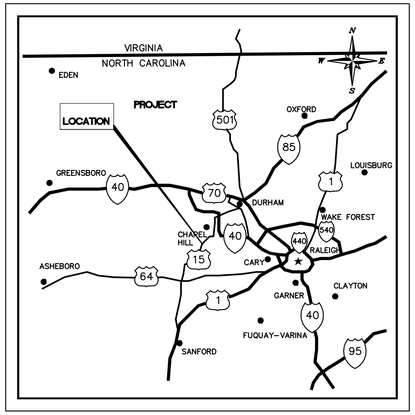
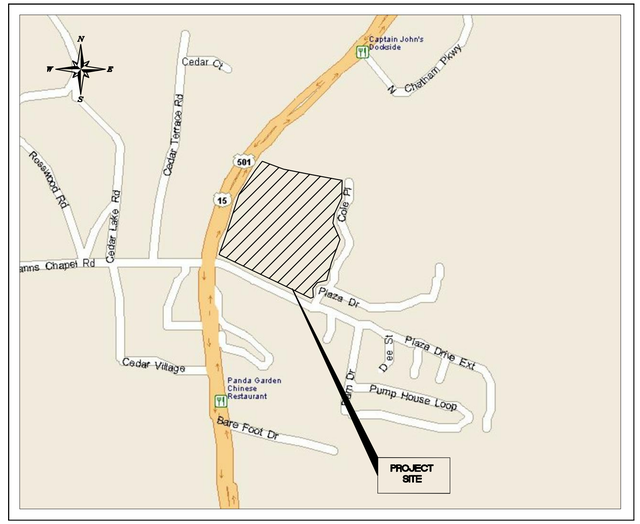


PROJECT LOCATION
N.T.S.

CONDITIONAL USE PERMIT DOCUMENTS FOR :

NORTH CHATHAM VILLAGE

11500 US 15-501 N
CHATHAM COUNTY, NC
PIN: 9776-33-5210.000



VICINITY MAP
N.T.S.

SUMMARY INFORMATION

OWNER: THE KEITH CORPORATION
5935 CARNEGIE BLVD., SUITE 200
CHARLOTTE, NC 28209
PHONE: (704)319-8170
ATTN: LAURA MONDRICK

CIVIL ENGINEER: KIMLEY-HORN AND ASSOCIATES, INC.
333 FAYETTEVILLE ST. SUITE 600
RALEIGH, NC 27601
PHONE: (919) 653-2927
ATTN.: CHRIS BOSTIC, P.E.

LANDSCAPE ARCHITECT: KIMLEY-HORN AND ASSOCIATES, INC.
333 FAYETTEVILLE ST. SUITE 600
RALEIGH, NC 27601
PHONE: (919) 653-2976
ATTN.: RICHARD BROWN, PLA

ARCHITECT: CHILDREY ROBINSION ASSOCIATES
1212 KENILWORTH AVENUE
CHARLOTTE, NC 28204
PHONE: (704) 370-6000
FAX: (704) 370-6006
ATTN: WYC CHILDREY

SURVEYOR: JAMES MAUNEY & ASSOCIATES, P.A.
PROFESSIONAL LAND SURVEYORS
6405 WILKINSON BLVD., SUITE 11
BELMONT, NC 28012
PHONE: (704) 829-9623
FAX: (704) 829-9625
ATTN: JAMES P. CAMERON

LIGHTING: SABER ENGINEERING
2923 SOUTH TRYON STREET, SUITE 280
CHARLOTTE, NC 28203
PHONE: (704) 373-0068
ATTN: RICHARD M. MORRISON JR.

PRELIMINARY PLANS NOT FOR CONSTRUCTION

Sheet List Table

Sheet Number	Sheet Title
C000	COVER SHEET
C100	EXISTING CONDITIONS
C200	DEMOLITION PLAN
C300	SITE PLAN
C400	GRADING AND DRAINAGE PLAN
C500	UTILITY PLAN
L-1.0	LANDSCAPE PLAN
A-201	ELEVATIONS
A-201.1	ELEVATIONS
A-202	ELEVATIONS
E-1	PLAN AND FIXTURE LAYOUT
T1.0	COVER
R1.1	OCCUPANCY PLAN
R1.3	SEATING PLAN
A2.0	ELEVATIONS
A2.1	ELEVATIONS

REVISIONS

NO.	DATE	DESCRIPTION	BY

NC CERT. OF AUTH: F-0102

Kimley»Horn

333 FAYETTEVILLE STREET, SUITE 600, RALEIGH, NORTH CAROLINA 27601
PHONE: (919) 835-1494

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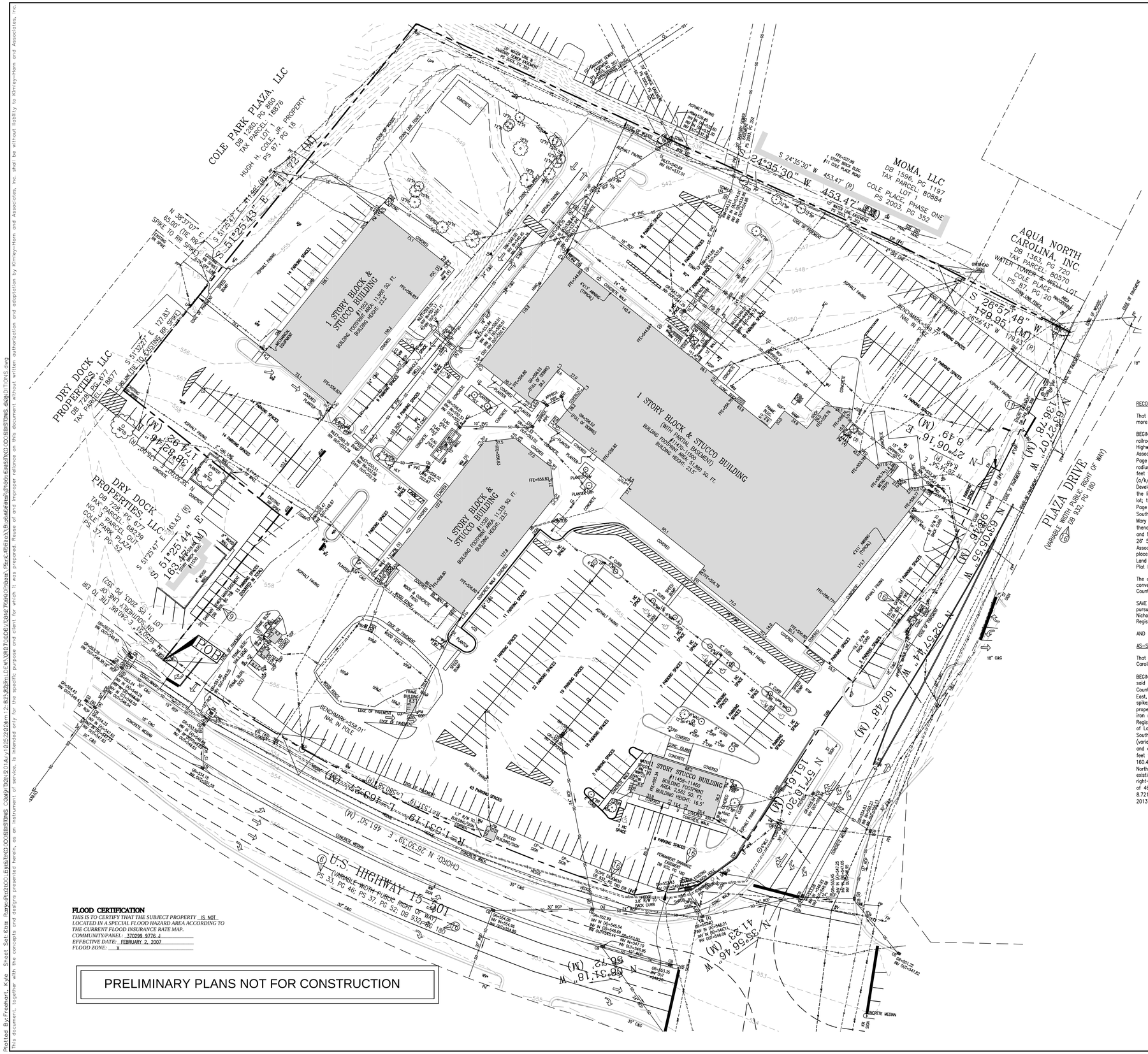
SEAL:

DATE:
JULY 3, 2014

KHA PROJECT NO:
012700000

Plotted By:Freehart, Kyle Sheet Set:Cole Park Plaza Layout:C000 COVER SHEET July 02, 2014 12:52:12pm K:\RDT_LDEV\012700000_Cole Park Plaza\15_CADFiles\Plansheets\C000 - COVER SHEET.dwg



LINE TYPE LEGEND:

PROPERTY LINE	
PROPERTY LINE (NOT SURVEYED)	
RIGHT-OF-WAY	
RIGHT-OF-WAY (NOT SURVEYED)	
EASEMENT	
SETBACK	
CABLE TV LINE	C C C C
FIBER OPTIC LINE	FO FO FO FO
GAS LINE	G G G G
POWER LINE	E E E E
POWER LINE (UNDERGROUND)	UE UE UE UE
SANITARY SEWER PIPE	SS SS SS SS
STORM DRAIN PIPE	SD SD SD SD
TELEPHONE LINE	T T T T
TELEPHONE LINE (UNDERGROUND)	UT UT UT UT
TREES/WOODLINE	
WATER LINE	W W W W
FENCE	X X X X

TEXT LEGEND:

BFP – BACK FLOW PREVENTER
BP – BRADFORD PEAR (TREE)
BR – BIRCH (TREE)
C&G – CONCRETE CURB & GUTTER
CB – CATCH BASIN
CD – CEDAR (TREE)
CMP – CORRUGATED METAL PIPE
CO – CLEAN OUT
CONC – CONCRETE
CP – CUSTOMER PARKING (SIGN)
CPP – CORRUGATED PLASTIC PIPE
CPR – CREPE MYRTLE (TREE)
DB – DEED BOOK
DI – DROP INLET
DT – DRIVE THROUGH (SIGN)
ECM – EXISTING CONCRETE MONUMENT
EIP – EXISTING IRON PIPE
EIR – EXISTING IRON ROD
EMM – EXISTING METAL MONUMENT
EN – EXISTING NAIL
FDC – FIRE DEPARTMENT CONNECTION
FH – FIRE HYDRANT
FOCPED – FIBER OPTIC CABLE PEDESTAL
FV – FIRE VALVE
GM – GAS METER
GV – GAS VALVE
GW – GUY WIRE
HC – HANDICAPPED PARKING SPACE
HLY – HOLLY (TREE)
HVAC – HEATING/COOLING UNIT
ICV – IRRIGATION CONTROL VALVE
KR – KEEP RIGHT (SIGN)
LP – LIGHT POLE
(M) – MEASURED
MA – MAPLE (TREE)
MAG – MAGNOLIA (TREE)
MW – MONITORING WELL
NCGS – NORTH CAROLINA GEODETIC SURVEY
NIR – NEW IRON ROD
NN – NEW NAIL
NP – NO PARKING (SIGN)
OW – ONE WAY (SIGN)
PBX – POWER BOX
PG – PAGE
PI – PINE (TREE)
P/L – PROPERTY LINE
PM – POWER METER
PMH – POWER MANHOLE
POB – POINT OF BEGINNING
PP – POWER POLE
PS – PLAT SLIDE
PVC – PLASTIC PIPE
(R) – RECORDED
RP – RESERVED PARKING (SIGN)
R/W – RIGHT-OF-WAY
RCP – REINFORCED CONCRETE PIPE
RR – RAILROAD
SDMH – STORM DRAIN MANHOLE
SL – SPEED LIMIT (SIGN)
SQ.FT. – SQUARE FEET
SSMH – SANITARY SEWER MANHOLE
ST – STOP (SIGN)
TBX – TELEPHONE BOX
TPED – TELEPHONE PEDESTAL
TMH – TELEPHONE MANHOLE
WBX – WATER BOX
WLC – WILD CHERRY (TREE)
WM – WATER METER
WV – WATER VALVE
WW – WRONG WAY (SIGN)

The Keith Corporation
8.721 Acres
U.S. Highway 15-501 and Plaza Drive
Williams Township, Chatham County, NC

RECORD LEGAL DESCRIPTION

That certain piece, parcel or tract of land, lying and being situated in Williams Township, Chatham County, North Carolina, and being more particularly described as follows:

BEGINNING at a railroad spike set in the eastern right-of-way of U.S. Highway 15-501, which railroad spike is located South 80° 36' 30" East 51.80 feet from a PK nail found at the point of intersection of the centerline of U.S. Highway 15-501 and State Road 1532, said spike also being the northwestern corner of property now or formerly owned by J H H Associates, Ltd. (o/k/a J. H. H. Associates, Ltd., and J H H Associates, Ltd.) (Deed Book 372, at Page 816, and Deed Book 384, at Page 3); and running thence, with the eastern right-of-way of US. Highway 15-501 and along the arc of a curve to the right, having a radius of 1,531.19 feet, a chord bearing of North 24° 08' 35" East, and a chord distance of 577.11 feet, an arc distance of 580.58 feet to an iron, said iron being the southwestern corner of property now or formerly owned by Hudson Cole Development Company, Inc. (o/k/a Hudson-Cole Development Co. [Company], Inc.) (Deed Book 592, at Page 685); thence, with said line of Hudson Cole Development Company, Inc., South 51° 25' 47" East 163.43 feet to a railroad spike set in an asphalt parking lot; thence, continuing with the line of Hudson Cole Development Company, Inc., North 38° 30' 00" East 175.00 feet to a railroad spike set in an asphalt parking lot; thence, with the line of additional property now or formerly owned by Hudson Cole Development Company, Inc. (Deed Book 473, at Page 378), and with the line of additional property now or formerly owned by Gray and Bradley Moody (Deed Book 548, at Page 843), South 51° 25' 47" East 411.90 feet to an iron pipe found (control corner) in the line of property now or formerly owned by Elwood and Mary P. Hardin (Deed Book 549, Page 291), which iron pipe marks the southeastern corner of the above-referenced Moody property; thence with the line of Elwood and Mary P. Hardin, South 24° 35' 30" West 453.47 feet to an iron found; thence with the line of Elwood and Mary P. Hardin and along the western boundary of the property of Hudson Cole Water and Sewer Company (now or formerly) South 26° 56' 43" West 179.93 feet to an iron found in the line of the above-referenced property now or formerly owned by J H H Associates, Ltd.; thence, with said line of J H H Associates, Ltd., North 62° 56' 59" West 588.99 feet to a railroad spike, the point and place of BEGINNING, containing 9.04 acres, more or less, according to survey by Charles R. Billings, Registered Land Surveyor, Freehold Land Surveys, Inc., dated August 29, 1997, and entitled ALTA/ACSM Land Title Survey of Cole Park Plaza. Reference is hereby made to Plat Book 37, at Page 53, of the Chatham County Registry, North Carolina, for further description.

The above-described property is the same as that property conveyed in Deed Book 490, at Page 124, SAVE AND EXCEPT the property conveyed in Deed Book 592, at Page 685, all Chatham
County Registry, North Carolina.

SAVE AND EXCEPT FROM THE ABOVE DESCRIBED PROPERTY, that portion of the property taken by the Department of Transportation pursuant to that certain Judgment filed by the Department of Transportation, Plaintiff, v. Glenwood Triangle Company, L.L.C., W. Alan Nichols, Trustee, and Protective Life Insurance Company, Defendants, recorded May 8, 2002, in Book 932, Page 180, in the Office of the Register of Deeds of Chatham County, North Carolina.

