nonconforming setbacks, are met by the proposal as listed in the attached resolution, including appropriate building code compliance and zoning conformity.

The General Plan of the City of Manhattan Beach poses certain goals and policies which reflect the expectations and wishes of the City with respect to land uses. Specifically, the project is consistent with the following Goals and Policies of the General Plan:

Goal LU-1: Maintain the low-profile development and small-town atmosphere of Manhattan Beach.

Goal LU-2: Encourage the provision and retention of private landscaped open space.

Goal LU-3: Achieve a strong, positive community aesthetic.

Goal LU-4: Preserve the features of each community neighborhood, and develop solutions tailored to each neighborhood's unique characteristics.

Housing

Policy 1.1: The City of Manhattan Beach will continue to maintain and conserve the character of its existing residential neighborhoods.

Staff also finds that that the project will comply with applicable coastal program regulations. The project is consistent with policies II.B 1, 2, 3 of the City's Local Coastal Program which seeks to maintain neighborhood building scale, control residential building bulk, and establish building height standards.

PUBLIC INPUT

A public notice for the project was mailed to property owners and residents within 300 feet of the site and published in the Beach Reporter newspaper. Staff has received no inquiries or opposition from project neighbors or other members of the community. Other City departments did not have comments for the proposed project.

ENVIRONMENTAL REVIEW

The Project is Categorically Exempt from the requirements of the California Environmental Quality Act (CEQA), pursuant to Sections 15301 and 15332 based on staff's determination that the project is a minor infill development and will not have a significant impact on the environment.

CONCLUSION

Staff supports the request, finding that the project: 1) meets the findings required to approve a Minor Exception, 2) conforms to applicable zoning objectives and development standards, 3) is not expected to have a detrimental impact on nearby properties; 4) is consistent with the goals and policies of the General Plan, and; 5) would conform to the City's Local Coastal Program.

A draft resolution of approval is attached, which would act as the project Minor Exception approval and Coastal Development Permit, provided that the project is approved by the Commission with no further appeal. Several standard conditions typically included have been placed in the draft Resolution as well as project specific conditions.

Attachments:

- A. Draft Resolution No. PC 13-XX
- B. Vicinity Map
- C. Public Notice
- D. Plans

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RESOLUTION NO PC 13-XX

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF MANHATTAN BEACH APPROVING A COASTAL DEVELOPMENT PERMIT AND MINOR EXCEPTION TO ALLOW CONSTRUCTION OF AN ADDITION TO AN EXISTING DUPLEX WITH A NONCONFORMING FRONT YARD SETBACK ON THE PROPERTY LOCATED AT 2808 THE STRAND (Nathan)

THE PLANNING COMMISSION OF THE CITY OF MANHATTAN BEACH DOES HEREBY RESOLVE AS FOLLOWS:

SECTION 1. The Planning Commission of the City of Manhattan Beach hereby makes the following findings:

- A. The Planning Commission of the City of Manhattan Beach conducted a public hearing pursuant to applicable law on May 8, 2013 to consider an application for a Coastal Development Permit and Minor Exception for the property legally described as Portion of Lot 8, Block 7, Peck's Manhattan Beach Tract, located at 2808 The Strand in the City of Manhattan Beach.
- B. The public hearing was advertised pursuant to applicable law, testimony was invited and received.
- C. The applicants for the Coastal Development Permit and Minor Exception are Ross and Launi Nathan, the property owners.
- D. The applicant proposes to demolish one of the two buildings (at the rear adjacent to Ocean Drive) and build a new two-story structure attached to the remaining structure. The project proposes to maintain the existing front structure (adjacent to The Strand), which has a non-conforming front yard setback. The remaining structure will also retain an existing non-conforming chimney projection at the south side setback.
- E. Manhattan Beach Municipal Code (MBMC) Sections 10.60.040(G) and 10.68.030(E) allow the existing non-conforming chimney projection to remain regardless of the project valuation and is therefore not within the scope of this Minor Exception.
- F. The property is located within Area District III and is zoned RM Medium Density Residential. The surrounding land uses consist of single and multiple family residences.
- G. The General Plan designation for the property is Medium Density Residential, and the Local Coastal Program/Land Use Plan designation is Medium Density Residential.
- H. The Project is Categorically Exempt from the requirements of the California Environmental Quality Act (CEQA), pursuant to Section 15301 and 15332 based on staff's determination that the project is a minor development/infill project.
- I. The project will not individually nor cumulatively have an adverse effect on wildlife resources, as defined in Section 711.2 of the Fish and Game Code.
- J. The Planning Commission made the following findings with respect to the Minor Exception application:
 1. *The proposed project will be compatible with properties in the surrounding area, including, but not limited to, scale, mass, orientation, size and location of setbacks, and height.*

The proposed project will be only 61 percent of the total allowed square footage, will not exceed the maximum allowed height, and, with the exception of the front yard, will comply with setback requirements.
 2. *There will be no significant detrimental impact to surrounding neighbors, including, but not limited to, impacts to privacy, pedestrian and vehicular accessibility, light, and air.*

The existing non-conforming setback to remain is along The Strand and any significant detrimental effects are therefore minimized as the balcony faces a public right-of-way.

3. *There are practical difficulties which warrant deviation from Code standards, including, but not limited to, lot configuration, size, shape, or topography, and/or relationship of existing building(s) to the lot.*

There are practical difficulties which warrant deviation from Code standards, including demolition of a portion of the existing building adjacent to the front yard setback.

4. *That existing non-conformities will be brought closer to or in conformance with Zoning Code and Building Safety requirements where deemed to be reasonable and feasible.*

With the exception of the front yard setback, the project will conform to all applicable zoning code standards.

5. *That the proposed project is consistent with the City's General Plan, the purposes of this title and the zoning district where the project is located, the Local Coastal Program, if applicable, and with any other current applicable policy guidelines.*

The proposed project is currently used as a duplex and will continue to be used as a duplex which is consistent with the General Plan and Zoning Code.

- K. The Planning Commission determined that the project is consistent with the following applicable Minor Exception Criteria:
 1. New construction must conform to all current Code requirements except as permitted by MBMC Section 10.84.120.
 2. Structural alterations or modifications, as regulated by Chapter 10.68, to existing non-conforming portions of structures shall only be allowed as follows:
 - a. To comply with Building Safety access, egress, fire protection and other safety requirements (i.e., stairs, windows) as determined to be significant by the Building Official.
 - b. For architectural compatibility (i.e., roof pitch and design, eave design, architectural features design) as determined to be necessary by the Director of Community Development.
 - c. Minor alterations to integrate a new 2nd or 3rd floor into an existing 1st and/or 2nd floor, as determined to be necessary by the Director of Community Development.
 - d. Architectural upgrades, including those associated with construction of new square footage, as determined to be necessary by the Director of Community Development.
 - e. Other minor alterations or modifications as determined to be necessary by the Director of Community Development.
 3. A minimum of ten percent (10%) of the existing structure, based on project valuation as defined in Section 10.68.030, shall be maintained.
 4. Parking spaces may remain non-conforming with respect to the number of spaces, except as provided below, as well as the size, consistent with the provisions in Section 10.64.090 Exceptions, which allows a one foot (1') reduction in dimensions. Other minor parking non-conformities, including but not limited to, garage door width, turning radius, driveway width, and driveway visibility, may remain as determined by the Director of Community Development to be impractical to bring into conformance with Code requirements.
 5. All existing parking, required in accordance with Chapter 10.64, or by the provisions of this Section, shall be retained and shall not be reduced in number or size.
 6. Projects under two thousand (2,000) square feet in area per dwelling unit shall provide a minimum one (1) car fully enclosed garage per dwelling unit.
 7. All development on the site which is existing legal non-conforming development for zoning regulations may remain, however non-conformities shall be brought closer to or in conformance with current zoning requirements to the extent that it is reasonable and feasible.
 8. The existing legal non-conforming portions of the structure that remain shall provide a minimum of fifty percent (50%) of the required minimum setbacks, unless there is an unusual lot configuration and relationship of the existing structure to the lot lines for minor portions of the building, then less than fifty percent (50%) of the minimum required setback may be retained.

9. All development on the site which is existing legal non-conforming for Building Safety regulations shall be brought into conformance with current regulations to the extent feasible, as determined by the Building Official.
 10. After completion of the project(s) that is subject to the Minor Exception approval(s), no further addition(s) shall be permitted unless the entire structure is brought into conformance with the current Code requirements. This shall not preclude the submittal of multiple Minor Exceptions that meet the Code established criteria.
- L. The General Plan of the City of Manhattan Beach poses certain goals and policies which reflect the expectations and wishes of the City with respect to land uses. Specifically, the project is consistent with the following Goals and Policies of the General Plan:
- Goal LU-1: Maintain the low-profile development and small-town atmosphere of Manhattan Beach.
 - Goal LU-2: Encourage the provision and retention of private landscaped open space.
 - Goal LU-3: Achieve a strong, positive community aesthetic.
 - Goal LU-4: Preserve the features of each community neighborhood, and develop solutions tailored to each neighborhood's unique characteristics.
- Housing Policy 1.1: The City of Manhattan Beach will continue to maintain and conserve the character of its existing residential neighborhoods.
- M. The project is in accordance with the objectives and policies of the Manhattan Beach Coastal Program, as follows:
1. The proposed structure is consistent with the building scale in the coastal zone neighborhood and complies with the applicable standards of the Manhattan Beach Coastal Zone Zoning Code.
 2. The proposed structure is consistent with building density standards of the Local Coastal Program in that it proposes a floor area ratio factor less than the allowable.
 3. The proposed structure will be consistent with the 30-foot Coastal Zone residential height limit. This is consistent with the residential development policies of the Land Use Plan, Policy II.B.1-3 as follows:
 - a. Maintain building scale in coastal zone residential neighborhoods.
 - b. Maintain residential building bulk control established by development standards.
 - c. Maintain Coastal Zone residential height limit not to exceed 30'.
- N. The project is consistent with the public access and recreation policies of Chapter 3 of the California Coastal Act of 1976, as follows;
- Section 30212 (a) (2): The proposed structure does not impact public access to the shoreline, and adequate public access is provided and shall be maintained along 28th Street.
- Section 30221: Present and foreseeable future demand for public or commercial recreational activities that could be accommodated on the property is already adequately provided for in the area.
- O. This Resolution upon its effectiveness constitutes the Coastal Development Permit and Minor Exception approval for the subject project.

SECTION 2. The Planning Commission of the City of Manhattan Beach hereby **APPROVES** the subject Coastal Development Permit and Minor Exception subject to the following conditions:

Standard Conditions

1. *Compliance.* All development must occur in strict compliance with the proposal as set forth in the application for said permit, subject to any special conditions set forth below. Any substantial deviation from the approved plans must be reviewed and approved by the Planning Commission.

2. *Expiration.* The Coastal Development Permit shall be approved for a period of two years after the date of approval, with the option for future extensions, in accordance with the Manhattan Beach Municipal Code (MBMC) Section 10.84.090.
3. *Interpretation.* Any questions of intent or interpretation of any condition will be resolved by the Planning Commission.
4. *Inspections.* The Community Development Department Staff shall be allowed to inspect the site and the development during construction subject to 24-hour advance notice.
5. *Assignment.* The permit may be assigned to any qualified persons subject to submittal of the following information to the Director of Community Development:
 - a. A completed application and application fee as established by the City's Fee Resolution;
 - b. An affidavit executed by the assignee attesting to the assignee's agreement to comply with the terms and conditions of the permit;
 - c. Evidence of the assignee's legal interest in the property involved and legal capacity to undertake the development as approved and to satisfy the conditions required in the permit;
 - d. The original permittee's request to assign all rights to undertake the development to the assignee; and,
 - e. A copy of the original permit showing that it has not expired.
6. *Terms and Conditions are Perpetual.* These terms and conditions shall be perpetual, and it is the intention of the Director of Community Development and the permittee to bind all future owners and possessors of the subject property to the terms and conditions.
7. *Effective Date.* This Resolution shall become effective when all time limits for appeal as set forth in MBMC Section 10.100.030, and the City of Manhattan Beach Local Coastal Program - Implementation Program Section A.96.160 have expired; and, following the subsequent Coastal Commission appeal period (if applicable) which is 10 working days following notification of final local action.

Special Conditions

8. The subject Coastal Development Permit will be implemented in conformance with all provisions and policies of the Certified Manhattan Beach Local Coastal Program (LCP) and all applicable development regulations of the LCP - Implementation Program.
9. The plans shall be in substantial conformance with the plans submitted to the Planning Commission on May 8, 2013.
10. The project shall comply with all requirements of the RM zoning district except for the existing front yard setback.
11. After completion of the project(s) that is subject to the Minor Exception approval(s), no further addition(s) shall be permitted unless the entire structure is brought into conformance with the current Code requirements. This shall not preclude the submittal of multiple Minor Exceptions that meet the Code established criteria.
12. Applicant shall defend, indemnify, and hold the City, its elected officials, officers, employees, volunteers, agents, and those City agents serving as independent contractors in the role of City officials (collectively "Indemnitees") free and harmless from and against any and all claims (including, without limitation, claims for bodily injury, death, or damage to property), demands, obligations, damages, actions, causes of action, suits, losses, judgments, fines, penalties, liabilities, costs, and expenses (including, without limitation, attorneys' fees, consequential damages, disbursements, and court costs) of every kind and nature whatsoever (individually, a "Claim," collectively, "Claims"), in any manner arising out of or incident to: (i) this approval and related entitlements, (ii) the City's environmental review of this project, (iii) any construction related to this approval, or (iv) the use of the property that is the subject of this approval. Applicant shall pay and satisfy any judgment, award or decree that may be rendered against City or the other Indemnitees in any such suit, action, or other legal proceeding arising out of or incident to this approval, any construction related to this approval, or the use of the property that is the subject of this approval.

