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TELECOMMUNICATIONS PERMIT APPLICATION PACKAGE REFLECTING
A 150-FOOT MONOPOLE
FOR

"FARRINGTON"

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Wireless Telecommunications
Permit

REVISED
APPLICATION FOR
NEW WTP
REFLECTING A
150-FOOT MONOPOLE

Chatham County
Planning Department

P. O. Box 54, 80-A East St, Pittsboro, NC 27312
Telephone: (919) 542-8204 FAX: (919) 542-2608

Section A. APPLICANT INFORMATION

NAME OF APPLICANT: American Towers LLC (ATC) and AT&T Mobility (AT&T)
American Towers, LLC, 3500 Regency Parkway, Suite 100, Cary, NC 27518
MAILING ADDRESS OF APPLICANT: AT&T Mobility, 2002 Pisgah Church Road, Suite 300, Greensboro, NC 27455
Jill House, Project Manager, 919/466-5163; Jill.House@AmericanTower.com
PHONE NUMBER/E-MAIL OF APPLICANT: M. Gray Styers, Jr., NC Zoning Counsel for AT&T and ATC
Telephone: 919/600-6279; info@styerskemeraitt.com

PROPERTY OWNER INFORMATION (If different from the applicant): Owner Authorization Signature Required; See page 6 of application.

Name(s) Lester Ray Porter, Jr. and wife, Gloria Rhodes Porter

Address: 998 Whippoorwill Lane
Chapel Hill, NC ZIP 27514

Telephone: 919/933-3668 FAX: None

E-Mail Address: _____

PROPERTY INFORMATION: The following information is required to provide the necessary information to process the rezoning request.

* Items with an asterisk pertain solely to applications within the zoned portions of the county.

ADDRESS OF SUBJECT SITE: 464 Old Farrington Road, Chapel Hill, NC 27514

CHATHAM COUNTY PROPERTY PARCEL NUMBER (AKPAR #): 20032

*CURRENT ZONING DISTRICT(S): Residential

TOTAL SITE ACRES/SQUARE FEET: Total acreage of parcel is 11. Disturbed area for this project will be approximately 0.73 acres.

PROPOSED USE(S) AND PROPOSED CONDITIONS FOR THE SITE: American Towers LLC proposes to construct a 150-foot monopole telecommunications tower on a 100' X 100' leased area of the full parcel.

AT&T Mobility proposes to attach its antenna on the tower at the 150-foot position on the tower.

Please refer to the Project Narrative for additional information.

It is important that the applicant provide information to explain how the permit request satisfies the following required five findings. All applications shall contain the following information. Please use attachments if necessary. If there is a finding that you feel does not apply to this submittal, please mark with "N/A" for not applicable.

- *1. The use requested is among those listed as an eligible conditional use in the district in which the subject property is located or is to be located.

Please see Project Narrative.

2. The requested Wireless Telecommunications Permit is either essential or desirable for the public convenience or welfare.

Please see Project Narrative.

3. The requested permit or revision to the existing permit will not impair the integrity or character of the surrounding or adjoining districts, and will not be detrimental to the health, safety or welfare of the community.

Please see Project Narrative.

4. The requested permit will be or remain consistent with the objectives of the Land Conservation and Development Plan.

Please see Project Narrative.

5. Adequate utilities, access roads, storm drainage, recreation, open space, and other necessary facilities have been or are being provided consistent with the County's plans, policies and regulations.

Please see Project Narrative.

Section B. SUBMITTAL INFORMATION AND PROCEDURE

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- (1) Sixteen (16) completed application packets and all supporting information shall be submitted to the Planning Department at least forty-five (45) days prior to the Public Hearing. **(PLEASE SEE ATTACHED CALENDAR FOR ALL SUBMITTAL AND DEADLINE DATES)** A digital copy of the application packet shall be submitted pursuant to the Planning Department Digital Document Submission Guidelines.

***(2) PLEASE NOTE:** A Community Meeting is required to be held PRIOR to the submittal of your application. Please see Section 2-3 (2) of the Wireless Telecommunication Facilities Ordinance.

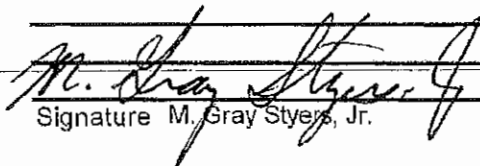
Date Community Meeting Held: April 30, 2014

- (3) The Planning Department shall have fifteen (15) days from the date of submittal to notify the applicant that the application is complete for scheduling the public hearing.
- If the Planning Department determines the information is not sufficient for review, the Department shall notify the applicant of the specific information that is required for review.
 - The Planning Department shall take no further action on the application until the applicant submits the required information.
 - Once the applicant corrects the identified deficiencies, the applicant shall resubmit to the Planning Department at least 45 days prior to the next Public Hearing meeting, and the Department shall have 15 days to review the information and notify the applicant that the information is sufficient for review.
 - A determination that an application contains sufficient information for review as provided in this subsection (b) does not limit the ability of other county agencies, the Planning Board or the Board of Commissioners to request additional information during the review process.
- (4) The application is reviewed by the Technical Review Committee prior to the Public Hearing for comments and recommendations from other agencies.

Section C. SUPPLEMENTAL INFORMATION REQUIRED WITH THE APPLICATION and REQUIRED INFORMATION TO BE INCLUDED ON THE SITE PLAN

PLEASE INCLUDE ALL OF THE FOLLOWING (CHECK OFF). Please check the list below carefully before you submit:

- (1) All Wireless Telecommunication permit application packages for any applicable wireless facility or wireless support structures must contain the following items, consistent with Section 2-3 (2) of the Wireless Telecommunication Facilities Ordinance:
- a. Copy of lease or letter of authorization from the property owner evidencing applicant's authority to pursue zoning application. Such submissions need not disclose financial lease terms;
 - b. Written description and scaled drawings of the proposed Wireless Support Structure or Wireless Facility, including structure height, ground and structure design, and proposed materials;
 - c. Number of proposed Antennas and their height above ground level, including the proposed placement of Antennas on the Wireless Support Structure;
 - d. Line-of-sight diagram or photo simulation, showing the proposed Wireless Support Structure set against the skyline and viewed from at least four (4) directions within the surrounding areas;
 - e. A statement that the proposed Wireless Support Structure will be made available for Collocation to other service providers provided space is available and consistent with Article 2 of this Ordinance. (*acknowledge requirement with a statement below*)


Signature M. Gray Styers, Jr.

Title NC Zoning Counsel for
American Towers LLC
and AT&T Mobility

4-30-14
Date

- f. Proposed towers may not be located closer than one and one-half (1.5) miles from an existing tower unless need can be demonstrated. The Applicant shall provide a map of all other towers located within three (3) miles of the proposed tower location, along with information as to the heights of all such other towers.
- g. All requests for new towers shall identify at least one wireless tenant that intends to locate on the proposed tower at time of application for building permit. If a wireless tenant is not identified, then the building permit shall not be issued.

Acknowledgment of Requirement: M. Gray Styers, Jr. 4-30-2014
 Signature Title Date
 M. Gray Styers, Jr., NC Zoning Counsel for American Towers, LLC and AT&T Mobility

- h. A statement that the proposed Telecommunication tower may not be placed in any "Major Wildlife Areas" identified in the "Inventory of the Natural Areas and Wildlife Habitats of Chatham County, North Carolina", 1992. (acknowledge requirement with a statement below)
 The tower will not be placed in any Major Wildlife Areas as identified in the inventory of the
Natural Areas and Wildlife Habitats of Chatham County, NC 1992.

M. Gray Styers, Jr. 4-30-2014
 Signature M. Gray Styers, Jr. Title NC Zoning Counsel for AT&T Mobility and American Towers, LLC Date

(2) The application shall include a site plan, drawn to scale, with supporting information and any rules, regulations, and conditions that, in addition to the predetermined ordinance requirements, will govern the development and use of the property. The following information must be provided, if applicable:

- a. Information showing the boundaries of the proposed property as follows:
 1. A GIS or survey map and parcel number of the subject property.
 2. If only a portion of the parcel is being proposed for the Wireless Telecommunications Permit, a boundary survey and vicinity map showing the property's total acreage, parcel number, current zoning classification(s) and the general location in relation to major streets, railroads, and/or waterways,
- b. Engineered fall zone of the proposed wireless facility.
- c. Legal Description of proposed Wireless Telecommunications Permit subject area;
- d. All existing and proposed easements, reservations, and rights-of-way;
- e. Proposed number and general location of all building sites, their approximate location, and their approximate dimensions;
- f. All yards, buffers, screening, and landscaping required by these regulations or proposed by the applicant; (SECTION 2-4 (11) WIRELESS TELECOMMUNICATION ORDINANCE LANDSCAPING REQUIREMENTS)
- g. All existing and proposed points of access to public and/or private streets;
- h. Stream buffers required through this or other Chatham County Ordinances or Regulations, and other Local, State, or Federal regulatory agencies. Delineation of areas within the regulatory floodplain as shown on the Official Flood Insurance Rate Maps for Chatham County;
- i. Generalized traffic, parking, and circulation plans; (SECTION 14 ZONING ORDINANCE-OFF STREET PARKING)
- j. Proposed provision of utilities;
- k. The location of known sites of historic or cultural significance within or adjacent to the project area, including any structure over 50 years old; Not Applicable
- l. The approximate location of any cemetery; Not Applicable

- *m. Proposed number, location, and size of signs; (**SECTION 15 ZONING ORDINANCE- SIGN REGULATIONS**)
 - n. Location and description of any proposed lighting on the project site with a note that any lighting will comply with the Chatham County Lighting Ordinance.
 - o. The location of existing and/or proposed storm drainage patterns and facilities intended to serve the proposed development, and impervious surface calculations; and
 - *p. Environmental Impact Assessment pursuant to **Section 11.3** of the Zoning Ordinance, if applicable. If you are or will be disturbing two or more acres in connection with this application, you are required to submit and EIA with this application. Failure to do so will result in the delay of scheduling your request for public hearing or may be returned completely for re-submission. The area to be disturbed is less than two acres.
- (2) In the course of evaluating this application, the Zoning Administrator, Planning Board, or Board of Commissioners may request additional information from the applicant. This information may include, but not be limited to, the following:
- a. Proposed screening, buffers, and landscaping over and above that required by these regulations, as well as proposed treatment of any existing natural features;
 - b. Existing and general proposed topography;
 - c. Scale of buildings relative to abutting property;
 - d. Height of structures;
 - e. Exterior features of the proposed development;
 - f. Any other information needed to demonstrate compliance with these regulations.

NOTE: The Zoning Administrator has the authority to waive any application requirement where the type of use or scale of the proposal makes providing that information unnecessary or impractical.

SECTION D. SIGNATURE STATEMENTS

OWNER'S SIGNATURE: In filing this application, I/we as the property owner(s), hereby certify that all of the information presented in this application is accurate to the best of my knowledge, information and belief. I hereby designate M. Gray Styers, Jr., Styers & Kemerait, PLLC to act on my behalf regarding this application, to receive and respond to administrative comments, to resubmit plans on my behalf and to speak for me in any public meeting regarding this application.

Signature: *Glenn Rhodes Porter & Hunter Ray Porter*
Property Owner

Date: 4-23-14

APPLICANT SIGNATURE: I hereby acknowledge that I am making this application on behalf of the above owner's statement or myself as the owner and that all the information presented in this application is accurate to the best of my knowledge, information, and belief. I acknowledge understanding of the requirements set out in this application and in the ordinances and/or guidelines used to determine the completeness of this submittal and to proceed as determined.

Signature: *M. Gray Styers Jr.*
M. Gray Styers, Jr., NC Zoning Counsel for American Towers and AT&T Mobility

Date: 4-30-2014

OFFICE USE ONLY:

DATE RECD: _____
BY: _____
APPLICATION #: PL 20 _____
FEE PAID \$: _____

STATE OF NORTH CAROLINA
CHATHAM COUNTY

BEFORE THE CHATHAM COUNTY
BOARD OF COMMISSIONERS AND
PLANNING BOARD

APPLICATION NUMBER: _____

In re:)	
AMERICAN TOWERS LLC’S AND AT&T)	<u>APPLICANTS’ PROJECT NARRATIVE</u>
MOBILITY’S APPLICATION FOR A)	<u>AND STATEMENT OF COMPLIANCE</u>
WIRELESS TELECOMMUNICATION)	<u>WITH THE CHATHAM COUNTY</u>
PERMIT TO CONSTRUCT A 150-FOOT)	<u>ZONING ORDINANCE AND</u>
MONOPOLE WIRELESS ANTENNA)	<u>ORDINANCE REGULATING WIRELESS</u>
SUPPORT STRUCTURE WITH A FIVE-)	<u>TELECOMMUNICATIONS FACILITIES</u>
FOOT LIGHTNING ROD)	<u>IN CHATHAM COUNTY, NORTH</u>
		<u>CAROLINA</u>

**I.
STATEMENT OF APPLICATION**

American Towers LLC (“American Tower”) and AT&T Mobility (“AT&T”), pursuant to the requirements set forth in the Ordinance Regulating Wireless Telecommunications Facilities in Chatham County, North Carolina (“Wireless Telecommunications Facilities Ordinance”) and the Chatham County Zoning Ordinance (“Zoning Ordinance”), submit this Application for a Wireless Telecommunications Permit (“Application”) so that American Tower may construct and operate a 150-foot monopole antenna support structure with a five-foot lightning rod so that AT&T may attach its antennas to the tower and provide wireless telecommunications services to the residents of and visitors to Chatham County under its license issued by the Federal Communications Commission (“FCC”).

**II.
BACKGROUND**

Modern wireless communications include far more than cellular and digital phone networks. Today, wireless communications include a great number of services, such as voice, advanced messaging, data, real-time information (news, weather, sports, etc.), photographs, video, entertainment, and connections to social media. The number of services that are available continues to increase.

The convenience, safety and efficiency benefits – as well as the “connectedness” with the world -- achieved through digital phones (and especially the latest generation of “smart phones”), has created a tremendous demand for these and other burgeoning services. It is projected that, within the next few years, ninety percent of the American population will utilize a wireless

device to communicate on a daily basis. It is clear that wireless infrastructure is needed to serve a growing population of wireless customers, especially since roughly one of five traditional landline phone users has switched to “wireless-only.” Today, more than 247 billion emails and 90 billion “tweets” are sent each day, and it is estimated that video over instant-messaging and video calling will have increased sevenfold from 2009 to 2014. Individuals and households are not the only ones who are going wireless. Businesses increasingly depend on wireless service to conduct their business, and more people are working remotely via wireless connections. For example, more than three times as many small businesses today strongly agree that wireless technology is key to staying competitive – 49 percent today versus 16 percent in 2007.

The FCC has designated and auctioned a limited number of radio spectra for wireless communication providers to deliver wireless communications services across the United States. AT&T holds one of those licenses. Increasingly, AT&T and other wireless communication licensees are competing with existing telecommunication services, and each other, giving consumers more flexibility and lower prices, and fueling innovation and technological improvements.

The FCC’s grant of wireless licenses comes with a mandate that the licensees substantially complete construction of their respective communication systems expeditiously. To complete their systems, licensees must develop an infrastructure or system of strategically placed, low-powered antenna. The signal for the antenna is limited by factors such as variations of the terrain and the finite capacity of signals at any given time; therefore, each antenna covers a limited geographic area. The antennas are therefore placed in such a way as to provide contiguous coverage and fill the gaps throughout a given region, as well as to provide sufficient and consistent “capacity”. In searching for a site upon which to locate its telecommunications antennas, AT&T first evaluates whether there are existing facilities upon which it could locate its antennas (see “Statement of Necessity” below). When there are no existing structures of sufficient height or location that would support its telecommunications antennas and meet its coverage and capacity needs, AT&T must either build a support tower in the area where coverage or additional capacity is needed or contract with a tower company, such as American Tower, to build the needed tower so that AT&T may attach its antennas to the tower.

III. PROJECT DESCRIPTION

To fill a significant gap in AT&T’s wireless telecommunications coverage in northeast Chatham County, American Tower and AT&T respectfully request a Wireless Telecommunications Permit to develop a telecommunications facility to be located on a parcel of land owned by Lester Ray Porter, Jr. and wife, Gloria R. Porter, parcel identification number 20032, located at 464 Old Farrington Road, Chapel Hill, North Carolina. The proposed site will be set back on a 100-foot by 100-foot leased parcel (10,000 square feet) on an approximately 11-acre tract of land that is zoned R-1. The proposed tower will be located approximately 640 feet from the property line to the north, 186 feet from the property line to the south, 289 feet from the property line to the east, and 304 feet from Old Farrington Road to the west. Likewise, the exterior perimeters of the tower compound, the Wireless Support Facility, will be setback

approximately 606 feet from the property line to the north, 138 feet from the property line to the south, 239 feet from the property line to the east, and 261 feet from Old Farrington Road to the west. The site will be accessed by a 30-foot wide access and utility easement and a 12-foot wide gravel access road from Old Farrington Road. The proposed tower is a 150-foot monopole with a five-foot lightning rod. A small equipment cabinet for each collocating service provider will be located at the base of the tower on concrete pads. The tower and the 60-foot by 80-foot fenced compound will have room to accommodate the antennas and equipment of AT&T and at least three additional wireless service providers. The tower compound will be secured by an eight-foot-high chain link fence as shown on page C-10 of the construction drawings for this facility. The proposed tower will comply with all FAA regulations, as well as all applicable regulations of the Chatham County Zoning Ordinance and the Wireless Telecommunications Facilities Ordinance. The site provides for ample parking, though little will be required, turn-around space, and controlled traffic movement. In short, this site is an ideal location for a telecommunications facility to provide AT&T's wireless telecommunications services to a currently underserved area of Chatham County.