AND BEING THE SAME PROPERTY DESCRIBED AS FOLLOWS:

AS-SURVEYED LEGAL DESCRIPTION:

That certain tract or parcel of land situated, lying and being near the Town of Chapel Hill, Williams Township, Chatham County, North Carolina, and being more particularly described as follows:

BEGINNING at an existing iron rod on the easterly margin of the right-of-way of U.S. Highway 15-501 (variable public right-of-way), said iron being the southwesterly corner of the Dry Dock Properties, LLC tract described in Deed Book 725, Page 677 of the Chatham County Public Registry, and runs with the line Dry Dock Properties, LLC the following two (2) courses and distances: 1.) South 51°25'44" East, a distance of 163.47 feet to an existing railroad spike; 2.) North 38°32'46" East, a distance of 174.92 feet to an existing railroad spike; thence with another line of the Dry Dock Properties, LLC tract, and continuing along the southerly line of the Cole Park Plaza, LLC property as described in Deed Book 1280, Page 860 of said Registry, South 51°25'43" East, a distance of 411.72 feet to an existing iron rod in the westerly line of Lot 1 as shown on the plat of Cole Place, Phase One, as recorded in Plat Slide 2003, Page 352 of said Registry; thence with the line of Lot 1 South 24°35'30" West, a distance of 453.47 feet to an existing iron rod; thence with another line of Lot 1, and continuing along the line Aqua North Carolina, Inc. property as described in Deed Book 1363, Page 720 of said Registry, South 26°57'48" West, a distance of 179.95 feet to an existing iron pipe on the northerly margin of the right-of-way of Plaza Drive (variable width public right-of-way); thence with the northerly margin of the right-of-way of Plaza Drive the following seven (7) courses and distances: 1.) North 63°27'07" West, a distance of 136.78 feet to an existing iron rod; 2.) North 27°06'16" East, a distance of 8.49 feet to an existing nail; 3.) North 63°05'55" West, a distance of 98.46 feet to an existing nail; 4.) North 52°57'44" West, a distance of 160.48 feet to an existing metal monument; 5.) North 57°10'20" West, a distance of 151.61 feet to an existing concrete monument; 6.) North 35°56'46" West, a distance of 41.23 feet to an existing punch hole; 7.) North 08°31'18" West, a distance of 56.72 feet to an existing iron rod on the easterly margin of the right-of-way of U. S. Highway 15-501; thence with the easterly margin of the right-of-way of U. S. Highway 15-501with the arc of a circular curve to the right having a radius of 1,531.19 feet for an arc distance of 463.27 feet (chord: North 26°30'39" East, 461.50 feet) to the point and place of BEGINNING; containing 379,874 square feet or 8.721 acres, more or less, as shown on the ALTA/ACSM Land Title Survey prepared by James Mauney & Associates, P.A., dated July 25, 2013 (Map File F-1085).

NOTES:

1. ALL DISTANCES SHOWN ARE HORIZONTAL GROUND DISTANCES.
2. AT THE TIME OF THE SURVEY THERE WAS NO EVIDENCE FOUND OF ANY CEMETERIES OR BURIAL GROUNDS.
3. AT THE TIME OF THIS SURVEY, THERE WAS NO EVIDENCE OF EARTH MOVING WORK AND OR CONSTRUCTION.
4. AT THE TIME OF THIS SURVEY, THE UNDERSIGNED SURVEYOR WAS NOT AWARE OF ANY CHANGES IN STREET RIGHT-OF-WAY LINES, EXCEPT AS SHOWN (COMPLETED OR PROPOSED).
5. AT THE TIME OF THIS SURVEY, THERE WAS NO EVIDENCE OF SITE USE AS A SOLID WASTE DUMP, SUMP, OR SANITARY LANDFILL.
6. NO RECOVERABLE NCGS CONTROL MONUMENT WAS FOUND WITHIN 2,000 FEET OF THE SUBJECT PROPERTY.
7. BEARINGS SHOWN ON THIS SURVEY ARE REFERENCED TO PLAT SLIDE 37, PAGE 52.
8. THIS SURVEY IS INTENDED ONLY FOR THE NAMED PARTY OR PARTIES AS SHOWN HEREON, NO WARRANTIES ARE HEREBY IMPLIED OR GRANTED TO ANY OTHER PARTY FOR ANY PURPOSE.
9. UTILITY LOCATING SERVICE: NC ONE CALL 1-800-632-4949
10. THE SURVEYED PROPERTY IS ZONED B-1.
    ZONING COMPLIANCE AND/OR RESTRICTIONS BASED ON CURRENT OR PLANNED USE MUST BE VERIFIED BY ZONING OFFICIALS.
11. AT THE TIME OF THIS SURVEY, THE SURVEYOR IS UNAWARE OF ANY WETLAND AREAS ON THE SITE AS DELINEATED BY APPROPRIATE AUTHORITIES.
12. THE SUBJECT PROPERTY HAS DIRECT ACCESS TO U.S. HIGHWAY 15-501 AND TO PLAZA DRIVE, WHICH ARE DEDICATED, PUBLIC RIGHTS-OF-WAY.
13. THE OFF-SITE 20' SANITARY SEWER EASEMENT AND THE 20' DRAINAGE EASEMENT SHOWN ON PLAT BOOK 2003, PAGE 352 CONNECT, VIA ADDITIONAL EASEMENTS SHOWN ON THE PLAT, TO PUBLIC RIGHTS-OF-WAY.
14. ELEVATIONS SHOWN ON THIS PLAT ARE REFERENCED TO NCGS MONUMENT "BDRY LINE 7 CHATHAM ORANGE CO", ELEVATION=545.27 (NAVD 88). THE MONUMENT IS LOCATED NORTH OF THE SITE AT THE CHATHAM/ORANGE COUNTY LINE

NOTE:
EXISTING CONDITIONS BASED ON TOPOGRAPHIC SURVEY ENTITLED "U.S. HIGHWAY 15-501 AND PLAZA DRIVE" PROVIDED BY "JAMES MANUEY & ASSOCIATES, P.A. PLS" ON 09/24/2013.

GRAPHIC SCALE IN FEET
0 20 40 80

NORTH

FLOOD CERTIFICATION
THIS IS TO CERTIFY THAT THE SUBJECT PROPERTY IS NOT LOCATED IN A SPECIAL FLOOD HAZARD AREA ACCORDING TO THE CURRENT FLOOD INSURANCE RATE MAP.
COMMUNITY/PANEL: 370299 9776 J
EFFECTIVE DATE: FEBRUARY 2, 2007
FLOOD ZONE: X

PRELIMINARY PLANS NOT FOR CONSTRUCTION

No.	REVISIONS	DATE	BY

Kimley»Horn
© 2014 KIMLEY-HORN AND ASSOCIATES, INC.
333 FAYETTEVILLE STREET, SUITE 600, RALEIGH, NC 27601
PHONE: 919-677-2000 FAX: 919-677-2050
WWW.KIMLEY-HORN.COM

KHA PROJECT	012700000
DATE	7/31/2014
SCALE	AS SHOWN
DESIGNED BY	KJF
DRAWN BY	KJF
CHECKED BY	COB

EXISTING CONDITIONS

NORTH CHATHAM VILLAGE

PREPARED FOR
THE KEITH CORPORATION

CHATHAM COUNTY NORTH CAROLINA

SHEET NUMBER
C100

Plotted By: Freshwat, Kyle Sheet Set: Exist Transp. (PRELIMINARY) (EXISTING CONDITIONS) Layout: C100 (2) Date: 8/25/2014 Time: 12:31 PM J:\PROJECTS\012700000\DESIGN\CIVIL\EXISTING CONDITIONS.dwg
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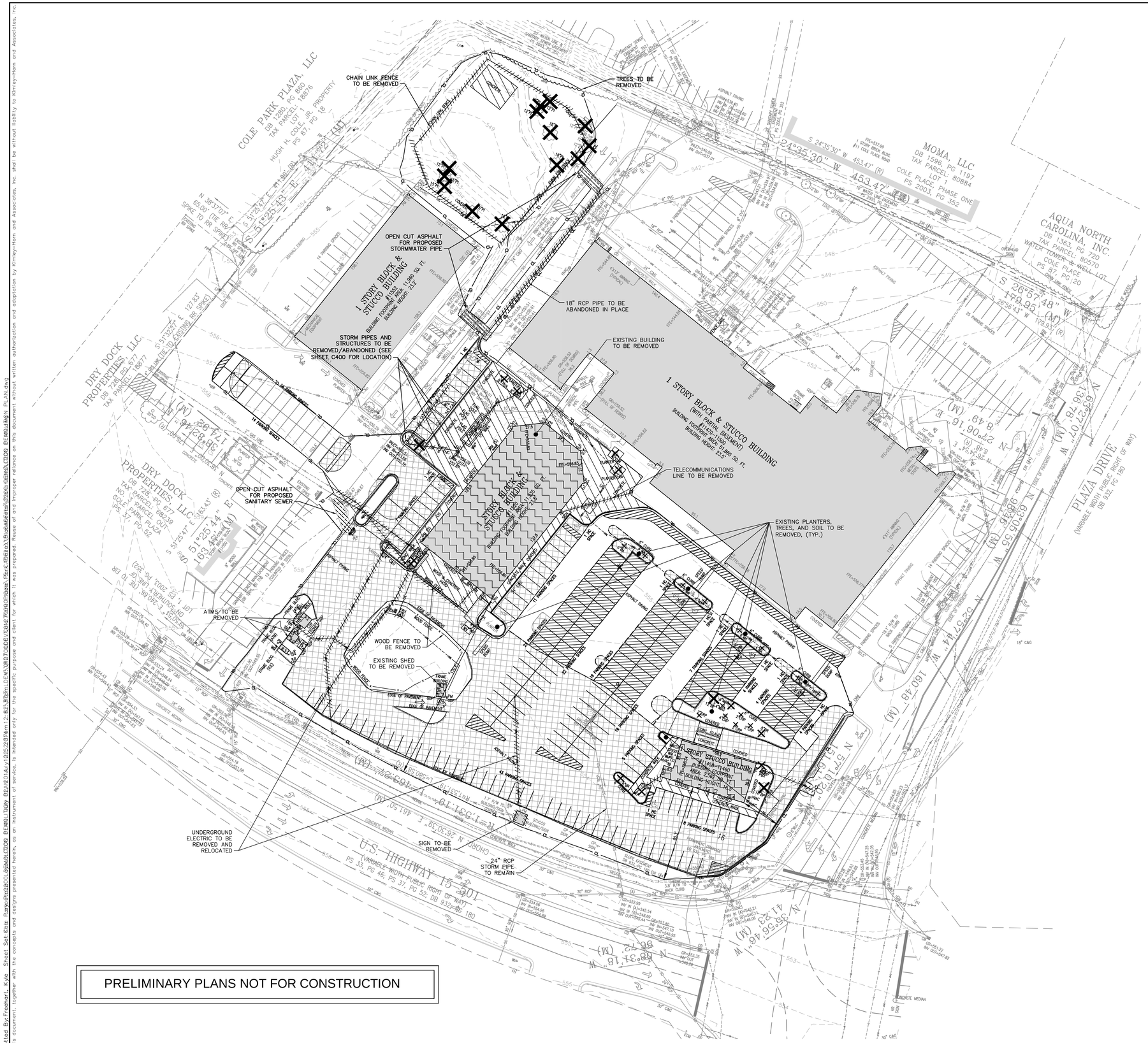

PRELIMINARY PLANS NOT FOR CONSTRUCTION

DISTURBED AREA: 3.77 AC

DEMOLITION LEGEND

- UTILITY/RCP PIPE TO BE REMOVED OR ABANDONED
- CURB AND GUTTER TO BE REMOVED
- CL — CLEARING LIMITS (LIMITS OF DISTURBANCE)
- SF — SILT PROTECTION FENCE
- ASPHALT PAVEMENT TO BE REMOVED
- BUILDING TO BE DEMOLISHED
- CONCRETE SIDEWALK TO BE REMOVED
- MILL PAVEMENT
- OPEN CUT PAVEMENT
- EXISTING TREE TO BE REMOVED
- EXISTING LIGHT POLE TO BE REMOVED

DEMOLITION NOTES

No.	REVISIONS	DATE	BY

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PHONE: 919-677-2000 FAX: 919-677-2050
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KHA PROJECT 012700000
DATE 7/3/2014
SCALE AS SHOWN
DESIGNED BY KJF
DRAWN BY KJF
CHECKED BY COB

DEMOLITION PLAN

NORTH CHATHAM VILLAGE
PREPARED FOR
THE KEITH CORPORATION

CHATHAM COUNTY NORTH CAROLINA

SHEET NUMBER
C200

Plotted By:Freehart, Kyle Sheet Set:Rdy Plots(2D) Layout:C200 DEMOLITION PLAN Rev:1 Date:7/3/2014 Time:12:53 PM Drawing:L:\CIVIL\PROJECTS\012700000 NORTH CHATHAM VILLAGE\DESIGN\DEMOLITION PLAN.dwg
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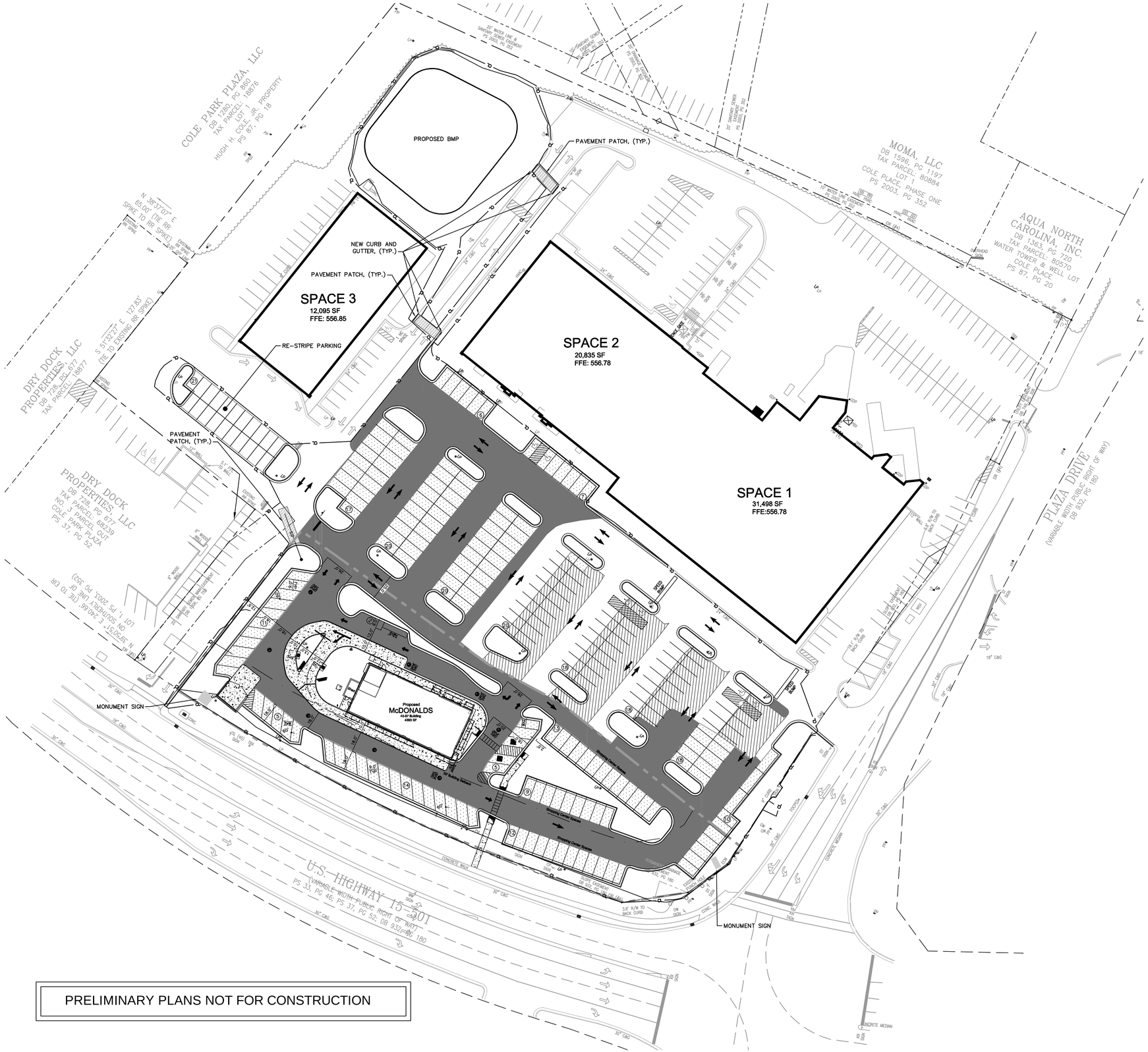