The City shall have the right to select counsel of its choice. Applicant shall reimburse the City, and the other Indemnitees, for any and all legal expenses and costs incurred by each of them in connection therewith or in enforcing the indemnity herein provided. Applicant's obligation to indemnify shall not be restricted to insurance proceeds, if any, received by Applicant or Indemnitees. This indemnity shall apply to all Claims and liability regardless of whether any insurance policies are applicable. Nothing in this Section shall be construed to require Applicant to indemnify Indemnitees for any Claim arising from the sole negligence or willful misconduct of the Indemnitees. In the event such a legal action is filed challenging the City's determinations herein or the issuance of the coastal permit, the City shall estimate its expenses for the litigation. Applicant shall deposit said amount with the City or enter into an agreement with the City to pay such expenses as they become due.

SECTION 3. Pursuant to Government Code Section 65009 and Code of Civil Procedure Section 1094.6, any action or proceeding to attack, review, set aside, void or annul this decision, or concerning any of the proceedings, acts, or determinations taken, done or made prior to such decision or to determine the reasonableness, legality or validity of any condition attached to this decision shall not be maintained by any person unless the action or proceeding is commenced within 90 days of the date of this resolution and the City Council is served within 120 days of the date of this resolution. The City Clerk shall send a certified copy of this resolution to the applicant, and if any, the appellant at the address of said person set forth in the record of the proceedings and such mailing shall constitute the notice required by Code of Civil Procedure Section 1094.6.

I hereby certify that the foregoing is a full, true, and correct copy of the Resolution as adopted by the Planning Commission at its regular meeting of May 8, 2013 and that said Resolution was adopted by the following vote:

AYES:
NOES:
ABSTAIN:
ABSENT:

Richard Thompson,
Secretary to the Planning Commission

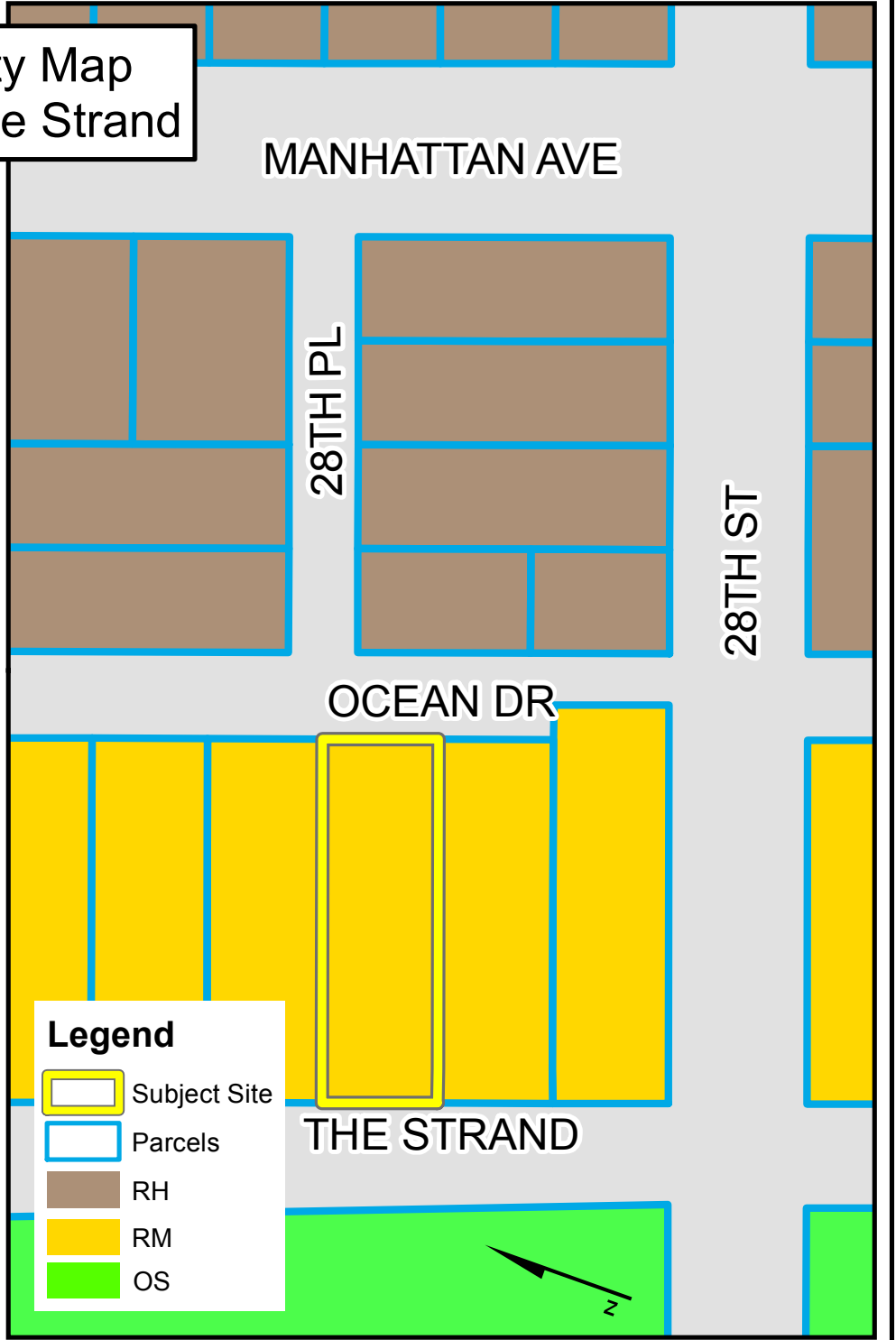
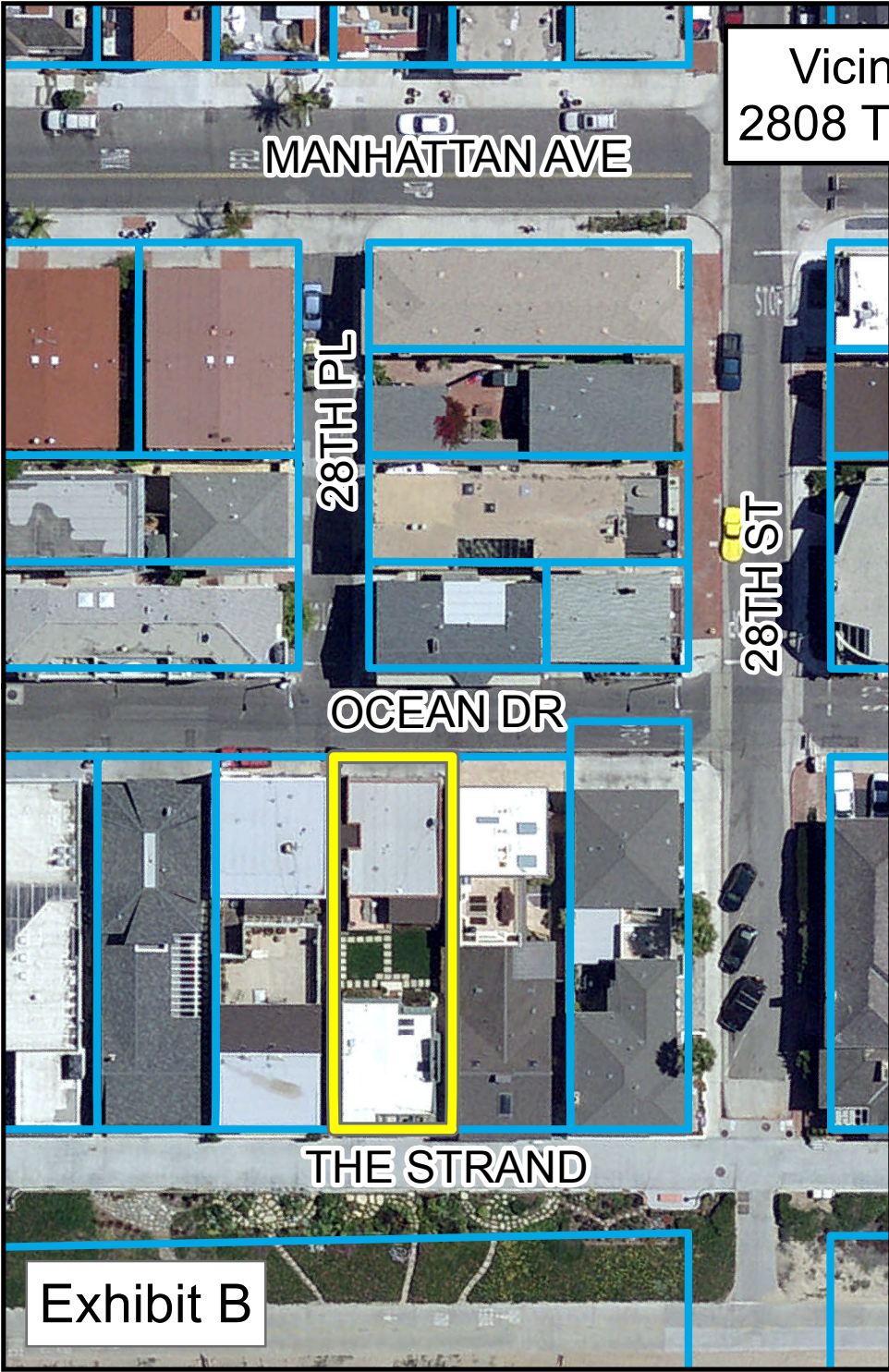
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Recording Secretary

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Vicinity Map
2808 The Strand



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CITY OF MANHATTAN BEACH

NOTICE OF A PUBLIC HEARING BEFORE THE PLANNING COMMISSION OF
THE CITY OF MANHATTAN BEACH TO CONSIDER AN APPLICATION FOR
A MINOR EXCEPTION AND COASTAL DEVELOPMENT PERMIT FOR AN
ADDITION AND REMODEL TO A DUPLEX LOCATED AT 2808 THE STRAND
(WITHIN THE APPEAL JURISDICTION OF THE COASTAL ZONE).

Applicant: Ross and Launi Nathan

Filing Date: March 8, 2013

Project Location: 2808 The Strand

Project Description: Application for a Minor Exception and Coastal Development Permit for an addition to an existing duplex. The project proposes to demolish one of the two buildings (adjacent to Ocean Drive) and build a new two-story structure attached to the remaining structure. The project proposes to maintain the existing front structure (adjacent to The Strand), which has a non-conforming front yard setback. The proposed home will be 3,399 square feet, which is 61 percent of the maximum allowed Buildable Floor Area.

Environmental Determination: This project is Categorical Exempt, Class 3, Section 15303, California Environmental Quality Act (CEQA) Guidelines.

Project Planner: Esteban Danna, 310-802-5514, edanna@citymb.info

Public Hearing Date: Wednesday, May 8, 2013

Time: 6:30 p.m.

Location: Council Chambers, City Hall, 1400 Highland Avenue, Manhattan Beach

Further Information: Proponents and opponents may be heard at that time. For further information contact project Planner. The project file is available for review at the Community Development Department at City Hall.

A Staff Report will be available for public review at the Civic Center Library on Saturday, May 4, 2013, or at the Community Development Department on Monday, May 6, 2013, or City website: <http://www.citymb.info> on Friday May 3, 2013 after 5 p.m.

Public Comments: Anyone wishing to provide written comments for inclusion in the Staff Report must do so by May 1, 2013. Written comments received after this date will be forwarded to the Planning Commission at, or prior to, the public hearing, but will not be addressed in the Staff Report. Oral and written testimony will be received during the public hearing.

Appeals: The Planning Commission's decision is appealable to the Manhattan Beach City Council within 15 days from the date of the Planning Commission's decision of the City's final action. Appeals to the City Council shall be accompanied by a \$500 fee.

The City Council's decision is appealable to the State Coastal Commission within ten (10) working days following receipt by the State Coastal Commission of the City's final action.

If you challenge the proposed actions in court, you may be limited to raising only those issues you or someone else raised at the public hearing described in this Notice, or in correspondence delivered to the Planning Commission at, or prior to the public hearing.

