CITY OF MANHATTAN BEACH COMMUNITY DEVELOPMENT DEPARTMENT

- **TO**: Planning Commission
- **FROM**: Richard Thompson, Director of Community Development
- BY: Esteban Danna, Associate Planner
- **DATE**: May 8, 2013
- **SUBJECT:** Consideration of a Coastal Development Permit and Minor Exception to Allow an Addition to an Existing Duplex at 2808 The Strand.

RECOMMENDATION

Staff recommends that the Planning Commission **CONDUCT** the Public Hearing and **APPROVE** the subject request

APPLICANT /OWNER

Ross and Launi Nathan 2808 The Strand Manhattan Beach, CA 90266

Location

Location Legal Description Area District

Land Use

General Plan Zoning Land Use 2808 The Strand between 28th and 29th Streets (Attachment B) Portion of Lot 8, Block 7, Peck's Manhattan Beach Tract III

Proposed
3,399 sq. ft. Duplex

<u>Neighboring Zoning /</u> Land Uses

North:RM / Single-family residenceSouth:RM / DuplexEast:RH / TriplexWest:Strand Gardens

Project Details

	Proposed	Requirement
Parcel Size:	3,499 sq.ft.	2,700 sq. ft. min
Building Floor Area:	3,399 sq. ft.	5,598 sq. ft. max.
Height	29 ft. 11 ½ in.	30 ft. max.
Parking:	3 enclosed, 1 open	2 enclosed, 2 open
Setbacks		
Front (west)	2 ft. (balcony), 4.67 ft.	5 ft.
Rear (east)	(building)	5 ft. min
Interior Side (north)	5 ft.	3.33 ft. min.
Interior Side (south)	3.33 ft.	3.33 ft. min
	3 ft. 6 in. (building), 2 ft. 3 in.	
	(chimney projection)	
Usable Open Space		
Unit 1	486 sq. ft.	440 sq. ft.
Unit 2	220 sq. ft.	220 sq. ft.

Non-Conformities

- Front yard setback.
- Chimney projection at the south side setback.

BACKGROUND

A Coastal Development Permit is required when projects include a greater-than 10 percent addition and the project site is within the appealable area, where a decision is appealable to the State Coastal Commission. A public hearing is required, without the option of a waiver of the public hearing, because the application includes a Minor Exception request to retain nonconforming setbacks.

Minor Exceptions are typically processed administratively. Most appealable coastal permit applications involving single-family homes and duplexes may proceed administratively as well through the public hearing waiver process provided by the Local Coastal Program (LCP) section A.96.260. However, applications that require discretionary approvals in addition to the Coastal Development Permit such as minor exceptions, variances, use permits, and subdivision maps, must be reviewed by the Planning Commission at a public hearing.

DISCUSSION

The applicant proposes to demolish one of the two structures (the rear adjacent to Ocean Drive) and build a new two-story structure attached to the remaining structure. The project proposes to maintain the existing front structure (adjacent to The Strand), which has a non-conforming front yard setback. The remaining structure will also retain an existing non-conforming chimney projection at the south side setback. Manhattan Beach Municipal Code (MBMC) Sections 10.60.040(G) and 10.68.030(E) allow the chimney projection to remain regardless of the project valuation and is therefore not within the scope of this Minor Exception. The proposed project will comply with all other applicable zoning code standards.

The rest of the building's existing setbacks are conforming and new construction will conform to current setback requirements. The existing non-conforming front setback in the remaining structure will not be altered. The project exceeds 50% of the existing building's replacement valuation, and therefore must generally correct all nonconformities to meet the code and coastal development standards unless a Minor Exception is approved. The resulting 3,399 square-feet of total floor area would be 61 percent of the site's allowable 5,598 square-feet of Buildable Floor Area (BFA). Per MBMC Section 10.84.120, the project is eligible for Minor Exception approval (under 66% of BFA) to allow the setback nonconformities to remain.

The existing building's front wall will not be structurally altered. The existing front setback is 4.67 feet measured from the front property line to the building. Per MBMC Section 10.68.030(E), this non-conformity would not typically require a Minor Exception. However, the retention of the existing non-conforming projecting balcony, which extends three feet into the front yard setback and extends the entire width of the building, triggers the Minor Exception requirement.

Minor Exception and Coastal Permit Findings

Section 10.84.120 of the Zoning Code provides findings for Minor Exception approval of nonconforming setbacks for residential remodel and addition projects. In order to approve this Minor Exception, the following findings must be made:

a. The proposed project will be compatible with properties in the surrounding area, including, but not limited to, scale, mass, orientation, size and location of setbacks, and height.

The proposed project will be only 61 percent of the total allowed square footage, will not exceed the maximum allowed height, and, with the exception of the front yard, will comply with setback requirements.

b. There will be no significant detrimental impact to surrounding neighbors, including, but not limited to, impacts to privacy, pedestrian and vehicular accessibility, light, and air.

The existing non-conforming setback to remain is along The Strand and any significant detrimental effects are therefore minimized as the balcony faces a public right-of-way.

c. There are practical difficulties which warrant deviation from Code standards, including, but not limited to, lot configuration, size, shape, or topography, and/or relationship of existing building(s) to the lot.

There are practical difficulties which warrant deviation from Code standards. The relationship of the existing building to the front yard setback is non-conforming and will remain.

d. That existing non-conformities will be brought closer to or in conformance with Zoning Code and Building Safety requirements where deemed to be reasonable and feasible.

With the exception of the front yard setback, the project will conform to all applicable zoning code standards.

e. That the proposed project is consistent with the City's General Plan, the purposes of this title and the zoning district where the project is located, the Local Coastal Program, if applicable, and with any other current applicable policy guidelines. The proposed project is currently used as a duplex and will continue to be used as a duplex which is consistent with the General Plan and Local Coastal Program.

It is Staff's opinion that these findings can be made since the resulting building will be well below the maximum size and the new construction will be compatible with the neighborhood. The project is also consistent with a primary intention of Minor Exceptions (MBMC 10.84.010), which is to encourage retention of smaller buildings with nonconformity challenges rather than prompting property owners to build new maximum size buildings.

Staff finds that the additional criteria for the Minor Exception, per Section 10.84.120(G), applicable to nonconforming setbacks, are met by the proposal as listed in the attached resolution, including appropriate building code compliance and zoning conformity.

The General Plan of the City of Manhattan Beach poses certain goals and policies which reflect the expectations and wishes of the City with respect to land uses. Specifically, the project is consistent with the following Goals and Policies of the General Plan:

Goal LU-1:	Maintain the low-profile development and small-town atmosphere of Manhattan Beach.
Goal LU-2:	Encourage the provision and retention of private landscaped open space.
Goal LU-3:	Achieve a strong, positive community aesthetic.
Goal LU-4:	Preserve the features of each community neighborhood, and develop solutions tailored to each neighborhood's unique characteristics.
Housing Policy 1.1:	The City of Manhattan Beach will continue to maintain and conserve the character of its existing residential neighborhoods.

Staff also finds that the project will comply with applicable coastal program regulations. The project is consistent with policies II.B 1, 2, 3 of the City's Local Coastal Program which seeks to maintain neighborhood building scale, control residential building bulk, and establish building height standards.

PUBLIC INPUT

A public notice for the project was mailed to property owners and residents within 300 feet of the site and published in the Beach Reporter newspaper. Staff has received no inquiries or opposition from project neighbors or other members of the community. Other City departments did not have comments for the proposed project.

ENVIRONMENTAL REVIEW

The Project is Categorically Exempt from the requirements of the California Environmental Quality Act (CEQA), pursuant to Sections 15301 and 15332 based on staff's determination that the project is a minor infill development and will not have a significant impact on the environment.

CONCLUSION

Staff supports the request, finding that the project: 1) meets the findings required to approve a Minor Exception, 2) conforms to applicable zoning objectives and development standards, 3) is not expected to have a detrimental impact on nearby properties; 4) is consistent with the goals and policies of the General Plan, and; 5) would conform to the City's Local Coastal Program.

A draft resolution of approval is attached, which would act as the project Minor Exception approval and Coastal Development Permit, provided that the project is approved by the Commission with no further appeal. Several standard conditions typically included have been placed in the draft Resolution as well as project specific conditions.

Attachments:

- A. Draft Resolution No. PC 13-XX
- B. Vicinity Map
- C. Public Notice
- D. Plans

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RESOLUTION NO PC 13-XX

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF MANHATTAN BEACH APPROVING A COASTAL DEVELOPMENT PERMIT AND MINOR EXCEPTION TO ALLOW CONSTRUCTION OF AN ADDITION TO AN EXISTING DUPLEX WITH A NONCONFORMING FRONT YARD SETBACK ON THE PROPERTY LOCATED AT 2808 THE STRAND (Nathan)

THE PLANNING COMMISSION OF THE CITY OF MANHATTAN BEACH DOES HEREBY RESOLVE AS FOLLOWS:

<u>SECTION 1</u>. The Planning Commission of the City of Manhattan Beach hereby makes the following findings:

- A. The Planning Commission of the City of Manhattan Beach conducted a public hearing pursuant to applicable law on May 8, 2013 to consider an application for a Coastal Development Permit and Minor Exception for the property legally described as Portion of Lot 8, Block 7, Peck's Manhattan Beach Tract, located at 2808 The Strand in the City of Manhattan Beach.
- B. The public hearing was advertised pursuant to applicable law, testimony was invited and received.
- C. The applicants for the Coastal Development Permit and Minor Exception are Ross and Launi Nathan, the property owners.
- D. The applicant proposes to demolish one of the two buildings (at the rear adjacent to Ocean Drive) and build a new two-story structure attached to the remaining structure. The project proposes to maintain the existing front structure (adjacent to The Strand), which has a non-conforming front yard setback. The remaining structure will also retain an existing non-conforming chimney projection at the south side setback.
- E. Manhattan Beach Municipal Code (MBMC) Sections 10.60.040(G) and 10.68.030(E) allow the existing non-conforming chimney projection to remain regardless of the project valuation and is therefore not within the scope of this Minor Exception.
- F. The property is located within Area District III and is zoned RM Medium Density Residential. The surrounding land uses consist of single and multiple family residences.
- G. The General Plan designation for the property is Medium Density Residential, and the Local Coastal Program/Land Use Plan designation is Medium Density Residential.
- H. The Project is Categorically Exempt from the requirements of the California Environmental Quality Act (CEQA), pursuant to Section 15301 and 15332 based on staff's determination that the project is a minor development/infill project.
- I. The project will not individually nor cumulatively have an adverse effect on wildlife resources, as defined in Section 711.2 of the Fish and Game Code.
- J. The Planning Commission made the following findings with respect to the Minor Exception application:
 - 1. The proposed project will be compatible with properties in the surrounding area, including, but not limited to, scale, mass, orientation, size and location of setbacks, and height.

The proposed project will be only 61 percent of the total allowed square footage, will not exceed the maximum allowed height, and, with the exception of the front yard, will comply with setback requirements.

2. There will be no significant detrimental impact to surrounding neighbors, including, but not limited to, impacts to privacy, pedestrian and vehicular accessibility, light, and air.

The existing non-conforming setback to remain is along The Strand and any significant detrimental effects are therefore minimized as the balcony faces a public right-of-way.

3. There are practical difficulties which warrant deviation from Code standards, including, but not limited to, lot configuration, size, shape, or topography, and/or relationship of existing building(s) to the lot.

There are practical difficulties which warrant deviation from Code standards, including demolition of a portion of the existing building adjacent to the front yard setback.

4. That existing non-conformities will be brought closer to or in conformance with Zoning Code and Building Safety requirements where deemed to be reasonable and feasible.

With the exception of the front yard setback, the project will conform to all applicable zoning code standards.

5. That the proposed project is consistent with the City's General Plan, the purposes of this title and the zoning district where the project is located, the Local Coastal Program, if applicable, and with any other current applicable policy guidelines.

The proposed project is currently used as a duplex and will continue to be used as a duplex which is consistent with the General Plan and Zoning Code.

- K. The Planning Commission determined that the project is consistent with the following applicable Minor Exception Criteria:
 - 1. New construction must conform to all current Code requirements except as permitted by MBMC Section 10.84.120.
 - 2. Structural alterations or modifications, as regulated by Chapter 10.68, to existing nonconforming portions of structures shall only be allowed as follows:
 - a. To comply with Building Safety access, egress, fire protection and other safety requirements (i.e., stairs, windows) as determined to be significant by the Building Official.
 - b. For architectural compatibility (i.e., roof pitch and design, eave design, architectural features design) as determined to be necessary by the Director of Community Development.
 - c. Minor alterations to integrate a new 2nd or 3rd floor into an existing 1st and/or 2nd floor, as determined to be necessary by the Director of Community Development.
 - d. Architectural upgrades, including those associated with construction of new square footage, as determined to be necessary by the Director of Community Development.
 - e. Other minor alterations or modifications as determined to be necessary by the Director of Community Development.
 - 3. A minimum of ten percent (10%) of the existing structure, based on project valuation as defined in Section 10.68.030, shall be maintained.
 - 4. Parking spaces may remain non-conforming with respect to the number of spaces, except as provided below, as well as the size, consistent with the provisions in Section 10.64.090 Exceptions, which allows a one foot (1') reduction in dimensions. Other minor parking non-conformities, including but not limited to, garage door width, turning radius, driveway width, and driveway visibility, may remain as determined by the Director of Community Development to be impractical to bring into conformance with Code requirements.
 - 5. All existing parking, required in accordance with Chapter 10.64, or by the provisions of this Section, shall be retained and shall not be reduced in number or size.
 - 6. Projects under two thousand (2,000) square feet in area per dwelling unit shall provide a minimum one (1) car fully enclosed garage per dwelling unit.
 - 7. All development on the site which is existing legal non-conforming development for zoning regulations may remain, however non-conformities shall be brought closer to or in conformance with current zoning requirements to the extent that it is reasonable and feasible.
 - 8. The existing legal non-conforming portions of the structure that remain shall provide a minimum of fifty percent (50%) of the required minimum setbacks, unless there is an unusual lot configuration and relationship of the existing structure to the lot lines for minor portions of the building, then less than fifty percent (50%) of the minimum required setback may be retained.