PRELIMINARY PLANS NOT FOR CONSTRUCTION

SITE PLAN LEGEND

- HEAVY DUTY ASPHALT PAVING
- LIGHT DUTY ASPHALT PAVING
- ASPHALT OVERLAY
- CONCRETE
- PAVEMENT PATCH
- (7) PROPOSED CUSTOMER PARKING

SITE SUMMARY:

CUSTOMER PARKING PROVIDED:	238 SPACES 8 HANDICAP
BUILDING FOOTPRINTS:	
SPACE #1	31,498 SF
SPACE #2	20,835 SF
SPACE #3	12,095 SF

GRAPHIC SCALE IN FEET
0 20 40 80

NORTH

No.	REVISIONS	DATE	BY

Kimley»Horn

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PHONE: 919-677-2000 FAX: 919-677-2019
WWW.KIMLEY-HORN.COM

KHA PROJECT
012700000

DATE	7/3/2014
SCALE	AS SHOWN
DESIGNED BY	KJF
DRAWN BY	KJF
CHECKED BY	COB

SITE PLAN

NORTH CHATHAM VILLAGE
PREPARED FOR
THE KEITH CORPORATION

CHATHAM COUNTY NORTH CAROLINA

SHEET NUMBER
C300

Plotted By:Freehart, Kyle Sheet Set:Site Items:Phase3(Site)(HCAD) Site Plan(Site)Layout:C300 SITE PLAN dwg
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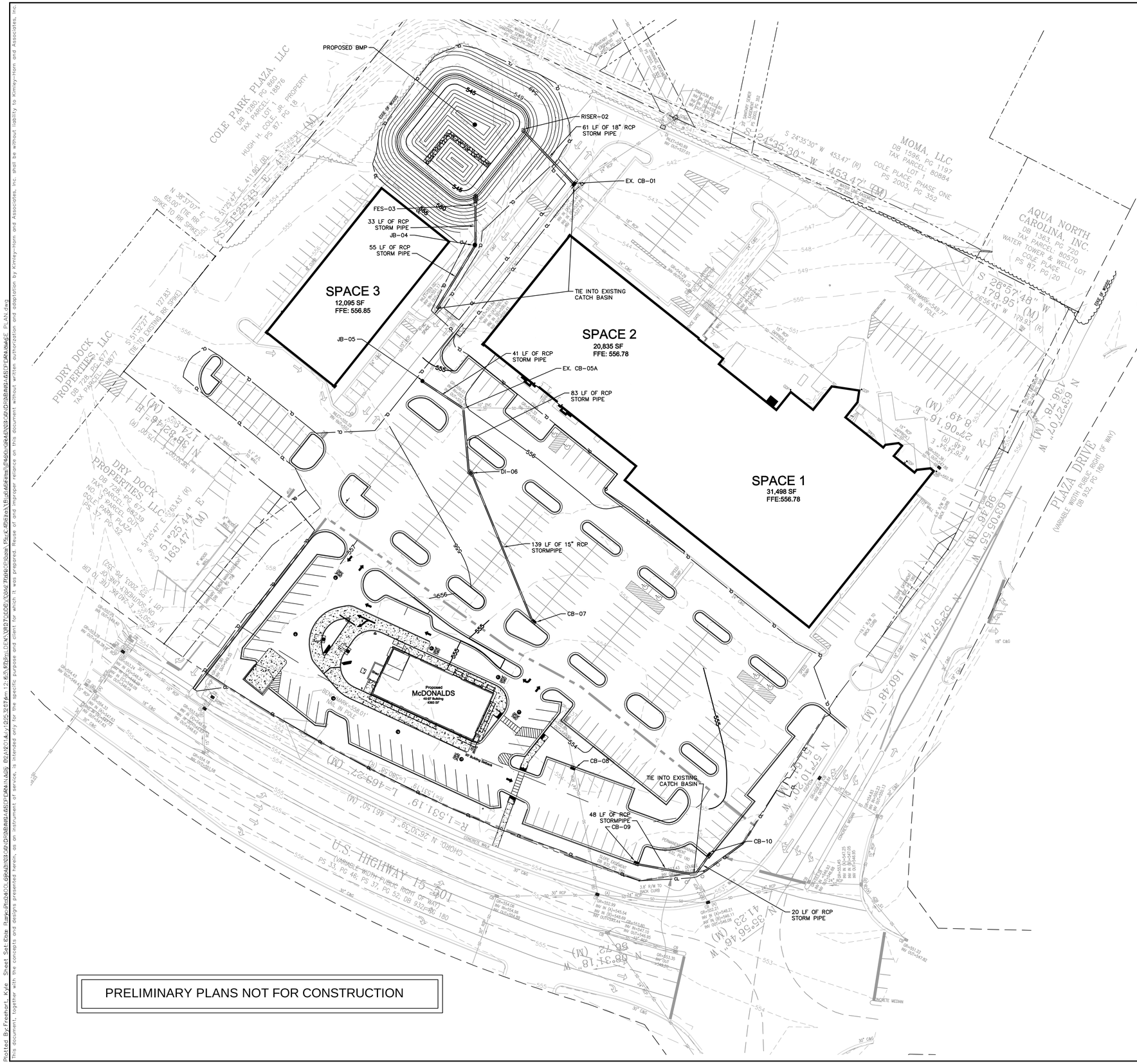

GRADING AND DRAINAGE LEGEND

●	JUNCTION BOX (JB)
	DROP INLET (DI)
	CATCH BASIN (CB)
	RCP STORM PIPE
	FLARED END SECTION (FES)
	RIP RAP APRON
FFE	FINISHED FLOOR ELEVATION
100	PROPOSED CONTOUR
100	EXISTING CONTOUR
x 70.50	PROPOSED SPOT ELEVATION
CL	LIMITS OF DISTURBANCE

GRADING AND DRAINAGE NOTES

GRAPHIC SCALE IN FEET
0 20 40 80

NORTH

No.	REVISIONS	DATE	BY

Kimley»Horn

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PHONE: 919-677-2000 FAX: 919-677-2019
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KHA PROJECT 012700000
DATE 7/3/2014
SCALE AS SHOWN
DESIGNED BY KJF
DRAWN BY KJF
CHECKED BY COB

GRADING AND DRAINAGE PLAN

NORTH CHATHAM VILLAGE
PREPARED FOR
THE KEITH CORPORATION
CHATHAM COUNTY NORTH CAROLINA

SHEET NUMBER
C400

Plotted By:Freehart, Kyle Sheet Set:Site Tasks:Plan(s):GRADING\DRAINAGE\PLAN\ Adj Bkgd:Adjusted:1/25,2:27pm 12.825 Kb:P:\012700\DESIGN\CIVIL\DRAINAGE PLAN.dwg
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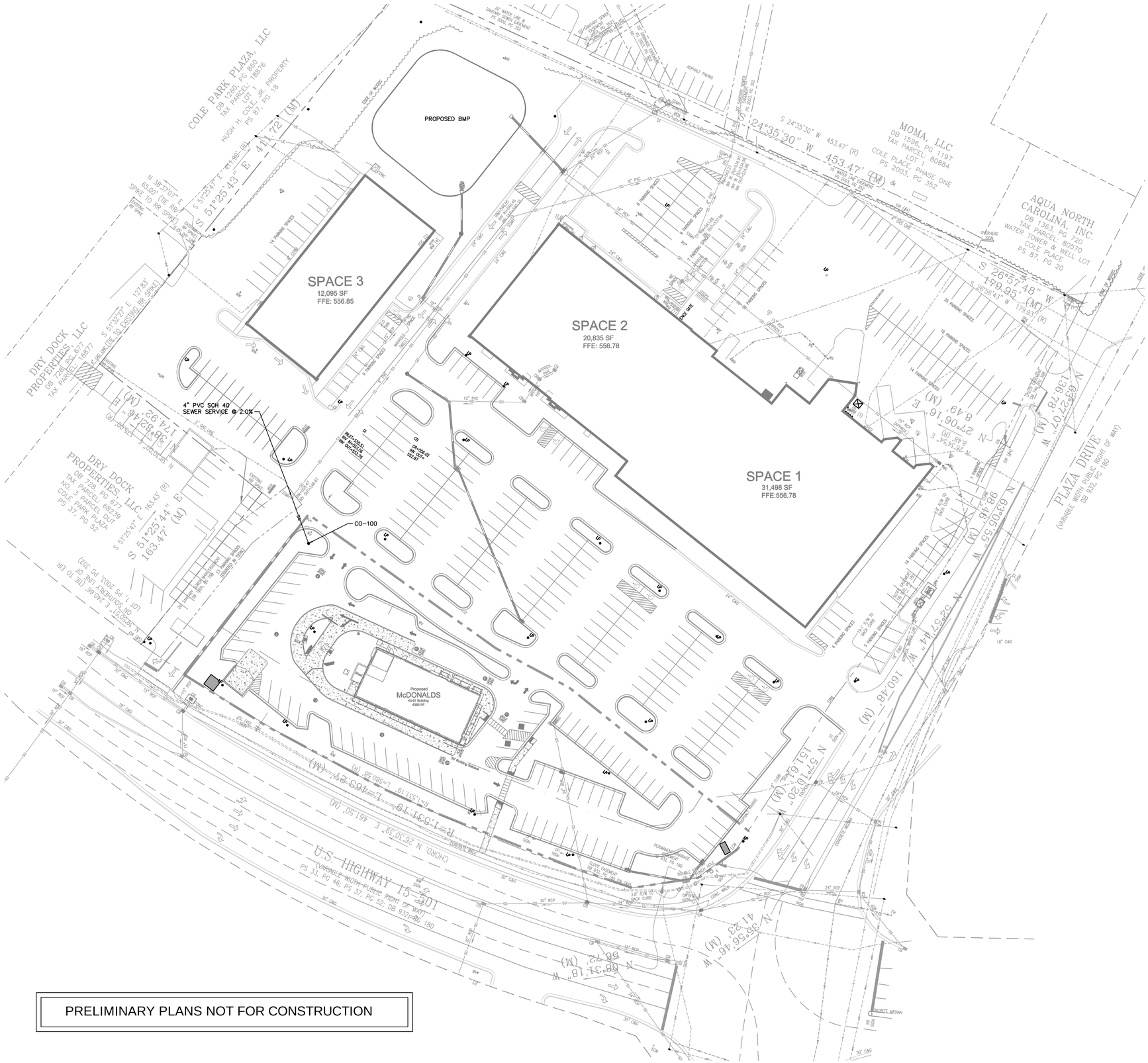

PRELIMINARY PLANS NOT FOR CONSTRUCTION

UTILITY LEGEND

	FIRE HYDRANT ASSEMBLY
	DI GATE VALVE
	WATER METER
	BACKFLOW PREVENTER
	DI REDUCER
—W—	WATER LINE
	SANITARY SEWER CLEANOUT
	SANITARY SEWER MANHOLE
—SS—	SANITARY SEWER LINE
DI	DUCTILE IRON PIPE
PVC	POLY VINYL CHLORINE PIPE
—SS—SS—	EXISTING SANITARY SEWER LINE
-----W-----W---	EXISTING WATER LINE
-----G-----G---	EXISTING GAS LINE
—T—	EXISTING TELECOM LINE

UTILITY NOTES

1. AQUA IS WATER AND SANITARY SEWER PROVIDER.

GRAPHIC SCALE IN FEET
0 20 40 80

NORTH

No.	REVISIONS	DATE	BY

Kimley»Horn

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KHA PROJECT	012700000
DATE	7/3/2014
SCALE	AS SHOWN
DESIGNED BY	KJF
DRAWN BY	KJF
CHECKED BY	COB

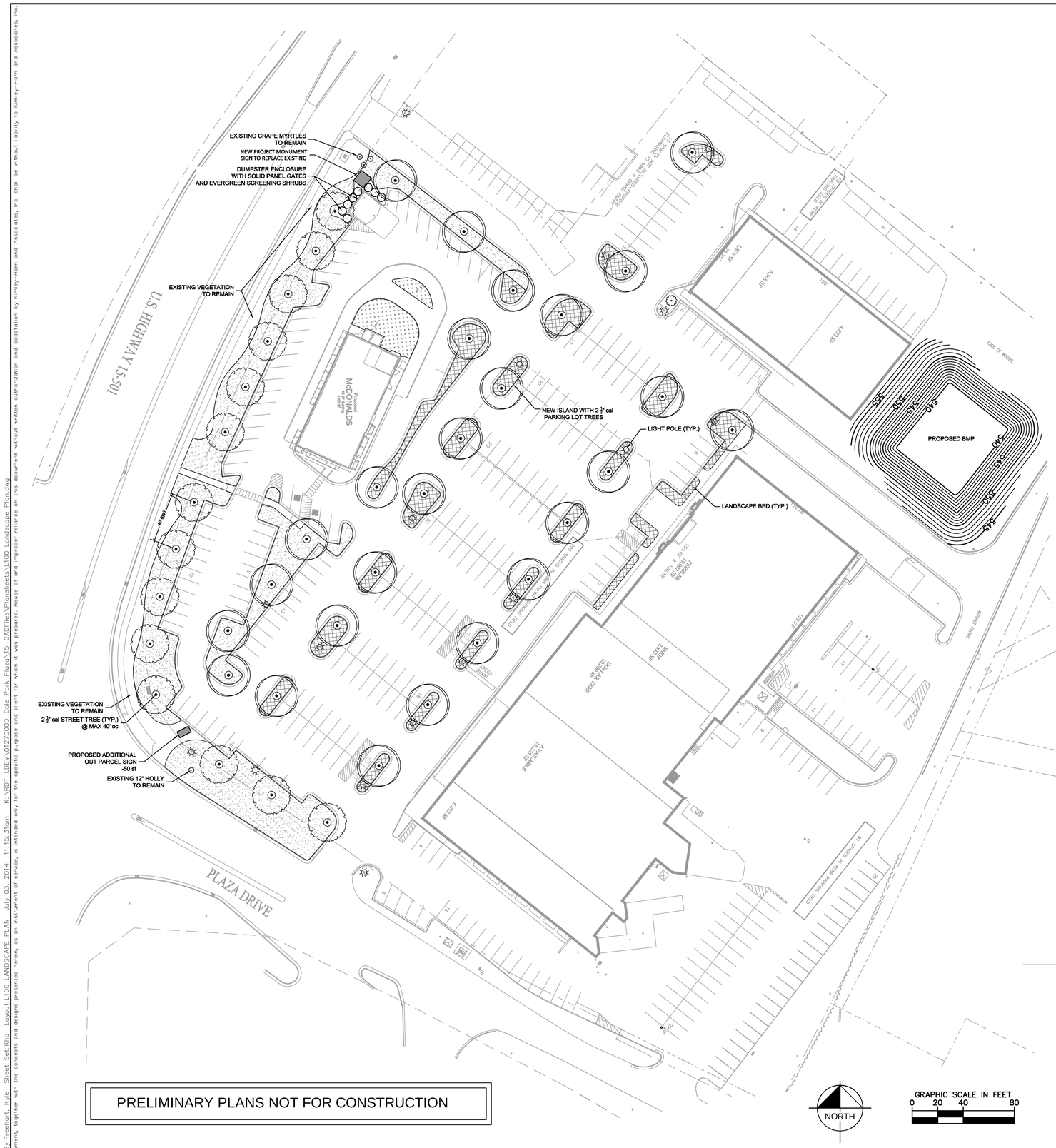
UTILITY PLAN

NORTH CHATHAM VILLAGE
PREPARED FOR
THE KEITH CORPORATION

CHATHAM COUNTY NORTH CAROLINA

SHEET NUMBER
C500

Plotted By:Freehorf, Kyle Sheet Set:Row Items:Photo\0\0\0



CONCEPT PLANT SCHEDULE

	PARKING LOT TREES ACER BUERGERIANUM `ABFSS` / VALYNOR TRIDENT MAPLE	26
	STREET YARD SHADE TREES ULMUS PARVIFOLIA `BSNUPF`/ EVERCLEAR LACEBARK ELM	14
	EVERGREEN SHRUBS ILEX GLABRA `COMPACTA` / COMPACT INKBERRY ILEX VOMITORIA `NANA` / DWARF YAUPON	~8,723 SF
	SOD CYNODON DACTYLON / BERMUDA GRASS ZOYSIA X `JAMUR` / JAMUR ZOYSIA	~21,361 SF
	GROUND COVERS, ORNAMENTAL GRASSES, EVERGREEN SHRUBS, AND LAWN	~1,773 SF