Mail: April 24, 2013

Publish: April 25, 2013 – Beach Reporter

**EXHIBIT C
PC MTG 5-8-13**

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LANDSCAPE TABLE			
ZONE	AREA- ALLOWED	AREA- PROVIDED	NOTES
SITE AREA		3439 SF	
BUILDING FOOT PRINT		1900 SF	
LANDSCAPED AREA		132 SF	
HARDSCAPED AREA		1107 SF	
DRIVEWAY AREA		351 SF	
LOW WATER USE LANDSCAPED AREA	132 * 80% = 106 SF	132 SF	100%
HIGH WATER USE LANDSCAPED AREA	132 * 20% = 26 SF	0 SF	0%

NOTES:
 1. 20% OF LANDSCAPED AREA MAY BE HIGH WATER USAGE PLANTS AS DEFINED BY WATER USE CLASSIFICATION OF LANDSCAPE SPECIES, WUCOLS FOR REGION 9
 2. PERMANENT IRRIGATION SYSTEM SHALL BE MOISTURE BASED MONITORED
 3. 20% RULE IS NOT APPLICABLE IF IRRIGATION IS FROM NON POTABLE WATER OR IF LANDSCAPED WITH ARTIFICIAL TURF

LANDSCAPE NOTES

- GENERAL LANDSCAPE NOTES:
 PROVIDE AN AUTOMATED IRRIGATION SYSTEM FOR ALL LANDSCAPED AREAS- MUST BE MOISTURED BASED CONTROLLED
- ALL PLANTS EMPLOYED ON THE SITE SHALL BE LOW WATER USE AS DEFINED BY W.U.C.O.L.S.
- (A) TALL FESCUE - FESTUCA ARUNDINACEA - LOW WATER USE
 - (B) KANGAROO PAW - ANIGONANTHOS FLAVIDUS - LOW WATER USE
 - (C) NEW ZEALAND FLAX - PHORILUM TENAX - LOW WATER USE

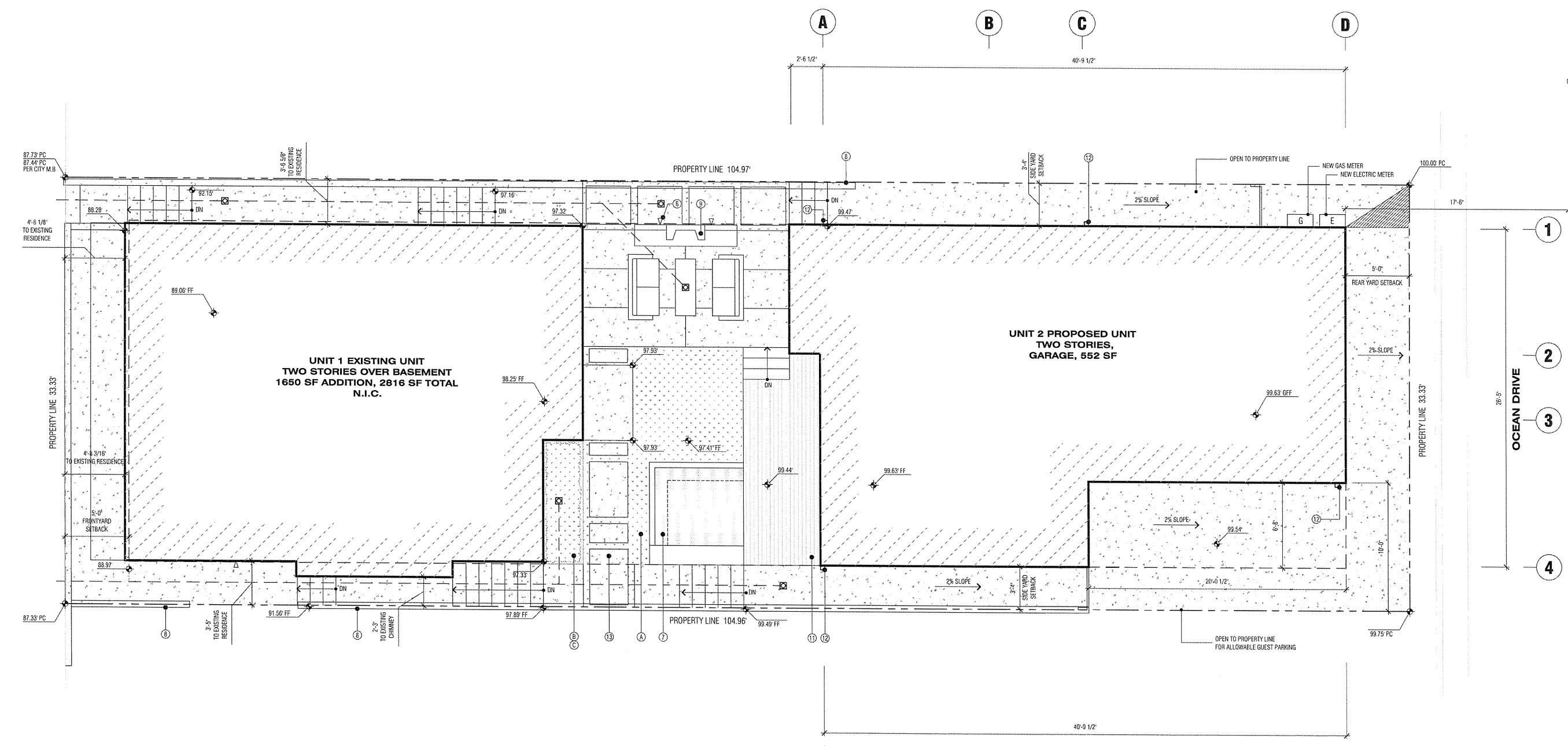
GENERAL SITE PLAN NOTES

1. DO NOT SCALE FROM DRAWINGS
2. STATE AND FLAG THE PROPERTY LINES IN ACCORDANCE WITH A LICENSED SURVEY MAP
3. ALL DIMENSIONS ARE TO FACE OF STRUCTURE UNLESS NOTED OTHERWISE, UNID
4. THIS DRAWING DOES NOT INDICATE EVERY EXISTING CONDITION THAT WILL NEED TO BE ADAPTED OR OTHERWISE MODIFIED TO ALLOW FOR THE NEW WORK. THE GENERAL CONTRACTOR SHALL THOROUGHLY REVIEW THE PROPOSED DESIGN AND EXISTING CONDITIONS AND NOTIFY THE ARCHITECT OF ANY DISCREPANCIES FOUND
5. ANY INCONSISTENCIES OR UNFORESEEN CONDITIONS TO BE REVIEWED BY THE ARCHITECT PRIOR TO PROCEEDING WITH CONSTRUCTION
6. THE CONTRACTOR SHALL MEET ALL REQUIREMENTS FOR EXCAVATIONS CONTAINED IN THE STATE CONSTRUCTION SAFETY ORDERS ENFORCED BY THE STATE DIVISION OF INDUSTRIAL SAFETY
7. AN APPROVED SEISMIC GAS SHUTOFF VALVE SHALL BE INSTALLED ON THE FUEL GAS LINE ON THE DOWNSTREAM SIDE OF THE UTILITY METER AND BE RIGIDLY CONNECTED TO THE EXTERIOR OF THE BUILDING OR STRUCTURE CONTAINING THE FUEL GAS PIPING

8. RETAINING WALL AND FOUNDATION DRAINAGE SHALL BE CONVEYED THROUGH PIPING DIRECTLY TO A POINT OF DISCHARGE AT THE DRAINAGE CHANNEL
9. PROVIDE POSITIVE DRAINAGE AWAY FROM ALL STRUCTURES
10. ALL EXTERIOR STAIR TREADS, LANDINGS, DECKS AND PAD/PRAWERS SHALL BE SLOPED TO DRAIN
11. AT LEAST 20% OF ALL VISIBLE PORTIONS OF A REQUIRED FRONT OR CORNER SIDE YARD ADJOINING A STREET SHALL BE PLANTING AREA (MIMIC 19.2.008 (D)). EXCEPTION: THE SUPERIOR OF COMMUNITY DEVELOPMENT MAY GRANT AN EXCEPTION FOR A PORTION OF THE AMOUNT OF REQUIRED LANDSCAPING, NOT TO EXCEED 75% OF THE TOTAL, IN ORDER TO ACCOMMODATE DRIVEWAYS AND WALKWAYS
12. VISIBILITY OF A DRIVEWAY CROSSING A STREET PROPERTY LINE SHALL NOT BE BLOCKED BETWEEN A HEIGHT OF 3' AND 9' FOR A DEPTH OF 5' FROM THE STREET PROPERTY LINE AS VIEWED FROM THE EDGE OF THE RIGHT-OF-WAY ON EITHER SIDE OF THE DRIVEWAY AT A DISTANCE OF 15' OR AT THE NEAREST PROPERTY LINE INTERSECTION OF THE STREET PROPERTY LINE, WHICHEVER IS LESS (MIMIC 10.64.150)
13. FIRE SPRINKLER SYSTEM ON SEPARATE PERMIT.

SITE PLAN NOTES

- (1) RAISED PLANTER
- (2) (E) WATER METER, TO REMAIN
- (3) (E) CABLE T.V., TO REMAIN
- (4) ELECTRICAL METER, 200 AMP PANEL MAX OR ADDITIONAL ELECTRICAL INFORMATION REQUIRED. PROVIDE ADEQUATE SCREENING PER SECTION 10.60.090(C)
- (5) GAS METER, PROVIDE ADEQUATE SCREENING PER SECTION 10.60.090(C)
- (6) OUTDOOR SHOWER
- (7) JACUZZI
- (8) RETAINING WALL
- (9) OUTDOOR FIRE PLACE TO COMPLY WITH MANHATTAN BEACH REQUIREMENTS
- (10) FIRE SPRINKLER EQUIPMENT LOCATION
- (11) DECK
- (12) DRAINAGE
- (13) PAVED CONCRETE WALKWAY



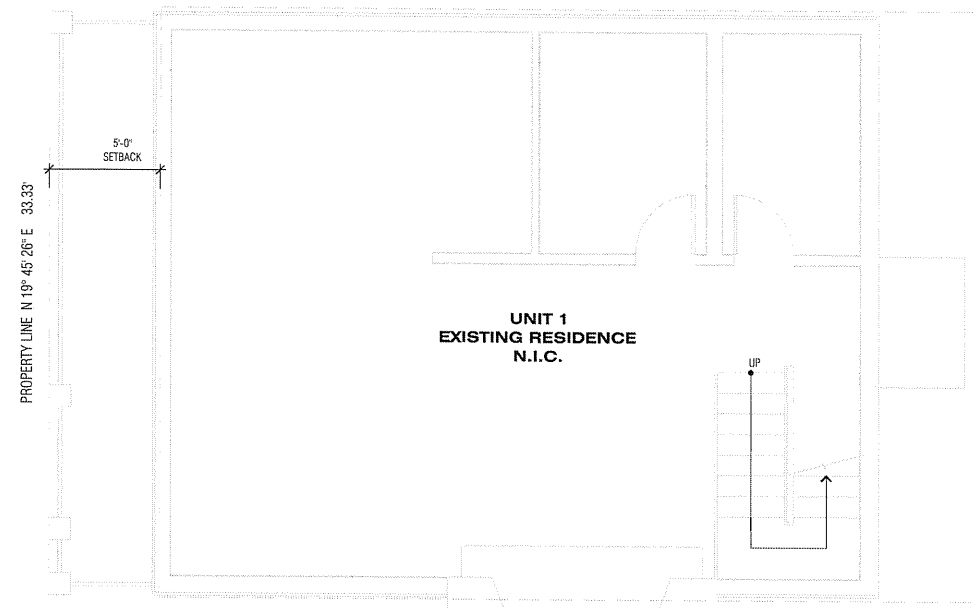
1 SITE PLAN
 SCALE: 1/4" = 1'-0"
 GRAPHIC SCALE: 4' 2' 0' 4' 8'
 1/4" = 1'-0" REFERENCE NORTH