IV. STATEMENT OF NECESSITY

The voice and data signals for mobile wireless telecommunications systems travel through the air to receiving and transmitting antennas. The antennas must be at a height sufficient to simultaneously provide coverage for users in the surrounding territory as well as "hand off" calls as users travel from one coverage area to the next. In unserved areas or where the antennas' capacity has been reached, calls are "dropped" when a caller enters such areas and calls cannot be made. Where such coverage problems arise or where gaps in AT&T's coverage exist, AT&T issues a "search ring" within which well-placed antennas would fill the gap or resolve the capacity problem. Within the search ring, several alternatives, including existing structures, if any, are evaluated. Each alternative is considered by a team of engineers and other specialists who select the best location. If existing structures are not available within the search ring, considerations in selecting a site include the size of the tract of land, zoning requirements, elevation, topography, accessibility, natural visual buffers, and proximity to current and prospective users. Also, in selecting the proposed site, American Tower and AT&T considered the objectives of the Wireless Telecommunications Facilities Ordinance and the Zoning Ordinance, and sited the tower facility so that it will have the least visually intrusive effect reasonably possible and so that the tower will not impair the integrity or character of the surrounding or adjoining districts.

AT&T has identified the need for wireless facilities to meet its coverage needs in and around this area of Chatham County. AT&T's first choice is always to collocate on an existing tower, building or other structure, if one exists. After performing extensive research of the area, American Tower and AT&T determined that there is no existing tower or structure within the search ring on which AT&T could locate its antennas. For that reason, American Tower has proposed constructing a new monopole tower to serve AT&T's coverage needs.

The proposed tower is required to provide telecommunications coverage for AT&T to mobile traffic, the residential area and businesses in and around Governors Village and along Mt. Carmel Church Road and Old Farrington Point Road.

V.

STATEMENT OF COMPLIANCE WITH THE ZONING ORDINANCE AND THE WIRELESS TELECOMMUNICATIONS FACILITIES ORDINANCE

In support of this application, American Tower and AT&T respectfully submit the following information and the information contained in the application binder filed herewith, that establishes that this application meets all applicable requirements of the Wireless Telecommunications Facilities Ordinance and the Zoning Ordinance.

Ordinance Regulating Wireless Telecommunications Facilities in Chatham County, North Carolina

Article 2 (Permits)

2-1 APPROVALS REQUIRED FOR WIRELESS FACILITIES AND WIRELESS SUPPORT STRUCTURES:

1. **Administrative Review and Approval.** The following types of applications are subject to the review process as provided in Section 2-2 and design requirements of Section 2-4. No other type of zoning or site plan review is necessary:
 - a) New Wireless Support Structures that are less than sixty (60) feet in height in any zoning district or unzoned portions of the county;
 - b) New Wireless Support Structures that are up to one hundred and ninety-nine (199) feet in height, in any general use Industrial District or properties coded as industrial uses by Chatham County Tax Record in the unzoned portions of the county if not within one and a half (1.5) miles of another tower unless need can be demonstrated;
 - c) Concealed Wireless Facilities that are sixty (60) feet or less in height in any zoning district or unzoned portions of the county;
 - d) Concealed Wireless Facilities that are one hundred fifty (150) feet or less in unzoned portions of the county and in any zoning district *except* residential districts;
 - e) Substantial Modifications (see definition);
 - f) Collocations.

The Administrative Review and Approval Process is not applicable to this Application.

2. **Wireless Telecommunications Permit.** Wireless Facilities and/or Wireless Support Structures not subject to Administrative Review and Approval pursuant to this Ordinance shall be permitted in any district upon the granting of a Wireless Telecommunications Permit from the Board of Commissioners in accordance with the standards for granting Conditional Use Permits set forth in the Chatham County Zoning Ordinance.

Wireless Facilities and/or Wireless Support Structures not subject to Administrative Review and Approval that are located within the unzoned portions of the county shall be permitted upon the granting of a Wireless Telecommunications Permit processed in the same manner as conditional use permits, as described in Section 2-3 of this ordinance.

Acknowledged. The proposed tower will be located on an approximately 11-acre tract of land that is located in an R-1, residential area of the County.

3. **Exempt from All Approval Processes.** The following are exempt from all Chatham County's approval processes and requirements under this ordinance:
 - a) Removal or replacement of transmission equipment on an existing wireless tower or base station that does not result in a substantial modification as defined in this ordinance.
 - b) Ordinary Maintenance of existing Wireless Facilities and Wireless Support Structures as defined in this Ordinance;
 - c) Wireless Facilities placed on Utility Poles; and
 - d) COWs placed for a period of not more than one hundred twenty (120) days at any location within the County or after a declaration of an emergency or a disaster by the Governor.

Not applicable.

2-2 ADMINISTRATIVE REVIEW AND APPROVAL PROCESS

1. **Content of Application Package for New Sites.** All Administrative Review application packages must contain the following:
 - a) Commercial Building Permit application form signed by applicant and required fees;
 - b) Copy of lease or letter of authorization from property owner evidencing applicant's authority to pursue application. Such submissions need not disclose financial lease terms; and
 - c) Site plans detailing proposed improvements. Drawings must depict improvements related to the applicable requirements, including property boundaries, setbacks, topography, elevation sketch, and dimensions of improvements as required by the Central Permitting Department and

any other approving body or department if applicable.

- d) Documentation from a licensed professional engineer of calculation of the fall zone and certification that the wireless support structure has sufficient structural integrity to accommodate the required number of additional users as provided in this ordinance.

Not applicable.

2. **Content of Application Package for Other Sites/Facilities.** All Administrative Review application packages must contain the following items. Additional information may be required upon request:

- a) Commercial Building Permit application form signed by applicant and required fees;
- b) For collocations and substantial modifications, written verification from a licensed professional engineer certifying that the host support structure is structurally and mechanically capable of supporting the proposed additional antenna or configuration of antennas.
- c) For substantial modifications, drawings depicting the improvements along with their dimensions.
- d) All requests for new towers shall identify at least one wireless tenant that intends to locate on the proposed tower at time of application for building permit. If a wireless tenant is not identified, then the building permit shall not be issued.

Not applicable.

3. **Procedure and Timing.**

- a) Applications for Collocation, Monopole or Replacement Pole, a Concealed Wireless Facility, a Substantial Modification. Within thirty (30) days of the receipt of an application for a Collocation, a Monopole or Replacement Pole, a Concealed Wireless Facility, a Substantial Modification, the Planning Department will:
 - i. Review the application for conformity with this Ordinance. An application under this Section is deemed to be complete unless the Planning Department notifies the applicant in writing (for purposes of clarification, written responses may be made via electronic notification or US Postal Service mail), within ten (10) calendar days of submission of the application of the specific deficiencies in the application which, if cured, would make the application, complete. Upon receipt of a timely written notice that an application is deficient, an applicant may take ten (10) calendar days from receiving such notice to cure the specific deficiencies. If the applicant cures the deficiencies within ten (10) calendar days, the application shall be reviewed and processed

within thirty (30) calendar days from the initial date the application was received. If the applicant requires a period of time beyond ten (10) calendar days to cure the specific deficiencies, the thirty (30) calendar days deadline for review shall be extended by the same period of time;

- ii. Make a final decision to approve the Collocation application or approve or disapprove other applications under Section 2-2 (2); and
- iii. Advise the applicant in writing of its final decision. If the Planning Department denies an application, it must provide written justification of the denial, which must be based on substantial evidence of inconsistencies between the application and this Ordinance.
- iv. Failure to issue a written decision within thirty (30) calendar days shall constitute an approval of the application.

b) Applications for New Wireless Support Structures That Are Subject to Administrative Review and Approval. Within forty five (45) calendar days of the receipt of an application for a New Wireless Support Structure that is subject to Administrative Review and Approval under this Ordinance, the Planning Department will:

- i. Review the application for conformity with this Ordinance. An application under this Section is deemed to be complete unless the Planning Department notifies the applicant in writing (for purposes of clarification, written responses may be made via electronic notification or US Postal Service mail), within fifteen (15) calendar days of submission of the application of the specific deficiencies in the application which, if cured, would make the application complete. Upon receipt of a timely written notice that an application is deficient, an applicant may take fifteen (15) calendar days from receiving such notice to cure the specific deficiencies. If the applicant cures the deficiencies within fifteen (15) calendar days, the application shall be reviewed and processed within forty five (45) calendar days from the initial date the application was received. If the applicant requires a period of time beyond fifteen (15) calendar days to cure the specific deficiencies, the forty five calendar days deadline for review shall be extended by the same period of time;
- ii. Make a final decision to approve or disapprove the application; and
- iii. Advise the applicant in writing of its final decision. If the Planning Department denies an application, it must provide written justification of the denial, which must be based on substantial evidence of inconsistencies between the application and this Ordinance.
- iv. Failure to issue a written decision within forty five (45)

calendar days shall constitute an approval of the application.

Not applicable.

2-3 WIRELESS TELECOMMUNICATION PERMIT PROCESS

1. **Wireless Telecommunication Permit Standards.** Any Wireless Facility or Wireless Support Structures not meeting the requirements of Section 2-1(1) or (3), may be permitted in all zoning districts and unzoned areas upon the granting of a Wireless Telecommunication Permit, subject to:
 - a) The submission requirements of Section 2-3(2) below; and
 - b) The applicable requirements of Section 2-3(2) below; and
 - c) The requirements for a Conditional Use Permit as established by Section 17 of the Chatham County Zoning Ordinance. Applications for Wireless Facilities and/or Wireless Support Structures not subject to Administrative Review and Approval that are located within the unzoned portions of the county shall be processed in the same manner as conditional use permits, inclusive of the requirements of Section 2-3(2) below.

Acknowledged.

2. **Content of Wireless Telecommunication Permit Application Package.** All Wireless Telecommunication permits, application packages for any applicable wireless facility or wireless support structures must contain the following:

- a) Completed Wireless Telecommunication Permit Application and required fees;

Please see the completed Wireless Telecommunication Permit Application and required fees located under Tab 1 of the Application Binder.

- b) Copy of lease or letter of authorization from the property owner evidencing applicant's authority to pursue the zoning application. Such submissions need not disclose financial lease terms;

Please see the Letter of Authorization/Appointment of Agent located under Tab 4 of the Applicable Binder.

- c) Written description and scaled drawings of the proposed Wireless Support Structure or Wireless Facility, including structure height, ground and structure design, and proposed materials;

Please see the Construction Drawings located under Tab 8 and information regarding the proposed materials for the tower located under Tab 24 of the Application Binder. The proposed tower is a 150-foot monopole with a five-foot

lightning rod, and it will be constructed of galvanized steel. A small equipment cabinet for each collocating service provider will be located at the base of the tower on concrete pads. The tower and the 60-foot by 80-foot fenced compound will have room to accommodate the antennas and equipment of AT&T and at least three additional wireless service providers. The tower compound will be secured by an eight-foot-high chain link fence.

- d) Number of proposed Antennas and their height above ground level, including the proposed placement of Antennas on the Wireless Support Structure;

Please see Page C-3 of the Construction Drawings located under Tab 8 of the Application Binder. AT&T's antennas will consist of three sets of antennas, and they will be located at the 150-foot location on the tower. There will be room on the tower for the antennas of three additional wireless carriers at locations below the 150-foot location on the tower.

- e) Line-of-sight diagram or photo simulation, showing the proposed Wireless Support Structure set against the skyline and viewed from at least four (4) directions within the surrounding areas;

Please see the line-of-sight diagram and photo simulations located under Tab 19 of the Application Binder.

- f) A statement that the proposed Wireless Support Structure will be made available for Collocation to other service providers provided space is available and consistent with Article 2 of this Ordinance.

Please see the Collocation Certification of American Tower located under Tab 22 of the Application Binder. As stated in the Collocation Certification, American Tower will comply with Section 2-3(2)(f) of the Wireless Telecommunications Facilities Ordinance, and agrees that the proposed tower will be made available for collocation to other service providers.

- g) Proposed towers may not be located closer than one and one-half (1.5) miles from an existing tower unless need can be demonstrated. The Applicant shall provide a map of all other towers located within three (3) miles of the proposed tower location, along with information as to the heights of all such other towers.

As shown in the documentation contained in the Tower Survey and Location Map located under Tab 5 of the Application Binder, the proposed tower will not be located closer than 1.5 miles from an existing tower. Please see a map of all towers located within 3 miles of the proposed tower location, along with information as to heights of all such towers also located under Tab 5 of the Application Binder.

- h) All requests for new towers shall identify at least one wireless tenant that intends to locate on the proposed tower at time of application for building permit. If a wireless tenant is not identified, then the building permit shall not be issued.

AT&T intends to locate on the proposed tower in order to provide telecommunications coverage in northeast Chatham County. Specifically, as stated in the RF Justification located in Tab 7 of the Application Binder, AT&T will provide telecommunications coverage to mobile traffic and the residential area and businesses in and around Governors Village and Governors Club and along around Mt. Carmel Church Road and Old Farrington Point Road.

- i) Notwithstanding the above, telecommunication towers may not be placed in any "Major Wildlife Areas" identified in the "Inventory of the Natural Areas and Wildlife Habitats of Chatham County, North Carolina", 1992.

The proposed tower is not located in any "Major Wildlife Areas" identified in the "Inventory of the Natural Areas and Wildlife Habitats of Chatham County, North Carolina", 1992. Please see the Map located under Tab 17 of the Application Binder.

3. Procedure and Timing. Within one hundred fifty (150) calendar days of the submittal deadline of an application under Section 2-3 of this Ordinance, the County will:

- a) Complete the process for reviewing the application for conformity with ordinances applicable to Conditional Use Permits.
- b) Make a final decision to approve or disapprove the application.
- c) Advise the applicant in writing of the final decision. If the Board of Commissioners denies an application, it must provide written justification of the denial.
- d) Failure to issue a written decision within one hundred fifty (150) calendar days shall constitute an approval of the application.

Acknowledged.

2-4 GENERAL STANDARDS AND DESIGN REQUIREMENTS

1. Design.

- a) Wireless Support Structures shall be subject to the following:
 - i. Shall be engineered and constructed to accommodate a minimum number of Collocations based upon their height:
 - a. Support structures sixty (60) to one hundred (100) feet shall support at least

two (2) telecommunications providers;

- b. Support structures greater than one hundred feet (100) but less than one hundred-fifty (150) feet shall support at least three (3) telecommunications providers;
- c. Support structures greater than one hundred-fifty (150) feet in height shall support at least four (4) telecommunications carriers.

The proposed tower is a 150-foot monopole and it will support at least four telecommunications carriers. Please see Page C-3 of the Construction Drawings located under Tab 8 of the Application Binder.

- b) The Equipment Compound area surrounding the Wireless Support Structure must be of sufficient size to accommodate Accessory Equipment for the appropriate number of telecommunications providers in accordance with Section 2-4 (1) (a).

Please see Page C-2 of the Construction Drawings located under Tab 8 of the Application Binder. As noted in the Construction Drawings, the compound area will be of a sufficient size to accommodate the accessory equipment of AT&T and at least three additional carriers

- 2. Concealed Wireless Facilities shall be designed to accommodate the Collocation of other Antennas whenever economically and technically feasible. Antennas must be enclosed, camouflaged, screened, obscured or otherwise not readily apparent to a casual observer.

Not applicable.

- 3. Upon request of the Applicant, the County may waive the requirement that new Wireless Support Structures accommodate the Collocation of other service providers if County finds that Collocation at the site is not essential to the public interest, or that the construction of a shorter support structure with fewer Antennas will promote community compatibility.

The applicants are not requesting that this requirement be waived.

4. Setbacks

- a) Unless otherwise stated herein, Wireless Support Structures and Wireless Support Facilities shall be set back from all property lines a distance equal to its engineered fall zone or fifty (50) feet, whichever is greater.

Please see Pages C-1 and C-1A of the Construction Drawings located under Tab 8 of the Application Binder that show that the proposed tower exceeds this setback requirement. The 150-foot tower will be set back approximately 640 feet from the property line to the north, 186 feet from the property line to the south, 289 feet from the property line to the east, and 304 feet from Old Farrington Road to the west.

Therefore, the tower will be setback from all property lines distances greater than the engineered fall zone of 185 feet. Likewise, the exterior perimeters of the tower compound, the Wireless Support Facility, will be setback approximately 606 feet from the property line to the north, 138 feet from the property line to the south, 239 feet from the property line to the east, and 261 feet from Old Farrington Road to the west.

- b) For towers greater than one hundred (100) feet, a setback of 50% of the Wireless Support Structure tower height is required from adjoining property lines and right-of-way. Provided however, the setback limit shall never be less than the distance equal to its engineered fall zone or fifty (50) feet, whichever is greater. The setback requirement also applies to Wireless Support Facilities.

Please see Pages C-1 and C-1A of the Construction Drawings located under Tab 8 of the Application Binder that show that the proposed tower exceeds this setback requirement. The 150-foot tower will be set back approximately 640 feet from the property line to the north, 186 feet from the property line to the south, 289 feet from the property line to the east, and 304 feet from Old Farrington Road to the west. The tower will be setback from all property lines more than 100 feet. Likewise, the exterior perimeters of the tower compound, the Wireless Support Facility, will be setback approximately 606 feet from the property line to the north, 138 feet from the property line to the south, 239 feet from the property line to the east, and 261 feet from Old Farrington Road to the west.

5. Height

- a) In zoned residential districts and properties coded as residential uses by Chatham County Tax Record in the unzoned portions of the county, Wireless Support Structures shall not exceed a height equal to one hundred ninety-nine (199) feet from the base of the structure to the top of the highest point, including appurtenances. Notwithstanding the foregoing, the County shall have the authority to vary the foregoing height restriction upon the request of the applicant. With its waiver request, the Applicant shall submit such technical information or other justifications as are necessary to document the need for the additional height to the satisfaction of the Board of Commissioners.

The proposed 150-foot monopole tower is located in an R-1 zoned area of the County. The monopole and five-foot lightning rod attached thereto (overall height 155 feet) meets the County's requirements for this district.

- b) No towers may exceed a height greater than three hundred (300) feet.

Acknowledged. The proposed tower is a 150-foot monopole.

6. Lot Size

- a) The lot size required for wireless facilities should at a minimum provide the space needed for the access road, tower base, equipment and setback buffers. Lots created for the sole purpose of locating wireless facilities are not required to comply with

otherwise required minimum lot size standards.