- 9. All development on the site which is existing legal non-conforming for Building Safety regulations shall be brought into conformance with current regulations to the extent feasible, as determined by the Building Official.
- 10. After completion of the project(s) that is subject to the Minor Exception approval(s), no further addition(s) shall be permitted unless the entire structure is brought into conformance with the current Code requirements. This shall not preclude the submittal of multiple Minor Exceptions that meet the Code established criteria.
- L. The General Plan of the City of Manhattan Beach poses certain goals and policies which reflect the expectations and wishes of the City with respect to land uses. Specifically, the project is consistent with the following Goals and Policies of the General Plan:
 - Goal LU-1: Maintain the low-profile development and small-town atmosphere of Manhattan Beach.

Goal LU-2: Encourage the provision and retention of private landscaped open space.

Goal LU-3: Achieve a strong, positive community aesthetic.

Goal LU-4: Preserve the features of each community neighborhood, and develop solutions tailored to each neighborhood's unique characteristics.

Housing Policy 1.1: The City of Manhattan Beach will continue to maintain and conserve the character of its existing residential neighborhoods.

- M. The project is in accordance with the objectives and policies of the Manhattan Beach Coastal Program, as follows:
 - 1. The proposed structure is consistent with the building scale in the coastal zone neighborhood and complies with the applicable standards of the Manhattan Beach Coastal Zone Zoning Code.
 - 2. The proposed structure is consistent with building density standards of the Local Coastal Program in that it proposes a floor area ratio factor less than the allowable.
 - The proposed structure will be consistent with the 30-foot Coastal Zone residential height limit. This is consistent with the residential development policies of the Land Use Plan, Policy II.B.1-3 as follows:
 - a. Maintain building scale in coastal zone residential neighborhoods.
 - b. Maintain residential building bulk control established by development standards.
 - c. Maintain Coastal Zone residential height limit not to exceed 30'.
- N. The project is consistent with the public access and recreation policies of Chapter 3 of the California Coastal Act of 1976, as follows;

Section 30212 (a) (2): The proposed structure does not impact public access to the shoreline, and adequate public access is provided and shall be maintained along 28th Street.

Section 30221: Present and foreseeable future demand for public or commercial recreational activities that could be accommodated on the property is already adequately provided for in the area.

O. This Resolution upon its effectiveness constitutes the Coastal Development Permit and Minor Exception approval for the subject project.

<u>SECTION 2</u>. The Planning Commission of the City of Manhattan Beach hereby **APPROVES** the subject Coastal Development Permit and Minor Exception subject to the following conditions:

Standard Conditions

1. *Compliance.* All development must occur in strict compliance with the proposal as set forth in the application for said permit, subject to any special conditions set forth below. Any substantial deviation from the approved plans must be reviewed and approved by the Planning Commission.

- 2. *Expiration.* The Coastal Development Permit shall be approved for a period of two years after the date of approval, with the option for future extensions, in accordance with the Manhattan Beach Municipal Code (MBMC) Section 10.84.090.
- 3. *Interpretation*. Any questions of intent or interpretation of any condition will be resolved by the Planning Commission.
- 4. *Inspections.* The Community Development Department Staff shall be allowed to inspect the site and the development during construction subject to 24-hour advance notice.
- 5. *Assignment.* The permit may be assigned to any qualified persons subject to submittal of the following information to the Director of Community Development:
 - a. A completed application and application fee as established by the City's Fee Resolution;
 - An affidavit executed by the assignee attesting to the assignee's agreement to comply with the terms and conditions of the permit;
 - c. Evidence of the assignee's legal interest in the property involved and legal capacity to undertake the development as approved and to satisfy the conditions required in the permit;
 - d. The original permittee's request to assign all rights to undertake the development to the assignee; and,
 - e. A copy of the original permit showing that it has not expired.
- 6. *Terms and Conditions are Perpetual.* These terms and conditions shall be perpetual, and it is the intention of the Director of Community Development and the permittee to bind all future owners and possessors of the subject property to the terms and conditions.
- Effective Date. This Resolution shall become effective when all time limits for appeal as set forth in MBMC Section 10.100.030, and the City of Manhattan Beach Local Coastal Program - Implementation Program Section A.96.160 have expired; and, following the subsequent Coastal Commission appeal period (if applicable) which is 10 working days following notification of final local action.

Special Conditions

- 8. The subject Coastal Development Permit will be implemented in conformance with all provisions and policies of the Certified Manhattan Beach Local Coastal Program (LCP) and all applicable development regulations of the LCP Implementation Program.
- 9. The plans shall be in substantial conformance with the plans submitted to the Planning Commission on May 8, 2013.
- 10. The project shall comply with all requirements of the RM zoning district except for the existing front yard setback.
- 11. After completion of the project(s) that is subject to the Minor Exception approval(s), no further addition(s) shall be permitted unless the entire structure is brought into conformance with the current Code requirements. This shall not preclude the submittal of multiple Minor Exceptions that meet the Code established criteria.
- 12. Applicant shall defend, indemnify, and hold the City, its elected officials, officers, employees, volunteers, agents, and those City agents serving as independent contractors in the role of City officials (collectively "Indemnitees") free and harmless from and against any and all claims (including, without limitation, claims for bodily injury, death, or damage to property), demands, obligations, damages, actions, causes of action, suits, losses, judgments, fines, penalties, liabilities, costs, and expenses (including, without limitation, attorneys' fees, consequential damages, disbursements, and court costs) of every kind and nature whatsoever (individually, a "Claim," collectively, "Claims"), in any manner arising out of or incident to: (i) this approval and related entitlements, (ii) the City's environmental review of this project, (iii) any construction related to this approval, or (iv) the use of the property that is the subject of this approval. Applicant shall pay and satisfy any judgment, award or decree that may be rendered against City or the other Indemnitees in any such suit, action, or other legal proceeding arising out of or incident to this approval, any construction related to this approval, or the use of the property that is the subject of this approval.

The City shall have the right to select counsel of its choice. Applicant shall reimburse the City, and the other Indemnitees, for any and all legal expenses and costs incurred by each of them in connection therewith or in enforcing the indemnity herein provided. Applicant's obligation to indemnify shall not be restricted to insurance proceeds, if any, received by Applicant or Indemnitees. This indemnity shall apply to all Claims and liability regardless of whether any insurance policies are applicable. Nothing in this Section shall be construed to require Applicant to indemnify Indemnitees for any Claim arising from the sole negligence or willful misconduct of the Indemnitees. In the event such a legal action is filed challenging the City's determinations herein or the issuance of the coastal permit, the City shall estimate its expenses for the litigation. Applicant shall deposit said amount with the City or enter into an agreement with the City to pay such expenses as they become due.

<u>SECTION 3</u>. Pursuant to Government Code Section 65009 and Code of Civil Procedure Section 1094.6, any action or proceeding to attack, review, set aside, void or annul this decision, or concerning any of the proceedings, acts, or determinations taken, done or made prior to such decision or to determine the reasonableness, legality or validity of any condition attached to this decision shall not be maintained by any person unless the action or proceeding is commenced within 90 days of the date of this resolution and the City Council is served within 120 days of the date of this resolution. The City Clerk shall send a certified copy of this resolution to the applicant, and if any, the appellant at the address of said person set forth in the record of the proceedings and such mailing shall constitute the notice required by Code of Civil Procedure Section 1094.6.

I hereby certify that the foregoing is a full, true, and correct copy of the Resolution as adopted by the Planning Commission at its regular meeting of May 8, 2013 and that said Resolution was adopted by the following vote:

AYES: NOES: ABSTAIN: ABSENT:

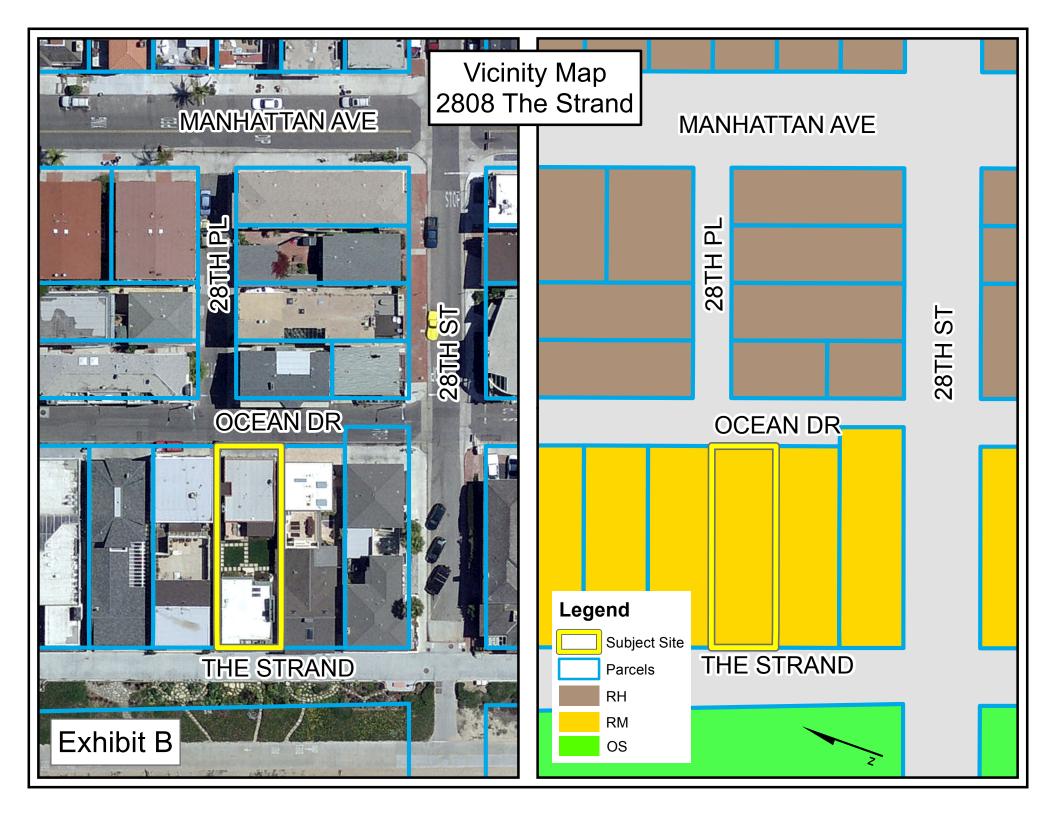
Richard Thompson, Secretary to the Planning Commission

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CITY OF MANHATTAN BEACH

NOTICE OF A PUBLIC HEARING BEFORE THE PLANNING COMMISSION OF THE CITY OF MANHATTAN BEACH TO CONSIDER AN APPLICATION FOR A MINOR EXCEPTION AND COASTAL DEVELOPMENT PERMIT FOR AN ADDITION AND REMODEL TO A DUPLEX LOCATED AT 2808 THE STRAND (WITHIN THE APPEAL JURISDICTION OF THE COASTAL ZONE).

Applicant:	Ross and Launi Nathan
Filing Date:	March 8, 2013
Project Location:	2808 The Strand
Project Description:	Application for a Minor Exception and Coastal Development Permit for an addition to an existing duplex. The project proposes to demolish one of the two buildings (adjacent to Ocean Drive) and build a new two-story structure attached to the remaining structure. The project proposes to maintain the existing front structure (adjacent to The Strand), which has a non-conforming front yard setback. The proposed home will be 3,399 square feet, which is 61 percent of the maximum allowed Buildable Floor Area.
Environmental Determination:	This project is Categorically Exempt, Class 3, Section 15303, California Environmental Quality Act (CEQA) Guidelines.
Project Planner:	Esteban Danna, 310-802-5514, edanna@citymb.info
Public Hearing Date: Time: Location:	Wednesday, May 8, 2013 6:30 p.m. Council Chambers, City Hall, 1400 Highland Avenue, Manhattan Beach
Further Information:	Proponents and opponents may be heard at that time. For further information contact project Planner. The project file is available for review at the Community Development Department at City Hall.
	A Staff Report will be available for public review at the Civic Center Library on Saturday, May 4, 2013, or at the Community Development Department on Monday, May 6, 2013, or City website: http//www.citymb.info on Friday May 3, 2013 after 5 p.m.
Public Comments:	Anyone wishing to provide written comments for inclusion in the Staff Report must do so by May 1, 2013. Written comments received after this date will be forwarded to the Planning Commission at, or prior to, the public hearing, but will not be addressed in the Staff Report. Oral and written testimony will be received during the public hearing.
Appeals:	The Planning Commission's decision is appealable to the Manhattan Beach City Council within 15 days from the date of the Planning Commission's decision of the City's final action. Appeals to the City Council shall be accompanied by a \$500 fee.
	The City Council's decision is appealable to the State Coastal Commission within ten (10) working days following receipt by the State Coastal Commission of the City's final action.
	If you challenge the proposed actions in court, you may be limited to raising only those issues you or someone else raised at the public hearing described in this Notice, or in correspondence delivered to the Planning Commission at, or prior to the public hearing.

EXHIBIT C PC MTG 5-8-13

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GENERAL NOTES

1. ALL CONSTRUCTION SHALL CONFORM TO THESE GENERAL NOTES, UNLESS NOTED OTHERWISE 2. ALL CONSTRUCTION SHALL CONFORM TO THE CITY, STATE AND NATIONAL CODES LISTED UNDER PROJECT DATA

3. ALL CONSTRUCTION SHALL CONFORM TO ALL APPLICABLE LOCAL AND STATE CODES, AMENDMENTS, ORDINANCES AND REGULATIONS.

4 OH SITE VERIFICATION OF ALL DIMENSIONS AND CONDITIONS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.

5 NOTED DIMENSIONS TAKE PRECEDENCE OVER SCALE.

6. PROTECT EXISTING AREAS TO REMAIN, TYPICAL

PROMDE APPROVED BACKWATER VALVE FOR ALL PLUMEING FOTURES LOCATED BELOW THE ELEVATION OF THE NEXT UPSTREAM MANHOLE COVER. TOTURES ABOVE SUCH ELEVATION SHALL NOT DISCHARGE THROUGH THE BACKWATER VALVE. PROVIDE CAST IRON WASTE FIPING.