THE STRAND

OCEAN DRIVE

SITE PLAN

A1.1



2 BASEMENT FLOOR PLAN (N.I.C. FOR REF. ONLY)
SCALE: 1/4" = 1'-0"

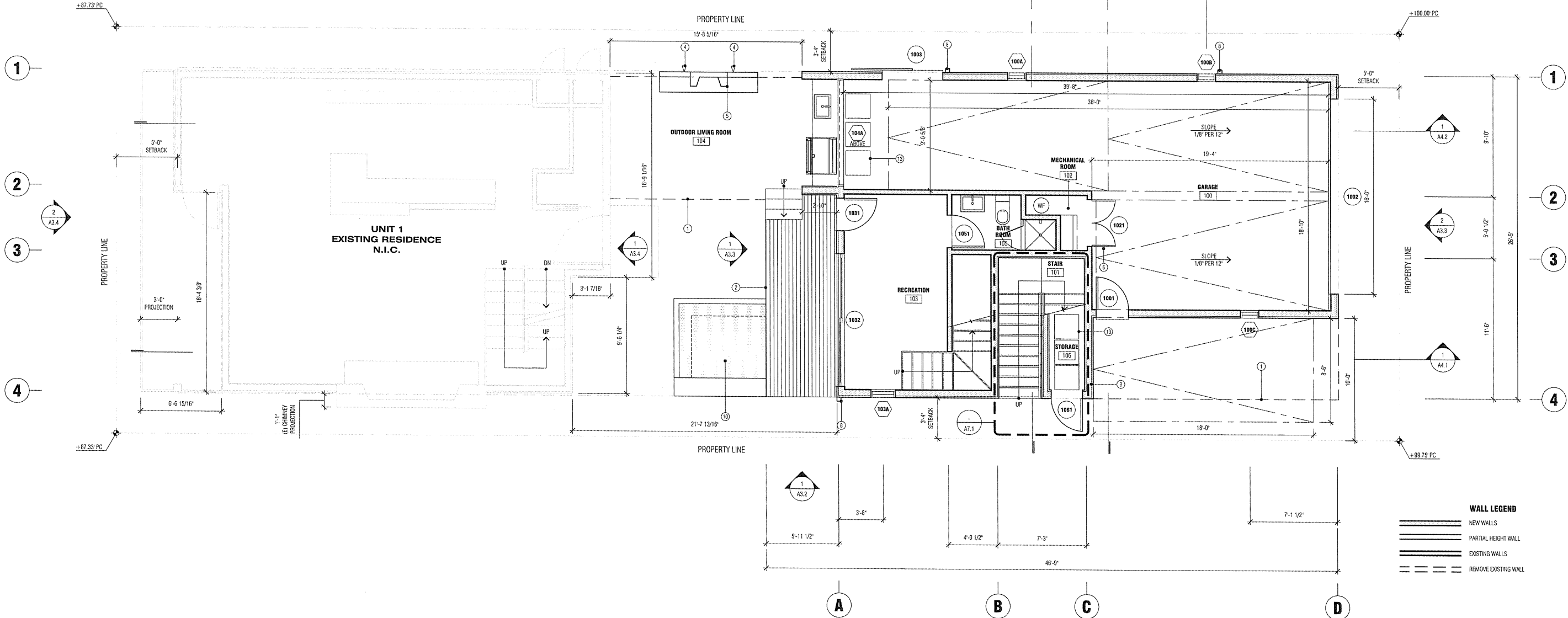
GENERAL PLAN NOTES

- DO NOT SCALE FROM DRAWINGS
- ALL PLAN DIMENSIONS ARE TO FACE OF FRAMING, UNO
- ALL CASEWORK DIMENSIONS ARE TO FACE OF FINISH WALL, UNO
- ANY INCONSISTENCIES OR UNOBTAINABLE CONDITIONS ARE TO BE BROUGHT TO THE ATTENTION OF THE ARCHITECT AND ARE TO BE REVIEWED BY THE ARCHITECT PRIOR TO PROCEEDING WITH CONSTRUCTION
- WASHER AND DRYER 4" MINIMUM DRYER VENT: 1 1/4" MAXIMUM WITH TWO 90 DEGREE BENDS FOR SMOOTH METAL DUCT. REDUCE 2" FOR EVERY ELBOW IN EXCESS OF 2. 8" MAXIMUM FOR FLEX DUCT CONNECTOR. GROUND ALL EQUIPMENT. MOISTURE EXHAUST DUCTS SHALL TERMINATE OUTSIDE THE BUILDING AND HAVE A BACK-DRAFT DAMPERS
- SMOKE DETECTORS 120V WITH BATTERY BACK-UP IS REQUIRED IN ALL SLEEPING ROOMS AND HALLWAYS TO SLEEPING ROOMS
- BATHROOMS SHALL HAVE MECHANICAL VENTILATION PROVIDING 5 AIR CHANGES PER HOUR, MINIMUM
- ALL GLASS SHOWER AND TUB ENCLOSURES SHALL BE TEMPERED. WINDOWS AT SHOWERS AND TUBS SHALL BE TEMPERED IF LESS THAN 60" ABOVE A STANDING SURFACE AND DRAIN INLET
- ALL WET WALLS TO BE SHEATHED WITH WATER RESISTANT GYPSUM WALLBOARD. SHOWERS AND WALLS ABOVE BATHTUBS WITH SHOWER HEADS SHALL BE FINISHED WITH A SMOOTH, NONABSORBENT SURFACE TO A HEIGHT NOT LESS THAN 70" ABOVE THE DRAIN INLET

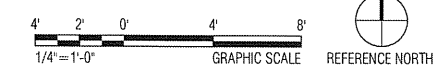
- CONTRACTOR SHALL PROVIDE ADEQUATE WEATHER PROTECTION FOR THE BUILDING AND ITS CONTENTS DURING THE COURSE OF THE WORK
- CONTRACTOR SHALL PROVIDE TEMPORARY SANITARY FACILITIES AS TO LEAST IMPACT NEIGHBORS AND AS DIRECTED BY CITY REGULATIONS
- REQUIRED PARKING AREA IS TO BE 9'x19' AND 9'x36' CLEAR OF ANY OBSTRUCTIONS NOT LESS THAN 7 FEET ABOVE THE FINISH FLOOR TO ANY CEILING, BEAM, PIPE, VENT, MECHANICAL EQUIPMENT OR SIMILAR CONSTRUCTION (MSMG 10.64.100 C).
EXCEPTION: AUTOMATIC GARAGE DOOR OPENING EQUIPMENT AND THE GARAGE DOOR ENTRANCE MAY BE 6.67'

FLOOR PLAN NOTES

- LINE OF FLOOR ABOVE
- LINE OF DECK ABOVE
- DOUBLE WALL SEPARATING UNITS
- OUTDOOR SHOWER
- OUTDOOR FIREPLACE TO COMPLY WITH MANHATTAN BEACH REQUIREMENTS
- ACCESS DOOR TO STORAGE
- LINE OF TRILLES ABOVE
- DOWN SPOUT
- BUILT IN SEATING
- OUTDOOR HOT TUB
- AWNING
- STACKED WASHER/DRYER
- TRASH STORAGE



1 FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"



WALL LEGEND

	NEW WALLS
	PARTIAL HEIGHT WALL
	EXISTING WALLS
	REMOVE EXISTING WALL

NOT FOR CONSTRUCTION

DATE	01-25-2023	ISSUED FOR PERMITS SUBMITTAL
DATE	02-15-2023	ISSUED FOR PERMITS CHECK
DATE	02-15-2023	ISSUED FOR PERMITS CHECK
DATE	02-15-2023	ISSUED FOR PERMITS CHECK

GENERAL PLAN NOTES

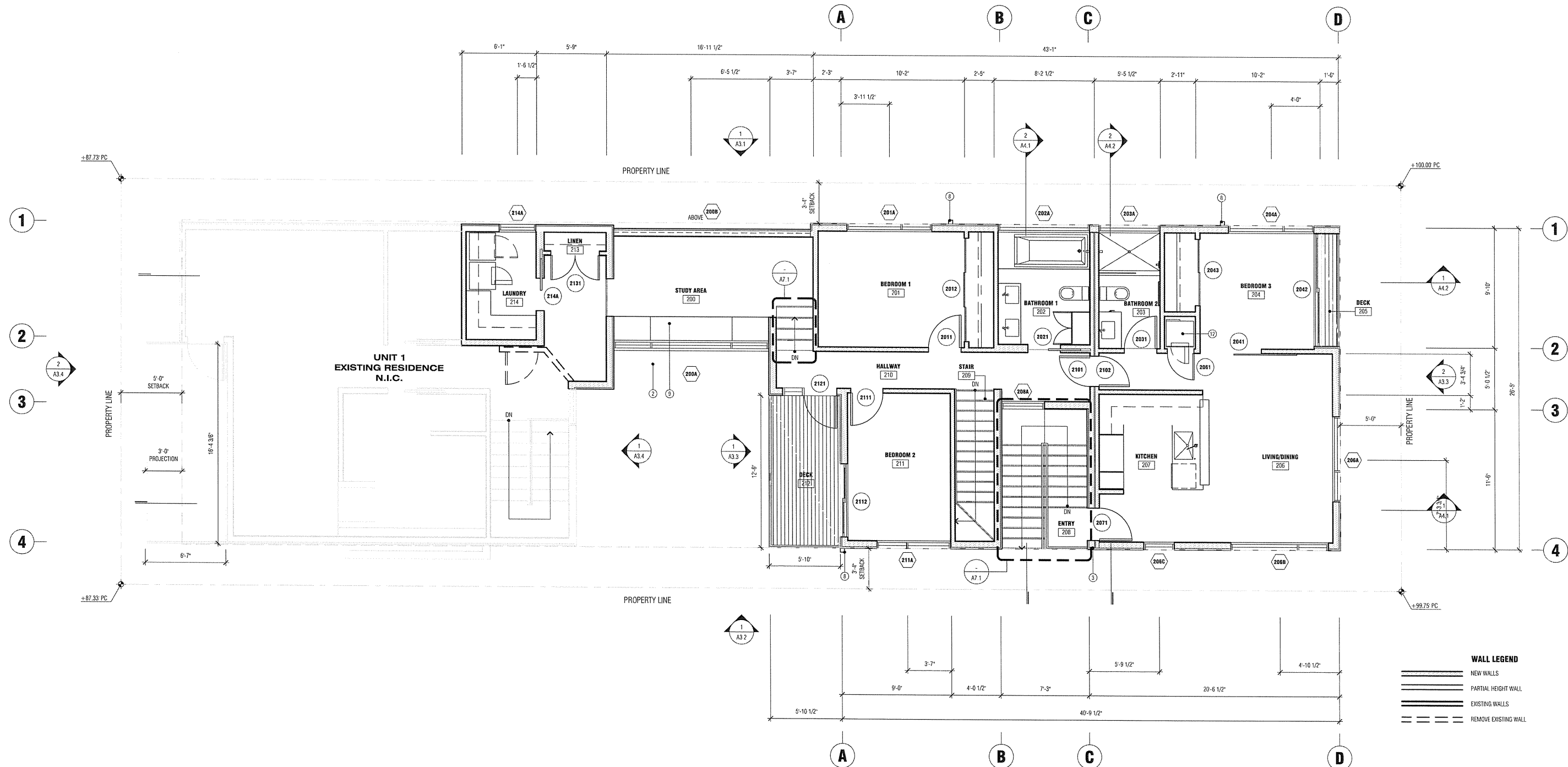
- DO NOT SCALE FROM DRAWINGS
- ALL PLAN DIMENSIONS ARE TO FACE OF FRAMING, UNO
- ALL CASEWORK DIMENSIONS ARE TO FACE OF FINISH WALL, UNO
- ANY INCONSISTENCIES OR UNFORESEEN CONDITIONS ARE TO BE BROUGHT TO THE ATTENTION OF THE ARCHITECT AND ARE TO BE REVIEWED BY THE ARCHITECT PRIOR TO PROCEEDING WITH CONSTRUCTION
- WASHER AND DRYER 4" MINIMUM DRYER VENT, 14" MAXIMUM WITH TWO 90 DEGREE BENDS FOR SMOOTH METAL DUCT. REDUCE 2" FOR EVERY ELBOW IN EXCESS OF 2' 6" MAXIMUM FOR FLEX DUCT CONNECTOR. GROUND ALL EQUIPMENT. MOISTURE EXHAUST DUCTS SHALL TERMINATE OUTSIDE THE BUILDING AND HAVE A BACK-DRAFT DAMPERS

- SMOKE DETECTORS 120V WITH BATTERY BACK-UP IS REQUIRED IN ALL SLEEPING ROOMS AND HALLWAYS TO SLEEPING ROOMS
- BATHROOMS SHALL HAVE MECHANICAL VENTILATION PROVIDING 5 AIR CHANGES PER HOUR, MINIMUM
- ALL GLASS SHOWER AND TUB ENCLOSURES SHALL BE TEMPERED. WINDOWS AT SHOWERS AND TUBS SHALL BE TEMPERED IF LESS THAN 60" ABOVE A STANDING SURFACE AND DRAIN INLET
- ALL WET WALLS TO BE SHEATHED WITH WATER RESISTANT GYPSUM WALLBOARD. SHOWERS AND WALLS ABOVE BATHTUBS WITH SHOWER HEADS SHALL BE FINISHED WITH A SMOOTH, NONABSORBENT SURFACE TO A HEIGHT NOT LESS THAN 70" ABOVE THE DRAIN INLET

- CONTRACTOR SHALL PROVIDE ADEQUATE WEATHER PROTECTION FOR THE BUILDING AND ITS CONTENTS DURING THE COURSE OF THE WORK
- THE CONTRACTOR SHALL PROVIDE TEMPORARY SANITARY FACILITIES AS TO LEAST IMPACT NEIGHBORS AND AS DIRECTED BY CITY REGULATIONS
- REQUIRED PARKING AREA IS TO BE 9x19' AND 9x30' CLEAR OF ANY OBSTRUCTIONS NOT LESS THAN 7 FEET ABOVE THE FINISH FLOOR TO ANY CONSTRUCTION (NMAC 10.64.140 C).
EXCEPTION: AUTOMATIC GARAGE DOOR OPENING EQUIPMENT AND THE GARAGE DOOR ENTRANCE MAY BE 6.67'

FLOOR PLAN NOTES

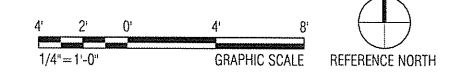
- | | |
|---|------------------------|
| ① LINE OF FLOOR ABOVE | ⑩ BUILT IN SEATING |
| ② LINE OF DECK ABOVE | ⑪ OUTDOOR HOT TUB |
| ③ DOUBLE WALL SEPARATING UNITS | ⑫ AWNING |
| ④ OUTDOOR SHOWER | ⑬ STACKED WASHER/DRYER |
| ⑤ OUTDOOR FIREPLACE TO COMPLY WITH MANHATTAN BEACH REQUIREMENTS | ⑭ TRASH STORAGE |
| ⑥ ACCESS DOOR TO STORAGE | |
| ⑦ LINE OF TRELIS ABOVE | |
| ⑧ DOWN SPOUT | |



WALL LEGEND

	NEW WALLS
	PARTIAL HEIGHT WALL
	EXISTING WALLS
	REMOVE EXISTING WALL

1 SECOND FLOOR PLAN
SCALE: 1/4" = 1'-0"



NOT FOR CONSTRUCTION

DATE	DESCRIPTION	BY	CHK
01-26-2013	ISSUED FOR PLANNING SUBMITTAL
02-12-2013	ISSUED FOR REVIEW
02-12-2013	ISSUED FOR PLAN CHECK
05-16-2013	ISSUED FOR PLAN CHECK