LIGHT POLE/ FIXTURE

LANDSCAPE REQUIREMENTS

AREA TO BE LANDSCAPED	CODE REQUIREMENT	SQUARE FEETILINEAL FEET OF FRONTAGE	TOTAL QUANTITY REQUIRED	TOTAL QUANTITY PROVIDED	COMMENTS	CODE SECTION
STREET YARD	1 TREE SHALL BE PLANTED AT 40' oc.	652 lf	652/ 40 = 16.3	NEW TREES= 14 EXISTING TREES= 4 TOTAL TREES= 18	TREES SHALL E BE A MINIMUM 2-1/2" CALIPER AT TIME OF INSTALLATION AND REACH A HEIGHT OF 30' AT MATURITY.	8.A
	RECOMMENDED DESIGN GUIDLINES					
PARKING LOT	PROVIDE TREES FOR SHADE OF AT LEAST 50% OF PAVED AREA. LANDSCAPE ISLANDS ARE REQUIRED AT THE ENDS OF PARKING AISLES, AT MAXIMUM OF EVERY 10 SPACES.	125,687 sf	125,687 sf .5= 62,843.5 sf	NEW TREES= 26 EXISTING TREES= 1 26x1.257 = 32.682 sf	PROPOSED PLANTINGS BASED ON BEST PRACTICES	7
DUMPSTER SCREENING	A 95% SOLID TREATED WOOD FENCE AT LEAST 1' HIGHER THAN OBJECT WITH BORDER PLANTINGS OF EVERGREEN SHRUBS THAT APPROXIMATE A 30% SCREEN ON THE TWO MOST VISIBLE SIDE OF FENCE.	N/A	N/A	SHRUBS= 8	TREES SHALL E BE A MINIMUM 2-1/2" CALIPER AT TIME OF INSTALLATION AND REACH A HEIGHT OF 30' AT MATURITY.	4.A

GENERAL NOTES:

1.

No.	REVISIONS	DATE	BY

Kimley»Horn
© 2014 KIMLEY-HORN AND ASSOCIATES, INC.
333 FAYETTEVILLE STREET, SUITE 600, RALEIGH, NC 27601
PHONE: 919-677-2000 FAX: 919-677-2019
WWW.KIMLEY-HORN.COM

KHA PROJECT 012700000
DATE 7/3/2014
SCALE AS SHOWN
DESIGNED BY KJF
DRAWN BY KJF
CHECKED BY COB

LANDSCAPE PLAN

NORTH CHATHAM VILLAGE
PREPARED FOR
THE KEITH CORPORATION
CHATHAM COUNTY NORTH CAROLINA

SHEET NUMBER
L100

Plotted By:Freehorst, Kyle Sheet Set:King Layout:L100 LANDSCAPE PLAN July 03, 2014 11:15:31am K:\RDT_LDEV\012700000 Cole Park Plaza\15-CAD\Files\Plansheets\L100 Landscape Plan.dwg
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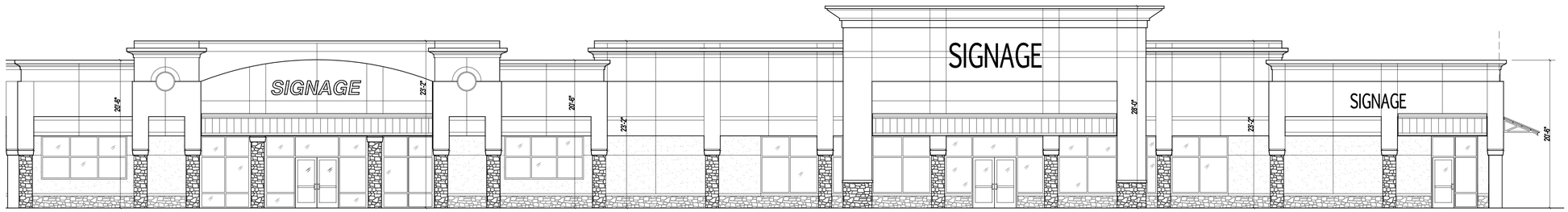

1 A-201 BLDG 1 ELEVATION
1/8"=1'-0"

2 A-201 BLDG 1 ELEVATION
1/8"=1'-0"

4 A-201 BLDG 1 ELEVATION
1/8"=1'-0"

KEYED NOTES:

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- 2.02 Concrete paving w/reinf., see Civil dwgs.
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- 2.04 Concrete curb and gutter, see Civil dwgs.
- 2.05 Concrete dumpster pad, w/6x6-w1.4xw1.4 w.w.f. thickness as noted
- 2.07 Pipe bollard., paint traffic yellow, size as noted
- 2.08 Stone base, thickness as noted
- 2.13 4" thick concrete walk
- 2.15 Planted area, fill w/min. 12" topsoil
- 2.16 Premolded joint filler

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- 3.04 Concrete footing, see Struct. dwgs.
- 3.06 Concrete slab w/W.W.F., thickness as noted, see Struct. for all reinforcing.
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- 3.31 Fill with grout
- 3.32 Fill with concrete
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- 4.02 Veneer anchor @ 16" o.c. vert. and horiz., 1 per every 1.8 s.f. of wall area.
- 4.04 Masonry control joint
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- 4.21 4" or 6" smooth face cmu size as noted
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- 4.24 10" CMU
- 4.25 12" CMU
- 4.26 Bond bm., fill w/ concrete height as shown see struct dwgs for req'd reinforcing
- 4.34 Cultured Stone veneers, adhered
- 4.35 Cast stone watertable
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- 5.35 1/2" dia. anchor bolt at 32" o.c. w/ large washer (countersunk) in wood blocking
- 5.36 Powder coated aluminum handrail. Color to match storefront.

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- 6.09 5/8" Dens Glass sheathing
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- 6.11 Ext. plywood sheathing, size as noted
- 6.12 AC grade plywood, paint
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- 6.16 1/2" Exterior Grade Plywood Sheathing. Use multiple layers to conform to curve surfaces at curved roofs.
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- 7.04 15# Asphalt felt underlayment
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- 7.14 Rigid or semi-rigid insulation between furring
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CHAPEL HILL NC. 27517

for

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CHARLOTTE, NC 28209

1212 KENILWORTH AVENUE
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www.childreyrobinson.com

CHILDREY ROBINSON ARCHITECTURE ASSOCIATES

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Written dimensions take precedence over scaled dimensions.

SEALS

REVISIONS

REV.	DESCRIPTION

DATE

05-05-2014

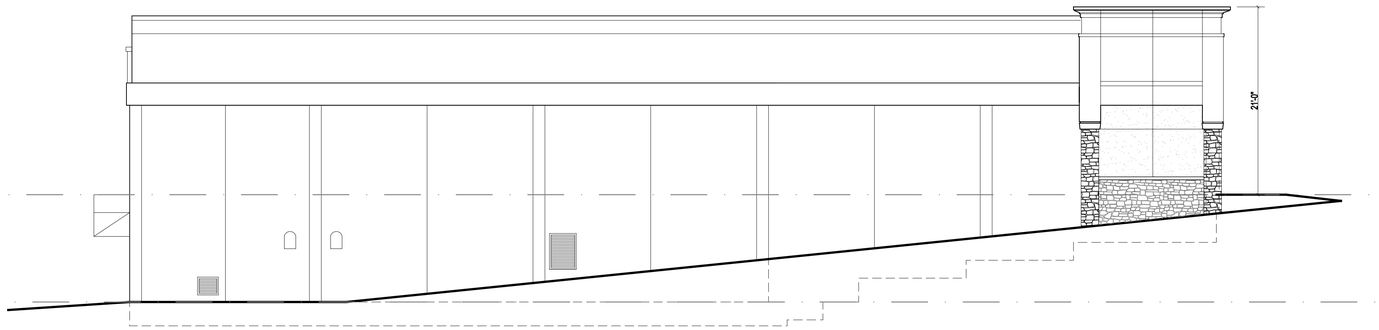
SHEET NAME

ELEVATIONS

SHEET NUMBER

A-201

Z:\0000 PROJECT DRAWING FILES\C PROJECTS\COLE PARK PLAZA\CD'S\BASE 051314.DWG



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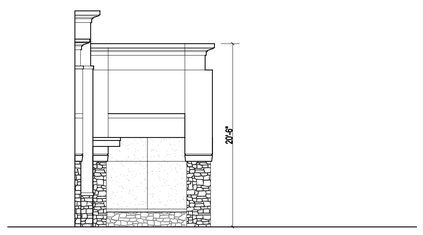

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SEAL:

REVISIONS:

REV.	DESCRIPTION

DATE:

05-05-2014

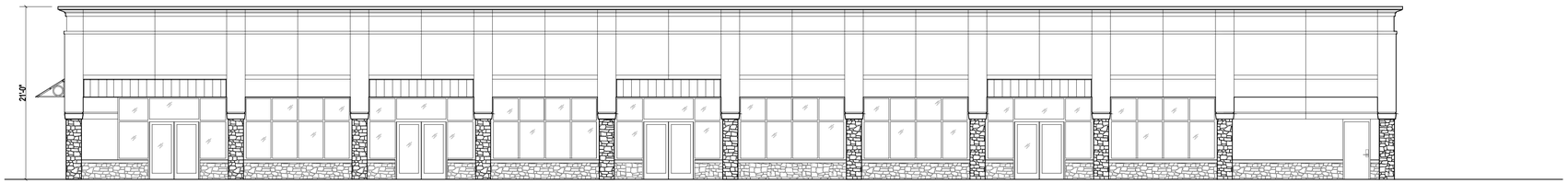
SHEET NAME:

ELEVATIONS

SHEET NUMBER:

A-201.1

Z:\0000 PROJECT DRAWING FILES\C PROJECTS\COLE PARK PLAZA\CD'S\BASE 051314.DWG



1 A-202 BLDG 2 ELEVATION
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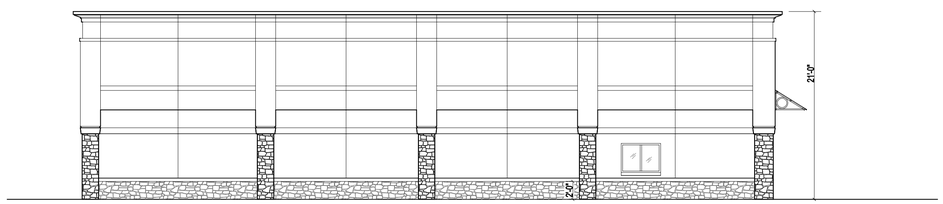

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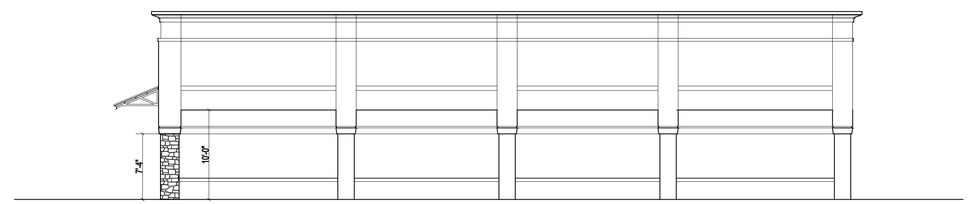

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- 4.34 Cultured Stone veneers, adhered
- 4.35 Cast stone watertable
- 4.36 Cast stone wall coping

5
- 5.01 Stl. col., see Struct. dwgs., paint exposed surfaces
- 5.02 Stl. beam or joist girder, see Struct. dwgs., paint exposed surfaces
- 5.03 Stl. joist see Struct. dwgs, paint where indicated on the uplit drawings
- 5.04 Stl. angle or bent plate, see Struct. dwgs., paint surfaces exposed to view
- 5.05 Stl. plate, see Struct. dwgs., paint exposed surfaces
- 5.14 Brace back to struct., see Struct. dwgs. Attach at panel point of joist
- 5.24 Awning framework, paint exposed frames
- 5.31 Anchor bolt, see Struct. dwgs.
- 5.34 1/2" dia. headed studs welded to channel w/ large washer (countersunk) in wood blocking
- 5.35 1/2" dia. anchor bolt at 32" o.c. w/ large washer (countersunk) in wood blocking
- 5.36 Powder coated aluminum handrail. Color to match storefront.

6
- 6.01 F.T. fire redardant treated wd. blocking, size as noted
- 6.03 P.T. wd. blocking, size as noted
- 6.05 Wood framing, size noted.
- 6.06 Wood blocking, size noted.
- 6.09 5/8" Dens Glass sheathing
- 6.10 5/8" plywood sheathing, see structural
- 6.11 Ext. plywood sheathing, size as noted
- 6.12 AC grade plywood, paint
- 6.13 Ext. grade plywood , size as noted
- 6.14 1/2" Dens-Glass gold firestop, type X by Georgia Pacific
- 6.16 1/2" Exterior Grade Plywood Sheathing. Use multiple layers to conform to curve surfaces at curved roofs.
- 6.42 Smooth finish wd. trim, size noted, paint.