8. THE ARCHITECT IS NOT RESPONSIBLE FOR SITE GRADING OR DRAMAGE.

9 IT IS THE CONTRACTOR'S RESPONSIBILITY TO BE SURE THE BUILDING IS WITHIN THE MAXIMUM ALLOWABLE HERATI. CONTRACT THE PROJECT'S CAVI, SURVEY CONSULTANTS TO VERIEY THE TOP PARSH FLOOR FLEVATION AND HURNISH THE CITY WITH A HEIGHT VERIFICATION RECORD PRIOR TO FRAMING THE ROOF

10. PROVIDE TEMPORARY SUPPORTS AS REQUIRED FOR EXISTING STRUCTURE TO REMAIN.

11 THS DRAWING DOES NOT INDICATE EVERY EXISTING CONDITION THAT WILL NEED TO BE ADAPTED OR OTHERWISE MODIFED TO ALLOW FOR THE NEW WORK. THE GENERAL CONTINUCTOR STALL THEORUGHEN LEVENWITH FEODORED DESIGN AND DASTING CONDITIONS AND NOTIFY THE DESIGNER OF ANY DISCREPENCIES FOUND.

PLANNING NOTES

1. ALL BUILDING FEATURES PROJECTING INTO REQUIRED SETBACKS SHALL BE INDICATED ON SITEPLOT PLAN 2. FENCE, WALL, HANDRAL, HEIGHTS, AS MEASURED FROM THE LOWEST PURSHED GRAD ADJUSCHT TO EACH SCIENCY OF THESE STRUCTURES, MAY BE A MARKING OF &Y IN THE FROM TWO STRUCK, NOT Z'A ALL OTHER LOCATIONS ON STR. (30-1F DISTRUCTING DRIVEWAY VISIBILITY), (COMMED RETAINING AND FREE STRUMEN WALL).

3 PARAPERS, SATIFLITE AMERINAE, RALS, SKYLIGHTS, ROOF EQUIPMENT, MUST BE WITHIN THE MAXIMUM ALLOWABLE HEIGHT LIMIT.

4 SEPARATE FERMITS MID PLANS ARE REDURED FOR SPAS, POOLS, SOLAR SYSTEMS, DEMOLITION, AND SEXVER CAP OF EXISTING BUILDRINGS — IS SUCH IMPROVEMENTS OF DEMOLITORY REDURINED AS A CONDUCTOR OF APPROVAL FOR DISCONTRAINT ACTIONS ON ID COMMANCE BUILDINGS, THEN SUCH PERMITS MUST BE OBTAINED BEFORE OR AT THE TIME THAS PROPOSED BUILDING PERMIT IS ISSUED

PUBLIC WORKS NOTES

1. ALL LANDSCAPE INFIGATION MUST MEET CURRENT CITY REQUIREMENTS FOR PROPER INSTALLATIO

2 NO DISCHARGE OF CONSTRUCTION WASTE WATER FROM THE PREMISES IS PERMITTED 2. IF ANY EXISTING SANITARY SERVER LATERAL IS USED, IT MUST BE TELEVISED TO CHECK ITS STRUCTURAL INTEGRITY. THE FUELC WORKS DEFAILMENT WILL REVIEW THE LAPE AND DETERMINE AT THAT THAT IT SANITARY LATERAL NEEDS REPAINING, NEEDS TO BE REPLACED, OR THAT IT IS STRUCTURALLY SOUND AND OA BE USED IN ITS PRESENT CONDITION.

4 SIDEWALK, DRIVEWAY, CURB, AND GUTTER REPAIRS OR REPLACEMENT MUST BE COMPLETED PER PUBLIC WORKS SPECIFICATIONS

5 ALL DISPLACED AND DAMAGED SIDEWALK OR DRIVEWAY APPROACHES MEIST BE REPAIRED. 6. IF ANY PARKWAY IREES ARE REMOVED, THEY MUST BE REPLACED, AND PLANTED IN BOOT BARRER BOXE

7. IF THE WATER METER BOX IS REPLACED, IT MUST BE PURCHASED FROM THE CITY, AND MUST HAVE A TRAFFIC LID IF THE BOX IS LOCATED IN THE DRIVEWAY.

CONSTRUCTION NOTES*

1. ALL GLAZING SHALL COMPLY WITH STANDARDS OF THE U.S. CONSUMER PRODUCT SAFETY COMMISSION. MANUFACTURER TO SUPPLY CERTIFICATE OF COMPLIANCE TO OWNER.

FROMDE CYPSUM DRYWALL WITH PAPER-FACED SURFACE SURFACE SURFACE TO RECEIVE PAINT OR DECONATORS FINISH, AND WITH LONG DODES, TAPERED TO RECEIVE MANUFACTURERS STANDARD JUNI COMPOUND DRYWALL SHALL BE 5/6⁴ THOSE.

3 TREAT ALL JOINTS WITH JOINT COMPOUND AND TAPE.

- 4 INSULATE ALL HOT WATER PLUMBING WITH MINIMUM 8-4 INSULATION FOR ENDER LENGTH
- 5 CONDENSATE DRAINAGE SHALL RE COLLECTED IN APPROVED DEVICE AND DISCHARED PER THE CITY OF LOS ANDELES CODE REOUREMENTS

6 ALL EXTERIOR JOINTS, PENETRATIONS, OR OPENINGS IN THE BUILDING ENVELOPE SHALL BE CAULKED AND SEALED WITH TWO LINES OF DEFENSE

7. ALL SHEET METAL TO BE 18 GA GALVANIZED, OR SHALL MATCH EXISTING CONSTRUCTION

8 ALL EXTERIOR DOORS AND WINDOWS SHALL BE FULLY WEATHER-STRIPPED OR GASKETED. ALL DOORS AND WINDOWS SHALL COMPLY WITH SECTION 2-5304, TABLE 2-535 OF STANDARDS FOR DOORS AND WINDOWS 9. INSULATION OF HEATING DUCTS SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF CHAPTER 6 OF THE UNFORM MECHANICAL CODE.

10 ALL FAN SYSTEMS DOHNSTING AIR FROMTHE BUILDING ERVELOPE TO THE OUTSIDE SHALL BE PROVIDED WITH BACKDRAFT DAMPERS

11. FROMDE FRE-STOPS IN CONCELED SPACES OF STILD WALLS AND PARTITIONS, AT ALL INTERCONNECTION BETWEEN DORFLACED WEITICH, AND HORIZONIA, SPACES, IN CONSEALED SPACES ENVEEN START STIMMER AT THE TOP AND DOTTOM OF THE RUN, AND IN OFENINGS ABOUND VENTS, PFES, DUCTS, CHAMEYS AND SMALIA DEPINES.

CONSTRUCTION NOTES LISTED ARE INTERDED FOR TYPICAL REMODEL, ADDITION, OR NEW CONSTRUCTION SCOPE OF WORK MAY WARY HOW PROJECT TO PROJECT AND NOT ALL NOTES MAY BE APPLICABLE TO PROJECT DESCREED HEREIN, SEE ADDITIONAL SPECIFICATION NOTES ON SHEET SP. 1.

GREEN BUILDING CODE NOTES

1. PIPE INSULATION INSTALLED SHALL BE R-6 AT ALL HOT WATER DISTRIBUTION AND RE-CIRCUI ATION SYSTEM PIPE 2. FOR SOLAR WATER HEATING STUB OUT, PRE-PLUMB PIPING AND SENSOR WIRING SHOULD BE FROM WATER HEATER TO ROOM

3. REDUCE CEMENT IN FOUNDATION MRV DESIGN BY 20%. COMMONLY USED PRODUCTS TO REPLACE CEMENT MAY INCLUDE, BUT ARE NOT LIMITED TO. FLY ASH, SLAO, SLICA FUME AND RICE HIRL ASH.

4 THERE SHOLLD BE A CONSTRUCTION WASTE REDUCTION OF AT LEAST 66% RECYCLE AND/OR A SALVAGE FOR RELISE WITH A MANUALA OF 65% OF THE ROW MAXADDUS CONSTRUCTION AND TRAVILITION DEBYS. A CONSTRUCTION WASTE MANAGEMENT PLAN SHALL BE SUBMITTED TO THE WASTE MANAGEDUCT IT VAN DREVARGE OFFOLD.

5. HEATING AND ARE-CONDITIONING SYSTEMS SHALL BE SZED, DESIGNED AND HAVE THEIR EQUIPMENT SELECTED USING THE FOLLOWING METHODS: THE HEAT LOSS AND HEAT GAIN IS ESTABLISHED ACCORDING TO THE ACCA 29-D MANUAL D. ASHRAE MANDEODKS OF OTHER EQUIVALENT DESIGN

ARE MENIOUS DUCT SYSTEMS ARE SIZED ACCORDING TO THE ACCA 29-0 MANUAL D. ASHRAE HANDBODKS OR OTHER EQUIVALENT DESIGN SCHETWARE METHODS SELECT HEATING AND COOLING EQUIPMENT ACCORDING TO ACCA 29-0 MANUAL D. ASHRAE HANDBODKS OR OTHER EQUIVALENT DESIGN

M.B. PUB	LIC WORKS	NOTES
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1. NO DISCHARGE OF CONSTRUCTION WASTE WATER, BULDING MATERIALS. DEBRIS, OR SEDIMENT FROM THE STE IS PERMITTED.

2. SDEWALK, DERVEWAY, GURB, AND GUTTER REPARS OR REPLACEMENT MUST BE COMPLETED FER PUBLIC WEINES SPECIFICATIONIS, SEE CITY STANDARD PLANS ST-1, ST-2, AND ST-3 at THE CASE WHERE THE GARAGE LIVEL IS BELOW THE STREET DRAWAGE FLOW LINES. THE COMBINED SLOPE OF PUBLIC AND PRIVATE APPROACE SHALL NOT JECTED 15%.

3. ALL EXISTING OR CONSTRUCTION RELATED DAMAGED OR DISPLACED SIDEWALK OR DRIVEWAY APPROACHES MUST BE REPLACED AND SHOWN ON PLANS.

5 WATER METERS SHALL BE PLACED NEAR THE PROPERTY LINE AND OUT OF THE DRIVEWAY APPROACH WHENEVER POSSIBLE. WATER METER PLACEMENT MUST BE SHOWN ON PLANS.

6 IF THE WATER METER BOX NEEDS TO BE REPLACED, IT MUST BE PURCHASED FROM THE CITY, AND MUST HAVE A TRAFFIC LID IF THE BOX IS LOCATED IN THE DRIVEWAY

7 EROSION AND SEDMENT CONTROL DEVICES BMP'S (BEST MANAGEMENT PRACTICES) MUIST BE UME EMPLEMENTED ADURION THE CONSTRUCTION FOR TO PREVENT DESAMAGE TO THE STREET AND ADURCHI PROPERTIES, BMP'S MUST BE IEDINTIFED AND SHOWN ON THE PLAN CONTROL MESURES MUIST ALSO BE TAKEN TO PREVENT STREET SUFFICIE WATER ENTERING THE STIE.

8 REDURNTAL PROFERIES MUST PROVIDE AN ENCLOSED STORAGE AREA FOR REFUSE CONTAINERS. THESE AREAS MUST BE CONSTRUCTED TO MEET THE REQUIREMENTS OF M BM C. 5 24.000 THE AREA MUST BE SHOWN IN GETAIL ON THE PLANS BEFORE A PERMIT SI SSUED.

9 FLAN HOLDER MUST HAVE THE PLANS RECHECKED AND STAMPED FOR APPROVAL BY THE PUBLIC WORKS DEPARTMENT BEFORE THE BULLING FERMIT IS ISSUED.