GENERAL PLAN NOTES

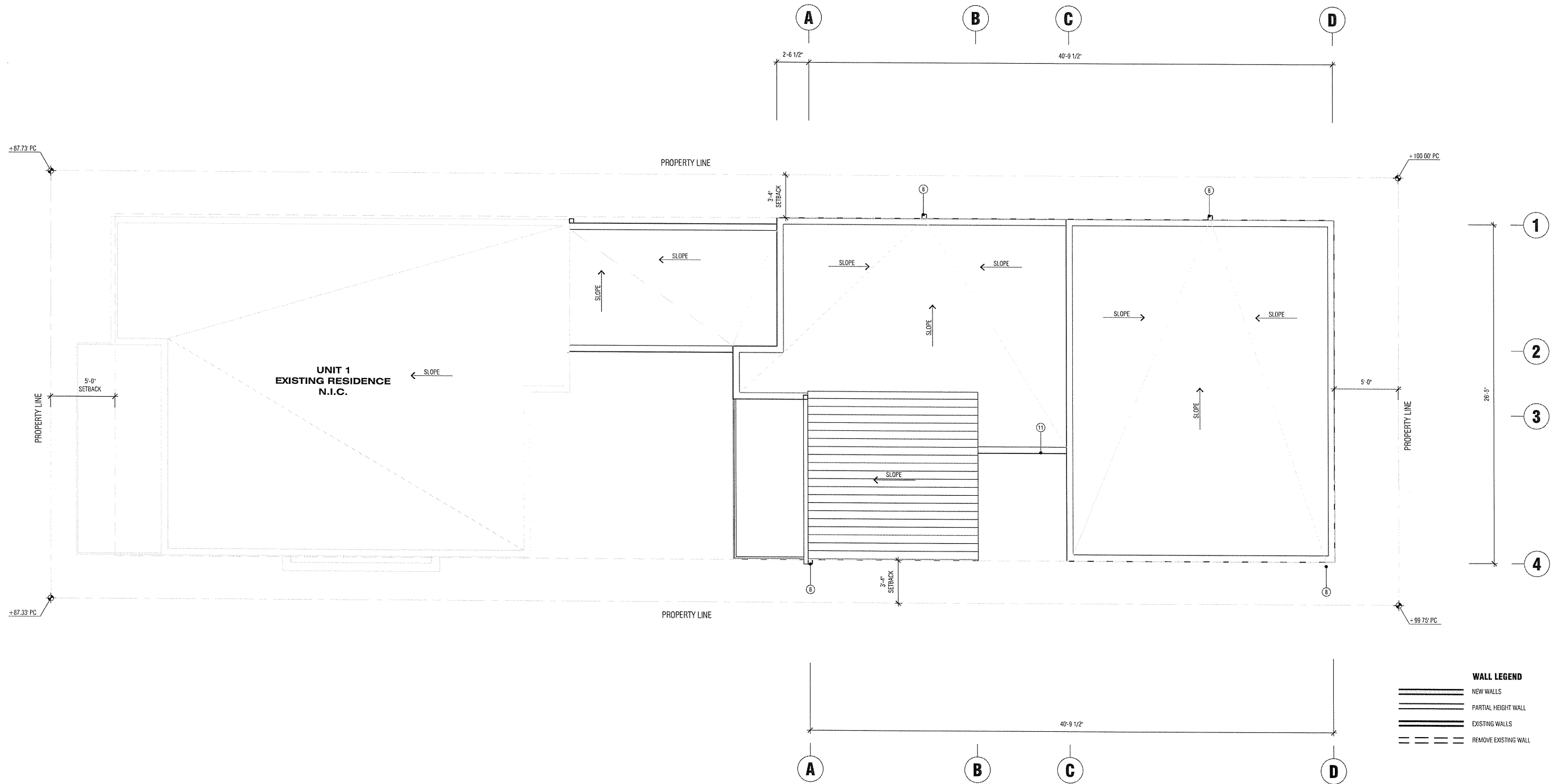
- DO NOT SCALE FROM DRAWINGS
- ALL PLAN DIMENSIONS ARE TO FACE OF FRAMING, UNO
- ALL CASEWORK DIMENSIONS ARE TO FACE OF FINISH WALL, UNO
- ANY INCONSISTENCIES OR UNFORESEEN CONDITIONS ARE TO BE BROUGHT TO THE ATTENTION OF THE ARCHITECT AND ARE TO BE REVIEWED BY THE ARCHITECT PRIOR TO PROCEEDING WITH CONSTRUCTION
- WASHER AND DRYER 4" MINIMUM DRYER VENT, 14" MAXIMUM WITH TWO 90 DEGREE BENDS FOR SMOOTH METAL DUCT, REDUCE 2" FOR EVERY ELBOW IN EXCESS OF 2. 6" MAXIMUM FOR FLEX DUCT CONNECTOR. GROUND ALL EQUIPMENT. MOISTURE EXHAUST DUCTS SHALL TERMINATE OUTSIDE THE BUILDING AND HAVE A BACK-DRAFT DAMPERS

- SMOKE DETECTORS 120V WITH BATTERY BACK-UP IS REQUIRED IN ALL SLEEPING ROOMS AND HALLWAYS TO SLEEPING ROOMS
- BATHROOMS SHALL HAVE MECHANICAL VENTILATION PROVIDING 5 AIR CHANGES PER HOUR, MINIMUM
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- ALL WET WALLS TO BE SHEATHED WITH WATER RESISTANT GYPSUM WALLBOARD. SHOWERS AND WALLS ABOVE BATH/TUBS WITH SHOWER HEADS SHALL BE FINISHED WITH A SMOOTH, NONABSORBENT SURFACE TO A HEIGHT NOT LESS THAN 70" ABOVE THE DRAIN INLET

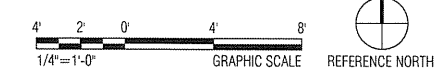
- CONTRACTOR SHALL PROVIDE ADEQUATE WEATHER PROTECTION FOR THE BUILDING AND ITS CONTENTS DURING THE COURSE OF THE WORK
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EXCEPTION: AUTOMATIC GARAGE DOOR OPENING EQUIPMENT AND THE GARAGE DOOR ENTRANCE MAY BE 6 FT.

FLOOR PLAN NOTES

- LINE OF FLOOR ABOVE
- LINE OF DECK ABOVE
- DOUBLE WALL SEPARATING UNITS
- OUTDOOR SHOWER
- OUTDOOR FIREPLACE TO COMPLY WITH MANHATTAN BEACH REQUIREMENTS
- ACCESS DOOR TO STORAGE
- LINE OF TRELLIS ABOVE
- DOWN SPOUT
- BUILT IN SEATING
- OUTDOOR HOT TUB
- AWNING
- STACKED WASHER/DRYER
- TRASH STORAGE



1 ROOF PLAN
SCALE: 1/4" = 1'-0"



DATE	ISSUED FOR	BY	FOR
01-17-2013	ISSUED FOR REVIEW		
01-28-2013	ISSUED FOR PLANNING SUBMITTAL		
02-12-2013	ISSUED FOR REVIEW		
02-12-2013	ISSUED FOR CHECK		

NOT FOR CONSTRUCTION

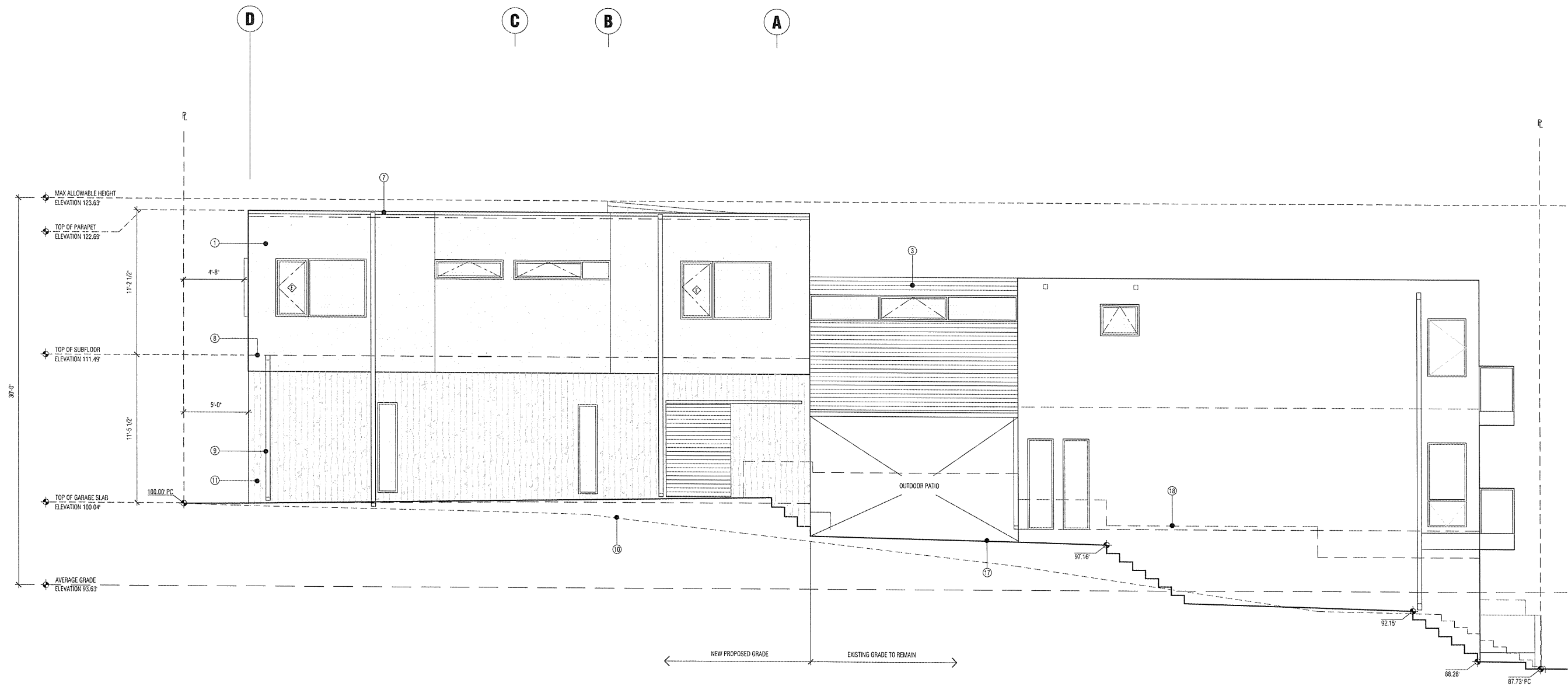
GENERAL ELEVATIONS NOTES

- 1 REFER TO SHEET SP-1 FOR ADDITIONAL DRAWING NOTES AND SPECIFICATIONS.
- 2 DETAIL DRAWINGS ALWAYS TAKE PRECEDENCE OVER LARGER SCALED DRAWINGS.
- 3 THE RIDGE HEIGHT AND/OR HIGHEST POINT OF THE ROOF STRUCTURE, INCLUDING PARAPETS SHALL BE CERTIFIED BY A LICENSED SURVEYOR ON A FORM PROVIDED BY THE CITY PRIOR TO APPROVAL OF THE ROOF FRAMING/SHEATHING BY THE DEPARTMENT OF BUILDING AND SAFETY AS REQUIRED.
- 4 PARAPETS, SATELLITE ANTENNAE, GUARD RAILS, SKYLIGHTS, AND ROOF EQUIPMENT MUST BE WITHIN HEIGHT LIMIT.
- 5 ROOF DRAINS AND OVERFLOW DRAINS SHALL BE SIZED ACCORDING TO CHAPTER 11 OF THE LAPC.
- 6 THE ROOF DRAIN AND OVERFLOW DRAIN MUST BE INDEPENDENT LINES TO A YARD BOX.
- 7 OVERFLOW SCUPPERS SHALL BE DESIGNED IN ACCORDANCE TO TABLE 11-1 OF THE LAPC.
- 8 TOP OF CHIMNEYS SHALL EXTEND NOT LESS THAN 2 FEET ABOVE ANY PART OF THE BUILDING WITHIN 10 FEET BUT SHALL NOT BE LESS THAN 3 FEET PASSING THROUGH THE ROOF. (2113.9)
- 9 PROVIDE AN APPROVED SPARK ARRESTOR FOR THE CHIMNEY OF A FIREPLACE, STOVE OR BARBECUE (2113.9.1)

- 10 DRAFT STOP SHALL BE PROVIDED WITHIN A CONCEALED FLOOR-CEILING ASSEMBLY FORMED OF COMBUSTIBLE CONSTRUCTION, UNLESS THE BUILDING IS SPRINKLERED WITH NFPA 13 SPRINKLER SYSTEM (1000 SF BETWEEN DRAFT STOPS). (717.3.2 & 3)
- 11 DRAFT STOPS SHALL BE PROVIDED WITHIN ATTICS, MANSARDS, OVERHANGS AND SIMILAR CONCEALED SPACES FORMED OF COMBUSTIBLE CONSTRUCTIONS, UNLESS THE BUILDING IS SPRINKLERED WITH NFPA13 SPRINKLER SYSTEM (3000 SF BETWEEN DRAFT STOPS). (717.4.3)
- 12 ATTIC VENTILATION OF 1:150 OF THE AREA OF VENTILATED SPACE (APPROXIMATELY 10 SQ. IN. FOR EACH 10 SQ. FT. OF ATTIC AREA) IS REQUIRED. (1203.2)

NUMBERED NOTES

- | | |
|---|--------------------------------------|
| ① INTEGRAL COLOR SMOOTH COAT STUCCO, COLOR 1, TBD | ⑩ LINE OF ADJACENT GRADE |
| ② INTEGRAL COLOR SMOOTH COAT STUCCO, COLOR 2, TBD | ⑪ BOARD-FORMED CONCRETE |
| ③ WOOD SIDING | ⑫ OUTDOOR LIGHTING FIXTURE, TBD |
| ④ HARDWOOD TRIM, TBD | ⑬ AWNING |
| ⑤ PAINTED WIRE MESH GUARDRAIL, 42" AFF | ⑭ WOOD CABINET |
| ⑥ PAINTED METAL PANEL | ⑮ OUTDOOR GRILL |
| ⑦ METAL PARAPET TRIM | ⑯ (E) WALL TO REMOVE |
| ⑧ FINISH FLOOR LINE | ⑰ PROPOSED GRADE |
| ⑨ DOWNSPOUT LEADER | ⑱ EXISTING WALL TO REMAIN |
| | ⊕ DENOTES WINDOW IS EGRESS COMPLIANT |