7
- 7.01 6 Mil vapor barrier
- 7.02 Dampproofing.
- 7.03 Tyvek Commercial vapor barrier. Contr. to coordinate w/ 7.08
- 7.04 15# Asphalt felt underlayment
- 7.05 Exterior sealant, cont.
- 7.06 Interior caulking, cont.
- 7.07 Joint backer
- 7.08 Exterior Finish and Insulation system (E.F.I.S.) Insulation thickness as noted. Equal to Dryvit MD system
- 7.09 Membrane waterproofing with protection board
- 7.12 Foam-in-place masonry insulation
- 7.13 24" Deep Perimeter insulation, 1" thick typ. U.N.O.
- 7.14 Rigid or semi-rigid insulation between furring
- 7.15 R-11 batt insulation, unfaced
- 7.16 R-21 batt insulation, unfaced wall insulation
- 7.17 Roof insul. meeting UL 1256 and FM 4450. R 21.7 min. thickness 3.5"
- 7.18 Tapered roof insul. meeting UL 1256 and FM 4450. Min. 1/4" per 12" slope to achieve drainage indicated.
- 7.19 Draftstopping insulation
- 7.20 Sound attenuation insulation
- 7.23 Full adhered low slope roof protection underlayment
- 7.24 Full adhered flexible sheet roofing system, white color. TPO
- 7.30 3 tab asphalt shingles
- 7.35 Roofing termination bar, per manuf. requirements
- 7.39 Small area roof drain to be Zurn Z-200 and overflow drain. Contractor to coordinate with plumbing
- 7.47 Perforated aluminum gravel stop with baked enamel finish
- 7.48 Galv. metal roof piping access hatch, paint, furnished and installed by Contr.
- 7.49 Copper flashing
- 7.50 Prefinished galvanized metal flashing
- 7.51 Preformed, prefinished aluminum gravel stop with cont. hold down clips on front. Provide copper coping where noted
- 7.55 Alum. flashing with baked enamel finish
- 7.61 Thru-wall flashing with weeps at 2'-0" o.c.
- 7.71 Zurn Z199 Bronze downspout nozzle, typ at 2 overflow downspouts
- 7.94 Dupont Flexwrap flashing as per manuf. instructions for commercial applications over sills and heads.

8
- 8.01 Hollow metal door, paint
- 8.02 Metal frame, paint
- 8.13 Access door, paint, provide as shown in canopy soffit area
- 8.23 Solid core wd. door, paint U.N.O.
- 8.31 Alum. and glass door
- 8.32 Alum. storefront 4 1/2" x 2", typ. U.N.O. color Clear anodized
- 8.33 Alum. storefront 4 1/2" x 4 1/2", color Clear anodized
- 8.34 Brake mtl. alum., finish to match storefront system
- 8.35 Alum storefront post, size as noted, finish to match storefront
- 8.47 1" clear insulating glass low E, see elev. notes
- 8.48 1" clear insulating glass low E, tempered see elev notes.
- 8.51 Alum. threshold, set in full bed of mastic

9
- 9.01 5/8" Exterior Grade Gypsum Ceiling Board, paint exposed surfaces
- 9.02 5/8" MR GWB w/type "C" firecore, paint exposed surfaces U.N.O.
- 9.03 5/8" GWB, paint exposed surfaces U.N.O.
- 9.04 5/8" GWB w/type "C" firecore, paint exposed surfaces U.N.O.
- 9.05 5/8" moisture resistant GWB, paint, exposed surfaces
- 9.06 1-5/8" x 25 ga. mtl. studs at 16" o.c.
- 9.07 2-1/2" x 25 ga. mtl. studs at 16" o.c.
- 9.08 3-5/8" x 25 ga. mtl. studs at 16" o.c.
- 9.10 6" x 25 ga. mtl. studs at 16" o.c.
- 9.11 3 5/8 " x 20 ga. mtl. studs at 16" o.c.. U.N.O. See struct. for ma
- 9.12 4" x 20 ga. mtl. studs at 16" o.c., see Struct. for track ga.
- 9.13 6" x 20 ga. mtl. studs at 16" o.c. See struct. for manuf.
- 9.14 20 ga clip angle by ft. ga supplier, spaced at no greater than 8'-0 vertically and 4'-0" o.c. horizontally See struct. for manuf.
- 9.15 3-1/2 x 25 ga. mtl. studs at 16" o.c.
- 9.20 7/8" metal furring channel @ 16" o.c. horiz.
- 9.21 2' x 4' lay-in accoustical clg. tile. See Finish Schedule.
- 9.22 2' x 2' lay-in accoustical clg. tile. See Finish Schedule.
- 9.35 Resilient floor tile
- 9.36 4" high resilient base
- 9.51 Paint
- 9.52 Semi-transparent stain
- 9.53 Opaque stain
- 9.54 Special coating w/ block fill type primer
- 9.55 Match prefinished system

10
- 10.02 Fabric awning: fabric must be flame resistant, approved class A or class 1 rated by ASTM e-84 install on 1" sq alum tubing, cap all ends.
- 10.04 Fire extinguisher, verify final location w/Fire Marshall
- 10.05 Prefab. signage box; furnished, installed, and connected by Contractor

11
- 11.01 Store fixtures; furnished, installed, and connected by others
- 11.02 Store fixtures; furnished and installed by others and connected by Contractor
- 11.03 Store fixtures; furnished by others and installed and connected by Contractor
- 11.04 Store fixtures; furnished, installed and connected by Contractor

15
- 15.01 Master water meter, see Plumbing dwgs.

NORTH CHATHAM VILLAGE

COLE PLACE RD.
CHAPEL HILL NC. 27517

for

TKC CXLIII, LLC
5935 CARNEGIE BLVD. SUITE 200
CHARLOTTE, NC 28209

1212 KENILWORTH AVENUE
CHARLOTTE, NORTH CAROLINA 28204
PHONE: 704.370.6000 FAX: 704.370.6006
www.childreyrobinson.com

CHILDREY ROBINSON ASSOCIATES
ARCHITECTURE

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Written dimensions take precedence over scaled dimensions.

SEALS

REVISIONS

REV.	DESCRIPTION

DATE

05-05-2014

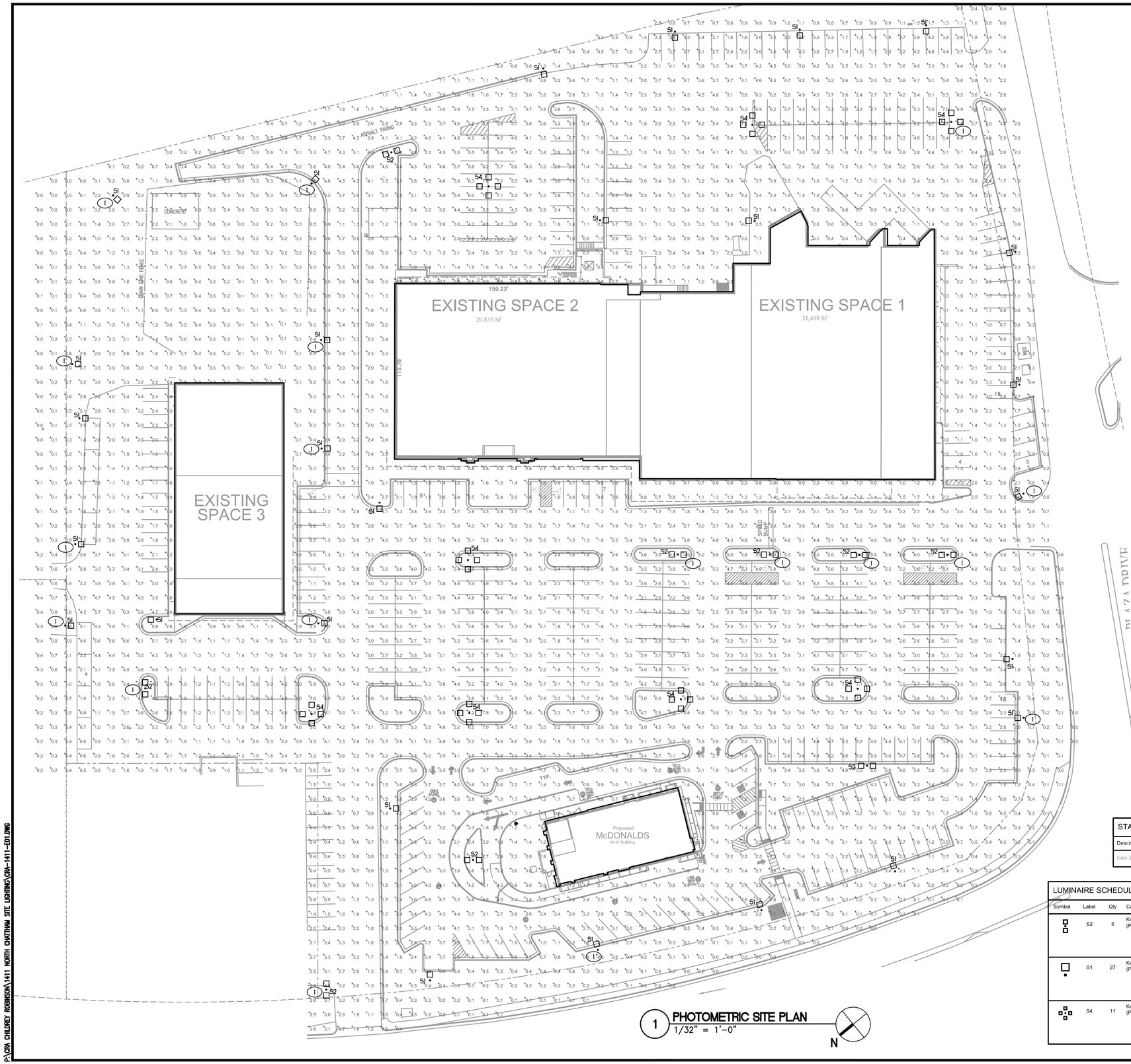
SHEET NAME

ELEVATIONS

SHEET NUMBER

A-202

Z:\0000 PROJECT DRAWING FILES\C PROJECTS\COLE PARK PLAZA\CD'S\BASE 051314.DWG



1 PHOTOMETRIC SITE PLAN
1/32" = 1'-0"

SABER ENGINEERING
2923 South Tryon Street Suite 280
Charlotte, North Carolina 28203
tel 704.373.0068
MECHANICAL ELECTRICAL PLUMBING

NORTH CAROLINA PROFESSIONAL ENGINEER SEAL 26969 RICHARD M. MORRISON JR.
May 20, 2014

FIRM NUMBER = C-2130

NORTH CHATHAM VILLAGE

COLE PLACE RD.
CHAPEL HILL NC, 27517

for

TKC CXLIII, LLC
5935 CARNEGIE BLVD. SUITE 200
CHARLOTTE, NC 28209

CRA CHILDREY ROBINSON ARCHITECTURE
1212 KENILWORTH AVENUE
CHARLOTTE, NORTH CAROLINA 28204
PHONE: 704.376.6600 FAX: 704.376.6606
www.childreyrobinson.com
CHILDREY ROBINSON ASSOCIATES

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REV.	DESCRIPTION

05-14-2014

PLAN AND FIXTURE LAYOUT

E-1

PLAN NOTES:

1. EXISTING LIGHT POLE TO REMAIN. PROVIDE NEW POLE MOUNTED FIXTURE HEAD. EC TO VERIFY EXISTING LIGHT POLE TO BE STRUCTURALLY SOUND. PROVIDE MOUNTING HARDWARE TO MATCH EXISTING POLE FOR PROPER ATTACHMENT OF NEW LIGHTING FIXTURE. FIELD VERIFY EXISTING CONDITIONS PRIOR TO INSTALLATION.

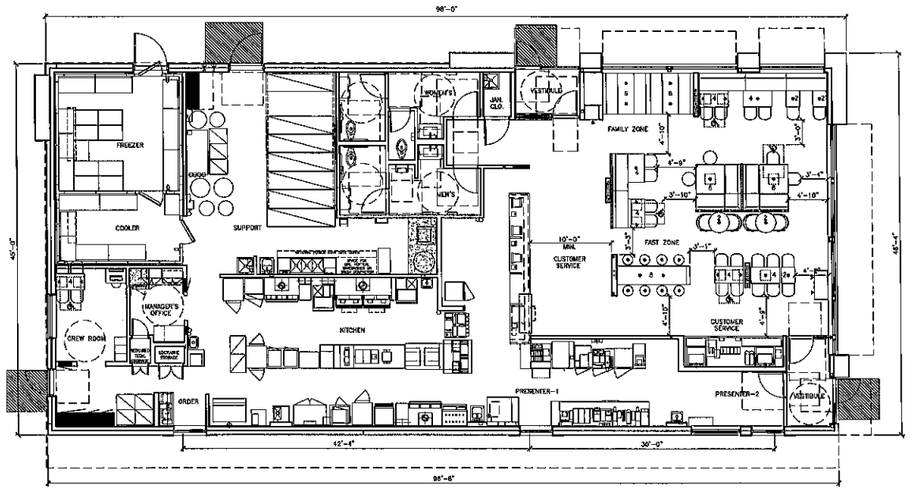
STATISTICS

Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Calc Zone #2	+	2.0 fc	8.4 fc	0.0 fc	N / A	N / A

LUMINAIRE SCHEDULE

Symbol	Label	Qty	Catalog Number	Description	Lamp	File	Lumens	LLF	Watts
	S2	5	KAD 400M SR4SC (PULSE START)	Area Luminaire, 400W MH, High Performance SR4SC Sharp Cutoff, Reflector, Full Cutoff MEETS THE 'NIGHTTIME FRIENDLY' CRITERIA	ONE 400 WATT CLEAR ED28 PULSE START METAL HALIDE IN HORIZONTAL POSITION	KAD_400M_SR4SC_(PULSE_START).ies	38000	0.81	912
	S1	27	KAD 400M SR4SC (PULSE START)	Area Luminaire, 400W MH, High Performance SR4SC Sharp Cutoff, Reflector, Full Cutoff MEETS THE 'NIGHTTIME FRIENDLY' CRITERIA	ONE 400 WATT CLEAR ED28 PULSE START METAL HALIDE IN HORIZONTAL POSITION	KAD_400M_SR4SC_(PULSE_START).ies	38000	0.81	456
	S4	11	KAD 400M SR4SC (PULSE START)	Area Luminaire, 400W MH, High Performance SR4SC Sharp Cutoff, Reflector, Full Cutoff MEETS THE 'NIGHTTIME FRIENDLY' CRITERIA	ONE 400 WATT CLEAR ED28 PULSE START METAL HALIDE IN HORIZONTAL POSITION	KAD_400M_SR4SC_(PULSE_START).ies	38000	0.81	1824

P:\CRA CHILDREY ROBINSON\1411 NORTH CHATHAM SITE LIGHTING\CRA-1411-E01.DWG



4597-WW PLAN

66 SEATS (4 ACCESSIBLE SEATS)

THIS DRAWING IS FOR REFERENCE ONLY NOT FOR CONSTRUCTION

2013 4597-WW BUILDING XXXXXXXXXX REGION

BUILDING INFORMATION:

ADDRESS:

STATE SITE CODE: XXX-XXXX
STREET ADDRESS: XXXXXXXXXXXXXXXX
CITY: XXXXXXXXXXXXX
COUNTY: XXXXXXXXXXXX
STATE: XXXXXXXX

STRUCTURE:

WOOD LOAD BEARING WALLS, WOOD ROOF FRAMING

UTILITIES:

ELECTRIC GRILLS & ELECTRIC FRYERS
GAS HVAC & GAS WATER HEATER

BUILDING CODE:

BUILDING CODE EDITION:	INTERNATIONAL BUILDING CODE 2012
MECHANICAL CODE EDITION:	INTERNATIONAL MECHANICAL CODE 2012
ELECTRICAL CODE EDITION:	NATIONAL ELECTRICAL CODE 2011
PLUMBING CODE EDITION:	INTERNATIONAL PLUMBING CODE 2012
ENERGY CODE EDITION:	INTERNATIONAL ENERGY CODE 2012
FIRE/LIFE SAFETY CODE EDITION:	INTERNATIONAL FIRE CODE 2012
FUEL/GAS CODE EDITION:	INTERNATIONAL FUEL GAS CODE 2012
HEALTH CODE EDITION:	XXXXXXXXXXX HEALTH CODE
ACCESSIBILITY CODE EDITION:	ANSI 117.1 2009

BUILDING DATA:

OCCUPANCY: USE GROUP A2
CONSTRUCTION TYPE: VB
NUMBER OF STORIES: 1
BUILDING HEIGHT: 18'-9 1/2" (MAIN BLDG. PARAPET)

GROSS BUILDING AREA: 4,393 GROSS S.F.
BASE BUILDING: 4,059 NET S.F.