AB	ANCHOR BOLT	IGU	INSULATED GLAZING UNIT
ACT	ACOUSTIC TILE	INS	INSULATION
ABV	ABOVE	INT	INTERIOR
AFF	ABOVE FINISH FLOOR		
ALT	ALTERNATE	JI	JOINT
ALUM	ALUMINUM		
ARCH	ARCHITECTURAL	LAM	LAMINATE
AV	AUDIO VISUAL EQUIPMENT	LAV	LAVATORY
		U	UCH
B/	BOTTOM OF OR BACK OF	LCC	LOCATION
BEDG	HOARDNG	LP	LOW PORT
BURG	BLIGEDQIEG)		CONTONI
BJK	BEACK(INS)	MACH	MACHINE
NCB	BOBININGS		
BOR	BOTTOM OF MULLION	MAT	MATERIAL
BBZ		MAX	MAXIMUM
	8961028	MECH	MECHANICAL
er2i	BEONZEN	MFG	MANUFACTURE(R)
BIW	BEIWEEN	MIN	MINIMUM
CEM	CEMENT(/TIOUS)	MISC	MISCELLANEOUS
CEM	COMENTESTIBLES/FILLER	MTL	METAL
CO	COMPRESSIBLE FILLER	MID	MOUNTED
Ci	CENTERLINDINT		
CLDG	CENCERGRE	NAT	NATURAL
CLOS	CEARDING	NIC	NOT IN CONTRACT
CI.O	CEONEI	NO.	NUMBER
CLB	CLEGERACE		
CLAU	CIENTROPEMASONRY UNIT	NGM	NOMINAL
	CONDUCTION CONTRACTOR	NTS	NOT TO SCALE
CINU			
COMP	COMPASITION	CC 00	ON CENTER
COMP	COMERCIEION	CD	OVERFLOW DRAIN
0.10	CONGRETEN	GH	OVERHEAD
CONST	CONSERVENON	OPNG	OPENING
CONST	CONSTRUETSON	OPP	OPPOS/TE
COSED	COGFEMBLOS		
CBORD	CEQUEST AJASTER	PC	PRECAST CONCHETE
CPT	CEREENT PLASTER	PL PL	PLATE
CFI	CARRENCE TILE	PERF	
CTR	CERANAC TILE		PERFORATED
CIR	CENTER	PFD	PREFINISHED
		PKG	PARKING
OBL	DOUGLE	PLAM	PLASTIC LAMINATE
DBM	DEMARINTABLE	PNL	PANEL
	DENMEJERABLE	POL	POL/SHED
DIM	DIMRETERN	PRESS	PRESSURE, PRESSURIZATION
155	DISNENSCON	PT	POINT
DNGT	DESTANCE	PID	PAINTED
CR	DOMINOOFING	PTN	PARTITION
XR	CONRECTING	PWD	PEYWOOD
CR.	DEDEL	110	FLIWOOD
DING	DEAMING		
	DRAWING	ß	HISER
DWG		RAD	RADRUS
EA	EACH	RB	RESILIENT BASE
A	EXEMISION JOINT	RCP	REFLECTED CEILING PLAN
El	ENEWARDEDH JOINT	RD	REFRENSEN
ELEC	FLEVARIAL	REF	REPARGENCED
1.62	ELECARDIAI,	REIN	RECHARGEDED
¥γ	ELBSATORERIC MEMBRANE	REQD	RECHINASS
MCL	ENASTISMEDIC MEMBRANE	RET	REDAMING
INGI.	ENGINEEUNE	RM	ROOM
EGG	ELGANGER	SAN	SANITARY
CWC	EQUATRIC WATER COOLER	SMR/	SEANTORY
EWIC	EKEETINGSWATER COOLER	SERV	SERVICE
XA	EXPLOSING		achivide
EXILIT			
XP		SRT	SEDRIFIE FEET
	EXEDNOR	SIM	SILLEM
	EXECTIONER	SIM Sumt	SILLEAR Shallant
	EXEDNOR	SINT Sumt Spec	Silueda Siralaar Spricargation
EXT	Extender Exposure Extender	SINX SUMT SPEC SPEC	SINLEDA Sanitati Serapagandan Securioanton Securioanton
TX3	EXEMPLER DOMOSUME FACEOR FACE OF	SINT Sumt Spec	Silueda Siralaar Spricargation
EXT F/ FB	EXEMPLE DOYOSUNC EXEMPLE FACE OF FACE OF FLOOR BASE	SINX SUMT SPEC SPEC	SINLEDA Sanitati Serapagandan Securioanton Securioanton
EXT F7 FB	EXEMPLER DOMOSUME FACEOR FACE OF	SINT SUMT SPEC SQ	SIMERA Similar Sprankation Sprankation Sprankasis Ster
EXT F/ FB TF	D200466 D2POSUNZ ENDERGIE FACE OF FACE OF FACE OF FACENCE FLOOR	SINT SINT SPRC SR SR SD	SINUTAR SRAUMAT SPRAMMATION SPRAMMATION SOUNDESS STEEL STANDARDS STEEL
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ABBREVIATIONS

CONSULTANTS ARCHITECT LEAN ARCH INC. 155 W. WASHINGTON BLVD. SUITE 1202 LOS ANGELES, CA 90015 JAMES R. MEYER, AJA (T) 213 744 9830 (F) 213 744 0123 STRUCTURAL PALOS VERDES ENGINEERING 2750 HAWTHORNE BLVD, SUITE 130 ROLLING HILLS ESTATES, CA 90274 (T) (310) 541-5055 (F) (310) 541-0321 SITE SUVEY DENN ENGINEERS 3914 DEL AMO BLVD SUITE 921 TORRANCE CA 90503 (T) 310-542-9433 ENERGY COMPLIANCE ALTERNATIVE ENERGY SYSTEMS 229 N. CENTRAL AVE. SUITE 500 GLENDALE, CA 91203 TROY I NEORIES (T) 818 246 2844 (F) 818 246 4096 CONSTRUCTION LEAN ARCH INC. 155 W. WASHINGTON BLVD SUITE 1202 LOS ANGELES CA 90015 JAMES R. MEYER, AIA (T) 213 744 9830 (F) 213 744 0123 MAX HEIGHT CALCULATION PROPERTY CORNERS: 99.75' + 87.33' + 87.44' + 100.00' = 374.52 AVERAGE GRADE: 374.52/4 = 93.63 MAXIMUM ALLOWABLE HEIGHT: 93.63' + 30' = 123.63' PROPOSED HEIGHT 20'-8" **PROJECT VALUATION CALCULATION** EXISTING PROPERTY VALUATION

TOTAL FLOOR AREA (FRONT UNIT TO REMAIN)	2386 SF * 160 ==	\$381,760.00	
Total Deck (@ Grade).	105 SF * 35.25 ==	\$3,701.25	
Total Deck (Above Grade).	243 SF * 58.75 ==	\$14,276.25	
TOTAL EXISTING VALUATION:	114	\$399,737.50	

TOTAL ADDITION (FRONT & REAR UNITS)	1231 SF * 160 =	\$196,960.0
TOTAL REMODEL (FRONT UNIT):	116 SF * 80 🚥	\$9,280.00
TOTAL DECK (REAR UNIT)	73 SF * 58.75 🚥	\$4,288,75
IOTAL GARAGE.	471 SF* 57.33 #	\$27,002,43
TOTAL GARAGE. TOTAL REMODEL / ADDITION VALUATION	471 SF* 57.33	\$27.00

\$237,531.18 / \$399,737.88 = 59.4 % VALUATION OF REMODEL / ADDITION

MASTER

BEDROOM

214

A4.2

(2)

 $\langle 5 \rangle$

 (\square)

REFERENCE NORTH

1'-8"

59.4% > 50%

PROJECT INFORMATION PROPERTY OWNER PROPERTY AD ROSS & LAUNI NATHAN 2808 THE STRAND MANHATTAN BEACH, CA 9026 LEGAL DESCRIPTION APN: 4176-029-008 LOT: 8 BLOCK: 7 REGION 14/14425 TRACT #. PECK'S MANHATTAN BEACH TRACT PROJECT DESCRIPTION NEW CONSTRUCTION OF A MULTI FAMILY RESIDENCE, TWO STORIES + 3-CAR GARAGE WITH BRIDGE JOINING TO EXISTING BUILDING ON LOT TO NEW DUPLEX UNIT. EXISTING UNIT TO REMAIN WILL PROVIDE OPENING FOR BRIDGE CONNECTION, ALSO CONVERT BEDROOM TO LAUNDRY ROOM, HALL AND CLOSET OCCUPANCY AND ZONING OCCUPANCY: MULTI FAMILY RESIDENTIAL RM, AREA III CONSTRUCTION TYPE: TYPE V-B NON RATED NO. OF UNITS: NO. OF STORIES. 2 STORIES + GARAGE YES NKLERED BUILDING HEIGHT 30' MAX **CITY, STATE, NATIONAL CODES** 2010 CALFORM RECHAILCORE CITY OF MANHATTAN BECKI CURRENT AMERIMENTS CITY OF MANHATTAN BECKI CURRENT AMERIMENTS CITY OF MANHATTAN BECKI CURRENT AMARIDAL CODE 2010 CALFORMA MECHANICAL CODE 2010 CALFORMA RECONDE 2010 CALFORMA RECONDE 2010 CALFORMA RECTORICAL CODE BUILDING DEPARTMENT INFO CITY OF MANHATTAN BEACH, BUILDING DIVISION 1400 HIGHLAND AVE. MANHATTAN BEACH, CA 90266 310-802-5500 **PROPERTY / BUILDING DETAILS** AREA CALCULATIONS UNIT 1 550 SF UNIT 1 ADD SF UNIT 2 58 SF --UNIT 2 (N) 73 SF UNIT SECOND FLOOR: 517 SF TOTAL COURTYARD UNIT 1 UNIT 2 297 SF UNIT 1 ----- 548 SF • ----- 210 SF UNIT 1 (N) 58 SF -98 SF UNIT 2 220 SF UNIT 2 FIRST FLOOR: UNIT 1 UNIT 2

	PROPOSED PROPERTY
	UNIT 1 (FRONT)
2386 SF	FLOOR AREA
2386 SF	FLOOR AREA: (FIRST FLR)
	FLOOR AREA: (SECOND FLR)
	TOTAL SQUARE FOOTAGE:
1166 SF	
1166 SF (TO BE DEMOLISHED)	UNIT 2 (REAR)
	FLOOR AREA.
736 SF	TOTAL SQUARE FOOTAGE:
3552 SF	GARAGE:
	TOTAL COUNTABLE BFA.
	2386 SF 1166 SF 1166 SF (TO BE DEMOLISHED) 736 SF

15*3146 SF == 472 SF REQ

0 15*471 SF == 71 SF < 220 SF MIN REQ. 318 SF OPEN SPACE PROVIDED:

3499 SO FT

5598 SQ FT 3617 SF

B.F.A.

BUILDING TOTAL BFA' 1.6(3499) == TOTAL SQUARE FOOTAGE:

MINOR EXCEPTION QUALIFICATION BEA: 1.6(3499) 1.6(3499) IMUM SF PER MINOR EXCEPTION: 66% OF BFA; 5598 * 66%

PROPOSED SF = 3617 SF < MAX 3750

AND NUMBER	TOTAL COUNTABLE BFA:	355
. ROOM NAME ROOM NUMBER		
, KUUM NUMBER		
SECTION	OPEN SPACE CALCULATION.	
. SECTION NUMBER	UNIT 1 (FRONT)	
	REQUIRED 15% BEA	
. SHEET NUMBER	OR 220 SF MIN:	0.1
	OPEN SPACE PROVIDED	486
KEYNDTES	UNIT 2 (REAR)	
PLAN NOTE	REQUIRED 15% BFA	
DEMOLITION PLAN NOTE	OR 220 SF MIN:	01

ROOM NAME AND NUMBER

DIMENSION STRING

NORTH ABROW

INDICATES REFERENCE NORTH

PROPOSED PROPERTY
UNIT 1 (FRONT) FLOOR AREA
FLOOR AREA: (FIRST FLR) FLOOR AREA: (SECOND FLR)
TOTAL SQUARE FOOTAGE:

INTERIOR ELEVATION

DRAWING NUMBER

ELEVATION NUMBER

SHEET NUMBER

CEILING HEIGHT OR EQUIPMENT +9.6* CEILING HEIGHT EQUIPMENT NUMBER (LA-1) WORKPOINT OR ELEVATION CALLOUT 0 REVISION 2 AREA OF REFERENCE REVISION NUMBER

MATCH LINE

SHEET NUMBER

SHADED PORTION IS THE SIDE CONSIDERED

. REFERENCE LETTER



A2 4

B

WINDOW SYMBO ROOM NUMBER

4

SYMBOL LEGEND

A

(10.a)

(1.1)

A3 1

1)

BUILDING GRID LINES

TOP OF FRAMING

DETAIL

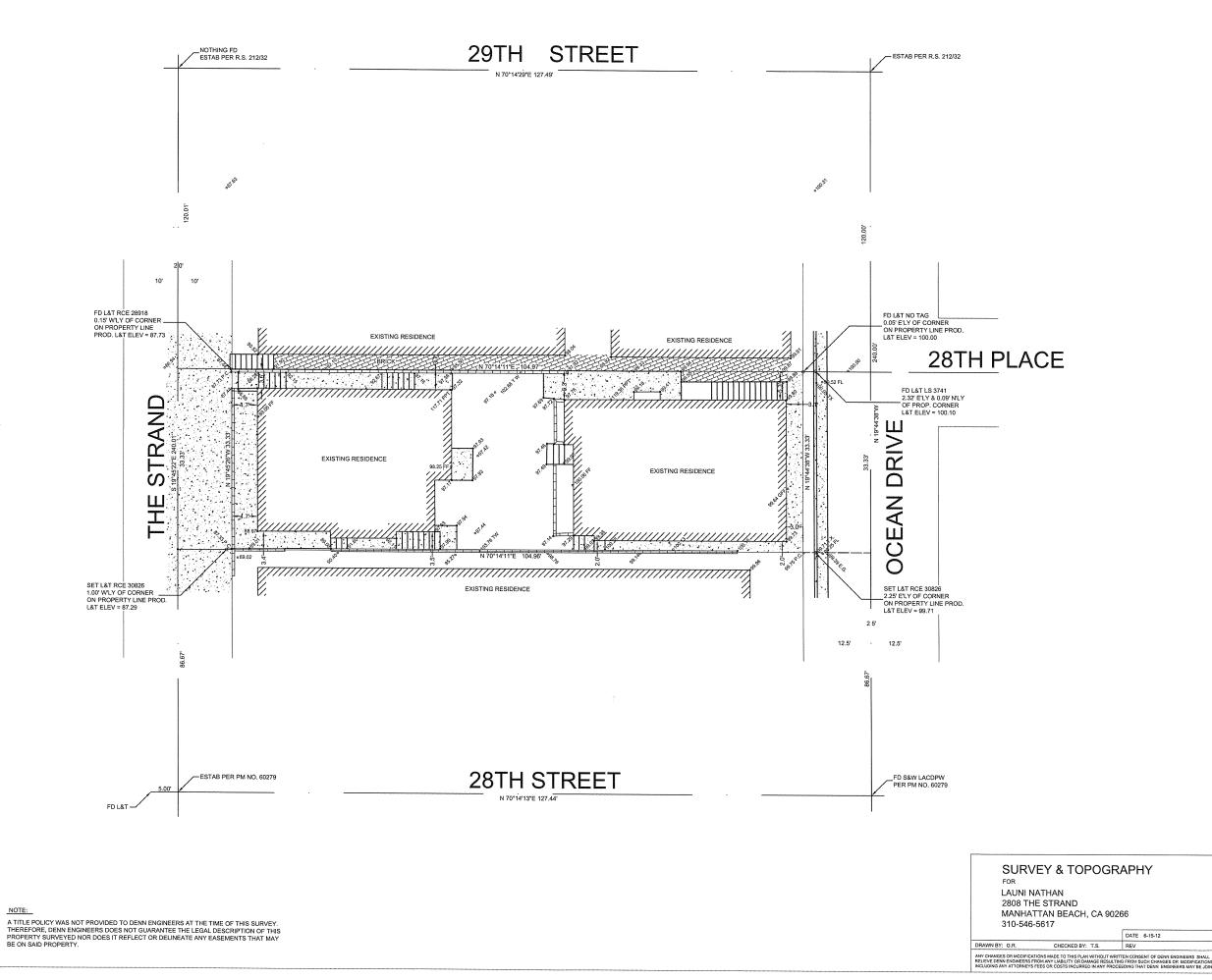
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ELEVATION NUMBER