1 NORTH ELEVATION
SCALE: 1/4" = 1'-0"



DATE	DESCRIPTION
01-25-2013	ISSUED FOR PLANNING SUBMITTAL
02-25-2013	ISSUED FOR REVIEW
03-15-2013	ISSUED FOR PERMIT CHECK
04-18-2013	ISSUED FOR EIGHT PERMITS
DATE	DESCRIPTION
01-25-2013	NOT FOR CONSTRUCTION
DATE	DESCRIPTION
01-25-2013	PROJECT
DATE	DESCRIPTION
01-25-2013	JOB

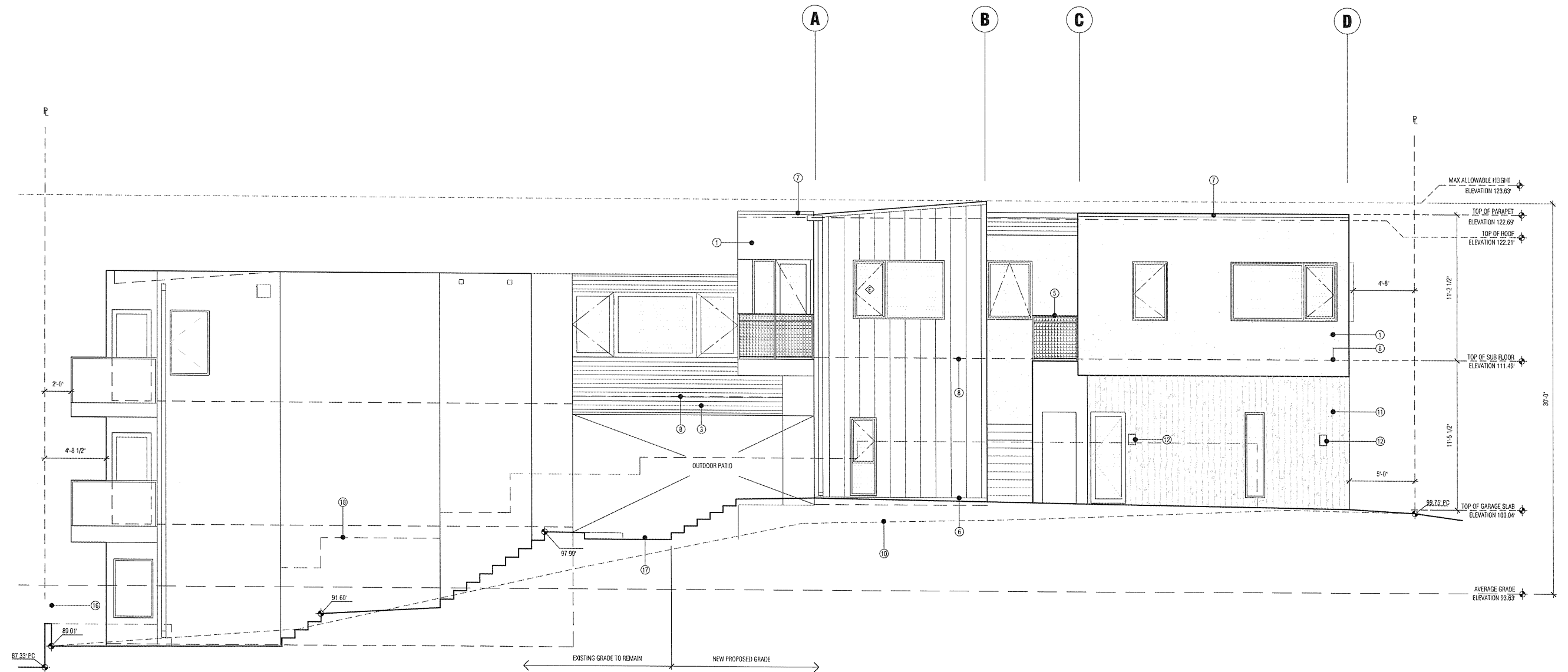
GENERAL ELEVATIONS NOTES

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- 2 DETAIL DRAWINGS ALWAYS TAKE PRECEDENCE OVER LARGER SCALED DRAWINGS.
- 3 THE RIDGE HEIGHT AND/OR HIGHEST POINT OF THE ROOF STRUCTURE, INCLUDING PARAPETS SHALL BE CERTIFIED BY A LICENSED SURVEYOR ON A FORM PROVIDED BY THE CITY PRIOR TO APPROVAL OF THE ROOF FRAMING/SHEDDING BY THE DEPARTMENT OF BUILDING AND SAFETY AS REQUIRED.
- 4 PARAPETS, SATELLITE ANTENNAE, GUARD RAILS, SKYLIGHTS, AND ROOF EQUIPMENT MUST BE WITHIN HEIGHT LIMIT.
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- 9 PROVIDE AN APPROVED SPARK ARRESTOR FOR THE CHIMNEY OF A FIREPLACE, STOVE OR BARBECUE. (2113.9.1)

- 10 DRAFT STOP SHALL BE PROVIDED WITHIN A CONCEALED FLOOR-CEILING ASSEMBLY FORMED OF COMBUSTIBLE CONSTRUCTION, UNLESS THE BUILDING IS SPRINKLERED WITH NFPA 13 SPRINKLER SYSTEM (1000 SF BETWEEN DRAFT STOPS). (717.3.2 & 3)
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- 12 ATTIC VENTILATION OF 1/150 OF THE AREA OF VENTILATED SPACE (APPROXIMATELY 10 SQ. IN. FOR EACH 10 SQ. FT. OF ATTIC AREA) IS REQUIRED. (1203.2)

NUMBERED NOTES

- | | |
|---|---------------------------------|
| ① INTEGRAL COLOR SMOOTH COAT STUCCO, COLOR 1, TBD | ⑩ LINE OF ADJACENT GRADE |
| ② INTEGRAL COLOR SMOOTH COAT STUCCO, COLOR 2, TBD | ⑪ BOARD-FORMED CONCRETE |
| ③ WOOD SIDING | ⑫ OUTDOOR LIGHTING FIXTURE, TBD |
| ④ HARDWOOD TRIM, TBD | ⑬ AWNING |
| ⑤ PAINTED WIRE MESH GUARDRAIL, 42" AFF | ⑭ WOOD CABINET |
| ⑥ PAINTED METAL PANEL | ⑮ OUTDOOR GRILL |
| ⑦ METAL PARAPET TRIM | ⑯ (E) WALL TO REMOVE |
| ⑧ FINISH FLOOR LINE | ⑰ PROPOSED GRADE |
| ⑨ DOWNSPOUT LEADER | ⑱ EXISTING WALL TO REMAIN |
- ⬠ DENOTES WINDOW IS EGRESS COMPLIANT



1 SOUTH ELEVATION

SCALE: 1/4" = 1'-0"



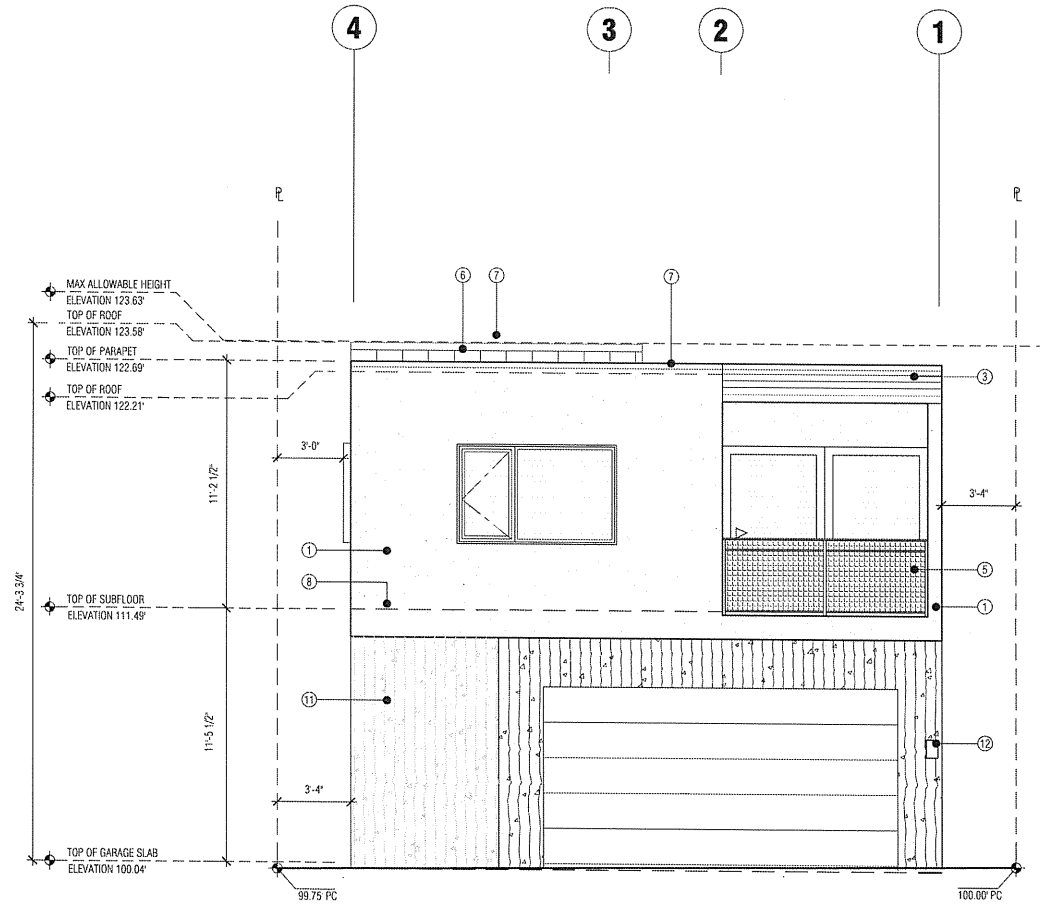
GENERAL ELEVATIONS NOTES

- 1 REFER TO SHEET SP-1 FOR ADDITIONAL DRAWING NOTES AND SPECIFICATIONS.
- 2 DETAIL DRAWINGS ALWAYS TAKE PRECEDENCE OVER LARGER SCALED DRAWINGS.
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- 6 THE ROOF DRAIN AND OVERFLOW DRAIN MUST BE INDEPENDENT LINES TO A YARD BOX.
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- 8 TOP OF CHIMNEYS SHALL EXTEND NOT LESS THAN 2 FEET ABOVE ANY PART OF THE BUILDING WITHIN 10 FEET BUT SHALL NOT BE LESS THAN 3 FEET PASSING THROUGH THE ROOF. (2113.9)
- 9 PROVIDE AN APPROVED SPARK ARRESTOR FOR THE CHIMNEY OF A FIREPLACE, STOVE OR BARBECUE. (2113.9.1)

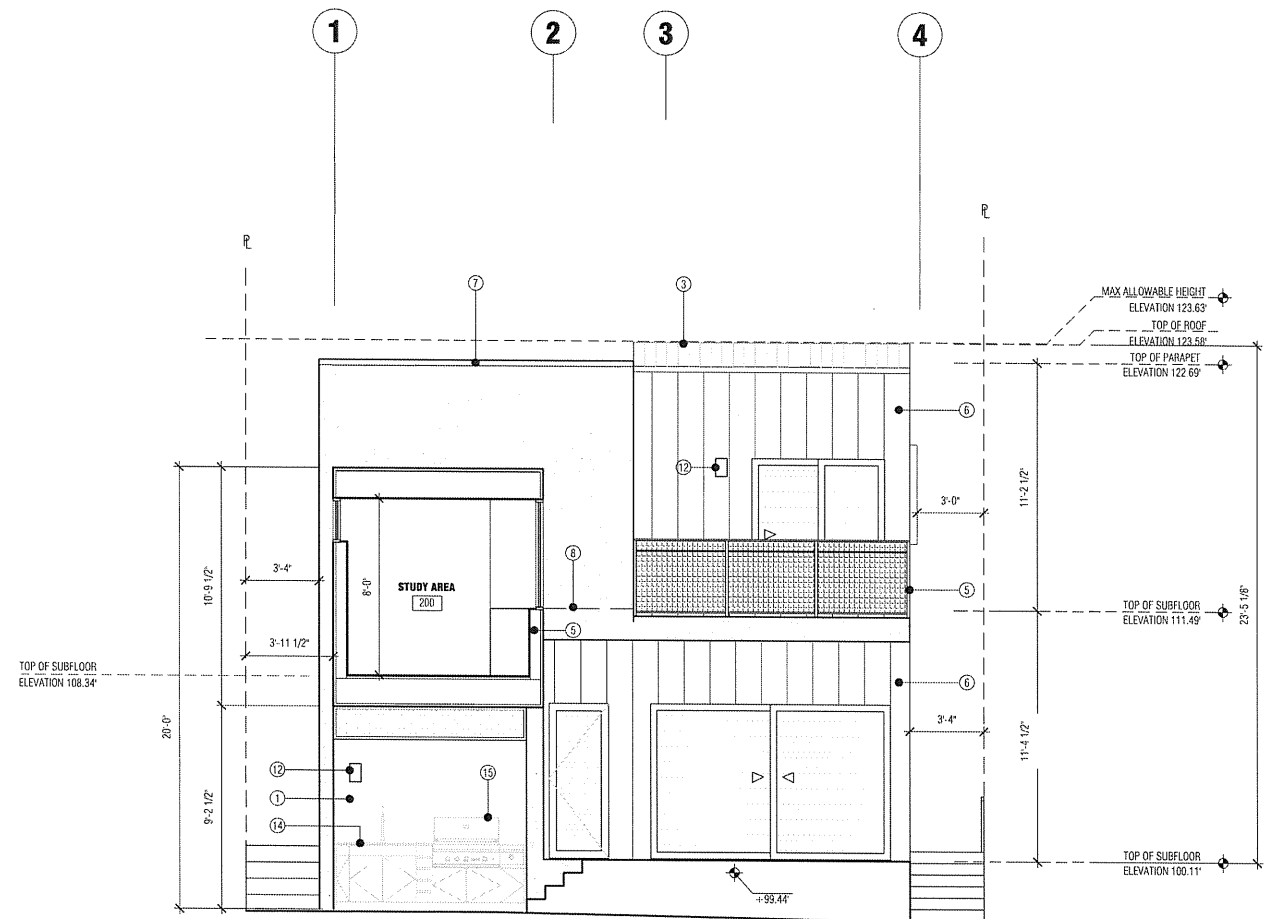
- 10 DRAFT STOP SHALL BE PROVIDED WITHIN A CONCEALED FLOOR-CEILING ASSEMBLY FORMED OF COMBUSTIBLE CONSTRUCTION, UNLESS THE BUILDING IS SPRINKLERED WITH NFPA 13 SPRINKLER SYSTEM (1000 SF BETWEEN DRAFT STOPS). (717.3.2 & 3)
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NUMBERED NOTES