The parcel where the proposed tower will be located is an 11-acre tract of land that will provide the space needed for the access road, tower base, equipment, and setback buffers. Please see Pages C-1, C-1A, and C-2 of the Construction Drawings located under Tab 8 of the Application Binder that shows that the parcel provides ample space for the access road, tower base, equipment, and setback buffers.

7. Aesthetics

a) Lighting and Marking.

i. Wireless Facilities or Wireless Support Structures shall not be illuminated unless required by the Federal Communications Commission (FCC) or the Federal Aviation Administration (FAA).

The proposed tower will be an unlit 150-foot monopole. The only lighting on the tower will be at about the seven-foot height on the tower and that will be a down shielded motion detector light that will produce just enough light for technicians to work on the facility should they be called to do so at night.

ii. The desired tower color is gray or natural colors for concealed towers. Towers that are painted alternating patterns are not permitted unless required by the Federal Communications Commission (FCC) or the Federal Aviation Administration (FAA).

The proposed tower will be constructed of galvanized steel, grey in color. Please see Page C-3 of the Construction Drawings located under Tab 8 and the Certification by Christopher Fredette, E.I., Construction Manager for American Tower and Civil Engineer located under Tab 24 of the Application Binder.

b) All lighting, other than required by the FAA, must conform to the Chatham County Lighting Ordinance.

Acknowledged. All lighting in the compound, other than lighting required by the FAA, will conform to the Chatham County Lighting Ordinance.

8. Signage.

a. Signs located at the Wireless Facility shall be limited to ownership and contact information, FCC antenna registration number (if required) and any other information as required by government regulation. Commercial advertising is strictly prohibited. Notwithstanding the foregoing, nothing in this Ordinance shall prohibit signage that is approved for other uses on property on which Wireless Facilities are located (e.g., approved signage at locations on which Concealed Facilities are located).

Acknowledged. The signage details are shown on the Signage Details on page C-11 of the Construction Drawings located under Tab 8 of the Application Binder.

9. Accessory Equipment.

- a) Accessory Equipment, including any buildings, cabinets or shelters, shall be used only to house equipment and other supplies in support of the operation of the Wireless Facility or Wireless Support Structure. Any equipment not used in direct support of such operation shall not be stored on the site.

Acknowledged. The accessory equipment located on the site will be used only to house the equipment and supplies of AT&T and any additional co-locating telecommunications providers.

- b) If the site is designed for or equipped with on site generators for electric power supply, then a retention basin for liquids shall be provided that is designed according to recommendations of the County Fire Marshal and/or the County Emergency Operations Office.

A generator will be provided on the site. Please see details on the Generator & Fuel Tank Elevations on Page C-6 of the Construction Drawings located under Tab 8 of the Application Binder. The retention basin for liquids will be designed according to recommendations of the County Fire Marshal and/or County Emergency Operations Office.

10. Fencing.

- a) Ground mounted Accessory Equipment and Wireless Support Structures shall be secured and enclosed with a fence not less than six (6) feet in height as deemed appropriate by the County.

The tower compound will be secured and enclosed with an eight-foot high chain link fence with three strands of barbed wire as shown on the Fence Details on Page C-10 of the Construction Drawings located under Tab 8 of the Application Binder.

- b) The County may waive the requirement of Section 2-4 (10) (a) if it is deemed that a fence is not appropriate or needed at the proposed location.

Acknowledged. However, the Applicants are not requesting a waiver of the requirement of Section 2-4(10)(a).

11. Landscaping

- a) Sites in heavily wooded locations are strongly preferred. If the site is not heavily wooded, a continuous all-season opaque screen of at least six (6) feet in height and spaced to obscure the security fence within four (4) years of planting shall be placed

around the boundaries of the site (excluding the access road). Vegetation shall be not less than two (2) feet in height at the time of planting. It is not the intention that the existing vegetation be removed to then be replaced by the described buffer; substantial vegetation may be supplemented to achieve the desired screening.

The site is located in a heavily wooded area. Please see the aerial map and the line of sight diagram located under Tabs 12 and 19 respectively of the Application Binder.

- b) If the tower site is in an open field with no residence within 1700 feet, where the effect of buffering would yield a ring of vegetation around the tower base in an open field, then this requirement may be reduced or eliminated. If the site is heavily wooded, and a reasonable assurance can be provided that the site will remain that way, the screening planting requirements may be reduced or eliminated. If at a later date, the site changes from a heavily wooded site, the planting screen described above may be required.

As shown on Page L-1 of the Construction Drawings located under Tab 8 of the Application Binder, landscaping will be provided in the area disturbed by construction around the perimeter of the security fence.

ARTICLE 3 MISCELLANEOUS PROVISIONS

3-1 ABANDONMENT AND REMOVAL

1. If a Wireless Support Structure is Abandoned, and it remains Abandoned for a period in excess of twelve (12) consecutive months, the County may require that such Wireless Support Structure be removed only after first providing written notice to the owner of the Wireless Support Structure and giving the owner the opportunity to take such action(s) as may be necessary to reclaim the Wireless Support Structure within sixty (60) days of receipt of said written notice.

Acknowledged.

2. In the event the owner of the Wireless Support Structure fails to reclaim the Wireless Support Structure within the sixty (60) day period, the owner of the Wireless Support Structure shall be required to remove the same within six (6) months thereafter. The County may ensure and enforce removal by means of its existing regulatory authority, with costs of removal charged to the owner.

Acknowledged.

3-2 MULTIPLE USES ON A SINGLE PARCEL OR LOT.

1. Wireless Facilities and Wireless Support Structures may be located on a parcel containing

another principal use on the same site or may be the principal use itself.

Acknowledged.

ARTICLE 4
WIRELESS FACILITIES AND WIRELESS SUPPORT STRUCTURES IN
EXISTENCE ON
THE DATE OF ADOPTION OF THIS ORDINANCE

1. Wireless Facilities and Wireless Support Structures that were legally permitted on or before the date this Ordinance was enacted shall be considered a permitted and lawful use.

Acknowledged.

2. Activities at Non-Conforming Wireless Support Structures. Notwithstanding any provision of this Ordinance:
 - a) Ordinary Maintenance may be performed on a Non-Conforming Wireless Support Structure or Wireless Facility.
 - b) Collocation of Wireless Facilities on an existing non-conforming Wireless Support Structure shall not be construed as an expansion, enlargement or increase in intensity of a non-conforming structure and/or use and shall be permitted through the Administrative Approval process defined in Section 2-2., provided that the collocation does not substantially modify the size of the equipment compound at that location or otherwise substantially modify the existing non-conformity.
 - c) Substantial Modifications may be made to non-conforming Wireless Support Structures utilizing the Wireless Telecommunication Permit process defined in Section 2-3 of this Ordinance.

Acknowledged.

ARTICLE 5
ENFORCEMENT AND REMEDIES

5-1 ENFORCEMENT OFFICER: The Chatham County Planning Director, or his/her designee, shall administer and enforce the provisions hereof Such plans and applications as are finally approved shall be incorporated into any permit.

Acknowledged.

5-2 VIOLATIONS. Any violation of this ordinance or the terms of any tower permit shall be subject to the enforcement remedies and penalties set forth in this ordinance and as by law provided. Each day's violation of any provision of this ordinance or the terms of any tower permit shall constitute a separate and distinct offense.

Acknowledged.

5-3 ENFORCEMENT PROCEDURE: Upon finding a violation of this ordinance, the enforcement officer shall notify the owner and service provider(s) of the nature of the violation and measures necessary to remedy the violation.

Acknowledged.

5-4 FAILURE TO COMPLY: Upon failure of the owners and/or service provider(s) to comply with a notice of corrective action, the owner and service provider(s) shall be subject to such remedies and penalties as may be provided herein.

Acknowledged.

5-5 REMEDIES: Any one or all of the following procedures may be used to enforce the provisions of this ordinance:

1. Injunction: Violations may be enjoined, restrained, abated or mandated by injunction.
2. Civil Penalties: Any person who violates this ordinance shall be subject to assessment of a civil penalty in the amount of \$50.00 per day for the first violation. If the same violation occurs on the same property within six (6) years after the initial violation is remedied, a civil penalty in the amount of \$100.00 per day shall automatically apply. If the same violation occurs on the same property within six (6) years after the second occurrence of the violation is remedied, a civil penalty in the amount of \$200.00 per day shall automatically apply. If the same violation occurs on the same property within six (6) years after the third or any subsequent occurrence of the violation is remedied, a civil penalty in the amount of \$500.00 per day shall automatically apply. For the purposes of assessing civil penalties each day such violation continues shall be considered a separate and distinct offense.
3. Stop Work: Whenever any tower is being constructed, erected, altered or repaired in violation of this ordinance or the terms of its permit, the work may be immediately stopped by the authorized code enforcement officials as allowed by North Carolina General Statutes.
4. Revocation of Permit: A permit may be revoked for any substantial departure from the terms of the approved application including false statements or misrepresentations made in securing the permit. Any permit mistakenly issued in violation of any applicable state, federal or local law may also be revoked.

5. **Criminal Penalties:** Any violation of this ordinance shall be a misdemeanor or infraction as provided in G.S. 14-4.

Acknowledged.

5-6 **VARIANCES:** An application for a variance from the strict terms of this ordinance shall be submitted in writing to the Board of Adjustment prior to the issuance of a permit in the same manner as applications for variances in zoning matters. A variance may be granted in the same manner and upon the same grounds as set forth in the Chatham County Zoning Ordinance.

Acknowledged.

5-7 **JUDICIAL REVIEW:** Except as otherwise provided, appeals by persons aggrieved by a decision of the Board of Adjustment or the Board of Commissioners upon any application for a variance or permit shall be to a court of competent jurisdiction in the nature of a writ of certiorari. The procedure shall be the same as set forth for conditional use permit applications in the Chatham County Zoning Ordinance.

Acknowledged.

Chatham County Zoning Ordinance:

5.7. Procedure

Applications for new conditional zoning districts or expansion of existing Conditional Zoning Districts shall be processed, considered and voted upon using the following procedure. Before filing an application for a conditional zoning district, the applicant(s) is encouraged to meet with the Planning Department staff to discuss the nature of the proposed reclassification, the standards for development under the existing and proposed classifications, and concerns that persons residing in the vicinity of the property may have regarding the proposed reclassification, if known.

A. Community Meeting

- (1) The applicant is required to hold a community meeting prior to the application deadline for a conditional zoning district rezoning. The applicant shall provide mailed notice of the meeting.
 - a. Notice of the meeting shall be provided to owners of abutting property, as listed with the Chatham County Tax Department, and include properties directly across a street, easement or public or private right of way.
 - b. Notice may be sent to additional properties by the applicant.
 - c. At a minimum, the notice shall be sent by standard mail and be postmarked at least fourteen (14) days prior to the date of the community meeting. Additional types of notice may be provided by the applicant.

The community meeting was held on April 30, 2014. Notice of the community meeting was mailed by first class mail on April 15, 2014 to abutting property

owners and to properties directly across a street, easement, or public or private right of way. Information showing that this requirement has been met is located under Tab 10 of the Application Binder.

- (2) A written report of the community meeting shall be included as part of the application packet.
- a. The written report of the meeting shall include a listing of those persons and organizations contacted about the meeting and the manner and date of contact, the time, date, and location of the meeting, a roster of the persons in attendance at the meeting, a summary of issues discussed at the meeting, and a description of any changes to the rezoning application made by the applicant as a result of the meeting.

A written report of the community meeting that includes a list of people who attended the meeting is located under Tab 10 of the Application Binder.

- b. In the event the applicant has not held at least one meeting pursuant to this subsection, the applicant must file a report documenting efforts that were made to arrange such a meeting and stating the reasons such a meeting was not held. The adequacy of the meeting held or a report filed pursuant to this subsection shall be considered by the Board of Commissioners, but shall not be subject to judicial review.

Not Applicable.

- (3) Revisions to existing Conditional Zoning Districts and existing Conditional Use Permits shall not require a community meeting if the physical boundaries of the district or permit are not proposed to be expanded.

Not applicable.

B. Chatham County Appearance Commission Review

The applicant is required to meet with the Chatham County Appearance Commission for review of landscaping and signage plans prior to submittal to the Planning Department. The Appearance Commission shall have forty-five (45) days from the date of submittal to forward a recommendation to the applicant and Planning Department. The submittal date shall be seven (7) days prior to the date of the Appearance Commission meeting.

Not Applicable.

C. Submittal to Planning Department

(1) A completed application and supporting information shall be submitted to the Planning Department at least forty-five (45) days prior to the Public Hearing. A digital copy of the application and all accompanying materials shall be submitted pursuant to the Planning Department Digital Document Submission Guidelines.

Acknowledged.

(2) The Planning Department shall, before scheduling the public hearing, ensure that the application contains all the required information as specified in Section 5.

Acknowledged.

(3) The Planning Department shall have fifteen (15) days from the date of submittal to notify the applicant that the application is complete for scheduling the public hearing.

- a. If the Planning Department determines the information is not sufficient for review, the Department shall notify the applicant of the specific information that is required for review.
- b. The Planning Department shall take no further action on the application until the applicant submits the required information.
- c. Once the applicant corrects the identified deficiencies, the applicant shall resubmit to the Planning Department at least 45 days prior to the next Public Hearing meeting, and the Department shall have 15 days to review the information and notify the applicant that the information is sufficient for review.
- d. A determination that an application contains sufficient information for review as provided in this subsection (b) does not limit the ability of other county agencies, the Planning Board or the Board of Commissioners to request additional information during the review process.

Acknowledged.

(4) The application is reviewed by the Technical Review Committee prior to the Public Hearing for comments and recommendations from other agencies.

Acknowledged.

D. Joint Public Hearing by Board of Commissioners and Planning Board

(1) The Board of Commissioners and Planning Board shall receive public comment on Conditional Zoning District applications in a public hearing at the County Commissioners' last regular meeting in January, February, March, April, May, June, August, September, October, and November.

Acknowledged.

(2) The lack of quorum of the Planning Board at such meetings shall not affect the proceedings nor require further hearings.

Acknowledged.

(3) Notice of the public hearing shall be given according to State law. At a minimum, the following notice shall be provided:

- a. A notice of the public hearing shall be prominently posted on the site proposed for the Conditional Zoning District or on an adjacent public street or highway right-of-way. When multiple parcels are included in the proposed Conditional Zoning District, a

posting on each individual parcel is not required, but sufficient notices shall be posted to provide reasonable notice to interested parties.

- b. Mailed notice shall be sent to adjoining properties pursuant to State law.
- c. Published notice of the hearing shall be given pursuant to State law.

Acknowledged.

(4) The Board of Commissioners may continue the Public Hearing in order to receive more public input or requested information from the applicant.

Acknowledged.

E. Planning Board and Board of Commissioners Action

Once the Public Hearing is closed by the Board of Commissioners, the Planning Board and Board of Commissioners shall review the application pursuant to the procedure outlined in Sections 19.6 — 19.11.

Acknowledged.

5.8 Effect of Approval

A. If an application for conditional zoning is approved, the development and use of the property shall be governed by the predetermined ordinance requirements applicable to the district's classification, the approved site plan for the district, and any additional approved rules, regulations, and conditions, all of which shall constitute the zoning regulations for the approved district and are binding on the property as an amendment to these regulations and the zoning maps.

Acknowledged.

B. If an application is approved, only those uses and structures indicated in the approved application and site plan shall be allowed on the subject property. A change of location of any structures may be authorized pursuant to Section 5.9.

Acknowledged.

C. Following the approval of a rezoning application for a conditional zoning district, the subject property shall be identified on the Zoning Map by the appropriate district designation.

Acknowledged.

D. Any conditional zoning district shall have vested rights pursuant to Section 19.11.

Acknowledged.

5.9 Alterations to Approval

- A. Except as provided in Section 5.9(B), changes to the approved conditional zoning district application or to the conditions attached to the approval shall be treated the same as a new application for a conditional zoning district and shall be processed in accordance with the procedures in Section 5.7.

Acknowledged.

- B. The Zoning Administrator shall have the delegated authority to approve an administrative amendment change to an approved site plan. The standard for approving or denying such a requested change shall be that the change does not significantly alter the site plan or its conditions and that the change does not have a significant impact upon abutting properties. Any changes that increase the intensity of the development are limited for nonresidential development to 10% of the approved building square footage or 5,000 square feet, whichever is less. For residential development, increases in density are not allowed as an administrative change.

Acknowledged.

- C. The Zoning Administrator shall always have the discretion to decline to exercise the delegated authority because a rezoning application for a public hearing and Board of Commissioners action is deemed appropriate under the circumstances. If the Zoning Administrator declines to exercise this authority, then the applicant can only file a rezoning application for a public hearing and Commissioner decision.

Acknowledged.

SECTION 17 CONDITIONAL USE PERMITS

Permits for conditional uses as provided for in this Ordinance may be authorized by the Board of Commissioners in certain circumstances and subject to certain procedures as set forth herein. In some zoning districts certain listed uses are permitted only as conditional uses.

Acknowledged.

17.1. Procedure

Requests for conditional use permits as authorized by this Ordinance shall be processed and considered in the same format as set forth in this Ordinance for conditional zoning district requests, but shall follow quasi-judicial procedures. No vote greater than a majority vote shall be required to issue such permits for the Board of Commissioners. For the purposes of this section, vacant positions on the board and members who are disqualified from voting on a quasi-judicial matter shall not be considered 'members of the board' for calculation of the requisite majority. In considering an application for a conditional use permit the Board of Commissioners shall give due regard that the purpose and intent of this Ordinance shall be served, public safety and welfare secured and substantial justice done. If the Board of Commissioners should find, after

public hearing, the proposed conditional use permit should not be granted, such proposed permit shall be denied. Conditional use permits may include time limits for expiration if specified criteria are not met.

Acknowledged.

In granting a conditional use permit, the Board of Commissioners shall make the following affirmative findings:

1. The use requested is among those listed as an eligible conditional use in the district in which the subject property is located or is to be located.