_ SHEET NUMBER

A8.3 SHEET NUMBER

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2386 SF (EXIST)		No. P. S. Roseconstate	28.0	557.00	(d)2.1360	NG 25-5		925 P	^{фан} 11-29-2012 01-17-2013 02-19-2013 04-10-2013	
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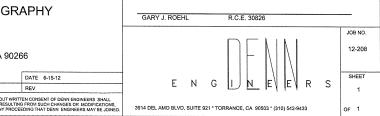
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[]]	WOOD DECK
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	BLOCK WALL
x	EXISTING FENCE
BCR	BEGINNING OF CURB RETURN
C/L	CENTERLINE
ELY	EASTERLY
FD	FOUND
FF	FINISH FLOOR
FH	FIRE HYDRANT
FL GFF	FLOW LINE GARAGE FINISH FLOOR
GFF	GARAGE FINISH FLOOR
GW	GUY WIRE
L&T	LEAD AND TAG
MH	MANHOLE
N'LY	NORTHERLY
PC	PROPERTY CORNER
PL, P/L	PROPERTY LINE
PP	POWER POLE
S&W	SPIKE AND WASHER
S'LY	SOUTHERLY
SPK	SPIKE
SSMH	SANITARY SEWER MANHOLE
STK	STAKE STREET LIGHT
STLT TC	TOP OF CURB
TW	TOP OF WALL
TX	TOP OF DRIVEWAY APRON
WLY	WESTERLY
WM	WATER METER
ARE ME	L SETBACK DIMENSIONS SHOWN ASURED TO EXTERIOR SURFACE OF SS UNLESS OTHERWISE NOTED.
SET ON F	RY MONUMENTS ARE NOT NECESSARILY PROPERTY CORNERS. PLEASE REFER TO ATION ON THE PLANS FOR OFFSET FS. IF THERE ARE ANY QUESTIONS

THE NOTATION THE POWS FOR OFSET DISTANCES. IF THERE ARE ANY QUESTIONS, PLEASE DO NOT HESITATE TO CONTACT DENN ENGINEERS FOR CLARIFICATION AT : (310) 542-9433, M-F 8:00 AM TO 5:00 PM.

SCALE: 1" = 8'

JOB ADDRESS 2808 THE STRAND MANHATTAN BEACH, CA. 90266

LEGAL DESCRIPTION LOT 8, BLOCK 7 PECK'S MANHATTAN BEACH TRACT M.B. 7-34 APN 4176-029-008

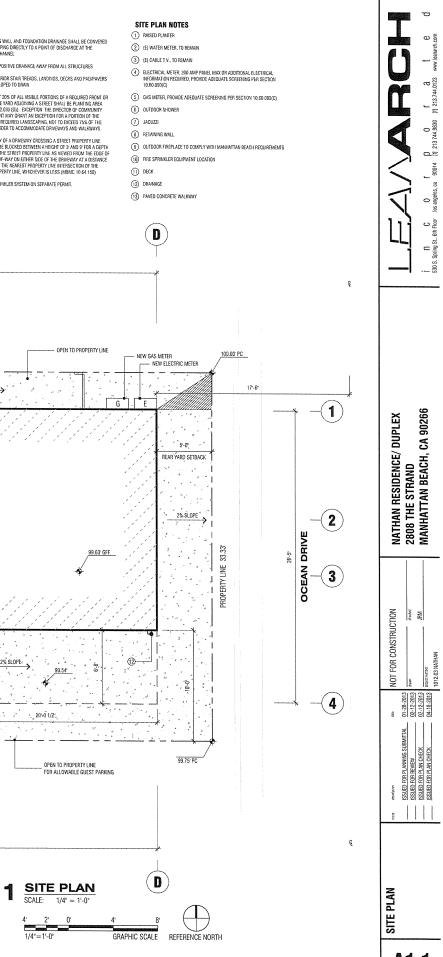


		F						
		LANDSCAPE TABLE	AREA- ALLOWED AREA-	PROVIDED NOTES		LANDSCAPE NOTES	GENERAL SITE PLAN NOTES	
		SITE AREA BULLINKG FODI PRINT	3499 S 1909 S	F		GENERAL LANDSCAPE NOTES:	 DO NOT SCALE FROM DRAWINGS STAKE AND FLAG THE PROPERTY LINES IN ACCORDANCE WITH A 	8. RETAINING WALL AND FOUNDATION DRAINAG THROUGH PIPING DIRECTLY TO A POINT OF DISC DRAINAGE CHANNEL
		LANOSCAPED AREA	132 SF			PROVIDE AN AUTOMATED IRRIGATION SYSTEM FOR ALL Landscaped Areas- must be moistured based controlled	LICENSED SURVEY MAP	9. PROVIDE POSITIVE DRAINAGE AWAY FROM AL
		HARDSCAPED AREA DRIVEWAY AREA	1107 S 351 SF			ALL PLANTS EMPLOYED ON THE SITE SHALL BE LOW WATER USE AS DEFINED BY W.U.C.O.L.S.	3. ALL DIMENSIONS ARE TO FACE OF STRUCTURE UNLESS NOTED OTHERWISE, UND	10. ALL EXTERIOR STAIR TREADS, LANDINGS, DI SHALL BE SLOPED TO DRAIN
		LOW WATER USE LANDSCAPED AREA 1	132 * 80% × 105 SF 132 SF	100%			4. THIS DRAWING DOES NOT INDICATE EVERY EXISTING CONDITION THAT WILL NEED TO BE ADAPTED OR OTHERWISE MODIFIED TO ALLOW FOR THE DEWINDER THE CENTRAL CONTRACTOR CAN INTERCED IN CONTRACTOR AND A DEVINE AND A DATA AND AND AND AND AND AND AND AND AND AN	11. AT LEAST 20% OF ALL VISIBLE PORTIONS OF
		HIGH WATER USE LANDSCAPED AREA 1 NOTES:	132 * 20% = 26 SF 0 SF	0%		A TALL FESCUE - FESTUCA ARUNDINACEA - LOW WATER USE	FOR THE NEW WORK THE GENERAL CONTRACTOR SHALL THOROUGHLY REVIEW THE PROPOSED DESIGN AND EXISTING CONDITIONS AND NOTIFY THE ARCHITECT OF ANY DISCREPANCIES FOUND	CORNER SIDE YARD ADJOINING A STREET SHAL (MBMC 10 12.030 (0)). EXCEPTION THE DIREC DEVELOPMENT MAY GRANT AN EXCEPTION FOR
		1. 20% OF LANDSCAPED AREA MAY BE HIGH WATCH LANDSCAPE SPECIES, WUCOLS FOR REGION 3.	R USEAGE PLANTS AS DEFINED B	Y WATER USE CLASSIFICATION OF		KANGAROO PAW - ANIGOZANTHOS FLAVIDUS - LOW WATER USE NEW ZEALAND FLAX - PHORIUM TENAX - LOW WATER USE	5. ANY INCONSISTENCIES OR UNFORESEEN CONDITIONS TO BE REVIEWED BY THE ARCHITECT PRIOR TO PROCEEDING WITH	AMOUNT OF REQUIRED LANDSCAPING, NOT TO TOTAL, IN ORDER TO ACCOMMODATE DRIVEWA
		2. PERMANENT IRRIGATION SYSTEM SHALL BE MOS	STURE BASED MONITORED				CONSTRUCTION 6. THE CONTRACTOR SHALL MEET ALL REQUIREMENTS FOR	12. VISIBILITY OF A DRIVEWAY CROSSING A STR SHALL NOT BE BLOCKED BETWEEN A HEIGHT O OF 5' FROM THE STREET PROPERTY LINE AS VIE
		3. 20% RULE IS NOT APPLICAPABLE IF IRRIGATION IS	S FROM NON POTABLE WATER OF	R IF LANSCAPED WITH ARTIFICAL T	URF		EXCAVATIONS CONTAINED IN THE STATE CONSTRUCTION SAFETY ORDERS ENFORCED BY THE STATE DIVISION OF INDUSTRIAL SAFETY	THE RIGHT-OF-WAY ON EITHER SIDE OF THE DR OF 15: OR AT THE NEAREST PROPERTY LINE INT
							7. AN APPROVED SEISMIC GAS SHUTOFF VALVE SHALL BE INSTALLED On the fuel gas line on the downstream side of the utility	STREET PROPERTY LINE, WHICHEVER IS LESS (13. FIRE SPRINKLER SYSTEM ON SEPARATE PER
							METER AND BE RIGIDLY CONNECTED TO THE EXTERIOR OF THE BUILDING OR STRUCTURE CONTAINING THE FUEL GAS PIPING	
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	89.06° FF	14						
			1 - l					
							UNIT 2 PROPOSED UN	п
				97.93	<u></u>		TWO STORIES, GARAGE, 552 SF	
	UNIT 1 EXISTING UNIT TWO STORIES OVER BASEMENT	00 05 FF					,	
33.33	1650 SF ADDITION, 2816 SF TOTAL N.I.C.	<u>98.25' FF</u>		•••••••••••••••••••••••••••••••••••••••	DN			
PROPERTY LINE				* * * * * , , , , , ,				
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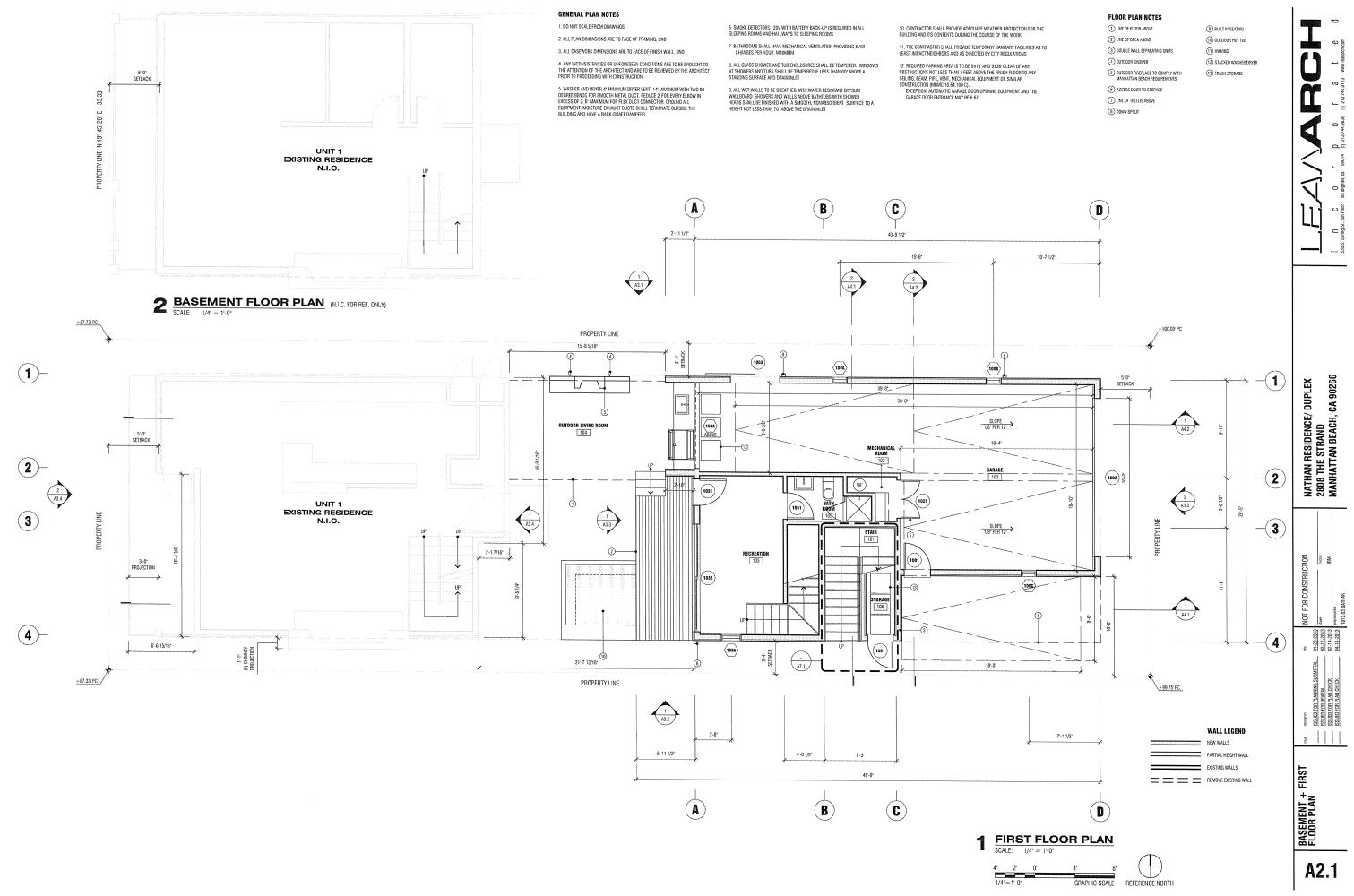
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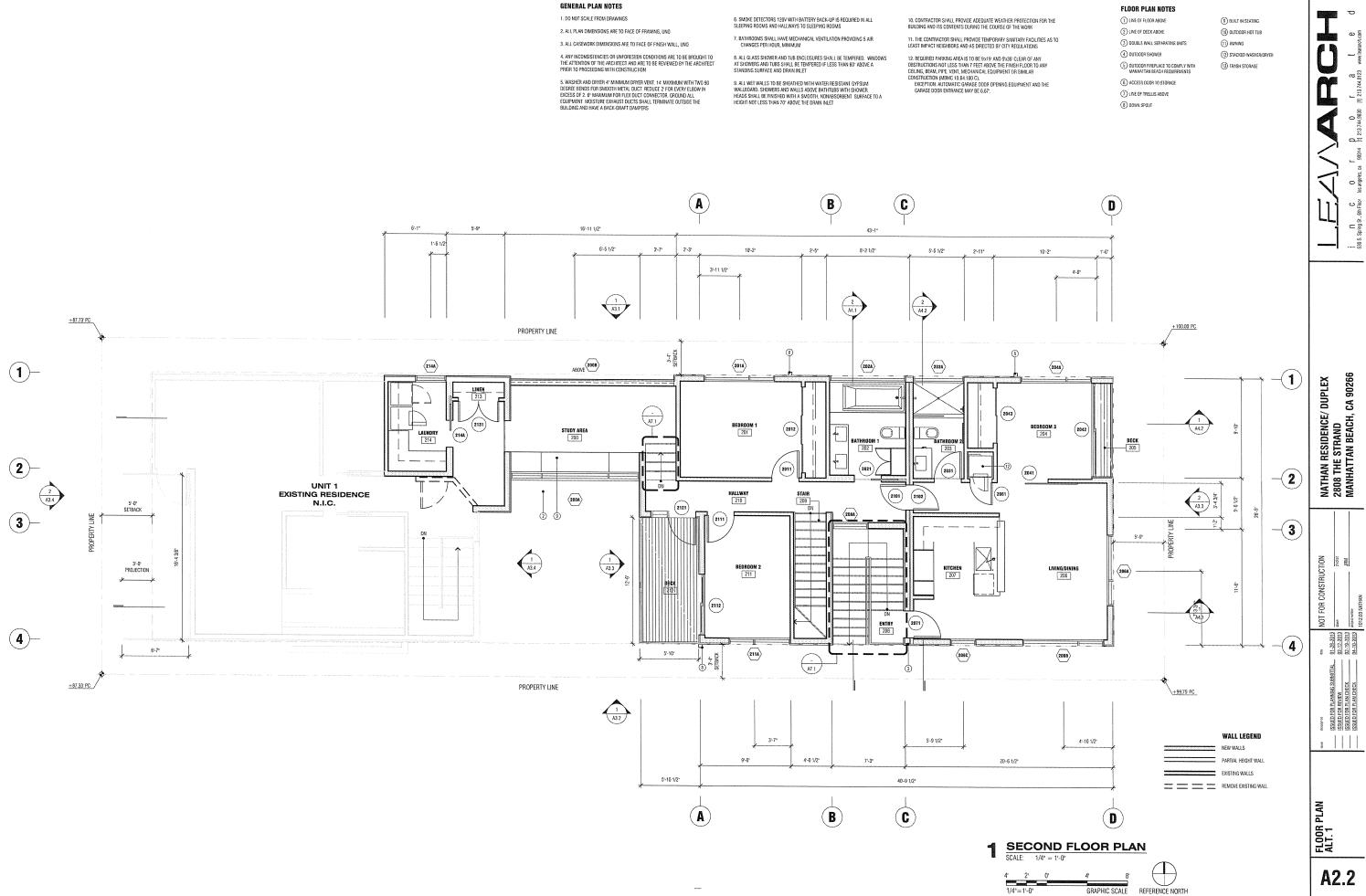
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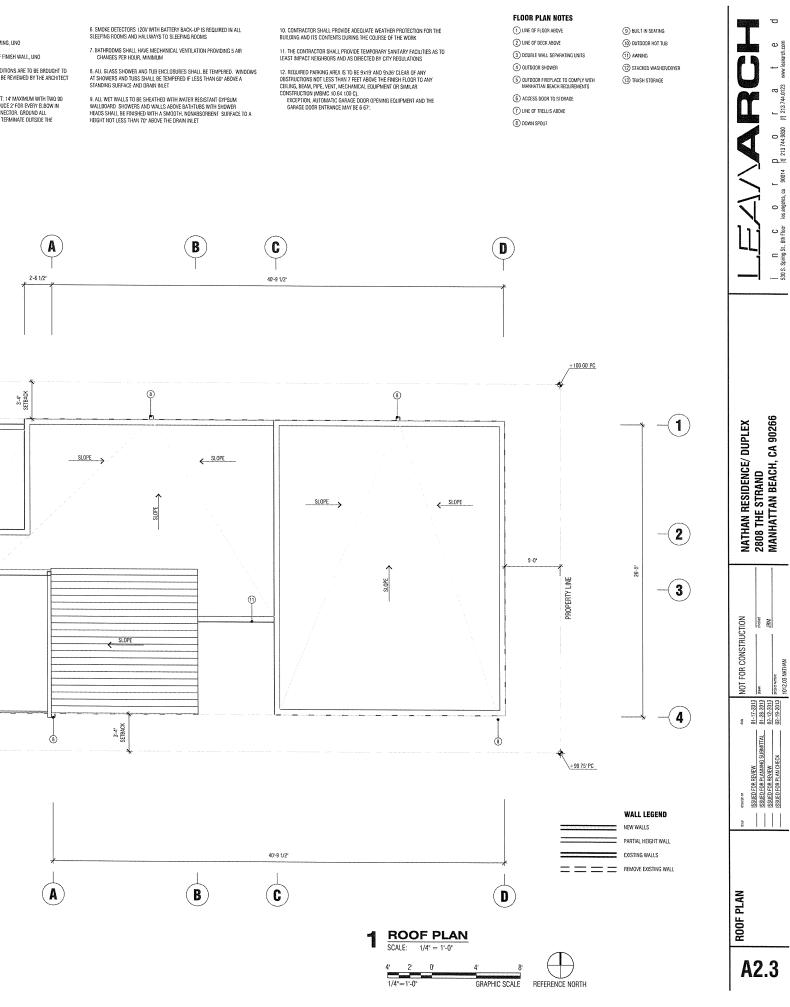
GENERAL PLAN NOTES 1. DO NOT SCALE FROM DRAWINGS