- | | |
|---|---------------------------------|
| ① INTEGRAL COLOR SMOOTH COAT STUCCO, COLOR 1, TBD | ⑩ LINE OF ADJACENT GRADE |
| ② INTEGRAL COLOR SMOOTH COAT STUCCO, COLOR 2, TBD | ⑪ BOARD-FORMED CONCRETE |
| ③ WOOD SIDING | ⑫ OUTDOOR LIGHTING FIXTURE, TBD |
| ④ HARDWOOD TRIM, TBD | ⑬ AWNING |
| ⑤ PAINTED WIRE MESH GUARDRAIL, 42" AFF | ⑭ WOOD CABINET |
| ⑥ PAINTED METAL PANEL | ⑮ OUTDOOR GRILL |
| ⑦ METAL PARAPET TRIM | ⑯ (E) WALL TO REMOVE |
| ⑧ FINISH FLOOR LINE | ⑰ PROPOSED GRADE |
| ⑨ DOWNSPOUT LEADER | ⑱ EXISTING WALL TO REMAIN |
- Ⓜ DENOTES WINDOW IS EGRESS COMPLIANT



2 UNIT 1 EAST ELEVATION
SCALE: 1/4" = 1'-0"



1 UNIT 1 WEST ELEVATION
SCALE: 1/4" = 1'-0"



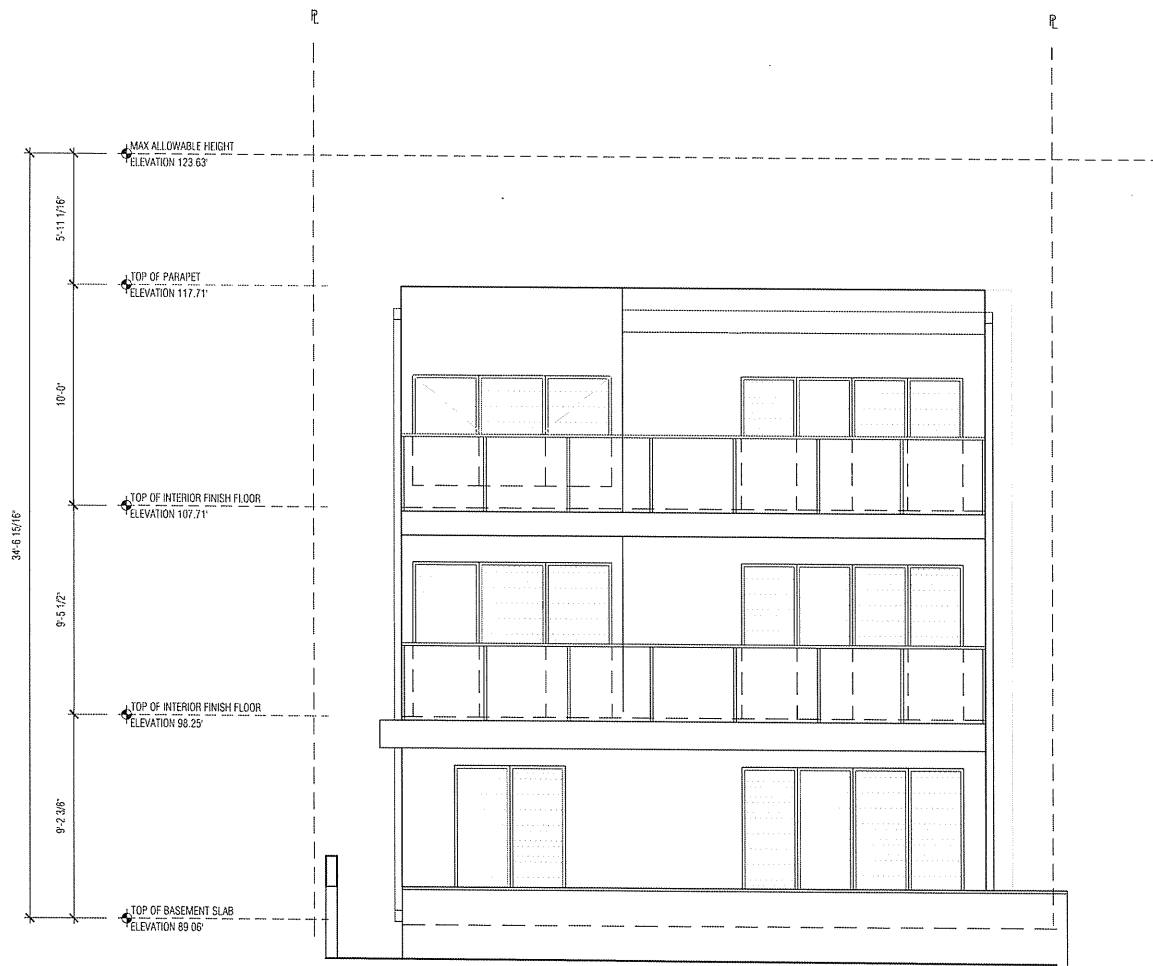
GENERAL ELEVATIONS NOTES

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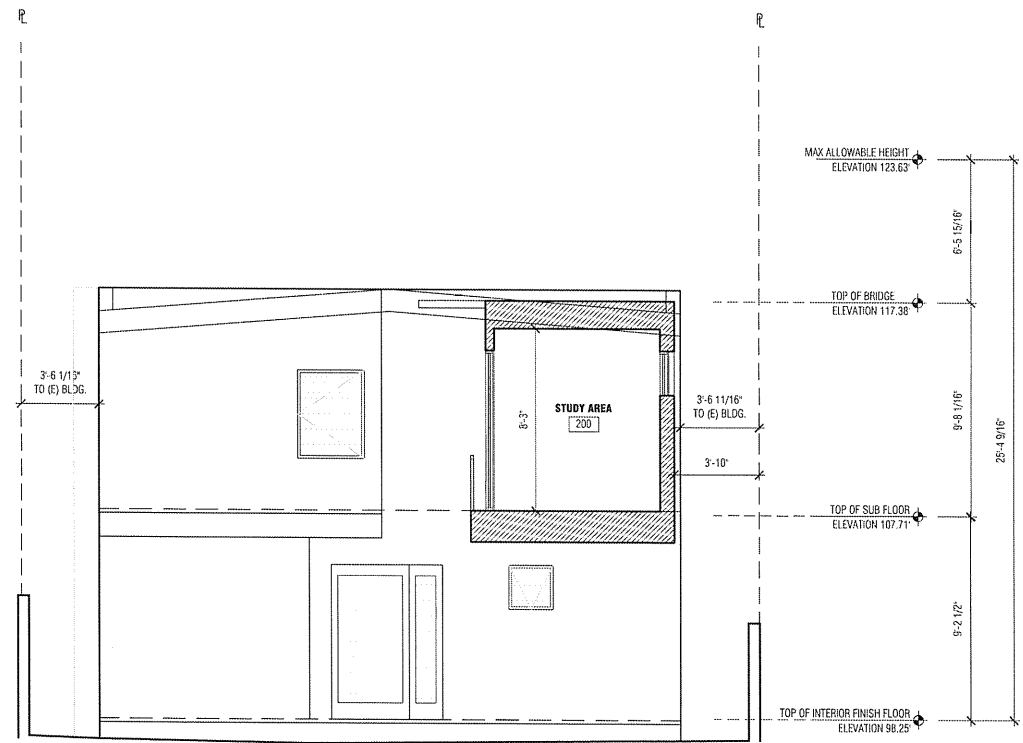
- 10 DRAFT STOP SHALL BE PROVIDED WITHIN A CONCEALED FLOOR/CEILING ASSEMBLY FORMED OF COMBUSTIBLE CONSTRUCTION, UNLESS THE BUILDING IS SPRINKLERED WITH NFPA 13 SPRINKLER SYSTEM (1000 SF BETWEEN DRAFT STOPS). (717.3.2 & 3)
- 11 DRAFT STOPS SHALL BE PROVIDED WITHIN ATTICS, MANSARDS, OVERHANGS AND SIMILAR CONCEALED SPACES FORMED OF COMBUSTIBLE CONSTRUCTIONS, UNLESS THE BUILDING IS SPRINKLERED WITH NFPA 13 SPRINKLER SYSTEM (3000 SF BETWEEN DRAFT STOPS). (717.4.3)
- 12 ATTIC VENTILATION OF 1/150 OF THE AREA OF VENTILATED SPACE (APPROXIMATELY 10 SQ. IN. FOR EACH 10 SQ. FT. OF ATTIC AREA) IS REQUIRED. (1203.2)

NUMBERED NOTES

- | | |
|---|---------------------------------|
| ① INTEGRAL COLOR SMOOTH COAT STUCCO, COLOR 1, TBD | ⑩ LINE OF ADJACENT GRADE |
| ② INTEGRAL COLOR SMOOTH COAT STUCCO, COLOR 2, TBD | ⑪ BOARD-FORMED CONCRETE |
| ③ WOOD SIDING | ⑫ OUTDOOR LIGHTING FIXTURE, TBD |
| ④ HARDWOOD TRIM, TBD | ⑬ AWNING |
| ⑤ PAINTED WIRE MESH GUARDRAIL, 42" AFF | ⑭ WOOD CABINET |
| ⑥ PAINTED METAL PANEL | ⑮ OUTDOOR GRILL |
| ⑦ METAL PARAPET TRIM | ⑯ (E) WALL TO REMOVE |
| ⑧ FINISH FLOOR LINE | ⑰ PROPOSED GRADE |
| ⑨ DOWNSPOUT LEADER | ⑱ EXISTING WALL TO REMAIN |
- ⬇ DENOTES WINDOW IS EGRESS COMPLIANT



2 UNIT 2 WEST ELEVATION (N.I.C. FOR REF. ONLY)
SCALE: 1/4" = 1'-0"



1 UNIT 2 EAST ELEVATION (N.I.C. FOR REF. ONLY)
SCALE: 1/4" = 1'-0"



NATHAN RESIDENCE/ DUPLEX
2808 THE STRAND
MANHATTAN BEACH, CA 90266

NOT FOR CONSTRUCTION

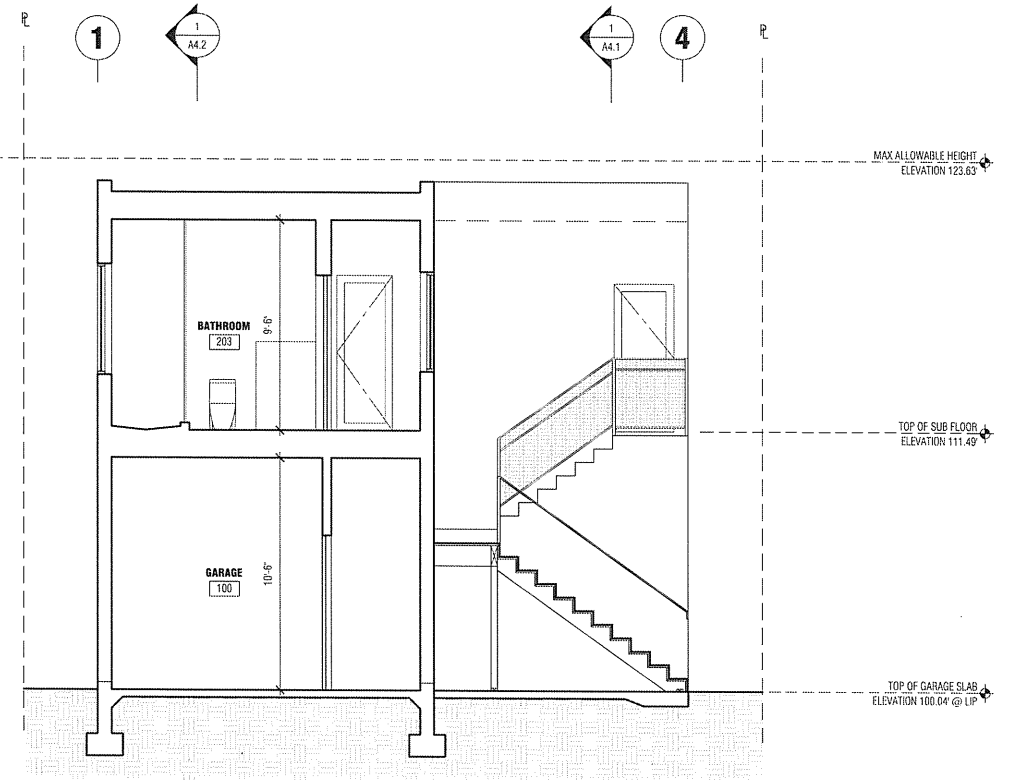
DATE: 11-25-2012
ISSUED FOR REVIEW: 01-17-2013
ISSUED FOR PLANNING SUBMITTAL: 01-28-2013
ISSUED FOR CHECK: 04-18-2013