A 150-foot telecommunications tower is permitted on the parcel of land owned by Lester Ray Porter, Jr. and wife, Gloria R. Porter, which is located in an R-1 zoned area of the County, pursuant to a Conditional Use Permit.

2. The requested conditional use permit is either essential or desirable for the public convenience or welfare.

The requested conditional use permit and proposed tower is either essential or desirable for the public convenience and welfare of the residents of Chatham County, including the residents and people living, working and travelling around the proposed site. As previously mentioned in this application, the convenience, safety and efficiency benefits – as well as the “connectedness” with the world – achieved through digital phones (and especially the latest generation of “smart phones”), has created a tremendous demand for these and other burgeoning services. It is projected that, within the next few years, fully ninety percent of the American population will utilize a wireless device to communicate on a daily basis. It is clear that wireless infrastructure is needed to serve a growing population of wireless customers, especially since roughly one of five traditional U.S. landline phone uses has switched to “wireless-only”. Today, 247 billion emails and 90 billion “tweets” are sent each day, and it is projected that video over instant-messaging and video calling will increase sevenfold from 2009 to 2014. Individuals and households are not the only ones who are going wireless. Businesses increasingly depend on wireless service to carry them through the day. For example, more than three times as many small businesses today strongly agree that wireless technology is key to staying competitive – 49 percent versus 16 percent in 2007.

In addition, the proposed communications service will increase public safety and welfare because residents living in, and those traveling through, the proposed coverage area will be able to place and receive calls during emergencies. Wireless communication is a public safety necessity, as communication is critical in times of crisis. Seventy-four percent of Americans who own mobile phones say that they have used their hand-held devices in an emergency and received valuable assistance. Most importantly, in times of natural disasters, wireless communication consistently emerges as the essential – and often only – means for emergency communication. Chatham

County residents will be able to access 911 emergency services in the event that severe weather downs traditional land-line communications services. Thus, the residents of Chatham County will directly benefit from the availability of wireless telecommunications services from this facility.

3. The requested permit will not impair the integrity or character of the surrounding or adjoining districts, and will not be detrimental to the health, safety or welfare of the community.

The proposed use will not impair the integrity or character of the surrounding or adjoining districts. The proposed tower is located on an 11-acre parcel, in a heavily wooded area. Due to the existing trees surrounding the tower, the base of the tower will not be visible from any location off the property. The line-of-sight diagram and photo simulations located behind Tab 19 of the Application Binder illustrate the very limited visibility of any part of the structure from the surrounding or adjoining properties.

The proposed tower will be in harmony with the character of the area in which it is to be located. The proposed tower will not be lit, nor generate odor, dust, or noise. The proposed tower will not create a nuisance or hazard to the community, as it is not a service facility that is open to the public, and it is an unmanned facility that should not create the need for emergency access. It will generate no more than two to four vehicle trips per month (for maintenance purposes).

Also, the proposed tower will not be detrimental to the health, safety or welfare of the community. Thousands of facilities such as this one are located in the State of North Carolina (and tens of thousands nationwide), and none presents any threat or danger to public health or safety. Radio emissions from the facility will comply with all federal laws, including those established by the Federal Communications Commission (FCC), and the emissions will fall well below emission standards for this type of facility, as established by the American National Standards Institute (ANSI). (Please see the FCC compliance information provided under Tab 9 of the Application Binder.) As stated above, the facility will be constructed and maintained in accordance with all local, state and federal regulations.

4. The requested permit will be consistent with the objectives of the Land Use Plan.

The requested permit will be consistent with the objectives of the Land Use Plan. The proposed tower will be consistent with the following governing policies of the Land Use Plan: (1) the tower will preserve both the form and function of the residential character of the area in which it is to be located, and (2) the tower will provide infrastructure that supports the land use, economic development and environmental objectives. The proposed tower will be located near the center of an 11-acre tract of land that is surrounded by heavy woods, so that it will have the least visually intrusive effect reasonably possible. Since the 150-foot tower will meet the coverage needs in the area, the proposed tower will prevent the need for an additional tower in the area to

provide the required coverage. Furthermore, as stated in Section II above, this wireless infrastructure is needed to serve the demand for wireless telecommunications services in this area of the County. Individuals, households, and businesses are increasingly relying upon wireless services to communicate on a daily basis, and the proposed wireless infrastructure is necessary to meet the demand for services.

5. Adequate utilities, access roads, storm drainage, recreation, open space, and other necessary facilities have been or are being provided consistent with the County's plans, policies and regulations.

The utilities, access road, and soil and erosion control plan are provided in accordance with the County's plans, policies and regulations. Please see the Construction Drawings located under Tab 8 of the Application Binder.

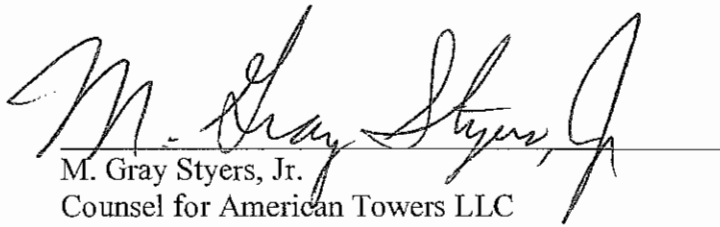
In granting a conditional use permit, the Board of Commissioners may impose such additional restrictions and requirements upon such permit as it may deem necessary in order that the purpose and intent of this Ordinance are served, public welfare secured and substantial justice done. If all requirements and conditions are accepted by the applicant, the Board of Commissioners shall authorize the issuance of the conditional use permit, otherwise the permit shall be denied. Any conditional use permit so authorized shall be perpetually binding upon the property included in such permit unless subsequently changed or amended by the Board of Commissioners, as provided for in this Ordinance. A member of the Board of Commissioners shall not participate in or vote on any quasi-judicial matter in a manner that would violate affected persons' constitutional rights to an impartial decision maker. Impermissible conflicts include, but are not limited to, a member having a fixed opinion prior to hearing the matter that is not susceptible to change, undisclosed ex parte communications, a close familial, business, or other associational relationship with an affected person, or a financial interest in the outcome of the matter. If an objection is raised to a member's participation and that member does not recuse himself or herself, the remaining members shall by majority vote rule on the objection.

Acknowledged.

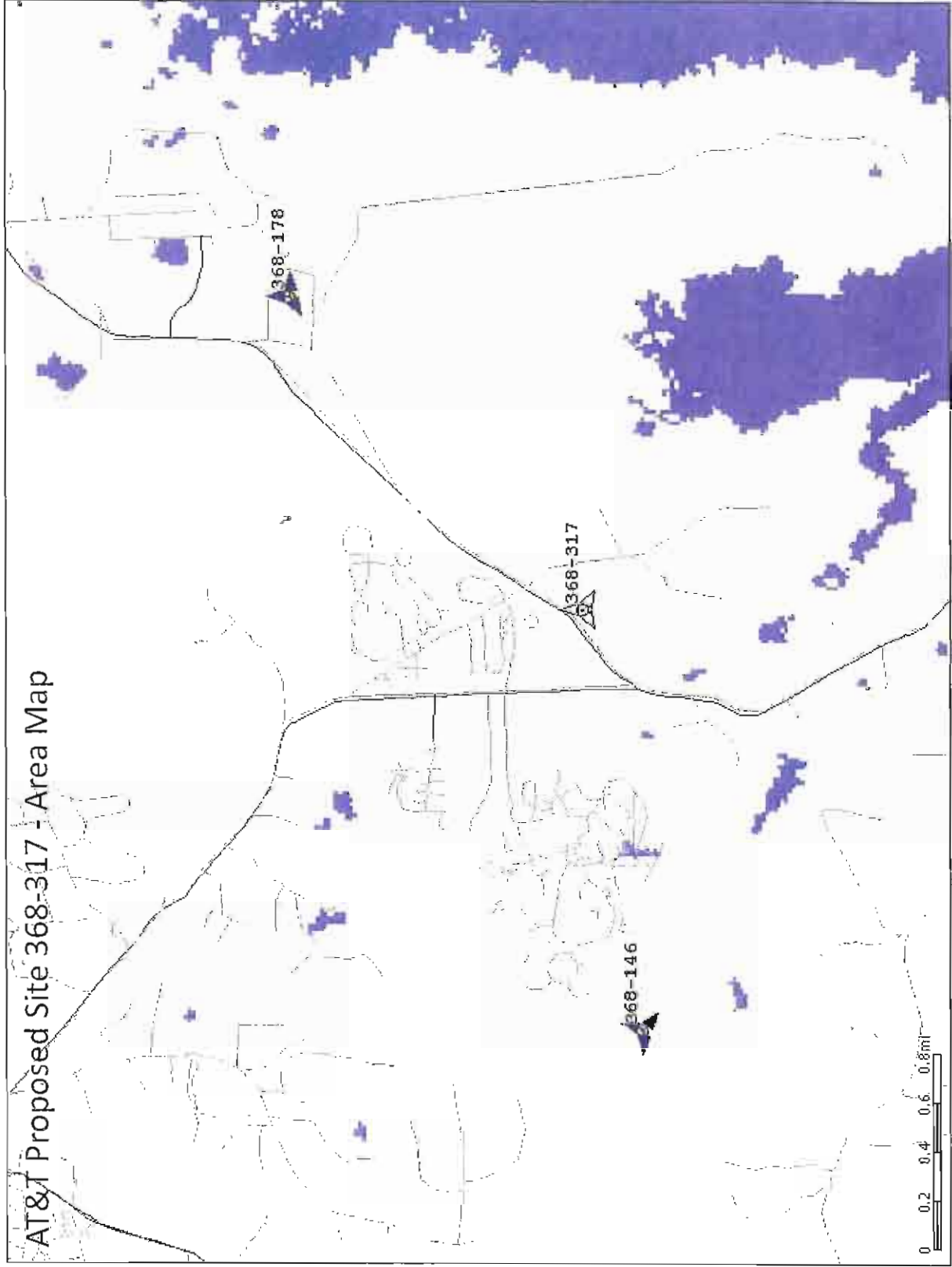
**VI.
CONCLUSION**

This proposed telecommunications facility will be an integral part of AT&T's and other wireless carriers' personal wireless telecommunications systems, bringing wireless digital services to the citizens of this area of Chatham County who have previously been unserved or for whom service has been spotty and inconsistent. At all times, American Tower and AT&T and their agents will cooperate with Chatham County in every way possible in the permitting, construction, and operation of this proposed facility.

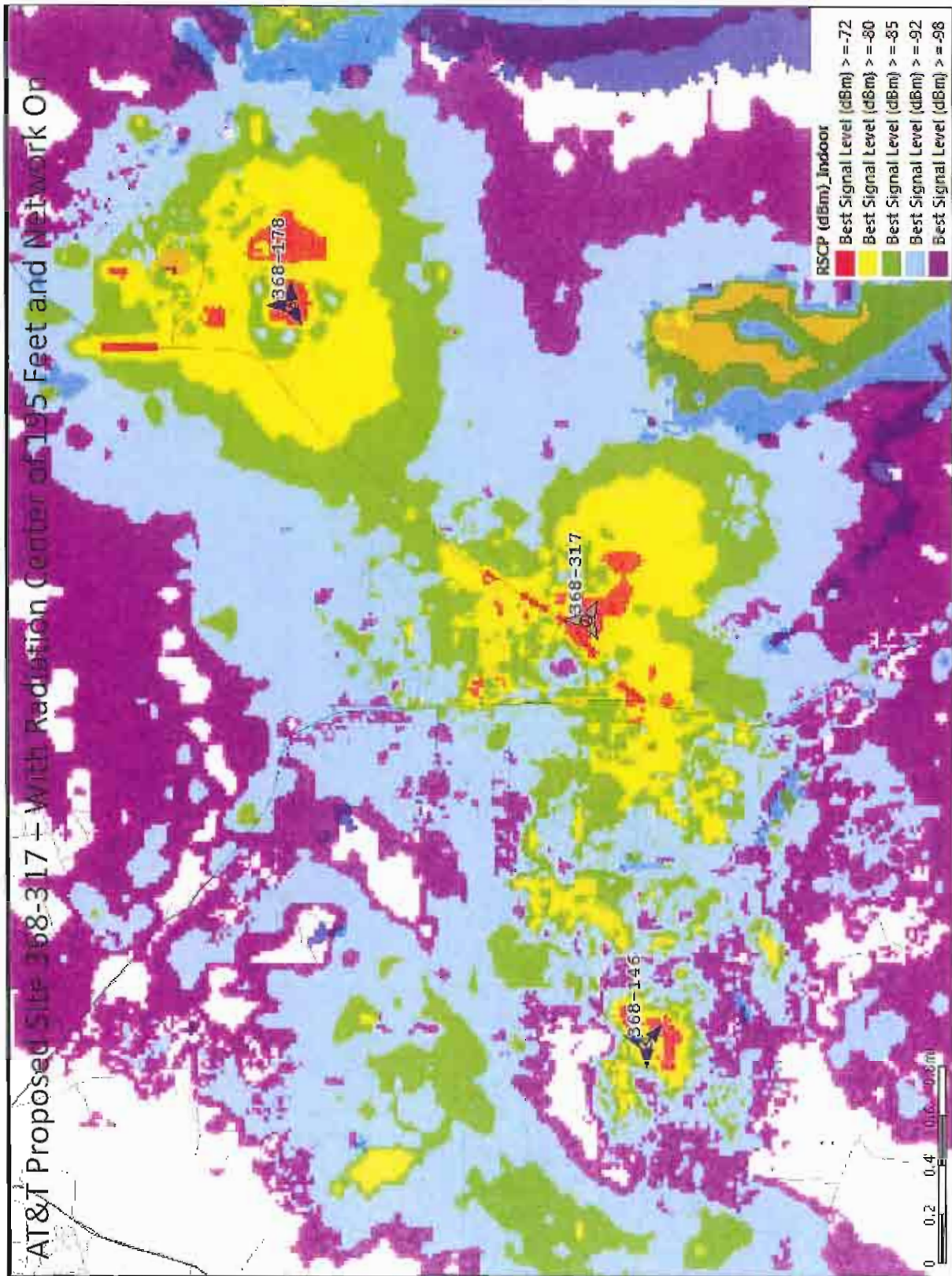
Respectfully submitted on this 16th day of June, 2014.