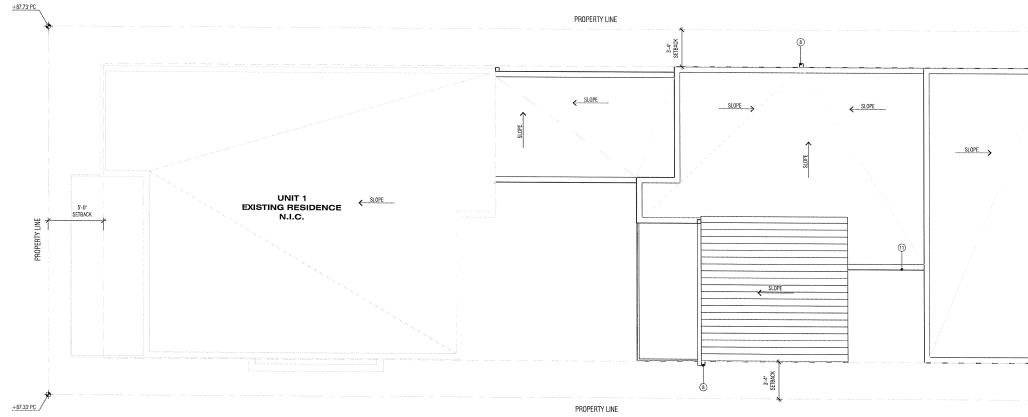
2. ALL PLAN DIMENSIONS ARE TO FACE OF FRAMING, UNO

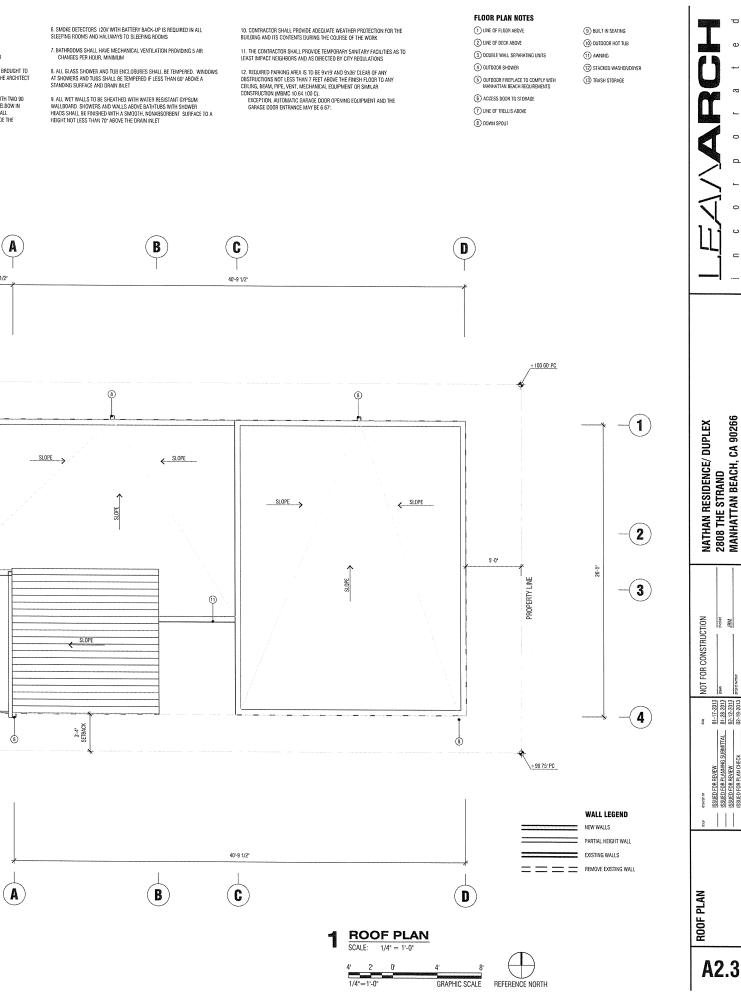
3. ALL CASEWORK DIMENSIONS ARE TO FACE OF FINISH WALL, UNO

4. ANY INCONSISTENCIES OR UNFORESEEN CONDITIONS ARE TO BE BROUGHT TO THE ATTENTION OF THE ARCHITECT AND ARE TO BE REVIEWED BY THE ARCHITECT PRIOR TO PROCEEDING WITH CONSTRUCTION

5. WASHER AND DRYER 4' MINIMUM DRYER VENT. 14' MAXIMUM WITH TWO 90 DEGREE BENDS FOR SMOOTH METAL DUCT. REDUCE 2' FOR EVERY ELBOW IN EXCESS 0F 2. 6' MAXIMUM FOR FLEX DUCT CONNECTOR, GROUND ALL EQUIPMENT, MOSTORE EXAMPLE DUCTS SHALL TERMINATE OUTSIDE THE BUILDING AND HAVE A BACK-DRAFT DAMPERS



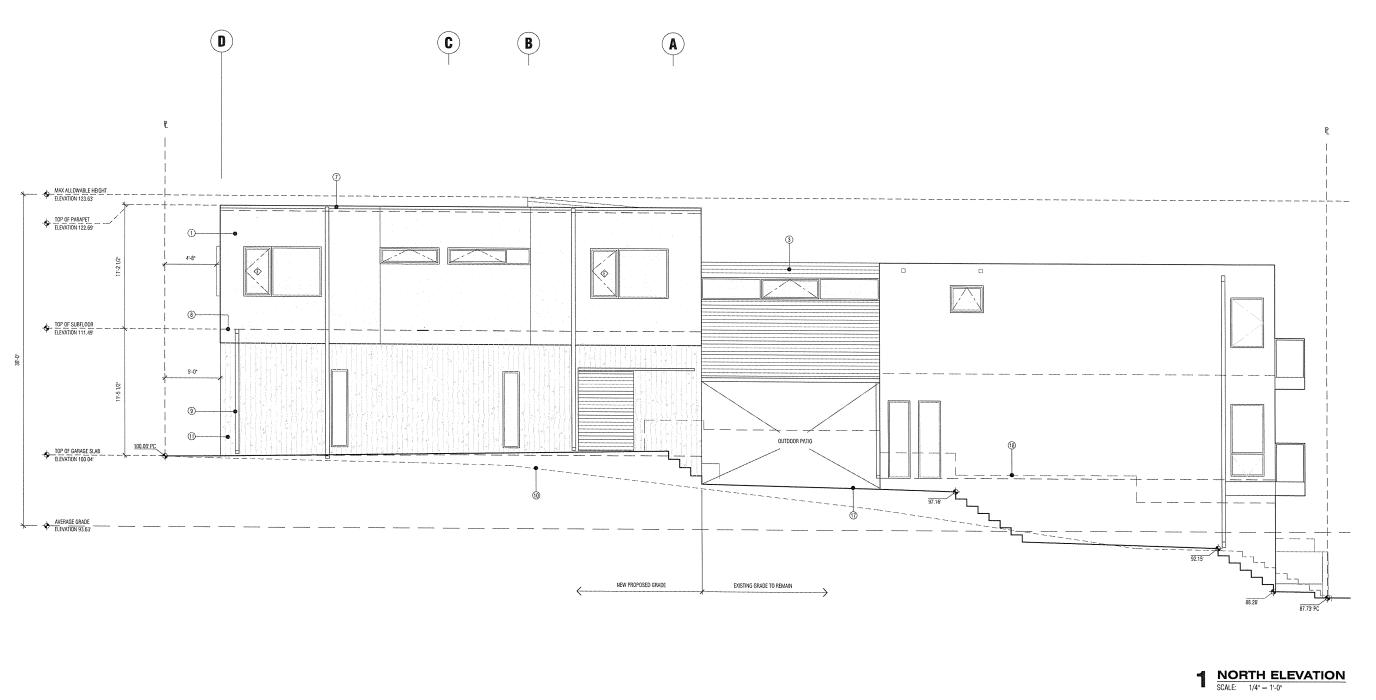




- INERAL ELEVATIONS NOTES REFER TO SHEET 51-160 ADDITIONAL DRAWING NOTES AND SPECIFICATIONS. DETAIL DRAWING SALWYST XER VEREBEINEE OVER LARGER SCALED DRAWINGS. THE RIDGE HEIGHT ANDOR HIGHEST POINT OF THE RODG STRUCTURE, INCLUDING PARPETS SHALL BE CERTIFIED BY A LIGHISTS DURIVERO ON A FORM PROVIDED BY THE CITY PRIOR TO APPROVA. OT THE RODG FRAUNAGSHIGHTING BY THE DEPARATISS SHALL BE CERTIFIED BY A LIGHISTS DURIVERO ON A FORM PROVIDED BY THE CITY PRIOR TO APPROVA. OT THE RODG FRAUNAGSHIGHTING BY THE DEPARATISS, SALLELT ANTENNE, SAUKTOR SANCHARTS, AND RODF EDUIPMENT MUST BE WITHIN HEIGHT LIMIT. RODG DRAINS AND OVERFLOW DRAWN SHALL BE SZED ACCORDING TO CHAPTER 11 OF THE LARC THE RODF DRAIN AND OVERFLOW DRAWN MUST BE INDEPENDENT INES TO A YARD BOX. OVERFLOW SCUPPERS SHALL DIEND NOT LESS THAN 2 FEET ABOVE ANY PART OF THE BULDING WITHIN 10 FEET BUT SHALL NOT BE LESS THAN 3 FEET PASSING THROUGH THE RODF DRAINS AND DEVERTION THE DISTING FOR THE CHIMNEY OF A PIREPLACE, STOVE OR BARBRECUE (2113.9.1)
- 4 5
- 6 7
- 8
- 9
- DRAFT STOP SHALL BE PROVIDED WITHIN A CONCEALED FLOOR-CELING ASSEMBLY FORMED OF COMBUSTIBLE CONSTRUCTION, UNLESS THE BUILDING IS SPRINK ERED WITH NFPA 13 SPRANLER SYSTEM (1000 SF BETWEEN DARHFT STOPS), (171.32 & 23)