BUILDING ELEVATIONS

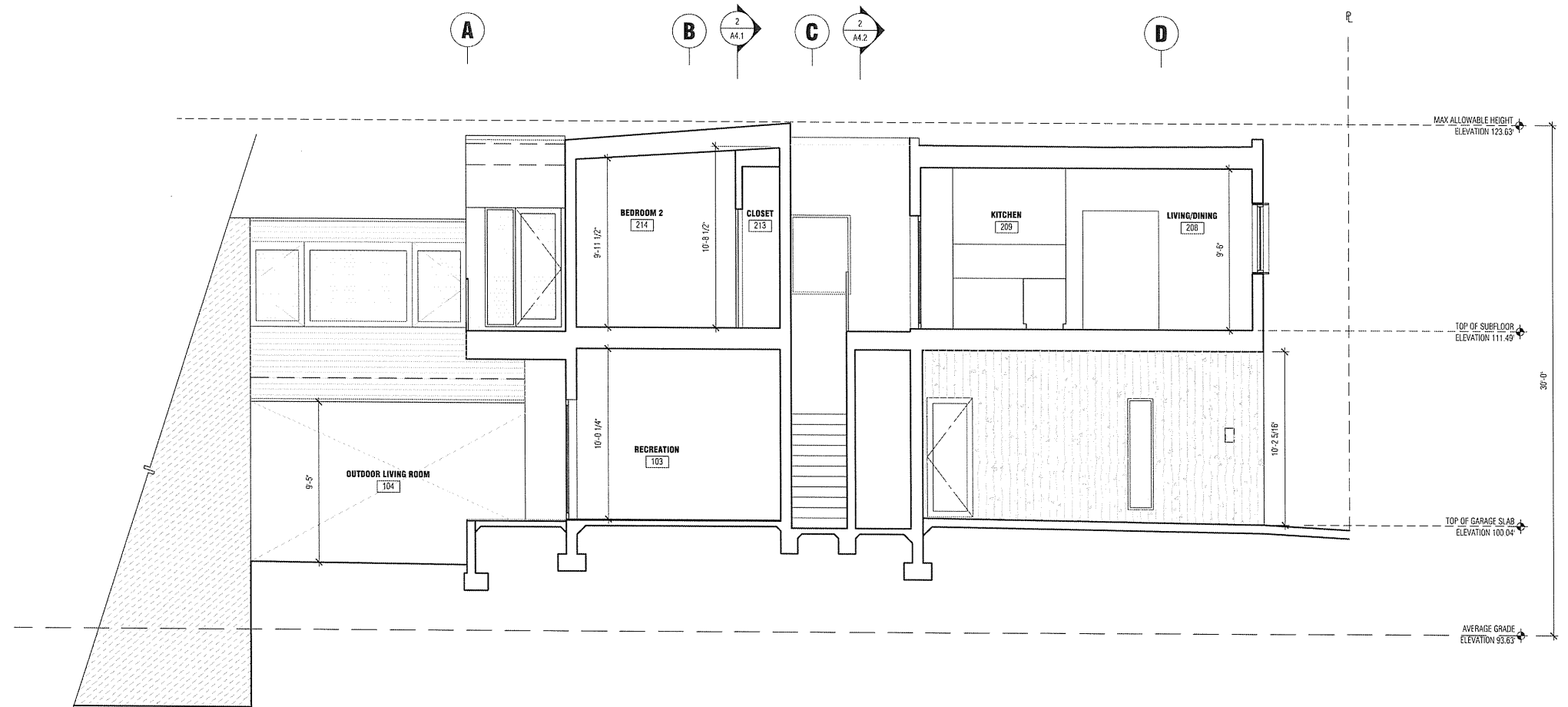
GENERAL ELEVATIONS NOTES

- 1 REFER TO SHEET SP-1 FOR ADDITIONAL DRAWING NOTES AND SPECIFICATIONS.
- 2 DETAIL DRAWINGS ALWAYS TAKE PRECEDENCE OVER LARGER SCALED DRAWINGS.
- 3 THE RIDGE HEIGHT AND/OR HIGHEST POINT OF THE ROOF STRUCTURE, INCLUDING PARAPETS SHALL BE CERTIFIED BY A LICENSED SURVEYOR ON A FORM PROVIDED BY THE CITY PRIOR TO APPROVAL OF THE ROOF FRAMING/SHEATHING BY THE DEPARTMENT OF BUILDING AND SAFETY AS REQUIRED.
- 4 PARAPETS, SATELLITE ANTENNAE, GUARD RAILS, SKYLIGHTS, AND ROOF EQUIPMENT MUST BE WITHIN HEIGHT LIMIT.
- 5 ROOF DRAINS AND OVERFLOW DRAINS SHALL BE SIZED ACCORDING TO CHAPTER 11 OF THE LAC.
- 6 THE ROOF DRAIN AND OVERFLOW DRAIN MUST BE INDEPENDENT LINES TO A YARD BOX.
- 7 OVERFLOW SCUPPERS SHALL BE DESIGNED IN ACCORDANCE TO TABLE 11-1 OF THE LAC.
- 8 TOP OF CHIMNEYS SHALL EXTEND NOT LESS THAN 2 FEET ABOVE ANY PART OF THE BUILDING WITHIN 10 FEET BUT SHALL NOT BE LESS THAN 3 FEET PASSING THROUGH THE ROOF. (2113.9)
- 9 PROVIDE AN APPROVED SPARK ARRESTOR FOR THE CHIMNEY OF A FIREPLACE, STOVE OR BARBEQUE. (2113.9.1)

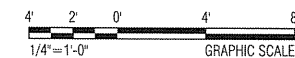
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2 BUILDING SECTIONS
SCALE: 1/4" = 1'-0"



1 BUILDING SECTIONS
SCALE: 1/4" = 1'-0"



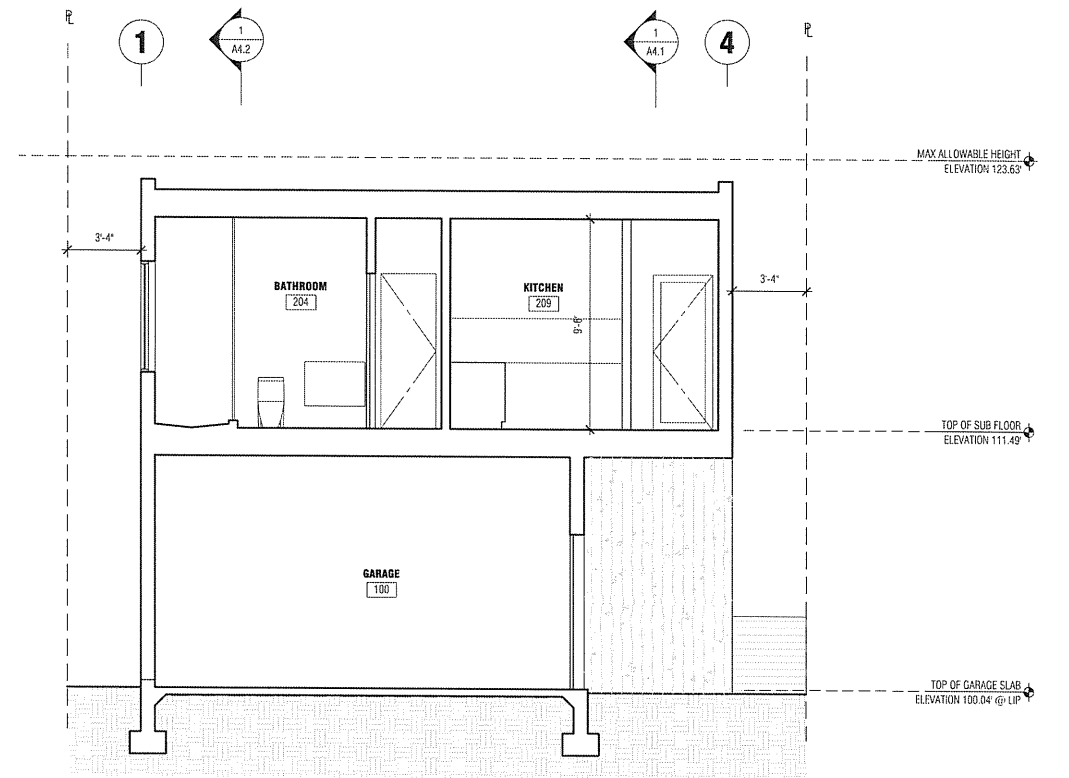
DATE	DESCRIPTION	BY	CHKD
01-26-2013	ISSUED FOR PLANNING SUBMITTAL	DAW	DAW
02-12-2013	ISSUED FOR REVIEW	DAW	DAW
02-19-2013	ISSUED FOR PLAN CHECK	DAW	DAW
04-10-2013	ISSUED FOR PLAN CHECK	DAW	DAW

NOT FOR CONSTRUCTION

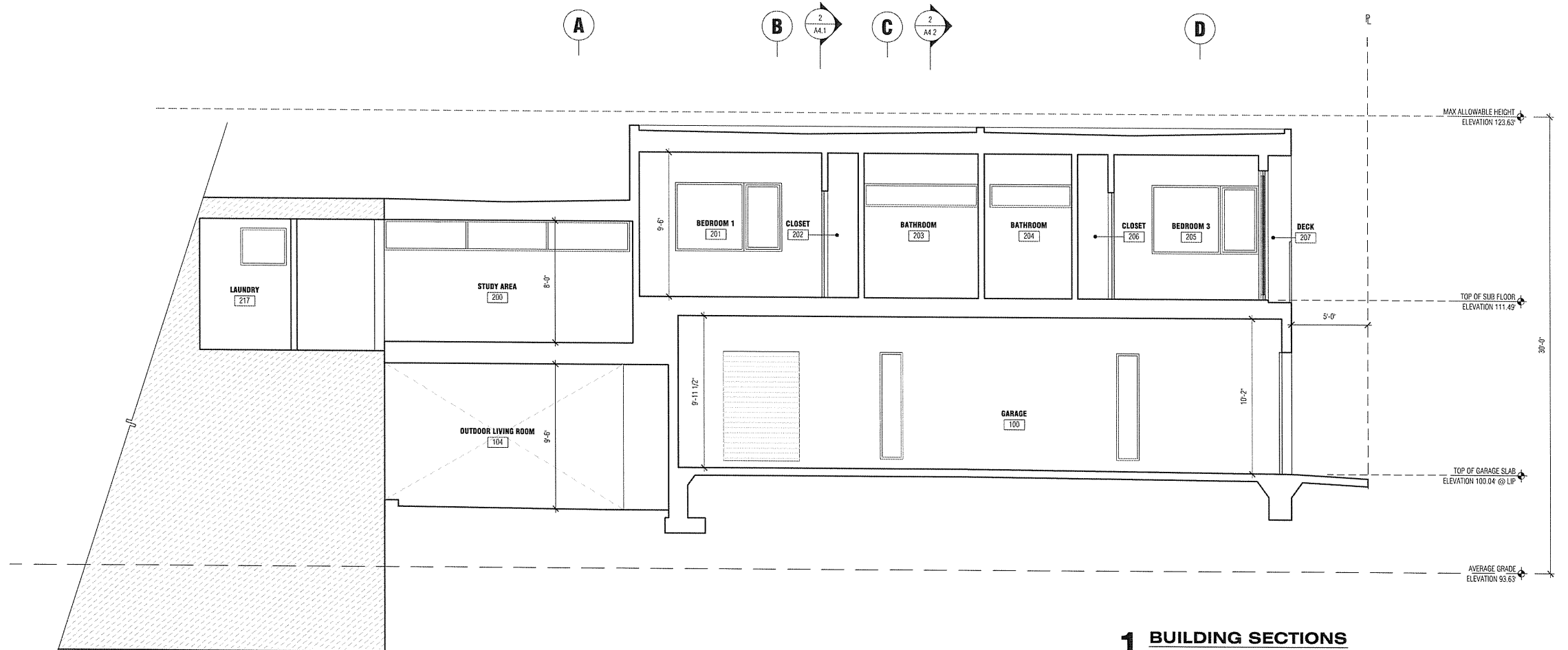
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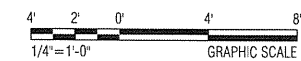
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2 BUILDING SECTIONS
SCALE: 1/4" = 1'-0"



1 BUILDING SECTIONS
SCALE: 1/4" = 1'-0"



NOT FOR CONSTRUCTION

DATE	DESCRIPTION	BY	CHK
01-26-2013	ISSUED FOR PLANNING SUBMITTAL		
02-12-2013	ISSUED FOR REVIEW		
02-12-2013	ISSUED FOR PLAN CHECK		
04-12-2013	ISSUED FOR PLAN CHECK		

BUILDING SECTIONS