M. Gray Styers, Jr.
Counsel for American Towers LLC
and AT&T Mobility

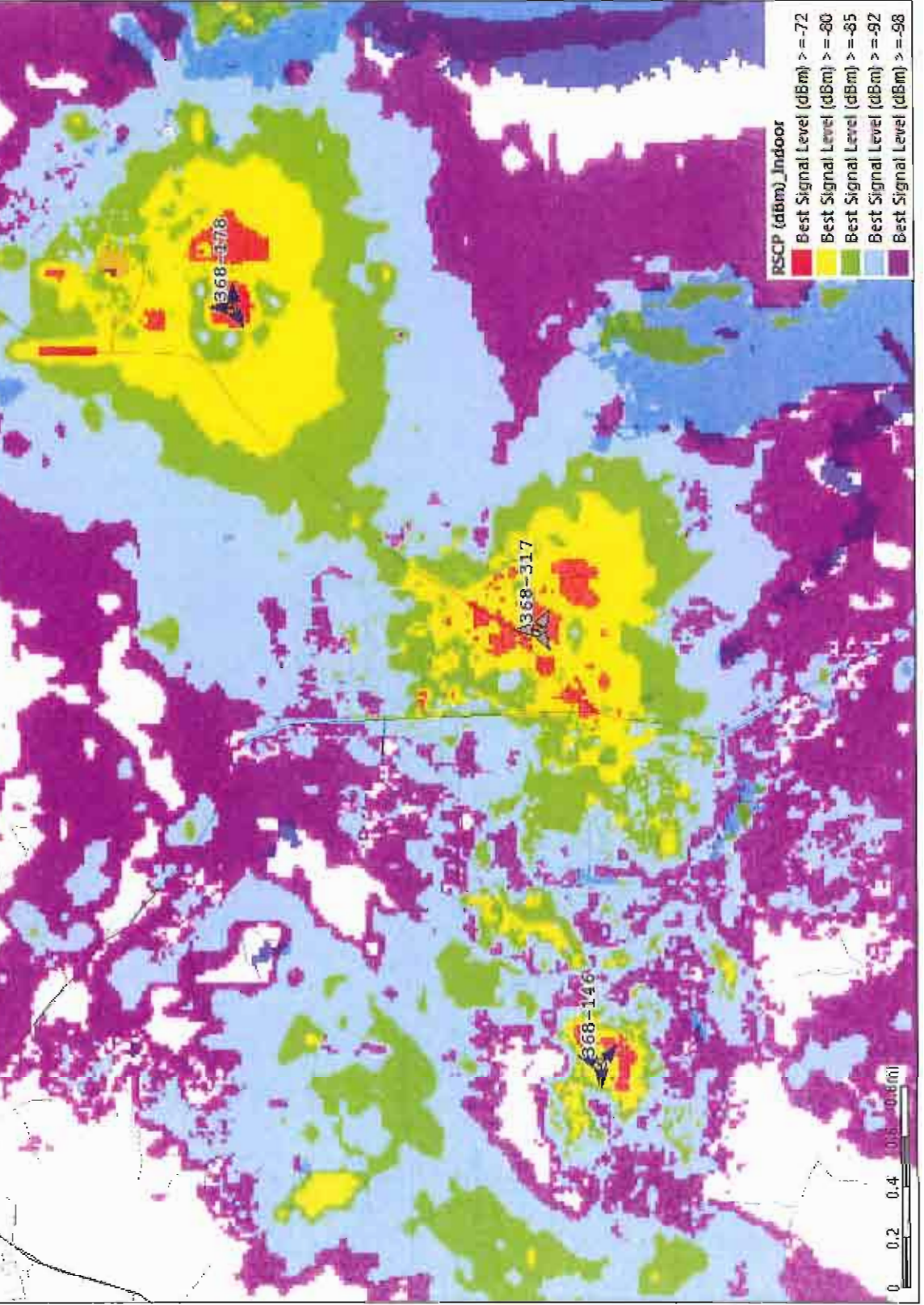
AT&T Proposed Site 368-317 - Area Map



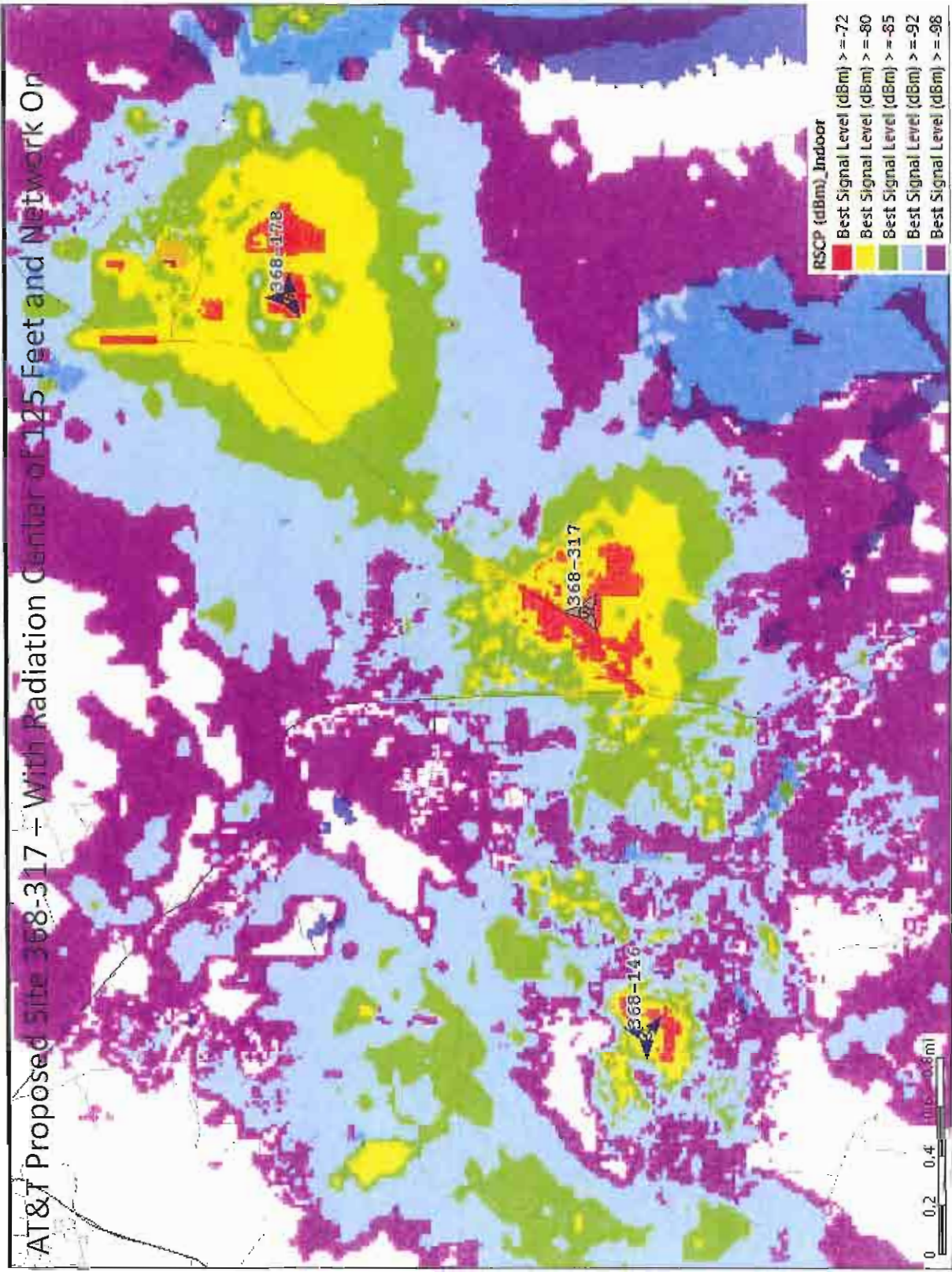
AT&T Proposed Site 368-317 + With Radiation Center of 195 Feet and Network On



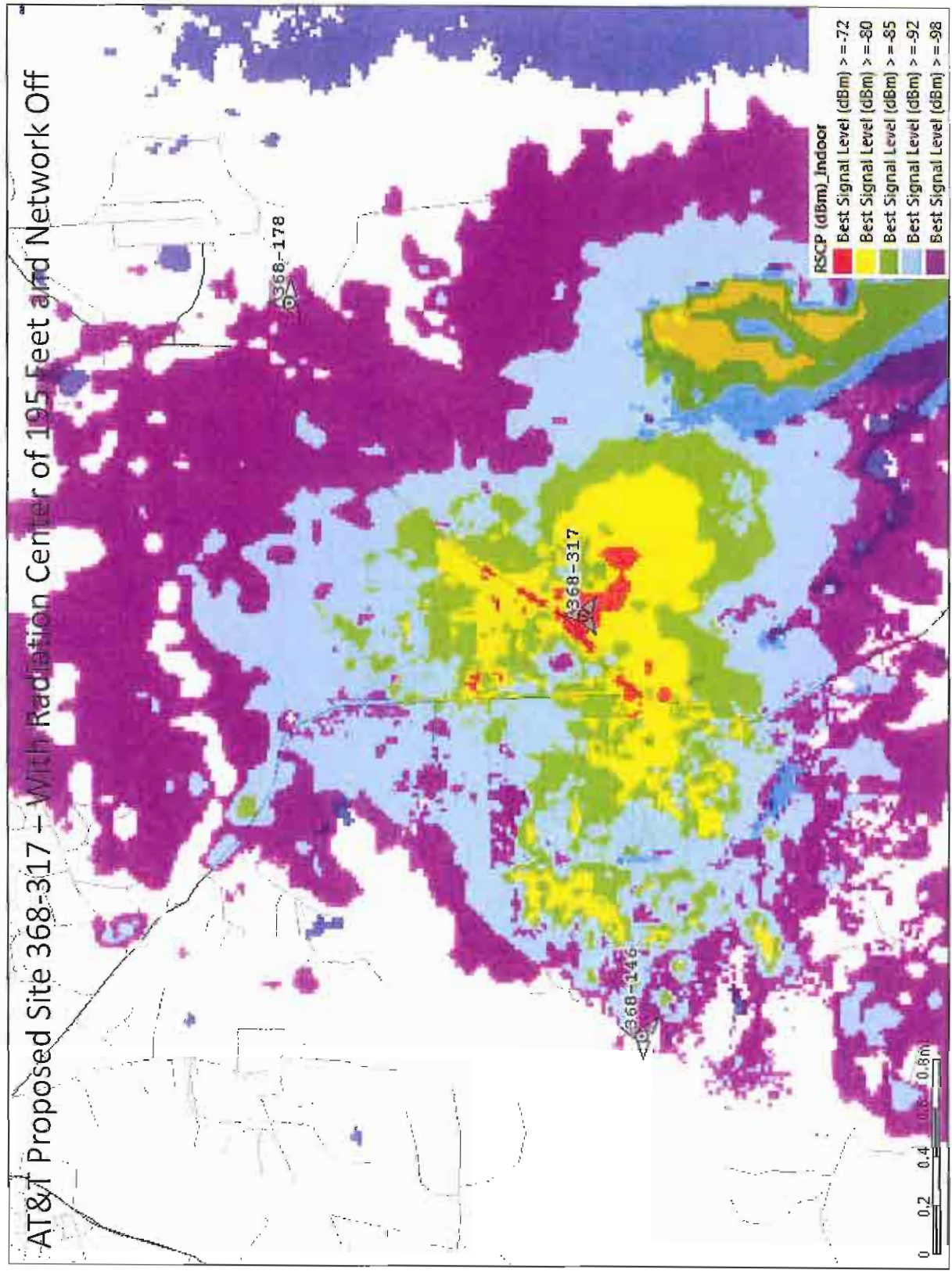
AT&T Proposed Site 368-317 + With Radiation Center of 150 Feet and Network On



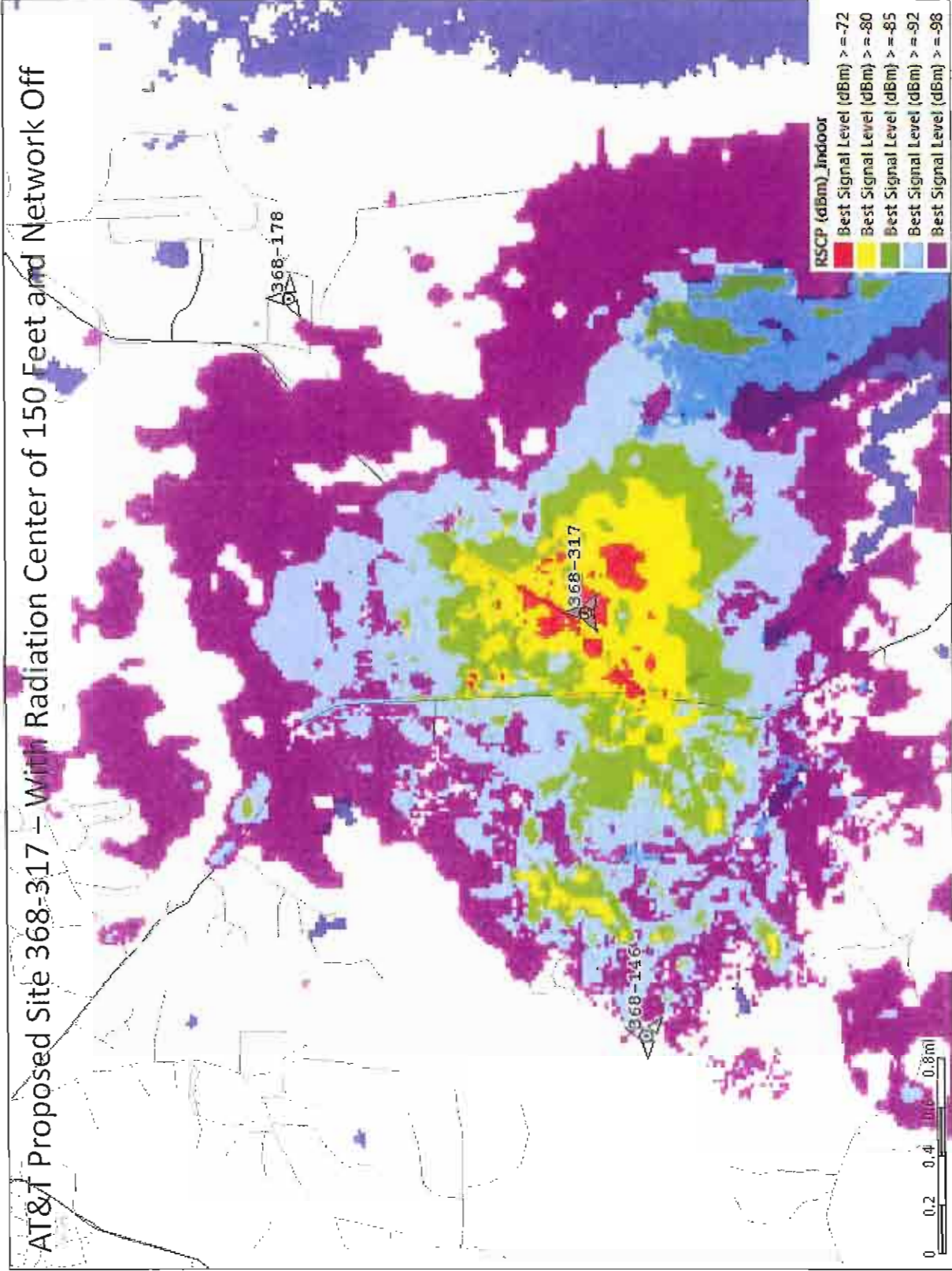
AT&T Proposed Site 368-317 - With Radiation Center of 125 Feet and Network On



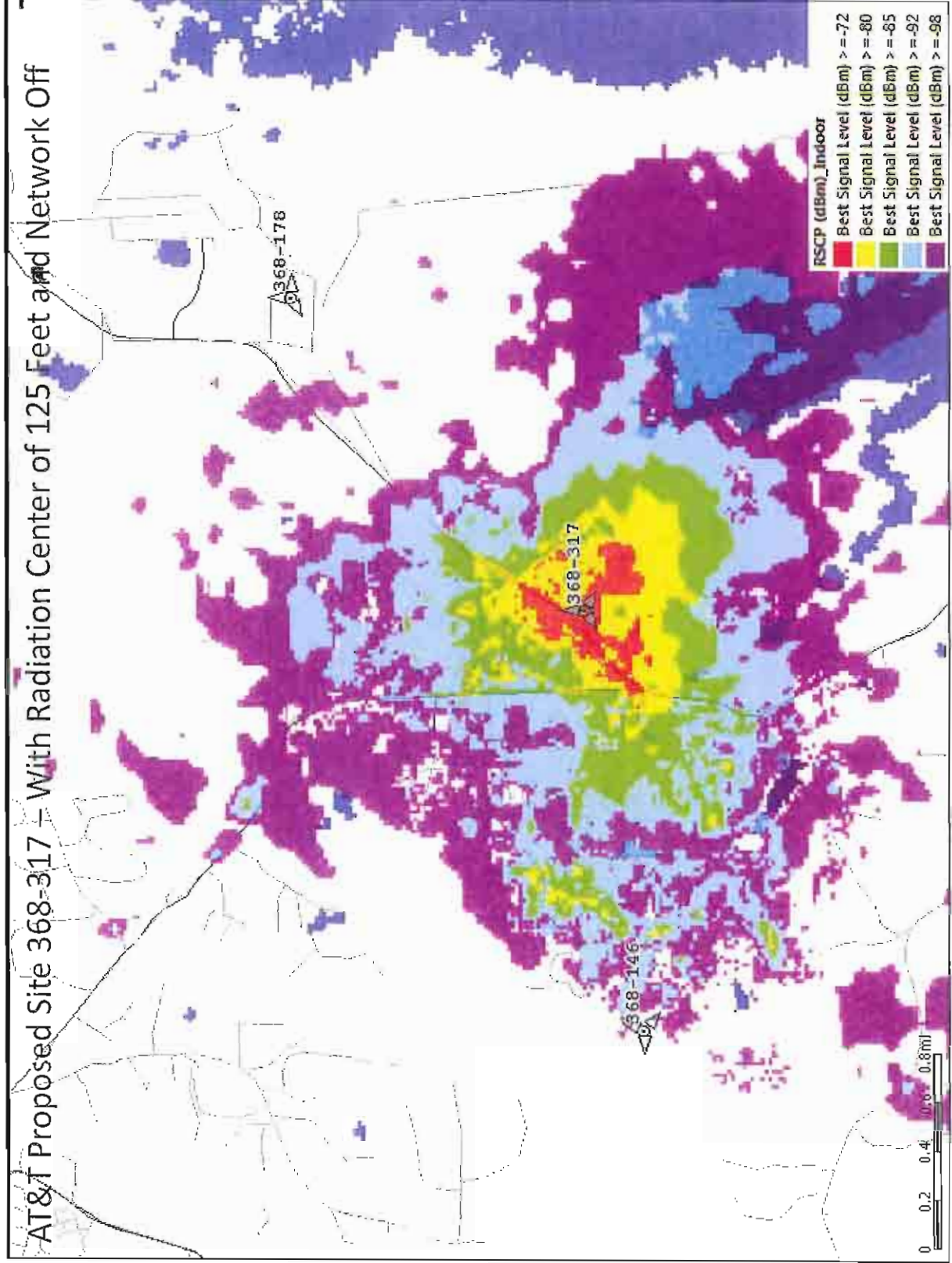
AT&T Proposed Site 368-317 – With Radiation Center of 195 Feet and Network Off



AT&T Proposed Site 368-317 – With Radiation Center of 150 Feet and Network Off



AT&T Proposed Site 368-317 – With Radiation Center of 125 Feet and Network Off



ATC SITE NUMBER : 280422
 ATC SITE NAME: FARRINGTON NC
 PROJECT DESCRIPTION: PROPOSED WIRELESS TELECOMMUNICATIONS FACILITY
 TOWER TYPE: 150' MONOPOLE (155' OVERALL)
 SITE ADDRESS: 464 OLD FARRINGTON RD CHAPEL HILL, NC 27514
 JURISDICTION: CHATHAM COUNTY
 DISTURBED AREA: 0.45 ± ACRES (19,602 ± SQ. FT.)
 CURRENT USE TYPE: RESIDENTIAL
 CURRENT ZONING: R-1
 PIN #: 9796-33-9976.000

PROJECT INFORMATION

LATITUDE N 35° 50' 54.728" (NAD '27)
 LONGITUDE W 79° 01' 14.563" (NAD '27)
 LATITUDE N 35° 50' 55.255" (NAD '83)
 LONGITUDE W 79° 01' 13.600" (NAD '83)
 GROUND ELEV. (AMSL) ≈ 282.1' (NAVD '88)

1-A CERTIFICATION



LOCATION MAP

FROM RALEIGH, NC: HEAD NORTH ON S WILMINGTON ST TOWARD E SOUTH ST. TAKE THE 1ST RIGHT ONTO E SOUTH ST. TAKE THE 1ST RIGHT ONTO S BLOUNT ST. CONTINUE ONTO HAMMOND RD. TAKE THE I-40W/US-64W RAMP. MERGE ONTO I-40W/US-64W. CONTINUE TO FOLLOW I-40W (≈25.9 MI). TAKE EXIT 273A FOR NC 54 W TOWARD CHAPEL HILL. MERGE ONTO NC 54 W. TURN LEFT ONTO FARRINGTON RD. TURN LEFT ONTO FARRINGTON MILL RD. CONTINUE ONTO OLD FARRINGTON RD. SITE WILL BE ON THE LEFT.