 DRAFT STOPS SHALL ER PROVIDED WITHIN ATTALS, MANSARDS, OXPRIANGS AND SIMILAR CONCEALED SPACES FORMED OF COMBUSTIBLE CONSTRUCTIONS, UNLESS THE BUILDING IS SPRINLER SPREID WITH IFVAT IS SPRINKER SYSTEM (2000 SF BETWEEN DRAFT STOPS), (171.4.3)

 12
 ATTIC VENTILATION OF THAT AGA OF VENTILATED SPACE (APPROXIMATELY 10 SO. IN. FOR EACH 10 SO. FT. OF ATTIC AREA IS REQUIRED, (1203.2)



NUMBERED NOTES

- (1) INFEGRAL COLOR SMOOTH COAT STUCCO, COLOR 1, TBD (10) LINE OF ADJACENT GRADE
- (2) INTEGRAL COLOR SMOOTH COAT STUCCO, COLOR 2, TBD (1) BOARD-FORMED CONCRETE
- 3 WOOD SIDING
- (4) HARDWOOD TRIM, TBD
- 5 PAINTED WIRE MESH GUARDRAIL, 42" AFF
- (6) PAINTED METAL PANEL
- METAL PARAPET TRIM
- (B) FINISH FLOOR LINE
- DOWNSPOUT LEADER

- (12) OUTDOOR LIGHTING FIXTURE, TBD
- (13) AWNING
- (12) WOOD CABINET
- (15) OUTDOOR GRILL
- (16) (E) WALL TO REMOVE
- (17) PROPOSED GRADE
- (18) EXISTING WALL TO REMAIN

DENOTES WINDOW IS EGRESS COMPLIANT







- GENERAL ELEVATIONS NOTES

 1
 REFER TO SHEET SP. FOR ADDITIONAL DRAWING NOTES AND SPECIFICATIONS.

 2
 DETAIL DRAWINGS AUXYS TAKE PRECEDENCE OVER LARGER SCALED DRAWINGS.

 3
 THE RIDGE HEIDET AND/OR HIGHEST POINT OF THE ROOF STRUCTURE. INCLUDING PRARVETS SHALL EC CENTRIE DR A LODENSE SUBJECTION ON A FORM PROVIDED DRATINEST GRAULE CENTRIE DR A LODENSE SUBJECTION ON A FORM PROVIDED DRATINEST GRAULE CENTRIE DR A LODENSE SUBJECTION ON A FORM PROVIDED DRATINEST GRAULE CENTRIE DR A LODENSE SUBJECTION ON A FORM PROVIDED DRATINEST GRAULENCE ANTENNAE, GUARD PAILS, SKILLISTS, AND ROOF EQUIPMENT MISS DE WITHIN HEIGHT LIMIT.

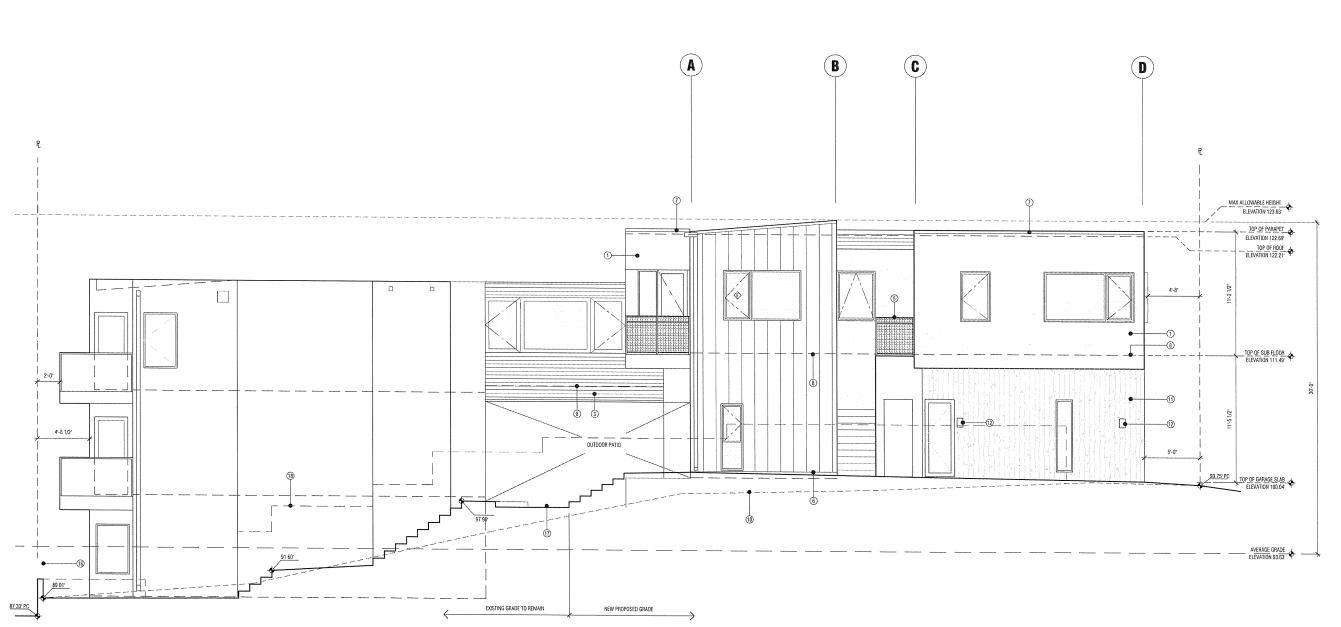
 7
 ROOF DRAINS AND OVERFLOW ORAIN SHALL BE SIZED ACCORDING TO CHAPTER 11 OF THE LAPC.

 8
 TOOF DRAIN AND OVERFLOW ORAIN MUST BE INDEPENDENT LINES TO A YARD BOX.

 9
 TO OFERFLOW SCUPPERS SHALL BE DESIGNED IN ACCORDANCE TO TABLE 11-1 OF THE LAPC.

 10
 TO FORM THE OFERFLOW TO THE BUSS THAN 2 FEET ABOVE ANY PART OF THE BULIDING WITHIN 10 FEET BUT SHALL NOTE LESS THAN 3 FEET PASSING THROUGH THE ROOF. (2113.9)

 9
 PROVIDE SN APPROVED SPARK ARRESTOR FOR THE CHIMNEY OF A FIREPLACE, STOVE OR BRABECUE. (2113.9.1)



NUMBERED NOTES

- (1) INTEGRAL COLOR SMOOTH COAT STUCCO, COLOR 1, TED (1) LINE OF ADJACENT GRADE
- (2) INTEGRAL COLOR SMOOTH COAT STUCCO, COLOR 2, TBD (1) BOARD-FORMED CONCRETE
- (3) WOOD SIDING
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- () METAL PARAPET TRIM
- (a) FINISH FLOOR LINE
- 9 DOWNSPOUT LEADER

- - (12) OUTDOOR LIGHTING FIXTURE, TBD

 - (13) AWNING
 - (14) WOOD CABINET
 - (15) OUTDOOR GRILL
 - (E) WALL TO REMOVE
 - (17) PROPOSED GRADE
 - (18) EXISTING WALL TO REMAIN
 - DENOTES WINDOW IS EGRESS COMPLIANT

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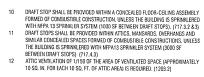
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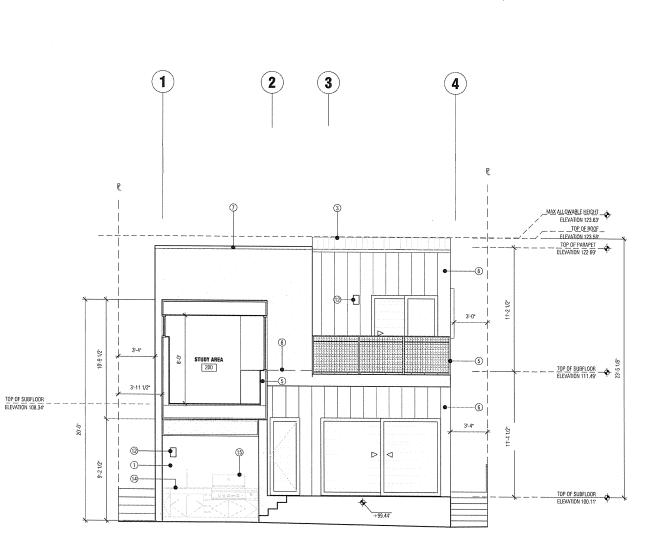
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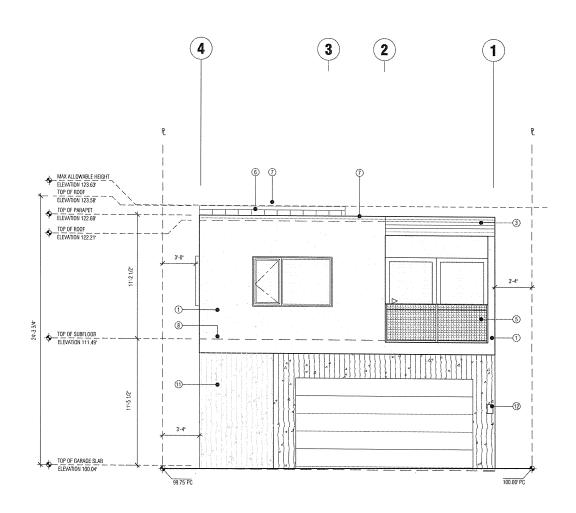
NATHAN RESIDENCE/ DUPLEX 2808 The Strand Manhattan Beach, ca 90266

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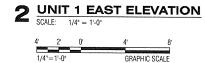


- ENERGI. ELEVATIONS NOTES IRFERIO SHEET SP. 1 FOR ADDITIONAL DRAWING NOTES AND SPECIFICATIONS. DETAIL DRAWINGS ALWAYS TAK PRECEDENCE OVER LARGER SCALED DRAWINGS. THE RIDGE HEIGHT AND/OR HEIREST POINT OF THE ROOF STRUCTURE, INCLUDING PRAPAPETS SHILL BE CERTIFIED AN A UCENED SURVEYOR ON A FORM PROVIDED BY THE CITY PROT TO APPROVAL OF THE ROOF FINALWIGSHEATHING BY THE DEPARTMENT OF BUILDING. MO SCHETY AS REQUIRED. PARAPETS, SATELLITE ANTERNAE, GUARD RULS, SKYLGHTS, AND ROOF EOUPMENT MUST BE WITHIN HEIGHT LIMIT. ROOF DRAIN AND OVERT OW DRAINS SHALL BE SIZED ACCORDING TO CHAPTER 11 OF THE LAPC THE ROOF DRAIN AND OVERT OW DRAINS SHALL BE SIZED ACCORDING TO CHAPTER 11 OF THE LAPC DVERT OW SCUPPERS SHALL DE DESIGNED IN ACCORDANCE TO TABLE 11-1 OF THE LAPC. DTO PG CHIMINENS SHALL EXTEND NOT LESS THAN 2 FEET ABOVE ANY PART OF THE BUILDING WITHIN 10 FEET BUT SHALL NOT BE LESS THAN 2 FEET PASSING THROUGH THE ROOF RAIN APPROVED SPARK ARRESTOR FOR THE CHIMNEY OF A FIREPLACE, STOVE ON BRANREDULE, (2113 9.1)
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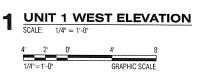


10 DRAFT STOP SHALL BE PROVIDED WITHIN A CONCEALED FLOOR-CEILING ASSEMBLY FORMED OF COMBUSTRIE CONSTRUCTION, UNLESS THE BUILDING IS SPRINNCERED WITH NFPA 13 SPRINNCER SYSTEM (1000 SF BETWEEN DRAFT STOPS), (71.7.2 & 24) 11 DRAFT 51 OPT SHALL BE FROMED WITHIN ATTICS, MANSARIG, CONTENIANS AND SAMLAR CONCEALED SPACES FORMED OF COMBUSTRIE CONSTRUCTIONS, UNLESS THE BUILDING IS SPRINNLEED WITHIN ATTICS, MANSARIG, CONSTRUCTIONS, UNLESS THE BUILDING IS SPRINKLEED WITH MYTAT STRAKLER SYSTEM (2000 SF BETWEEN DRAFT STOPS), (71.7.4.3) 21 ATTIC VERTICATION OF THE AREA OF VENTILATED SPACE (APPROXIMATELY 10 SG. IN, FOR EACH 10 SO. FT OF ATTIC AREA IS REQUIRED, (120.2.2)