DESIGN LOADS:

GROUND SNOW LOAD: xx PSF
WIND SPEED: xx MPH (EXPOSURE X)
SEISMIC DESIGN CATEGORY: x
SOIL BEARING CAPACITIES: 1500 PSF (ASSUMED)

LIFE SAFETY SYSTEM:

EMERGENCY LIGHTING:	X YES	___ NO
EXIT SIGNS:	X YES	___ NO
FIRE ALARM:	___ YES	X NO
DUCT SMOKE DETECTORS W/ AUDIBLE/VISIBLE DEVICE:	X YES	___ NO
FIRE SPRINKLERS:	X YES	___ NO
SPRINKLER FLOW/TAMPER SWITCH W/ AUDIBLE/VISIBLE DEVICE:	X YES	___ NO
CO2 DETECTION SYSTEM W/ AUDIBLE/VISIBLE DEVICE:	X YES	___ NO
PANIC HARDWARE:	X YES	___ NO

OCCUPANCY ALLOWANCE:

INTERNATIONAL BUILDING CODE 2012

TABLE 1004.1.1
MAXIMUM FLOOR AREA ALLOWANCES PER OCCUPANT

FUNCTION OF SPACE	ALLOWANCE	AREA	OCCUPANTS
ACCESSORY STORAGE AREAS, MECHANICAL EQUIPMENT ROOM	300 GROSS	535 SF	2
ASSEMBLY WITH FIXED SEATS	SEE PLAN	--	66
ASSEMBLY W/OUT FIXED SEATS STANDING SPACE	5 NET	98 SF	20
BUSINESS AREAS	100 GROSS	57 SF	1
KITCHENS, COMMERCIAL	200 GROSS	--	17
--	--	--	--
--	--	--	--
--	--	--	--
--	--	--	--
--	--	--	--
		TOTAL OCCUPANCY ALLOWANCE	106

DESIGNER OF RECORD:

DISCIPLINE:	NAME:	ADDRESS	LICENSE #:
ARCHITECT:	XXXXXXXXXX	XXXXXXXXXXXXXXXXXXXX	XXXXX
STRUCTURAL:	XXXXXXXXXX	XXXXXXXXXXXXXXXXXXXX	XXXXX
MECHANICAL:	XXXXXXXXXX	XXXXXXXXXXXXXXXXXXXX	XXXXX
PLUMBING:	XXXXXXXXXX	XXXXXXXXXXXXXXXXXXXX	XXXXX
ELECTRICAL:	XXXXXXXXXX	XXXXXXXXXXXXXXXXXXXX	XXXXX

CONSTRUCTION PROJECT MANAGER:

	NAME:	ADDRESS	PHONE #:
MANAGER:	XXXXXXXX	XXXXXXXXXXXXXXXXXXXXXXXXXXXX XXXXXXXXXXXXXXXXXXXXXXXXXXXXXXXX	XXXXXXXXXXXXXX

REVISIONS

DRAWING INDEX

T1.0 Cover Sheet

DRIVE-THRU (FOR REFERENCE ONLY)
DT1.0 Drive-Thru Plan & Details

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A1.2 Reflected Ceiling Plan
A1.3 Roof Plan
A2.0 Elevations
A2.1 Elevations
A4.0 Enlarged Restroom Plan & Details
A4.1 Enlarged Plan Details
A5.0 Wall Sections & Details
A5.1 Wall Sections & Details
A5.2 Wall Sections & Details
A5.3 Wall Sections & Details
A6.0 Door & Hardware Schedules
A6.1 Finish Schedules

STRUCTURAL
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S1.2 Roof Framing Plan
S2.0 Foundation Sections
S2.1 Foundation Details
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M1.4 Refrigerant & Gas Piping Plan
M2.0 Exhaust Hoods
M3.0 Mechanical Details
M4.0 General Mechanical Notes
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FIRE PROTECTION PLAN – Provided by Others

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P1.2 Waste Vent & Storm Piping Plan
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P1.6 Overhead Rough-in
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P2.1 Waste & Vent Isometric
P2.2 Storm Isometric
P3.0 Details
P4.0 General Notes
P4.1 Schedules

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E1.1 Rough In Floor Plan
E2.0 Lighting Plan & Schedule
E2.1 Electrical Roof Plan
E3.0 Electrical Schedule
E3.1 Electrical & Lighting Notes
E4.0 Wiring Details
E4.1 Lighting Controls
E4.2 Utilities Distribution

KITCHEN EQUIPMENT
K1.0 Kitchen Cover Sheet
K2.0 Kitchen Equipment Plan
K2.1 Kitchen Equipment Schedule

SYMBOL LEGEND:

6 / A4.0 — SECTION TAG
5 / A6.0 — DETAIL TAG
T/ SLAB ELEV. 0'-0" — ELEVATION TAG
6 / A4.0 DETAIL 1 1/2"=1'-0" DETAIL NUMBER — DRAWING TITLE
4 — DOOR TAG
DINING ROOM 100X — ROOM NAME & NUMBER
A — PARTITION TAG

REV	DATE	DESCRIPTION	BY

PREPARED FOR: McDonald's USA, LLC

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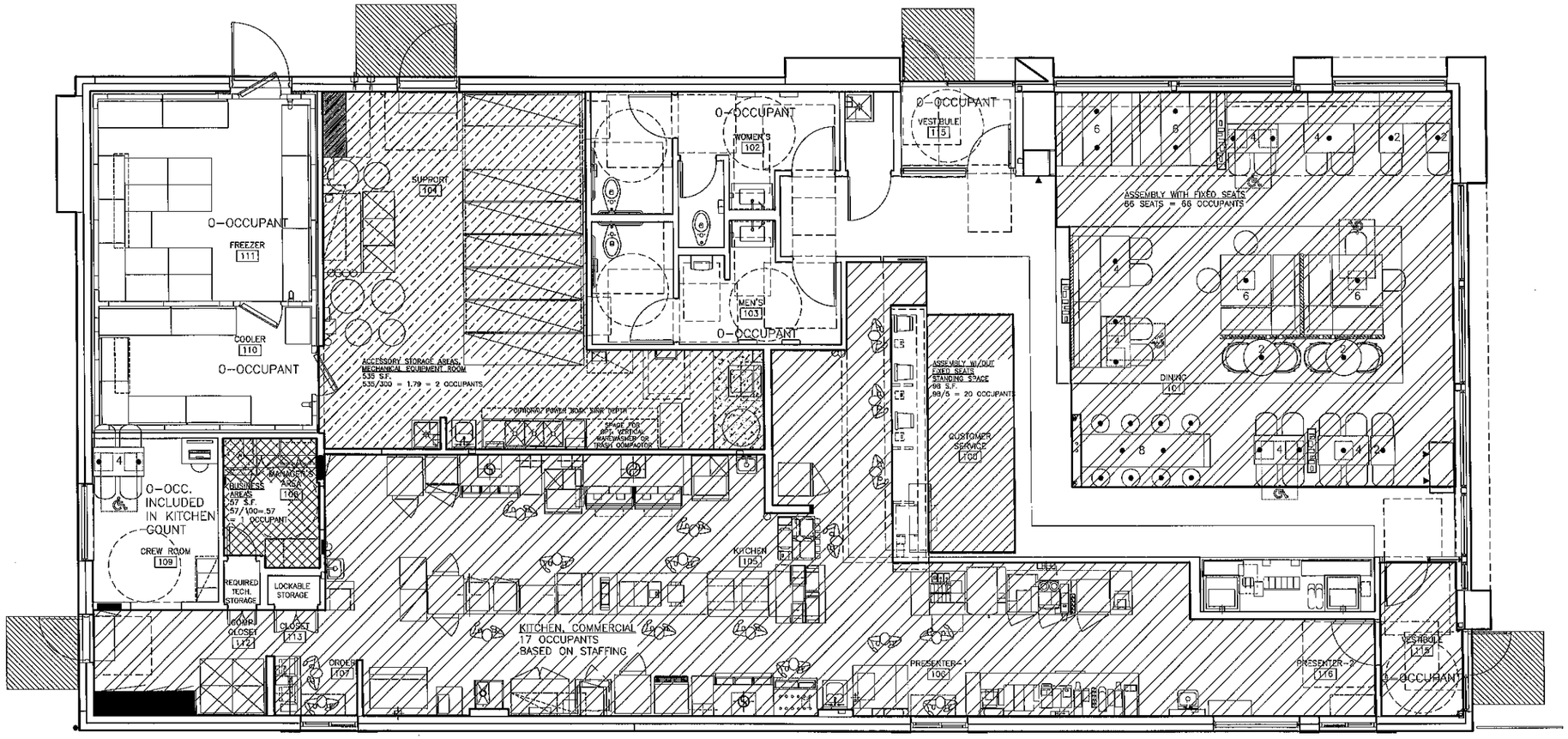
DRAWN BY: –
STD ISSUE DATE: 2013_06
REVIEWED BY: –
DATE ISSUED: MM DD YYYY

TITLE: 2013 STANDARD BUILDING 4597-WOOD/WOOD
DESCRIPTION: WOOD BEARING WALLS W/4" BRICK EXTERIOR FINISH WOOD ROOF TRUSS FRAMING
E.I.S. SYSTEM: STANDARD ARCADE/ENTRY
SITE ADDRESS: XXX-XXXX

SHEET NO.: 00-0000.00.0
T1.0
COVER

K:\STD\STANDARD\PRELIM\2013 STANDARD BUILDINGS – 4TH QUARTER RELEASE\45 97 – WW (FULL)\A-PLAN.DWG 09-18-2012 08:04



1 / R1.1 OCCUPANY COUNT PLAN
1/4"=1'-0"

OCCUPANCY ALLOWANCE:

INTERNATIONAL BUILDING CODE 2012

TABLE 1004.1.1
MAXIMUM FLOOR AREA ALLOWANCES PER OCCUPANT

FUNCTION OF SPACE	ALLOWANCE	AREA	OCCUPANTS
ACCESSORY STORAGE AREAS, MECHANICAL EQUIPMENT ROOM	300 GROSS	535 SF	2
ASSEMBLY WITH FIXED SEATS	SEE PLAN	–	66
ASSEMBLY W/OUT FIXED SEATS STANDING SPACE	5 NET	98 SF	20
BUSINESS AREAS	100 GROSS	57 SF	1
KITCHENS, COMMERCIAL (BASED ON FULL KITCHEN STAFF)	200 GROSS	–	17
TOTAL OCCUPANCY ALLOWANCE			106

REV	DATE	DESCRIPTION	BY

PREPARED BY:

PREPARED FOR: McDonald's USA, LLC

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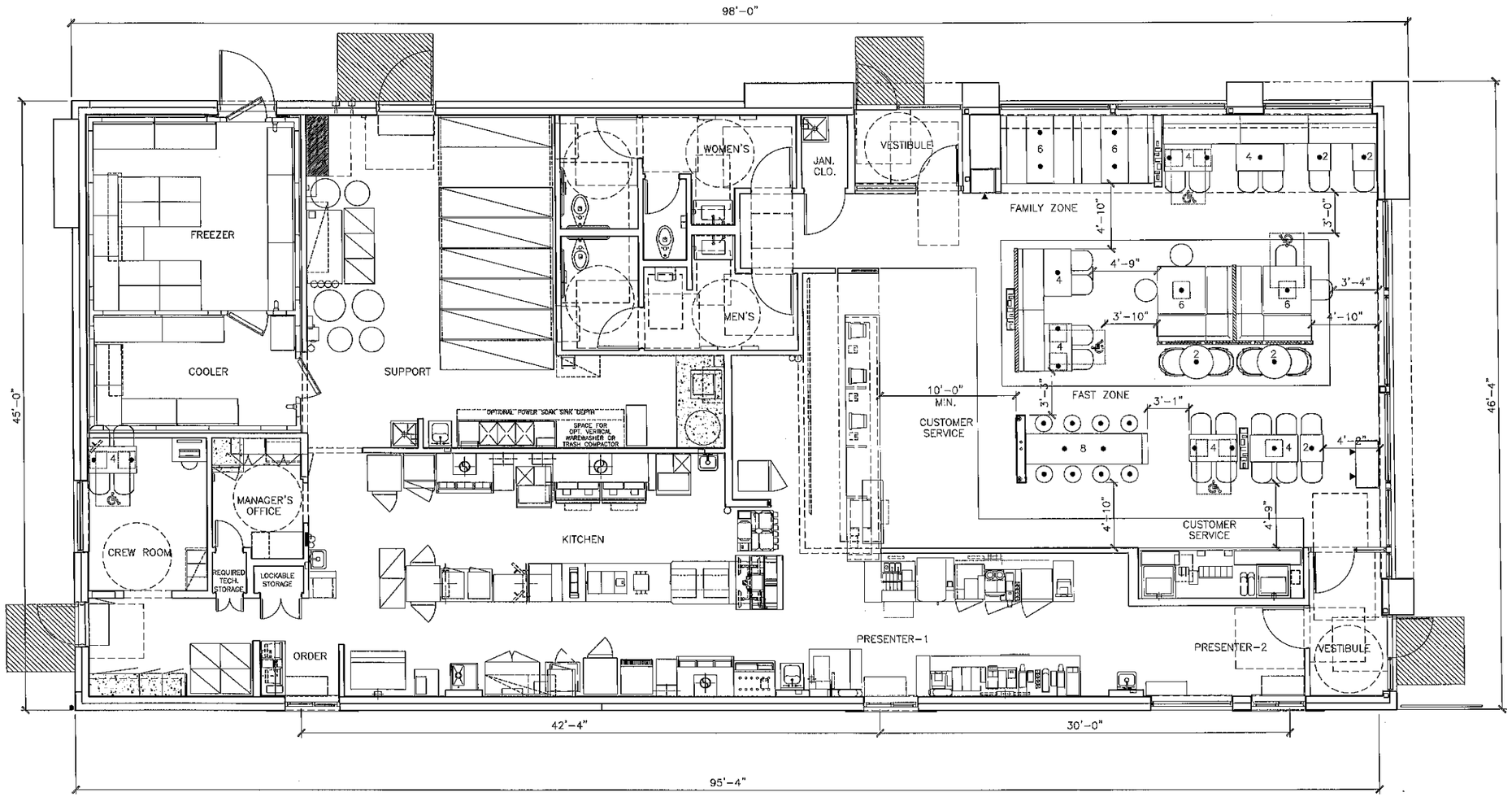
DRAWN BY: –
STD ISSUE DATE: 2013_05
REVIEWED BY: –
DATE ISSUED: MM DD YYYY

TITLE: 2013 STANDARD BUILDING 4597-WOOD/WOOD
DESCRIPTION: WOOD BEARING WALLS W/4" BRICK EXTERIOR FINISH WOOD ROOF TRUSS FRAMING
SITE: F.S. EXTERIOR ENTRY ARCADE/ENTRY
SITE ADDRESS: XXX-XXXX

SHEET NO. 00-0000.00.0 R1.1
OCCUPANCY PLAN

\\MCDDACPFS104\CAD01\STD\STANDARD\PRELIM\2013 STANDARD BUILDINGS - 4TH QUARTER RELEASE\45 97 - WW (FULL)\A-REFERENCE PLANS.DWG 10-08-2012 14:33



1 / R1.3 **FLOOR PLAN**
1/4"=1'-0"

4597- WW PLAN
4,393 GROSS SQ. FT. / 4,059 NET SQ. FT.
66 SEATS (4 ACCESSIBLE SEATS)

TOTAL BUILDING SIGNAGE: 138.5 SF

THIS DRAWING IS
FOR REFERENCE ONLY
NOT FOR CONSTRUCTION
SEATING LAYOUT IS SCHEMATIC, THE FINAL SEATING LAYOUT TO BE PROVIDED BY OTHERS.