DRIVING DIRECTIONS



AMERICAN TOWER CORPORATION

SITE PLAN
 AT&T SITE #: 368-317
 ATC SITE #: 280422
 ATC SITE NAME: FARRINGTON NC
 464 OLD FARRINGTON RD
 CHAPEL HILL, NC 27514

SITE PROJECT MANAGER:
 NAME: AMERICAN TOWERS, LLC
 ADDRESS: 3500 REGENCY PARKWAY, STE 100
 CITY, STATE, ZIP: CARY, NC 27518
 CONTACT: JILL HOUSE
 PHONE: (919) 466-5163

SITE APPLICANT:
 NAME: AMERICAN TOWERS, LLC
 ADDRESS: 3500 REGENCY PARKWAY, STE 100
 CITY, STATE, ZIP: CARY, NC 27518
 CONTACT: JILL HOUSE
 PHONE: (919) 466-5163

SURVEYOR:
 NAME: TOWER ENGINEERING PROFESSIONALS
 ADDRESS: 3703 JUNCTION BOULEVARD
 CITY, STATE, ZIP: RALEIGH, NC 27603
 CONTACT: CLIFFORD C. BYRD, P.L.S.
 PHONE: (919) 661-6351

CIVIL ENGINEER:
 NAME: TOWER ENGINEERING PROFESSIONALS
 ADDRESS: 3703 JUNCTION BOULEVARD
 CITY, STATE, ZIP: RALEIGH, NC 27603
 CONTACT: KIMBERLY S. MARTIN, P.E.
 PHONE: (919) 661-6351

ELECTRICAL ENGINEER:
 NAME: TOWER ENGINEERING PROFESSIONALS
 ADDRESS: 3703 JUNCTION BOULEVARD
 CITY, STATE, ZIP: RALEIGH, NC 27603
 CONTACT: FREDERICK T. HERB, P.E.
 PHONE: (919) 661-6351

PROPERTY OWNER:
 NAME: RAY LESTER PORTER JR.
 ADDRESS: 998 WHIPPOORWILL LANE
 CITY, STATE, ZIP: CHAPEL HILL, NC 27514-7542
 CONTACT: RAY LESTER PORTER JR.
 PHONE: (919) 933-3668

ALL WORK AND MATERIALS SHALL BE PERFORMED AND INSTALLED IN ACCORDANCE WITH THE CURRENT EDITIONS OF THE FOLLOWING CODES AS ADOPTED BY THE LOCAL GOVERNING AUTHORITIES. NOTHING IN THESE PLANS IS TO BE CONSTRUED TO PERMIT WORK NOT CONFORMING TO THE LATEST EDITIONS OF THE FOLLOWING:
 1. NORTH CAROLINA BUILDING CODE (2012 EDITION)
 2. NORTH CAROLINA CODE COUNCIL
 3. ANSITIA-222-G-2-2009
 4. 2012 NCEC (NEC 2011 + ADDENDA)
 5. LOCAL BUILDING CODE
 6. CITY/COUNTY ORDINANCES

CODE COMPLIANCE

UTILITIES:
 POWER COMPANY: PROGRESS ENERGY
 CONTACT: CUSTOMER SERVICE
 PHONE: (800) 452-2777
 METER # NEAR SITE: UNKNOWN

TELEPHONE COMPANY: AT&T
 CONTACT: CUSTOMER SERVICE
 PHONE: (800) 225-5288
 PHONE # NEAR SITE: (919) 933-3668
 PEDESTAL # NEAR SITE: UNKNOWN

CONTACT INFORMATION

SHEET	DESCRIPTION	REV
T1	TITLE SHEET	5
N1	GENERAL NOTES	2
C1	SITE PLAN	4
C1A	SITE LAYOUT	5
C2	COMPOUND DETAIL	3
C3	TOWER ELEVATION	4
C4	SHELTER ELEVATIONS	2
C5	SHELTER FOUNDATION DETAILS	2
C6	GENERATOR & FUEL TANK ELEVATIONS	2
C7	GENERATOR FOUNDATION DETAILS	2
C8	ICE BRIDGE DETAILS I	2
C9	ICE BRIDGE DETAILS II	2
C10	FENCE DETAILS	2
C11	SIGNAGE DETAILS	2
C12	CULVERT & DRIVEWAY DETAILS	2
C13	SOIL & EROSION CONTROL PLAN AND DETAILS	5
C14	SOIL & EROSION CONTROL DETAILS	2
L1	LANDSCAPING PLAN	2
L2	LANDSCAPING DETAILS	2
E1	ELECTRICAL NOTES	2
E2	SERVICE ROUTING PLAN & ONE LINE DIAGRAM	2
E3	TOWER & SHELTER GROUNDING PLAN	2
E4	PANELBOARD SCHEDULE	2
E5	SERVICE RACK DETAILS I	2
E5A	SERVICE RACK DETAILS II	2
E6	GROUNDING DETAILS I	2
E7	GROUNDING DETAILS II	2
APPENDIX: GENERAC 80 KW GENERALY ASSEMBLY AND INSTALLATION SUPPLEMENT		

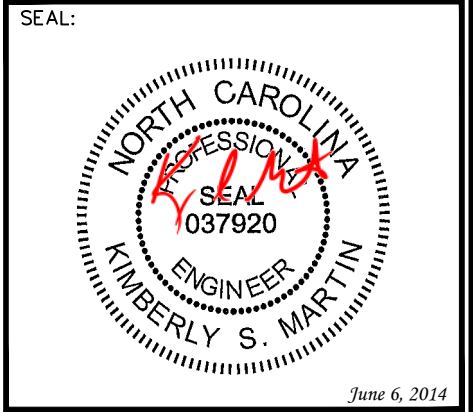
INDEX OF SHEETS

PLANS PREPARED BY:

TOWER ENGINEERING PROFESSIONALS
 3703 JUNCTION BOULEVARD
 RALEIGH, NC 27603-5263
 OFFICE: (919) 661-6351
 www.tepgroup.net
 N.C. LICENSE # C-1794

REV	DATE	ISSUED FOR:
5	06-06-14	CONSTRUCTION
4	05-29-14	CONSTRUCTION
3	05-20-14	CONSTRUCTION
2	04-30-14	CONSTRUCTION
1	01-22-14	PRELIMINARY
0	01-13-14	PRELIMINARY

DRAWN BY: MAW CHECKED BY: JAS



SHEET NUMBER: **T-1**
 REVISION: **5**
 TEP #: 131147

1. ALL REFERENCES MADE TO OWNER IN THESE DOCUMENTS SHALL BE CONSIDERED ATC OR IT'S DESIGNATED REPRESENTATIVE.
2. ALL WORK PRESENTED ON THESE DRAWINGS MUST BE COMPLETED BY THE CONTRACTOR UNLESS NOTED OTHERWISE. THE CONTRACTOR MUST HAVE CONSIDERABLE EXPERIENCE IN PERFORMANCE OF WORK SIMILAR TO THAT DESCRIBED HEREIN. BY ACCEPTANCE OF THIS ASSIGNMENT, THE CONTRACTOR IS ATTESTING THAT HE DOES HAVE SUFFICIENT EXPERIENCE AND ABILITY, THAT HE IS KNOWLEDGEABLE OF THE WORK TO BE PERFORMED AND THAT HE IS PROPERLY LICENSED AND PROPERLY REGISTERED TO DO THIS WORK IN THE STATE OF NORTH CAROLINA.
3. THE STRUCTURE SHALL BE DESIGNED IN ACCORDANCE WITH ANSI/TIA-222-G-2-2009. THIS CONFORMS TO THE REQUIREMENTS OF THE NORTH CAROLINA BUILDING CODE, 2012 EDITION.
4. WORK SHALL BE COMPLETED IN ACCORDANCE WITH THE NORTH CAROLINA BUILDING CODE, 2012 EDITION.
5. UNLESS SHOWN OR NOTED OTHERWISE ON THE CONTRACT DRAWINGS, OR IN THE SPECIFICATIONS, THE FOLLOWING NOTES SHALL APPLY TO THE MATERIALS LISTED HEREIN, AND TO THE PROCEDURES TO BE USED ON THIS PROJECT.
6. ALL HARDWARE ASSEMBLY MANUFACTURER'S INSTRUCTIONS SHALL BE FOLLOWED EXACTLY AND SHALL SUPERSEDE ANY CONFLICTING NOTES ENCLOSED HEREIN.
7. IT IS THE CONTRACTOR'S SOLE RESPONSIBILITY TO DETERMINE ERECTION PROCEDURE AND SEQUENCE TO INSURE THE SAFETY OF THE STRUCTURE AND IT'S COMPONENT PARTS DURING ERECTION AND/OR FIELD MODIFICATIONS. THIS INCLUDES, BUT IS NOT LIMITED TO, THE ADDITION OF TEMPORARY BRACING, GUYS OR TIE DOWNS THAT MAY BE NECESSARY. SUCH MATERIAL SHALL BE REMOVED AND SHALL REMAIN THE PROPERTY OF THE CONTRACTOR AFTER THE COMPLETION OF THE PROJECT.
8. ALL DIMENSIONS, ELEVATIONS, AND EXISTING CONDITIONS SHOWN ON THE DRAWINGS SHALL BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO BEGINNING ANY MATERIALS ORDERING, FABRICATION OR CONSTRUCTION WORK ON THIS PROJECT. CONTRACTOR SHALL NOT SCALE CONTRACT DRAWINGS IN LIEU OF FIELD VERIFICATION. ANY DISCREPANCIES SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE OWNER AND THE OWNER'S ENGINEER. THE DISCREPANCIES MUST BE RESOLVED BEFORE THE CONTRACTOR IS TO PROCEED WITH THE WORK. THE CONTRACT DOCUMENTS DO NOT INDICATE THE METHOD OF CONSTRUCTION. THE CONTRACTOR SHALL SUPERVISE AND DIRECT THE WORK AND SHALL BE SOLELY RESPONSIBLE FOR ALL CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, AND PROCEDURES. OBSERVATION VISITS TO THE SITE BY THE OWNER AND/OR THE ENGINEER SHALL NOT INCLUDE INSPECTION OF THE PROTECTIVE MEASURES OR THE PROCEDURES.
9. ALL MATERIALS AND EQUIPMENT FURNISHED SHALL BE NEW AND OF GOOD QUALITY, FREE FROM FAULTS AND DEFECTS AND IN CONFORMANCE WITH THE CONTRACT DOCUMENTS. ANY AND ALL SUBSTITUTIONS MUST BE PROPERLY APPROVED AND AUTHORIZED IN WRITING BY THE OWNER AND ENGINEER PRIOR TO INSTALLATION. THE CONTRACTOR SHALL FURNISH SATISFACTORY EVIDENCE AS TO THE KIND AND QUALITY OF THE MATERIALS AND EQUIPMENT BEING SUBSTITUTED.
10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR INITIATING, MAINTAINING, AND SUPERVISING ALL SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK. THE CONTRACTOR IS RESPONSIBLE FOR INSURING THAT THIS PROJECT AND RELATED WORK COMPLIES WITH ALL APPLICABLE LOCAL, STATE, AND FEDERAL SAFETY CODES AND REGULATIONS GOVERNING THIS WORK. RENTAL CHARGES, SAFETY, PROTECTION AND MAINTENANCE OF RENTED EQUIPMENT SHALL BE THE CONTRACTOR'S RESPONSIBILITY.
11. ACCESS TO THE PROPOSED WORK SITE MAY BE RESTRICTED. THE CONTRACTOR SHALL COORDINATE INTENDED CONSTRUCTION ACTIVITY, INCLUDING WORK SCHEDULE AND MATERIALS ACCESS, WITH THE AT&T PROJECT MANAGER.
12. BILL OF MATERIALS AND PART NUMBERS LISTED ON CONSTRUCTION DRAWINGS ARE INTENDED TO AID CONTRACTOR/OWNER. CONTRACTOR/OWNER SHALL VERIFY PARTS AND QUANTITIES WITH MANUFACTURER PRIOR TO BIDDING AND/OR ORDERING MATERIALS.
13. ALL PERMITS THAT MUST BE OBTAINED ARE THE RESPONSIBILITY OF THE CONTRACTOR. THE CONTRACTOR WILL BE RESPONSIBLE FOR ABIDING BY ALL CONDITIONS AND REQUIREMENTS OF THE PERMITS.
14. 24 HOURS PRIOR TO THE BEGINNING OF ANY CONSTRUCTION, THE CONTRACTOR MUST NOTIFY THE APPLICABLE JURISDICTIONAL (STATE, COUNTY OR CITY) ENGINEER.
15. THE CONTRACTOR SHALL REWORK (DRY, SCARIFY, ETC.) ALL MATERIAL NOT SUITABLE FOR SUBGRADE IN ITS PRESENT STATE. AFTER REWORKING, IF THE MATERIAL REMAINS UNSUITABLE, THE CONTRACTOR SHALL UNDERCUT THIS MATERIAL AND REPLACE WITH APPROVED MATERIAL. ALL SUBGRADES SHALL BE PROOFROLLED WITH A FULLY LOADED TANDEM AXLE DUMP TRUCK PRIOR TO PAVING. ANY SOFT MATERIAL SHALL BE REWORKED OR REPLACED.
16. THE CONTRACTOR IS REQUIRED TO MAINTAIN ALL PIPES, DITCHES, AND OTHER DRAINAGE STRUCTURES FREE FROM OBSTRUCTION UNTIL WORK IS ACCEPTED BY THE OWNER. THE CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGES CAUSED BY FAILURE TO MAINTAIN DRAINAGE STRUCTURE IN OPERABLE CONDITION.
17. THE OWNER SHALL HAVE A SET OF APPROVED PLANS AVAILABLE AT THE SITE AT ALL TIMES WHILE WORK IS BEING PERFORMED. A DESIGNATED RESPONSIBLE EMPLOYEE SHALL BE AVAILABLE FOR CONTACT BY GOVERNING AGENCY INSPECTORS.

18. ANY BUILDINGS ON THIS SITE ARE INTENDED TO SHELTER EQUIPMENT WHICH WILL ONLY BE PERIODICALLY MAINTAINED AND ARE NOT INTENDED FOR HUMAN OCCUPANCY.
19. TEMPORARY FACILITIES FOR PROTECTION OF TOOLS AND EQUIPMENT SHALL CONFORM TO LOCAL REGULATIONS AND SHALL BE THE CONTRACTOR'S RESPONSIBILITY.
20. THE CONTRACTOR AND ITS SUBCONTRACTORS SHALL CARRY LIABILITY INSURANCE IN THE AMOUNTS AND FORM IN ACCORDANCE WITH AT&T SPECIFICATIONS. CERTIFICATES DEMONSTRATING PROOF OF COVERAGE SHALL BE PROVIDED TO AT&T PRIOR TO THE START OF THE WORK ON THE PROJECT.
21. THE CONTRACTOR SHALL CONTACT ALL APPLICABLE UTILITY SERVICES TO VERIFY LOCATIONS OF EXISTING UTILITIES AND REQUIREMENTS FOR NEW UTILITY CONNECTIONS PRIOR TO EXCAVATING.
22. THE CONTRACTOR SHALL MAINTAIN THE JOB CLEAR OF TRASH AND DEBRIS. ALL WASTE MATERIALS SHALL BE REMOVED FROM THE SITE PRIOR TO SUBSTANTIAL COMPLETION AND PRIOR TO FINAL ACCEPTANCE. THE CONTRACTOR SHALL FURNISH ONE 55 GALLON BARREL, AND TRASH BAGS, AND SHALL REMOVE TRASH, DEBRIS, ETC., ON A DAILY BASIS.
23. THE CONTRACTOR SHALL VISIT THE SITE AND BECOME FAMILIAR WITH ALL CONDITIONS PRIOR TO SUBMITTING HIS PROPOSAL. CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS SHOWN ON THESE DRAWINGS WITH THOSE AT THE SITE. ANY VARIATION WHICH REQUIRES PHYSICAL CHANGE SHALL BE BROUGHT TO THE ATTENTION OF THE ATC PROJECT ENGINEER FOR FACILITIES/CONSTRUCTION.
24. THE CONTRACTOR SHALL GUARANTEE THE WORK PERFORMED ON THE PROJECT BY THE CONTRACTOR AND ANY OR ALL OF THE SUBCONTRACTORS WHO PERFORMED WORK FOR THE CONTRACTOR ON THIS PROJECT. THE GUARANTEE SHALL BE FOR A FULL YEAR FOLLOWING ISSUANCE OF THE FINAL PAYMENT OF RETAINAGE. ALL MATERIALS AND WORKMANSHIP SHALL BE WARRANTED FOR ONE YEAR FROM ACCEPTANCE DATE.