NUMBERED NOTES

- (1) INTEGRAL COLOR SMOOTH COAT STUCCO, COLOR 1, TBD (1) LINE OF ADJACENT GRADE
- (2) INTEGRAL COLOR SMOOTH COAT STUCCO, COLOR 2, TBD (1) BOARD-FORMED CONCRETE
- ③ WOOD SIDING
- (4) HARDWOOD TRIM, TBD
- (5) PAINTED WIRE MESH GUARDRAIL, 42" AFF
- (5) PAINTED METAL PANEL
- (7) METAL PARAPET TRIM
- (8) FINISH FLOOR LINE
- DOWNSPOUT LEADER

- (12) OUTDOOR LIGHTING FIXTURE, TBD
- (13) AWNING
- (14) WOOD CABINET
- (15) OUTDOOR GRILL
- (6) (E) WALL TO REMOVE
- 1 PROPOSED GRADE
- (18) EXISTING WALL TO REMAIN
- DENOTES WINDOW IS EGRESS COMPLIANT





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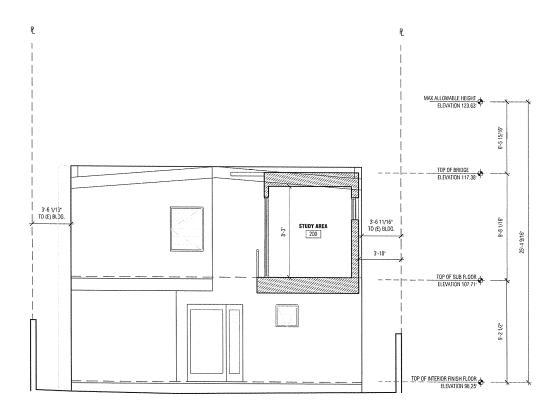
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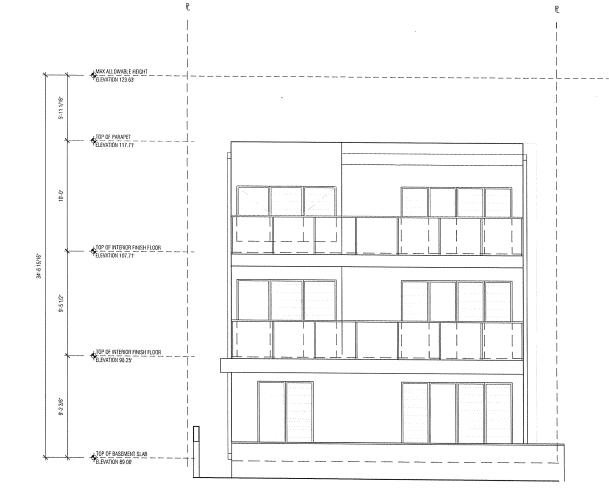
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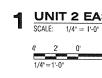
- REFER TO SHEET SP 1 FOR ADDITIONAL DRAWING NOTES AND SPECIFICATIONS. DETAIL DRAWINGS ALWAYS TAKE PRECEDENCE OVER LARGER SCALED DRAWINGS. THE ROBEL HEIGHT AND/OR INDUST FOND OF THE ROOF STRUCTURE, INCLUDING PRAPETS SHALL BE CONTIEDE BY AL LOCENSED SUPPONDED AND THE MOVIDED BY THE CITY PRIOR TO APPROVAL OF THE ROOF FRAMINGSHEATING BY THE DEPARTMENT OF DULLIDING AND SERVERTY SERVICIDED. PRAPETS, SATELLITE ANTENNAE, GUARD RALS, SKYLIGHTS, AND ROOF EQUIPMENT MUST BE WITHIN HEIGHT LIMIT. ROOF DRAINS AND OVERHELW DRAINS SHALL BE SIZED ACCORDING TO CHAPTER 11 OF THE LAPC
- 4 5
- OF THE LAPC THE ROOF DRAIN AND OVERFLOW DRAIN MUST BE INDEPENDENT LINES TO A YARD 6
- BOX. OVERFLOW SCUPPERS SHALL BE DESIGNED IN ACCORDANCE TO TABLE 11-1 OF THE 7
- OVERTION SCHPPENS SHALL BE USUBILED IN ACCUMUNITION TO FABLE 11-1 OF THE LAPC. TOP OF CHMMPRS SHALL EXTEND NOT LESS THAN 2 FEET ABOVE ANY PART OF THE BULLDING WITHIN 10 FEET BUT SHALL NOT BE LESS THAN 3 FEET PASSING THROUGH THE ROOT, (2113.9) PROVIDE AN APPROVED SPARK ARRESTOR FOR THE CHIMNEY OF A FIREPLACE. 8
- 9
- STOVE OR BARBECUE. (2113.9.1)





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- DRAFT STOP SHALL BE PROVIDED WITHIN A CONCEALED FLOOR. CEILING ASSEMBLY FORMED OF COMMUSTRIE CONSTRUCTION, UNLESS THE BUILDING IS SPRINKLERED WITH NFPA 13 SPRINKLER SYSTEM (1000 SF BETWEEN DRAFT STOPS). (71.7.2.6.3)
 DRAFT STOPS SHALL BE IPROVED WITHIN ATTICK, MARKARDS, OVERHANGS AND SIMILAR CONCEALED SPACES FORKED OF COMMUSTRIE CONSTRUCTIONS, UNLESS THE BUILDING IS SPRINLER DYNE DWIT IN PATI ASTRINKLER SYSTEM (2000 SF BETWEEN DRAFT STOPS). (71.7.4.3)
 ATTIC VERTILATION OF 11/05 OF THIA REA OF VENTILATED SPACE (APPROXIMATELY 10 S0. IN: FOR EACH 10 S0. F1. OF ATTIC AREA IS REQUIRED. (1202.2)

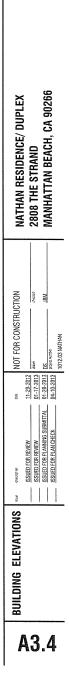
NUMBERED NOTES

- 1 INTEGRAL COLOR SMOOTH COAT STUCCO, COLOR 1, TBD (1) LINE OF ADJACENT GRADE
- (2) INTEGRAL COLOR SMOOTH COAT STUCCO, COLOR 2, TED (1) BOARD-FORMED CONCRETE
- ③ WOOD SIDING
- (HARDWOOD TRIM, TBD
- (5) PAINTED WIRE MESH GUARDRAIL, 42" AFF
- 6 PAINTED METAL PANEL
- (7) METAL PARAPET TRIM
- (B) FINISH FLOOR LINE
- (9) DOWNSPOUT LEADER
- - (12) OUTDOOR LIGHTING FIXTURE, TBD
 - (13) AWNING

 - (14) WOOD CABINET
 - (15) OUTDOOR GRILL
 - (6) (E) WALL TO REMOVE
 - PROPOSED GRADE
 - (18) EXISTING WALL TO REMAIN
 - DENOTES WINDOW IS EGRESS COMPLIANT



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- GENERAL ELEVATIONS NOTES

 1
 REFER TO SHEET SP. I FOR ADDITIONAL DRAWING WOTES AND SPECIFICATIONS.

 2
 DEFAIL DRAWINGS. NAVER VER PRECEDENCE OVER LARGES SCALED DRAWINGS.

 3
 THE RODG HIGHERT AND/OR HIGHEST POINT OF THE ROOF STRUCTURE. INCLUDING PRAVAPTER SVALL BC SCHTEED GY A LICENSEE SURVEYOR ON A FORM PROVIDED BY THE CITY PRIOR TO APPROVAL OF THE ROOF FRAMMOSTREATING BY THE DEPARTMENT OF BUILDING AND PARTY AS REQUERD PRAVAPTERS. SATELLITE ANTRONAL, GLARD DNALS, SKYLGHTS, AND ROOF EDUIPMENT MUST BE WITHIN HEIGHT LIMIT.

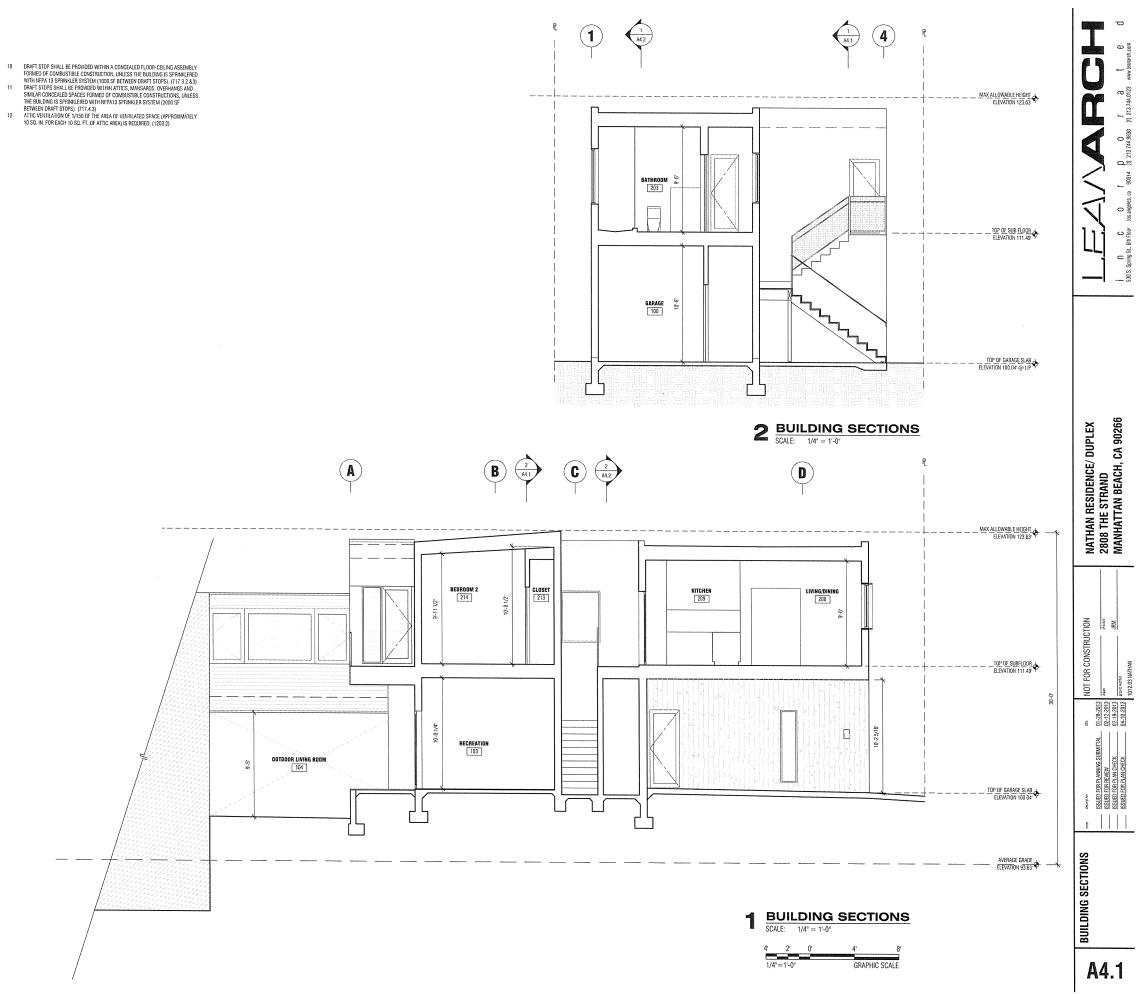
 6
 ROOF DRAINS AND OVERHELOW DRAINS SHALL BE SIZED ACCORDING TO CHAPTER 11 OF THE LAPC.

 7
 OVERFLOW SCUPPERS SHALL BE DESIGNED IN ACCORDANCE TO TABLE 11-1 OF THE LAPC.

 8
 TOP OF CHIMMEN'S SHALL BE DESIGNED IN ACCORDANCE TO TABLE 11-1 OF THE LAPC.

 9
 POOVER JUNG SUPPERS SHALL BLE DESIGNED IN ACCORDANCE TO TABLE 11-1 OF THE BULLDING WITHIN 10 FEET BUT SHALL.NOT BE LISS THAN 3 FEET PASSING THROUGH THE HOOF. (2113.9).

BATHROOM 203 GARAGE



- REFER TO SHEET SP.1 FOR ADDITIONAL DRAWING NOTES AND SPECIFICATIONS. DETAIL DRAWINGS ALWARYS TAKE PRECEDENCE OVER LARGER SCALED DRAWINGS. THE RIDCE HIELENT ANU/OR INGESET POINT OF THE BOOF STRUCTURE, ACULOING PARAPETS SHALL BE CERTIFIED BY A LICENSED SURVEYOR DR A FOIM PROVIDED YTHE CITY PRIOT DRAWING AND SAFETY AS REQUERED. DY THE CITY PRIOT DRAWING AND SAFETY AS REQUERED. PRAPAPETS SAFLITE ANTENING AND SAFETY AS REQUERED. PRAPAPETS SAFLITE ANTENING (SURD PAILS, SYNLIGHTS, AND ROOF EQUIPMENT MIST FEE WITHIN HEIGHT LINIT. BIOFE DRAWS AND OLDER DURING SAFLITE SAFLITE AT SAFETY AS REQUERED. 4
- 5 ROOF DRAINS AND OVERFLOW DRAINS SHALL BE SIZED ACCORDING TO CHAPTER 11
- HOUP DRAWN AND OVER LOW DRAWN MUST BE INDEPENDENT LINES TO A YARD THE ROOF DRAW AND OVERFLOW DRAW MUST BE INDEPENDENT LINES TO A YARD 6
- BOX. BOX. OVERFLOW SCUPPERS SHALL BE DESIGNED IN ACCORDANCE TO TABLE 11-1 OF THE 7
- OVENHUW SUBTYEND STALL DE DESURTED IN NUMBER TO ANTI ALT TO THE LAPC. TOP OF CHIMNEYS SHALL EXTEND NOT LESS THAN 2 FEET ABOVE ANY PART OF THE BUILDING WITHIN 0 FEET BUT SHALL NOT BE LESS THAN 3 FEET PASSING THROUGH THE ROOF. (2113.9) PROVIDE AN APPROVED SPARK ARRESTOR FOR THE CHIMNEY OF A FIREPLACE, STOVE OR BARBECUE. (2113.9.1) 8
- 9