REV	DATE	DESCRIPTION	BY

PREPARED FOR: McDonald's USA, LLC

PREPARED BY:

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DRAWN BY: –
STD ISSUE DATE: 2013_06
REVIEWED BY: –
DATE ISSUED: MM DD YYYY

TITLE: 2013 STANDARD BUILDING
4597–WOOD/WOOD

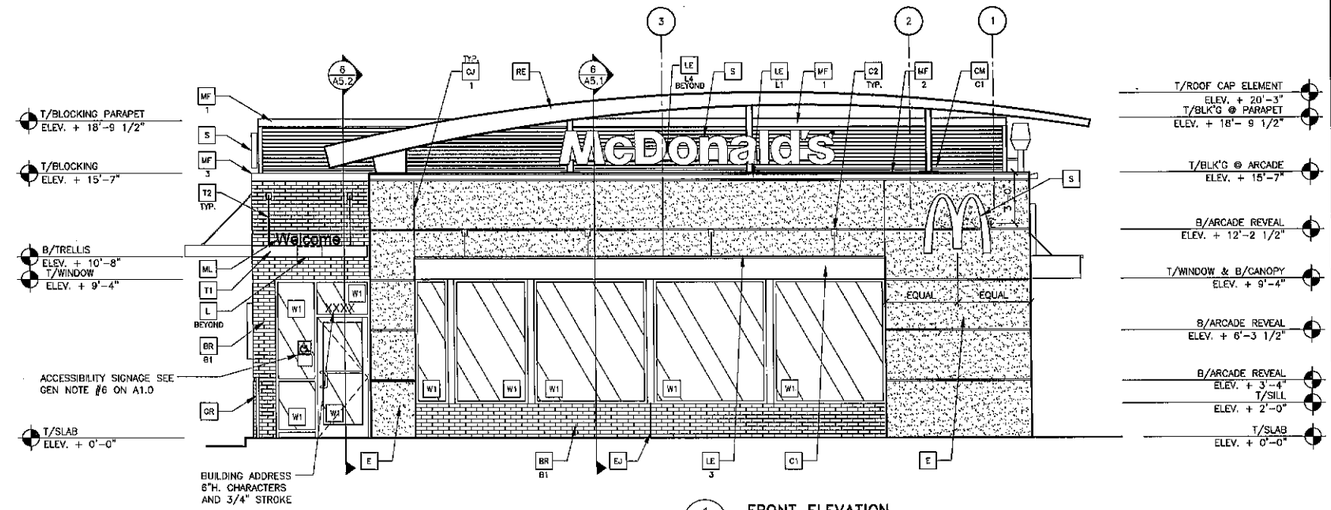
DESCRIPTION: WOOD BEARING WALLS w/4" BRICK EXTERIOR FINISH
WOOD ROOF TRUSS FRAMING
E.I.F.S. EXTERIOR FINISH ARCADE/ENTRY

SITE ID: XXX–XXXX
SITE ADDRESS

SHEET NO. 00–0000.00.0
R1.3
SEATING PLAN

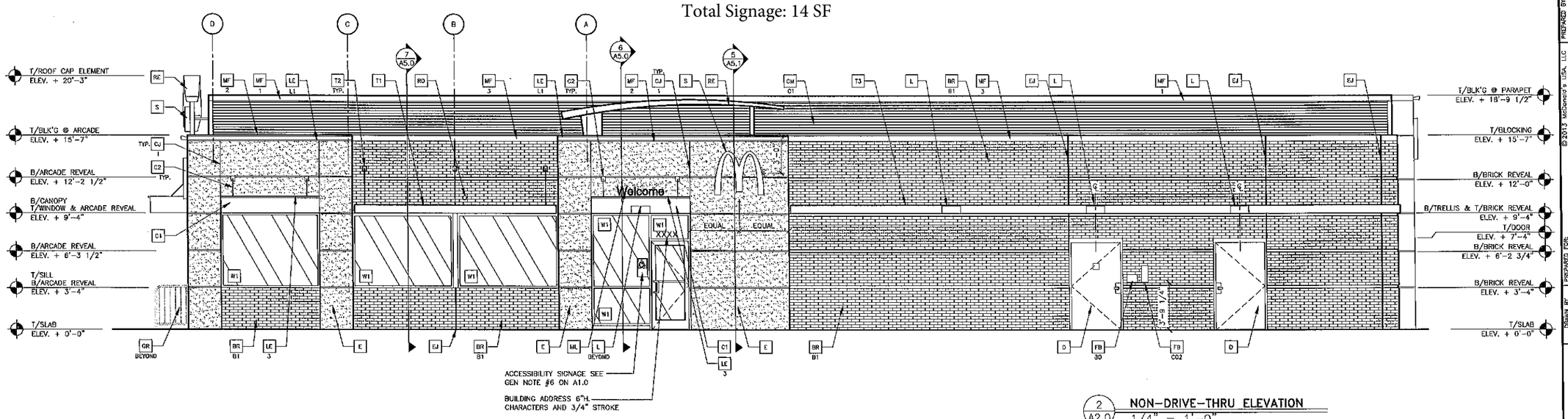
\\MCDOAKFIS104\CAD01\STD\STANDARD\PRELIM\2013 STANDARD BUILDINGS – 4TH QUARTER RELEASE\45 97 – WW (FULL)\A-REFERENCE PLANS.DWG 10-09-2012 14:33

Total Signage: 55.25 SF



1 A2.0 FRONT ELEVATION
1/4" = 1'-0"

Total Signage: 14 SF



2 A2.0 NON-DRIVE-THRU ELEVATION
1/4" = 1'-0"

KEY NOTES:

- BR FACEBRICK
  B1 — COLOR:
  B1 = "RUBIGO RED VELOUR" BY BELDEN OR EQUAL
- C1 ALUMINUM CANOPY SYSTEM (COLOR: GOLD)
- C2 ALUMINUM CANOPY TIE-BACK SYSTEM
- CJ CONTROL JOINT
  X — TYPE: 1 = EIFS
- CM CORRUGATED METAL PANEL – SEE 1B/A5.0
  C1 — COLOR:
  C1 = "CITYSCAPE" BY METAL-ERA
- D HOLLOW METAL DOOR – PAINT TO MATCH COLOR OF SURROUNDING MATERIAL
- E EXTERIOR INSULATION FINISH SYSTEM (E.I.F.S.)
  COLOR = BENJAMIN MOORE 2122-70 'SNOW WHITE
- EJ EXPANSION JOINT, SEE DETAIL 7/A4.1
- FD
  CO2 — CO2 = BULK CO2 FILL BOX (EQPM SCHEDULE ITEM 49.00)
  BO = BULK OIL FILL BOX (EQPM SCHEDULE ITEM 700.18) – CONFIRM USE WITH MCD PROJECT MANAGER
- GR GUARD RAIL –SEE SITE PLAN FOR EXACT LOCATION AND LENGTH
- L LIGHT FIXTURE (WALL SCONCE) – SEE ELECTRICAL
- LE ACCENT LIGHTING – SEE ELECTRICAL
  L1 — LED LIGHT:
  L1 = UP AND DOWN FIXTURE
  L2 = DOWN ONLY FIXTURE
  L3 = INTEGRAL CANOPY FIXTURE
  L4 = UP ONLY FIXTURE
- ML METAL LETTERING – BY OTHERS
- MF METAL FASCIA – COLOR TO MATCH CORRUGATED METAL PANEL – SEE 1/A5.0
  1 — TYPE:
  1 = PRE-FAB ANCHOR-TITE FASCIA
  2 = PRE-FAB CUSTOM ARCADE FASCIA
  3 = PRE-FAB MASONRY CAP FASCIA
- PB PIPE BOLLARD – PAINTED YELLOW
- PT (RMHC) COIN COLLECTOR
  UNIT #WPT DI2000 STD
  CALL 1-888-743-7435 TO ORDER
- RE ROOF CAP ELEMENT BY OTHERS
- RD ROOF DRAIN OVERFLOW PIPE PAINT TO MATCH SURROUNDING MATERIAL
- T1 ALUMINUM TRELLIS SYSTEM
- T2 TRELLIS TIE-BACK SYSTEM
- T3 ALUMINUM TRELLIS 2" x 8" WALL FASCIA SYSTEM – REFER TO SIM, DETAIL 3 ON SHEET A5.1
- S McDONALD'S SIGNAGE BY OTHERS – UNDER SEPARATE PERMIT.
- W1 EXTERIOR WINDOW ASSEMBLY – TEMPERED GLASS – SEE ASSEMBLY NOTES
- W2 DRIVE-THRU WINDOW BY READY ACCESS 600 SERIES, 36" SERVICE HEIGHT WITH TRANSOM – MANUAL OPEN; ELECTRONIC RELEASE
  XX — SLIDE DIRECTION: RL = RIGHT TO LEFT; LR = LEFT TO RIGHT

REV	DATE	DESCRIPTION	BY

PREPARED BY:

© 2013 McDonald's USA, LLC

PREPARED FOR: McDonald's USA, LLC

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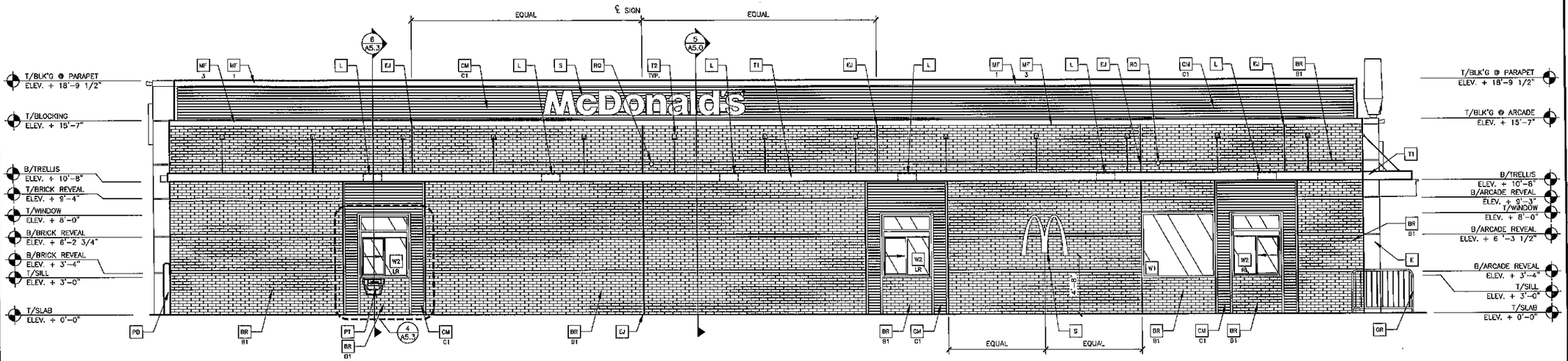
DRAWN BY: STD. ISSUE DATE 2013_06
REVIEWED BY: –
DATE ISSUED: MM DD YYYY

TITLE: 2013 STANDARD BUILDING 4597-WOOD/WOOD
DESCRIPTION: WOOD BEARING WALLS W/4" BRICK EXTERIOR FINISH WOOD ROOF TRUSS FRAMING E.I.F.S. EXTERIOR FINISH ARCADE/ENTRY
SITE ID: XXXX-XXXX
SITE ADDRESS:

SHEET NO.: 00-0000.00.0
A2.0
ELEVATIONS

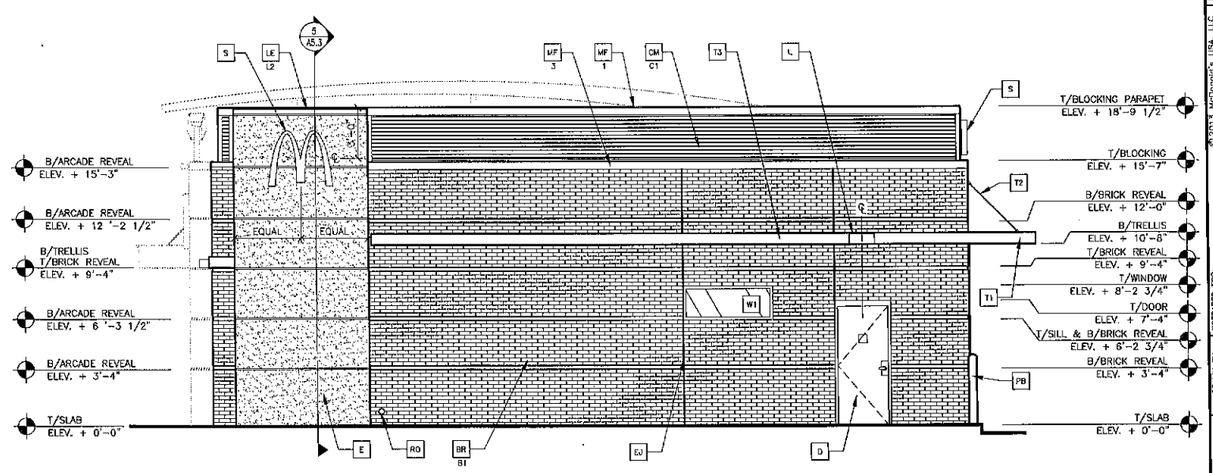
K:\STD\STANDARD\PRELIM\2011 STANDARD BUILDINGS – APRIL 2012 RELEASE\4597 WW-FULL SET\DWG\A-ELEV.DWG 04-26-2012 14:40

Total Signage: 55.25 SF



1 A2.1 DRIVE THRU ELEVATION
1/4" = 1'-0"

Total Signage: 14 SF



2 A2.1 REAR ELEVATION
1/4" = 1'-0"

KEY NOTES:

- BR FACEBRICK — B1 — COLOR: B1 = "RUBIGO RED VELOUR" BY BELDEN OR EQUAL
- C1 ALUMINUM CANOPY SYSTEM (COLOR: GOLD)
- C2 ALUMINUM CANOPY TIE-BACK SYSTEM
- CJ CONTROL JOINT — X — TYPE: 1 = EIFS
- CM CORRUGATED METAL PANEL – SEE 18/A5.0 — C1 — COLOR: C1 = "CITYSCAPE" BY METAL-ERA
- D HOLLOW METAL DOOR – PAINT TO MATCH COLOR OF SURROUNDING MATERIAL
- E EXTERIOR INSULATION FINISH SYSTEM (E.I.F.S.) COLOR = BENJAMIN MOORE 2122-70 SNOW WHITE
- EJ EXPANSION JOINT, SEE DETAIL 7/A4.1
- FB — CO2 — CO2 = BULK CO2 FILL BOX (EQPM SCHEDULE ITEM 49.00); BO = BULK OIL FILL BOX (EQPM SCHEDULE ITEM 700.18) – CONFIRM USE WITH MCD PROJECT MANAGER
- GR GUARD RAIL –SEE SITE PLAN FOR EXACT LOCATION AND LENGTH
- L LIGHT FIXTURE (WALL SCONCE) – SEE ELECTRICAL
- LE ACCENT LIGHTING – SEE ELECTRICAL — L1 — LED LIGHT: L1 = UP AND DOWN FIXTURE; L2 = DOWN ONLY FIXTURE; L3 = INTEGRAL CANOPY FIXTURE; L4 = UP ONLY FIXTURE
- ML METAL LETTERING – BY OTHERS
- MF METAL FASCIA – COLOR TO MATCH CORRUGATED METAL PANEL – SEE 1/A5.0 — T — TYPE: 1 = PRE-FAB ANCHOR-TITE FASCIA; 2 = PRE-FAB CUSTOM ARCADE FASCIA; 3 = PRE-FAB MASONRY CAP FASCIA
- PB PIPE BOLLARD – PAINTED YELLOW
- PE (RMHC) COIN COLLECTOR UNIT #WPT 012000 STD CALL 1-888-743-7435 TO ORDER
- RE ROOF CAP ELEMENT BY OTHERS
- RO ROOF DRAIN OVERFLOW PIPE PAINT TO MATCH SURROUNDING MATERIAL
- T1 ALUMINUM TRELLIS SYSTEM
- T2 TRELLIS TIE-BACK SYSTEM
- T3 ALUMINUM TRELLIS 2" x 8" WALL FASCIA SYSTEM – REFER TO SIM. DETAIL 3 ON SHEET A5.1
- S McDONALD'S SIGNAGE BY OTHERS – UNDER SEPARATE PERMIT.
- W1 EXTERIOR WINDOW ASSEMBLY – TEMPERED GLASS – SEE ASSEMBLY NOTES
- W2 DRIVE-THRU WINDOW BY READY ACCESS 800 SERIES, 36" SERVICE HEIGHT WITH TRANSOM – MANUAL OPEN; ELECTRONIC RELEASE — XX — SLIDE DIRECTION: RL = RIGHT TO LEFT; LR = LEFT TO RIGHT

REV	DATE	DESCRIPTION	BY

PREPARED BY:

PREPARED FOR: McDonald's USA, LLC

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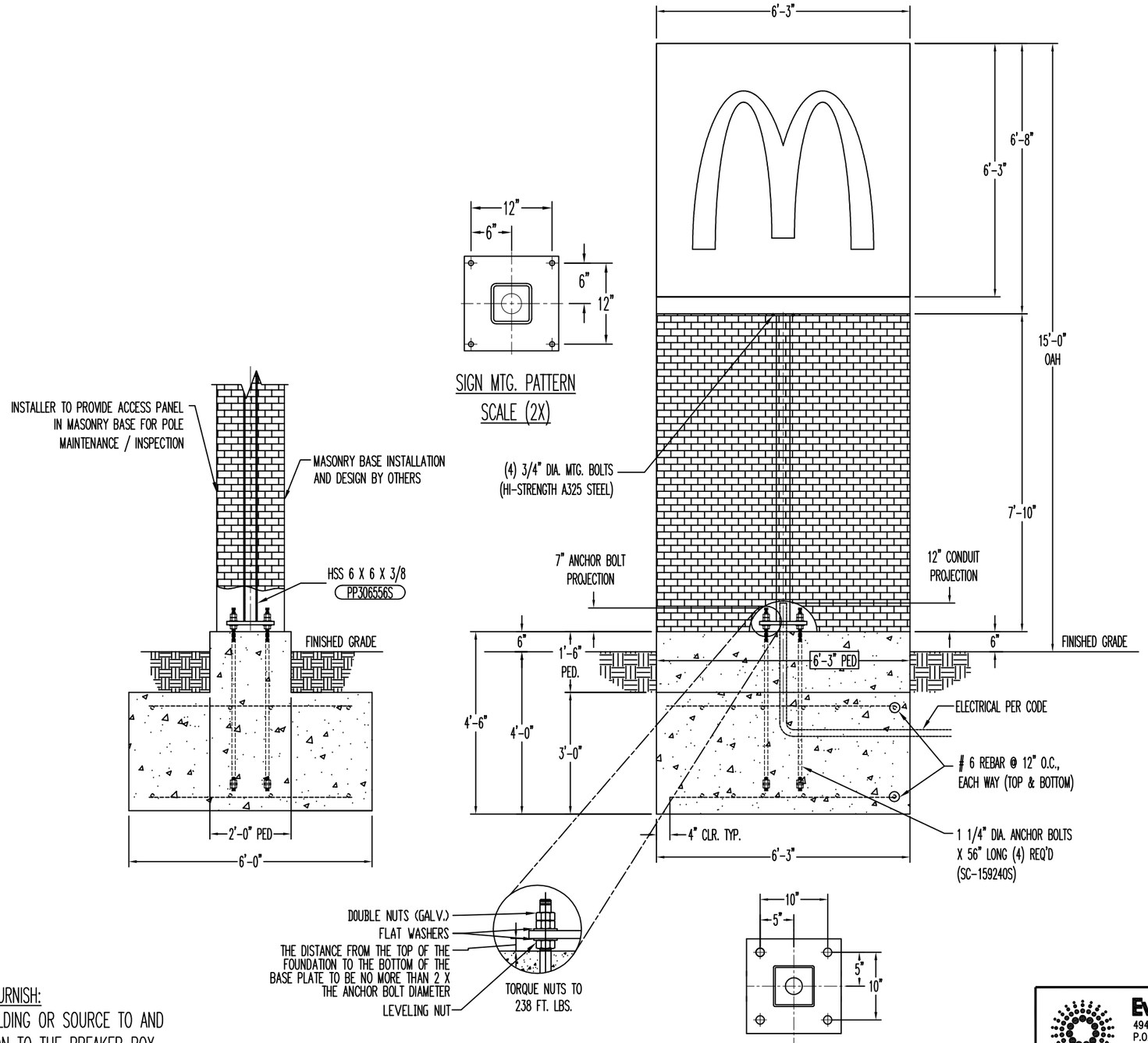
DRAWN BY: STD ISSUE DATE 2013_06
REVISED BY: –
DATE ISSUED: MM DD YYYY

TITLE: 2013 STANDARD BUILDING 4597-WOOD/WOOD
DESCRIPTION: WOOD BEARING WALLS W/4" BRICK EXTERIOR FINISH; WOOD ROOF TRUSS FRAMING
W.I.P.S. EXTERIOR: ARCADE/ENTRY
SITE ADDRESS: XXX-XXXX

00-0000.00.0

SHEET NO. A2.1
ELEVATIONS

K:\STD\STANDARD\PRELIM\2011 STANDARD BUILDINGS – APRIL 2012 RELEASE\4587 WW-FULL SET\DWG\A-ELEV.DWG 04-26-2012 14:10



EVERBRITE TO FURNISH:

1. 6'-3" X 6'-3" SIGN.
2. MOUNTING POLE
3. ANCHOR BOLTS AND NUTS.
4. TOUCH UP PAINT

DESIGN NOTE:

PEDESTAL CONCRETE TO BE POURED MONOLITHIC WITH SPREAD FOOTING

INSTALLER TO FURNISH:

1. CONCRETE BASE.
2. ALL ELECTRICAL COMPONENTS REQUIRED.
3. INSTALLER TO BE SURE SIGNS ARE PROPERLY INSTALLED, CONNECTED, AND GROUNDED.

CONCRETE SPECIFICATION:

4.86 CU. YDS. TOTAL. CONCRETE SHALL HAVE MIN. COMPRESSIVE STRENGTH OF 3,000 PSI @ 28 DAYS, REINFORCING STEEL SHALL HAVE MIN. YIELD STRENGTH OF 60,000 PSI. RECOMMENDED MIN. CURE TIME OF 7 DAYS BEFORE SIGN INSTALLATION

DESIGN NOTE:

SIGN, POLE AND CONCRETE FOUNDATION ARE DESIGNED TO WITHSTAND A WIND LOAD OF 27 P.S.F. CONCRETE FOUNDATION DESIGNED USING A SOIL BEARING PRESSURE OF 2500 P.S.F. IF THESE SOIL CONDITIONS DO NOT EXIST AT THE FOUNDATION LOCATION IT IS THE ERECTOR'S RESPONSIBILITY TO NOTIFY EVERBRITE, LLC. PRIOR TO ADDITIONAL EXCAVATION OR ANY CONCRETE PLACEMENT

GENERAL NOTE:

INCLUDE COMPLETION PHOTOS OF MOUNTING / CONNECTION POINTS INCLUDING FOUNDATION, BASE PLATES, ANCHOR BOLTS, MATCH PLATE, WALL MOUNT, WELDING CONNECTIONS AND GROUT INSTALLATION IF APPLICABLE.

THIS SIGN IS INTENDED TO BE INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS OF ARTICLE 600 OF THE NATIONAL ELECTRIC CODE AND/OR OTHER APPLICABLE LOCAL CODES. THIS INCLUDES PROPER GROUNDING AND BONDING OF THE SIGN.

GENERAL CONTRACTOR TO FURNISH:

PRIMARY WIRES FROM BUILDING OR SOURCE TO AND INCLUDING THE CONNECTION TO THE BREAKER BOX.

POLE WEIGHT = 352 LBS.

REVISIONS					
	A	RELEASED TO INSTALL	01-16-14	RHB	–
	REV.	DESCRIPTION	DATE	BY	ECN

Everbrite
4949 SO. 110TH ST.
P.O. BOX 20020
GREENFIELD, WI 53220
414-529-3500

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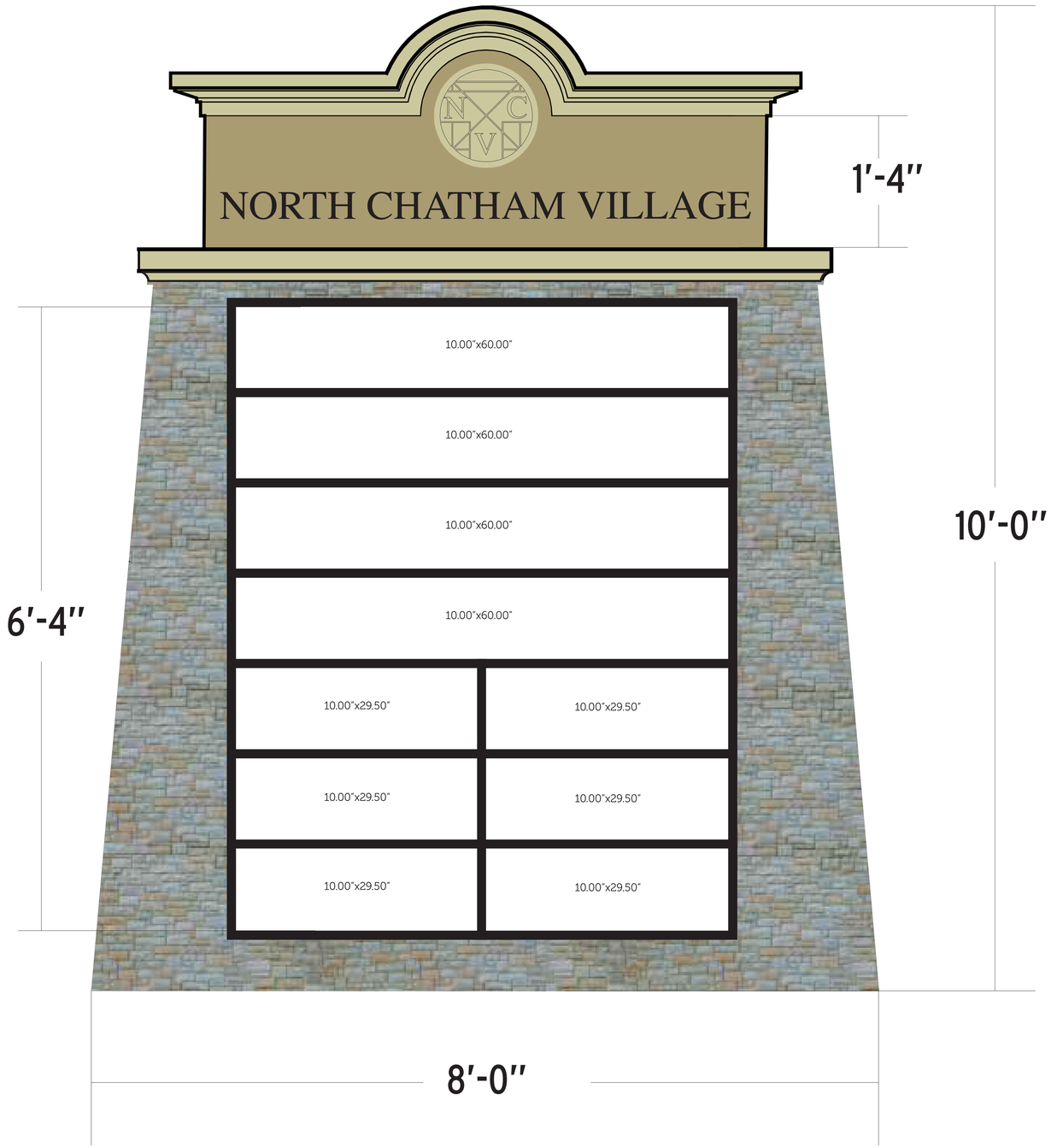
SITE: NN19491-1
1831 PARKWAY
SEVIERVILLE, TN 37862

DWG TITLE: MCDONALD'S 6'-3" X 6'-3" MONUMENT SIGN @ 15'-0" OAH

DRAWN BY:	IMPACT TDT	DATE:	01-15-14	SCALE:	DWG NO.:	REV.:
CHK'D BY:	RHB	DATE:	01-16-14	1:35	IN06166S	A

SIGN SPECIFICATIONS



LANDLORD OR AGENT SIGNATURE HERE

Please sign & return drawing/s to FASTSIGNS
Signature below indicates approval of BOTH design & placement of sign/s

X _____ DATE _____

3400 South Tryon St. | Charlotte, NC 28217 • PH: (704) 527-9102 • FAX: (704) 527-9122 • 176@fastsigns.com • www.fastsigns.com/176

DRAWING IS NOT TO SCALE BUT IS PROPORTIONATE

FIELD VERIFY ALL MEASUREMENTS BEFORE BEGINNING ANY WORK.
INSTALLER TO VERIFY MOUNTING SURFACE PRIOR TO INSTALLATION.

FASTSIGNS®
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South Tryon | Rock Hill | Matthews-Ballantyne
INDEPENDENTLY OWNED AND OPERATED

ACCOUNT: FS South Tryon

FILE: ChathamCounty_10'tall.ai
May 2014

REPRESENTATIVE: B. Knight

ADDRESS:

ORIGINAL DRAWING DATE: 06-02-2014

DRAWING NUMBER:	SCALE:
1 of 1	NTS

REV. #1 BY:	REV. DATE

REVISION NOTES:

REV. #2 BY:	REV. DATE

REVISION NOTES:

REV. #3 BY:	REV. DATE

REVISION NOTES:

NOTES:

DRAWN BY: BRANDON GOODSON

REVISED BY:

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THIS PROOF REPRESENTS WHAT THE FINAL PRODUCT WILL LOOK LIKE. IT IS THE CUSTOMER'S SOLE RESPONSIBILITY TO CHECK TYPE AND COLORS FOR SPELLING AND ACCURACY BEFORE SIGNING OFF ON THE LAYOUT. IF A MISTAKE IS FOUND ONCE JOB HAS BEEN PRODUCED, CUSTOMER WILL BE RESPONSIBLE FOR COST OF RE-PRODUCTION.