GENERAL NOTES

PLANS PREPARED FOR:

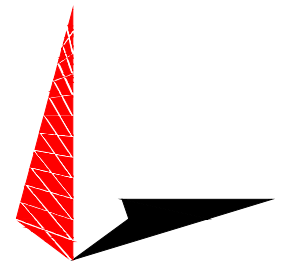


3500 REGENCY PARKWAY, STE. 100
CARY, NC 27518

PROJECT INFORMATION:

AT&T SITE #: 368-317
ATC SITE #: 280422
FARRINGTON NC
464 OLD FARRINGTON RD.
CHAPEL HILL, NC 27514
(CHATHAM COUNTY)

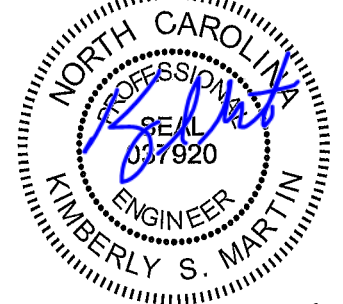
PLANS PREPARED BY:



TOWER ENGINEERING PROFESSIONALS
3703 JUNCTION BOULEVARD
RALEIGH, NC 27603-5263
OFFICE: (919) 661-6351
www.tepgroup.net

N.C. LICENSE # C-1794

SEAL:



April 30, 2014

REV	DATE	ISSUED FOR:
2	04-30-14	CONSTRUCTION
1	01-22-14	PRELIMINARY
0	01-13-14	PRELIMINARY

DRAWN BY: SCB CHECKED BY: GMA

SHEET TITLE:

**GENERAL
NOTES**

SHEET NUMBER:

N-1

REVISION:

2

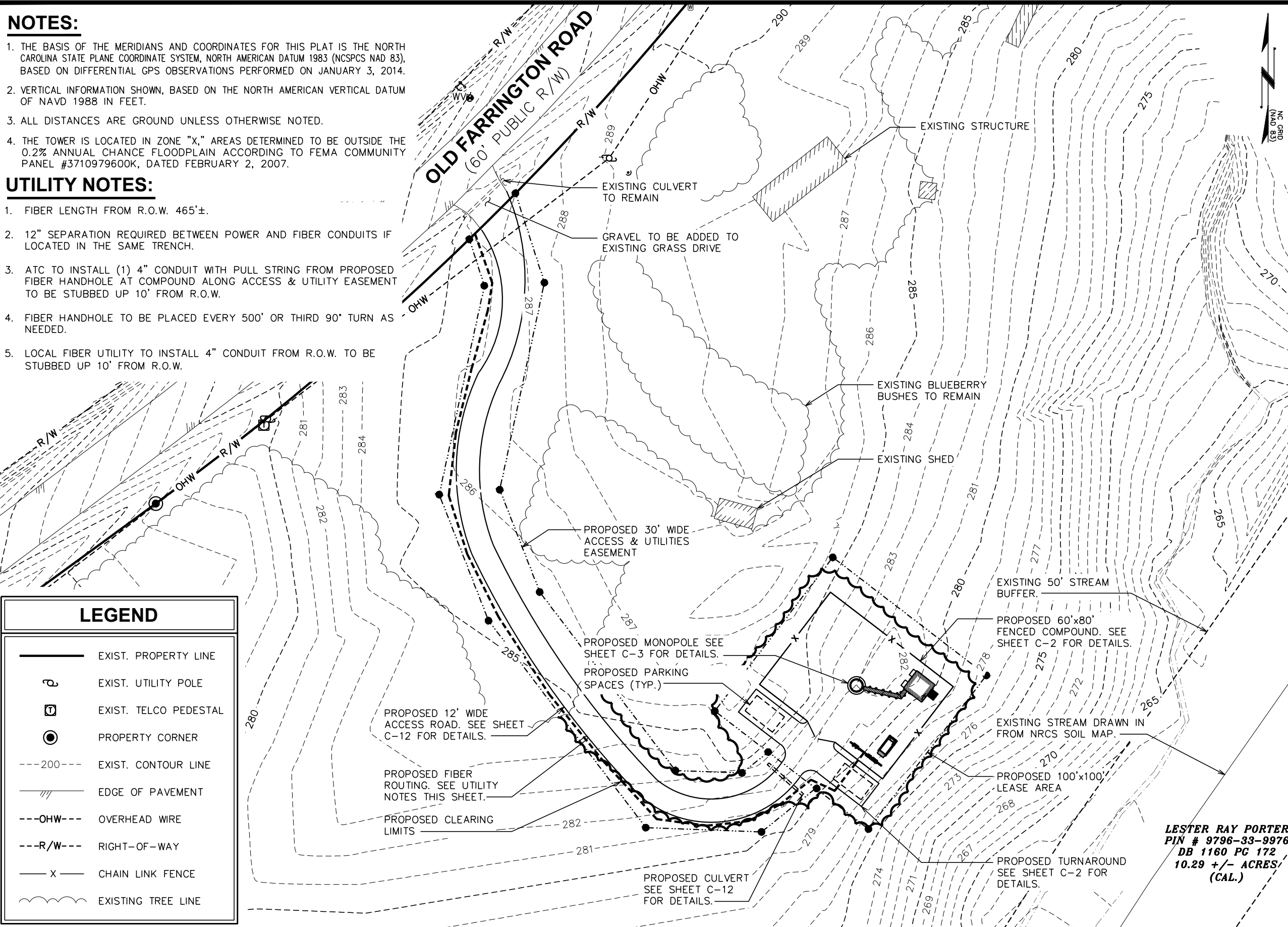
TEP #: 131147

NOTES:

1. THE BASIS OF THE MERIDIANS AND COORDINATES FOR THIS PLAT IS THE NORTH CAROLINA STATE PLANE COORDINATE SYSTEM, NORTH AMERICAN DATUM 1983 (NCSPCS NAD 83), BASED ON DIFFERENTIAL GPS OBSERVATIONS PERFORMED ON JANUARY 3, 2014.
2. VERTICAL INFORMATION SHOWN, BASED ON THE NORTH AMERICAN VERTICAL DATUM OF NAVD 1988 IN FEET.
3. ALL DISTANCES ARE GROUND UNLESS OTHERWISE NOTED.
4. THE TOWER IS LOCATED IN ZONE "X," AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN ACCORDING TO FEMA COMMUNITY PANEL #3710979600K, DATED FEBRUARY 2, 2007.

UTILITY NOTES:

1. FIBER LENGTH FROM R.O.W. 465'±.
2. 12" SEPARATION REQUIRED BETWEEN POWER AND FIBER CONDUITS IF LOCATED IN THE SAME TRENCH.
3. ATC TO INSTALL (1) 4" CONDUIT WITH PULL STRING FROM PROPOSED FIBER HANDHOLE AT COMPOUND ALONG ACCESS & UTILITY EASEMENT TO BE STUBBED UP 10' FROM R.O.W.
4. FIBER HANDHOLE TO BE PLACED EVERY 500' OR THIRD 90° TURN AS NEEDED.
5. LOCAL FIBER UTILITY TO INSTALL 4" CONDUIT FROM R.O.W. TO BE STUBBED UP 10' FROM R.O.W.



LEGEND

- EXIST. PROPERTY LINE
- ⊕ EXIST. UTILITY POLE
- ⊞ EXIST. TELCO PEDESTAL
- PROPERTY CORNER
- 200--- EXIST. CONTOUR LINE
- /// EDGE OF PAVEMENT
- OHW--- OVERHEAD WIRE
- R/W--- RIGHT-OF-WAY
- X — CHAIN LINK FENCE
- ⌋ EXISTING TREE LINE

SITE LAYOUT

SCALE: 1" = 50'



PLANS PREPARED FOR:

AMERICAN TOWER CORPORATION
3500 REGENCY PARKWAY, STE. 100
CARY, NC 27518

PROJECT INFORMATION:

AT&T SITE #: 368-317
ATC SITE #: 280422
FARRINGTON NC
464 OLD FARRINGTON RD.
CHAPEL HILL, NC 27514
(CHATHAM COUNTY)

PLANS PREPARED BY:

TOWER ENGINEERING PROFESSIONALS
3703 JUNCTION BOULEVARD
RALEIGH, NC 27603-5263
OFFICE: (919) 661-6351
www.tepgroup.net
N.C. LICENSE # C-1794

SEAL:

June 6, 2014

5	06-06-14	CONSTRUCTION
4	05-29-14	CONSTRUCTION
3	05-20-14	CONSTRUCTION
2	04-30-14	CONSTRUCTION
REV	DATE	ISSUED FOR:

DRAWN BY: KWJ CHECKED BY: JAS

SHEET TITLE:

SITE LAYOUT

SHEET NUMBER: **C-1A** REVISION: **5**

TEP #: 131147

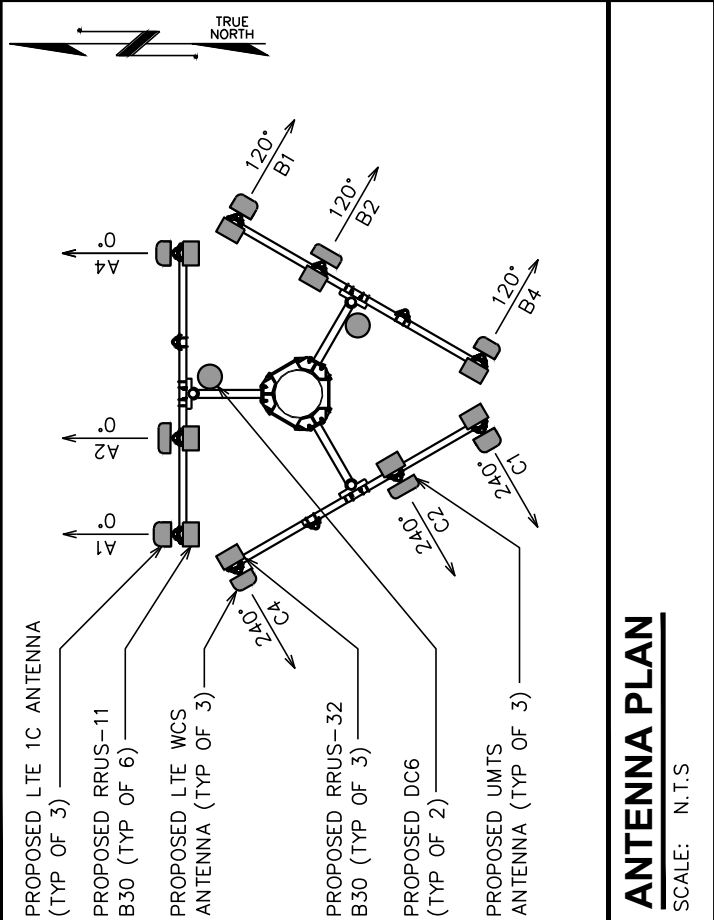
LESTER RAY PORTER
PIN # 9796-33-9976
DB 1160 PG 172
10.29 +/- ACRES
(CAL.)

PROPOSED ANTENNA/CABLE SCHEDULE

ANT.	SECTOR	TECH.	MANUFACTURER (MODEL #)	AZIMUTH*	MOUNTING HEIGHT	ELEC. D-TILT	MECH. D-TILT	RRU MODEL	JUMPER SIZE	JUMPER LENGTH (FROM RRU)	DC6 MODEL	CABLE RUN	CABLE LENGTH
A1	ALPHA	LTE	ANDREW SBNHH-1D65C	0°	℄ @ 150'-0"	4°	0°	RRUS-11 (TOP)	5mm JUMPER	5'±	(2) DC6-48-60-18-8F	(2) FIBER (3) DC POWER	198'±
B1	BETA		ANDREW SBNHH-1D65C	120°	℄ @ 150'-0"	4°	0°	RRUS-11 (TOP)	5mm JUMPER	5'±			
C1	GAMMA		ANDREW SBNHH-1D65C	240°	℄ @ 150'-0"	4°	0°	RRUS-11 (TOP)	5mm JUMPER	5'±			
A2	ALPHA	UMTS	ANDREW HBX-6516DS-A1M	0°	℄ @ 150'-0"	2°	0°	RRUS-11 (TOP)	5mm JUMPER	5'±			
B2	BETA		ANDREW HBX-6516DS-A1M	120°	℄ @ 150'-0"	2°	0°	RRUS-11 (TOP)	5mm JUMPER	5'±			
C2	GAMMA		ANDREW HBX-6516DS-A1M	240°	℄ @ 150'-0"	2°	0°	RRUS-11 (TOP)	5mm JUMPER	5'±			
A4	ALPHA	WCS	ANDREW SBNHH-1D65C	0°	℄ @ 150'-0"	1°	0°	RRUS-32 B30 (TOP)	5mm JUMPER	5'±			
B4	BETA		ANDREW SBNHH-1D65C	120°	℄ @ 150'-0"	1°	0°	RRUS-32 B30 (TOP)	5mm JUMPER	5'±			
C4	GAMMA		ANDREW SBNHH-1D65C	240°	℄ @ 150'-0"	1°	0°	RRUS-32 B30 (TOP)	5mm JUMPER	5'±			

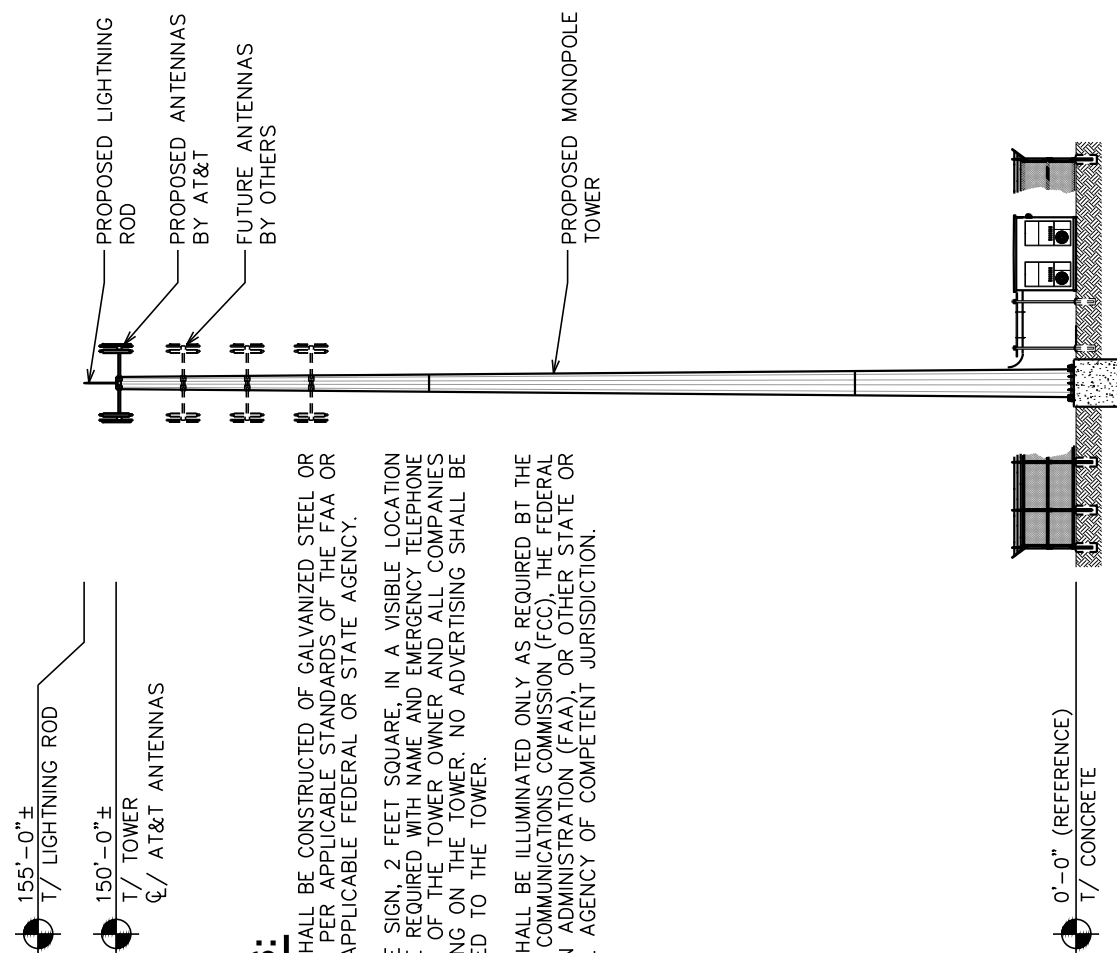
* - AZIMUTHS BASED ON TRUE NORTH

* - ANTENNA MODEL AND AZIMUTH INFORMATION IS TAKEN FROM INFORMATION PROVIDED BY AT&T ON 01-16-2014



ANTENNA PLAN

SCALE: N.T.S



NOTES:

- TOWER SHALL BE CONSTRUCTED OF GALVANIZED STEEL OR PAINTED PER APPLICABLE STANDARDS OF THE FAA OR OTHER APPLICABLE FEDERAL OR STATE AGENCY.
- A SINGLE SIGN, 2 FEET SQUARE, IN A VISIBLE LOCATION SHALL BE REQUIRED WITH NAME AND EMERGENCY TELEPHONE NUMBER OF THE TOWER OWNER AND ALL COMPANIES OPERATING ON THE TOWER. NO ADVERTISING SHALL BE ATTACHED TO THE TOWER.
- TOWER SHALL BE ILLUMINATED ONLY AS REQUIRED BY THE FEDERAL COMMUNICATIONS COMMISSION (FCC), THE FEDERAL AVIATION ADMINISTRATION (FAA), OR OTHER STATE OR FEDERAL AGENCY OF COMPETENT JURISDICTION.

TOWER ELEVATION

SCALE: 1" = 30'

PLANS PREPARED FOR:



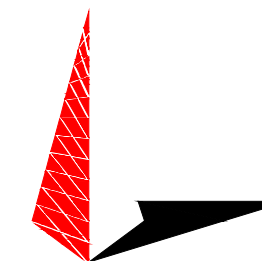
3500 REGENCY PARKWAY, STE. 100
CARY, NC 27518

PROJECT INFORMATION:

AT&T SITE #: 368-317
ATC SITE #: 280422
FARRINGTON NC

464 OLD FARRINGTON RD.
CHAPEL HILL, NC 27514
(CHATHAM COUNTY)

PLANS PREPARED BY:



TOWER ENGINEERING PROFESSIONALS

3703 JUNCTION BOULEVARD
RALEIGH, NC 27603-5263
OFFICE: (919) 661-6351
www.tepgroup.net

N.C. LICENSE # C-1794

SEAL:



May 29, 2014

REV	DATE	ISSUED FOR:
4	05-29-14	CONSTRUCTION
3	05-20-14	CONSTRUCTION
2	04-30-14	CONSTRUCTION
1	01-22-14	PRELIMINARY

DRAWN BY: C5N CHECKED BY: GMA

SHEET TITLE:

TOWER ELEVATION

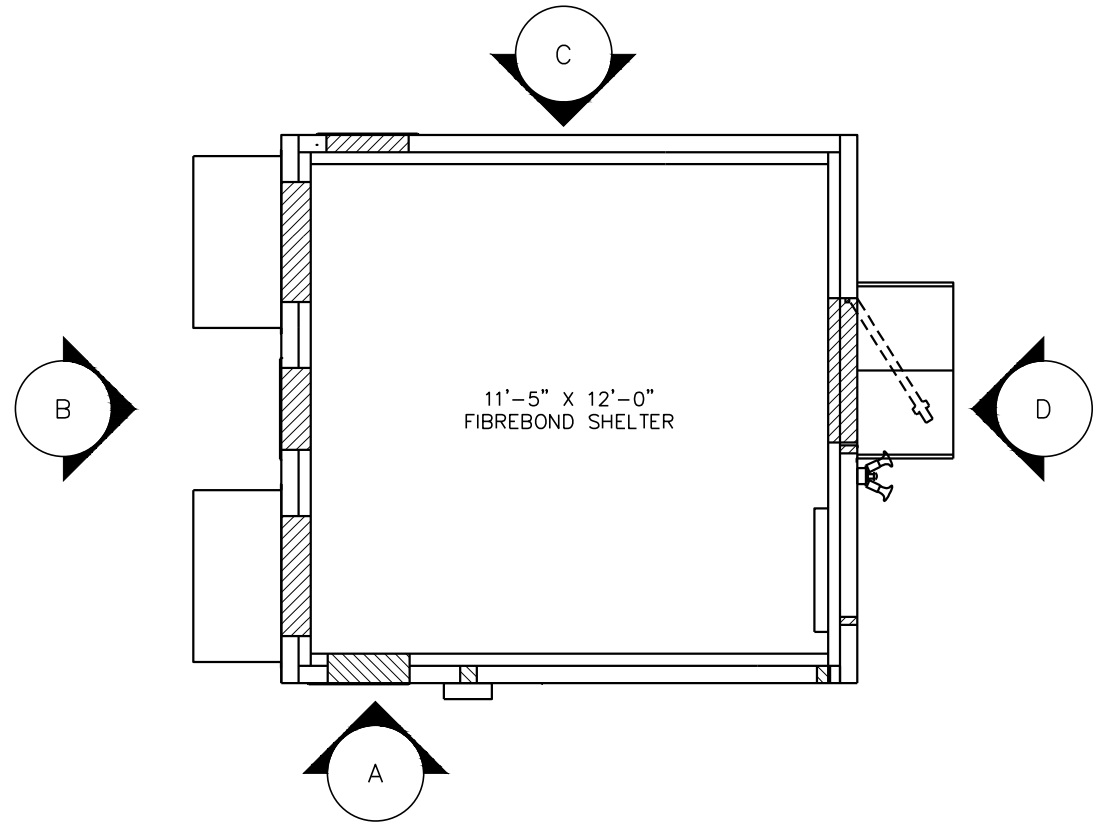
SHEET NUMBER:

C-3

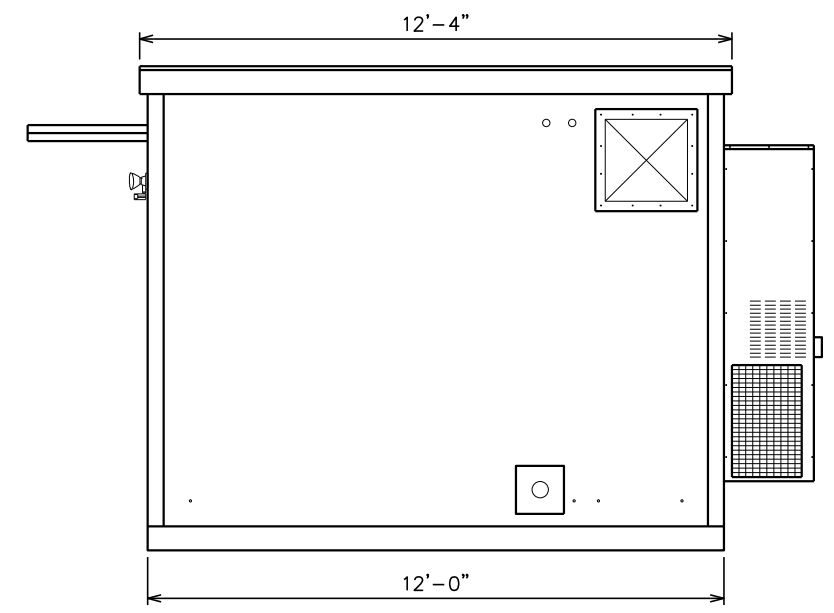
REVISION:

4

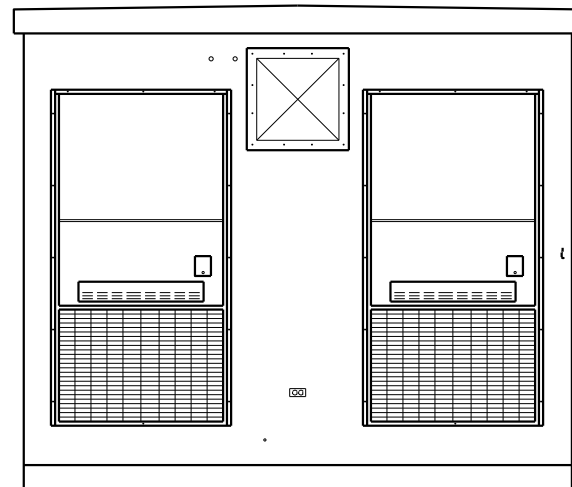
TEP #: 131147



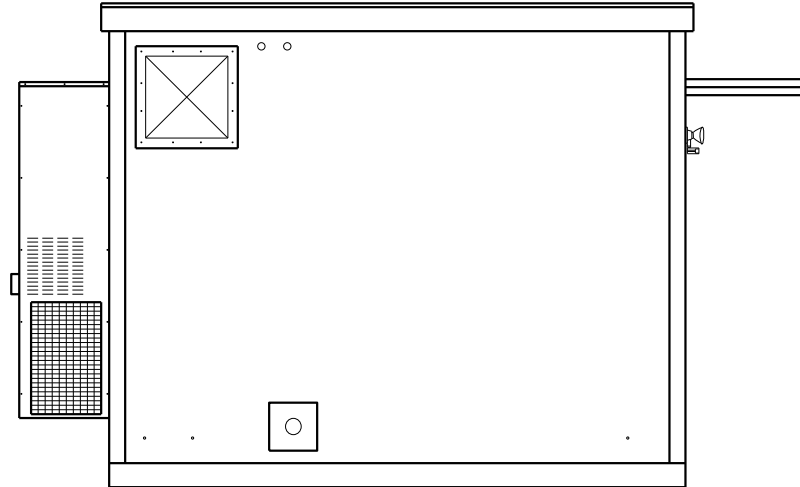
EQUIPMENT LAYOUT
SCALE: 1/4" = 1'-0"



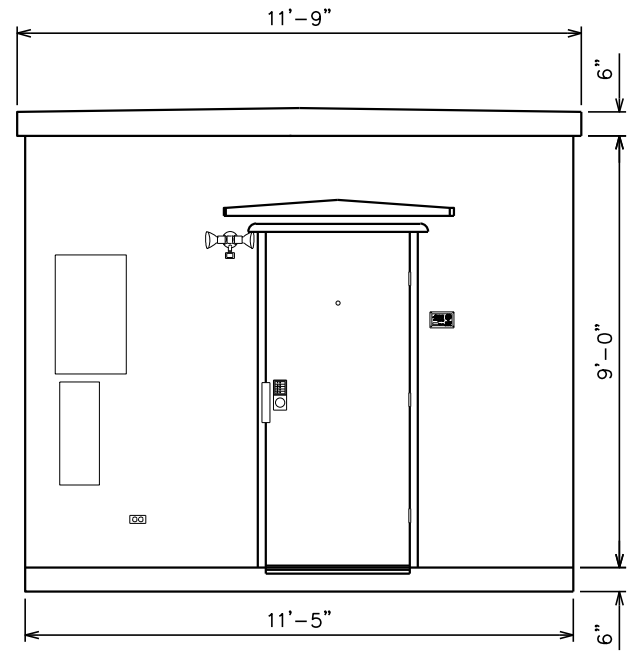
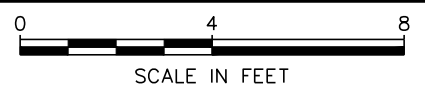
ELEVATION A
SCALE: 1/4" = 1'-0"



ELEVATION B
SCALE: 1/4" = 1'-0"



ELEVATION C
SCALE: 1/4" = 1'-0"

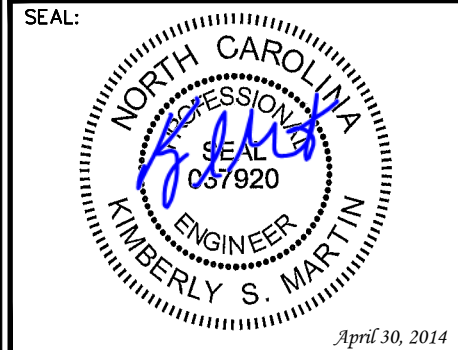


ELEVATION D
SCALE: 1/4" = 1'-0"

PLANS PREPARED FOR:
AMERICAN TOWER CORPORATION
3500 REGENCY PARKWAY, STE. 100
CARY, NC 27518

PROJECT INFORMATION:
AT&T SITE #: 368-317
ATC SITE #: 280422
FARRINGTON NC
464 OLD FARRINGTON RD.
CHAPEL HILL, NC 27514
(CHATHAM COUNTY)

PLANS PREPARED BY:
TOWER ENGINEERING PROFESSIONALS
3703 JUNCTION BOULEVARD
RALEIGH, NC 27603-5263
OFFICE: (919) 661-6351
www.tepgroup.net
N.C. LICENSE # C-1794

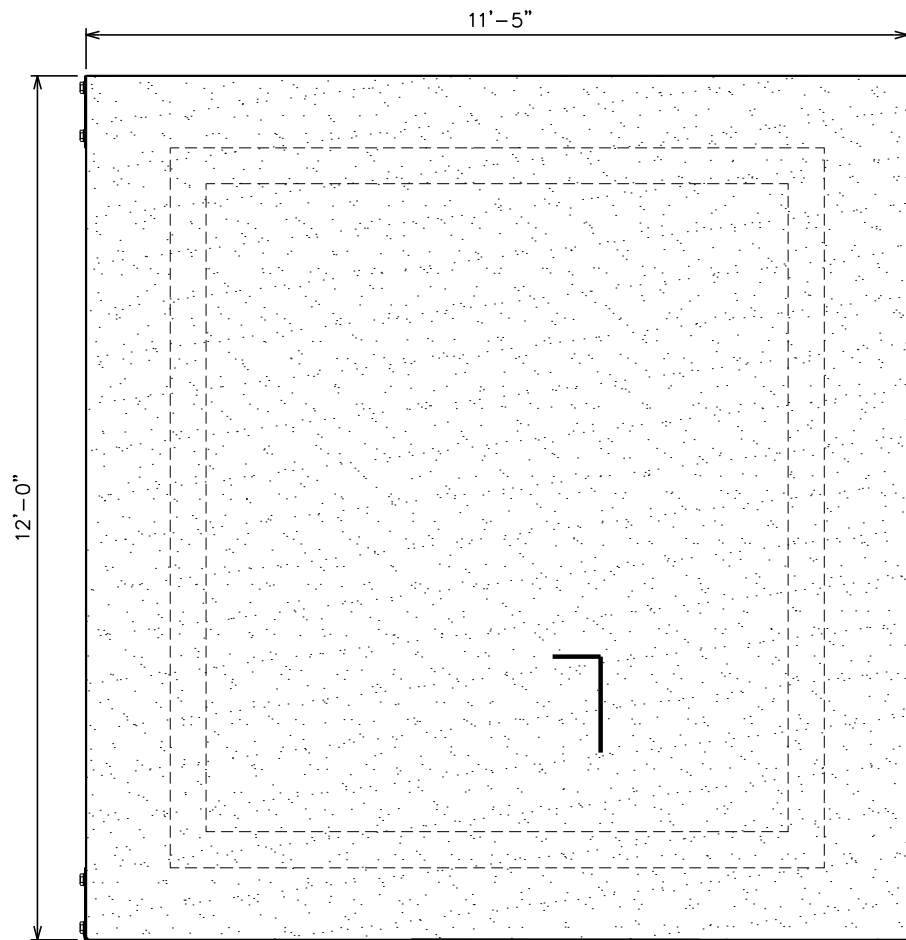


REV	DATE	ISSUED FOR:
2	04-30-14	CONSTRUCTION
1	01-22-14	PRELIMINARY
0	01-13-14	PRELIMINARY

DRAWN BY: MAW CHECKED BY: SCB

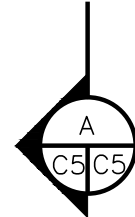
SHEET TITLE:
SHELTER ELEVATIONS

SHEET NUMBER: **C-4** REVISION: **2**
TEP #: 131147



TIE DOWN PLATE
(TYP OF 4) SEE
CONNECTION DETAILS
THIS SHEET.

PROPOSED 4'x4'
STOOP.



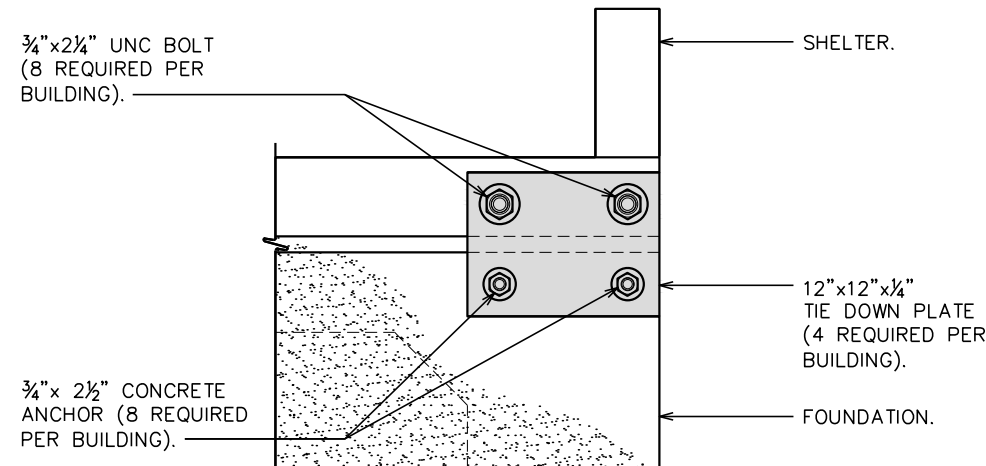
GENERAL STRUCTURAL NOTES:

SPECIFICATION/CODES:

1. CONCRETE WORK SHALL BE PERFORMED IN ACCORDANCE WITH LATEST EDITION OF THE ACI CODE.
2. REINFORCING STEEL SHALL BE PLACED IN ACCORDANCE WITH THE CONCRETE REINFORCING STEEL INSTITUTE (CRSI) "MANUAL OF STANDARD PRACTICE".
3. DESIGN SHALL BE PER NORTH CAROLINA STATE BUILDING CODE, 2012 EDITION.

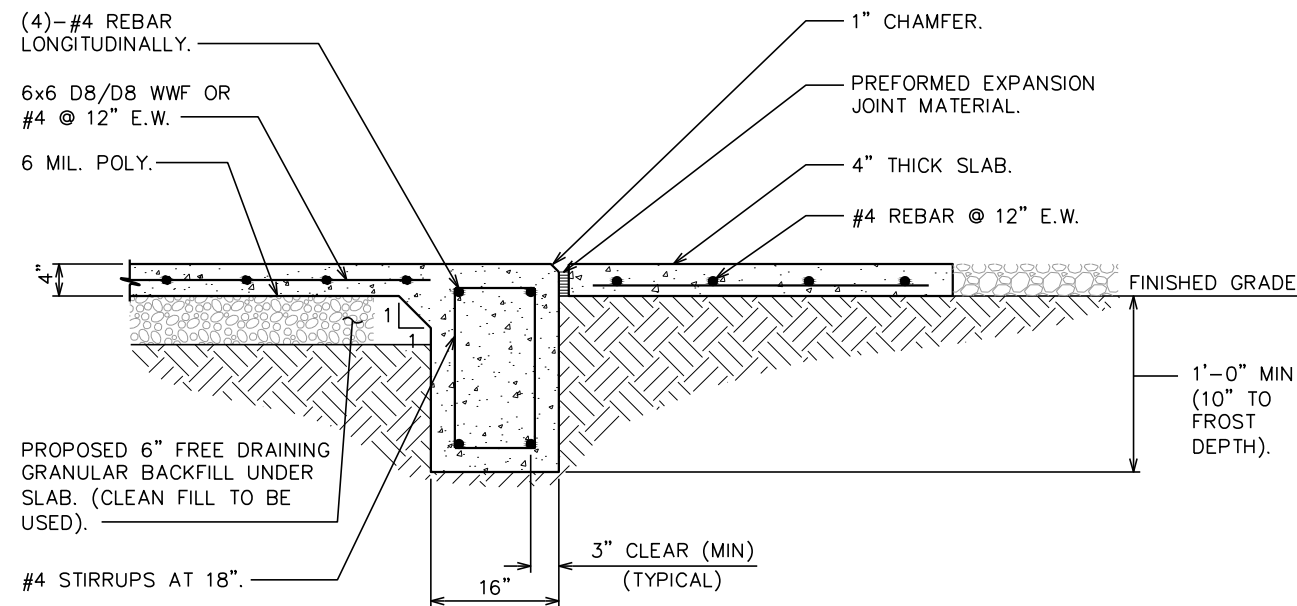
FOUNDATION NOTES:

1. FOUNDATION DESIGN BASED ON 2000 PSF SOIL BEARING CAPACITY. IF OTHER CONDITIONS EXIST, FOUNDATION SHALL BE REDESIGNED. CONTRACTOR SHALL HAVE SOIL BEARING CAPACITY VERIFIED BY A LICENSED PROFESSIONAL GEOTECHNICAL ENGINEER PRIOR TO INITIATION OF CONSTRUCTION ACTIVITIES.
2. CONCRETE SHALL BE 3,000 PSI.
3. REBAR $F_y = 60,000$ PSI.
4. ALL BACKFILL SHALL BE THOROUGHLY COMPACTED TO A MINIMUM OF 95% DENSITY USING THE MODIFIED PROCTOR METHOD.



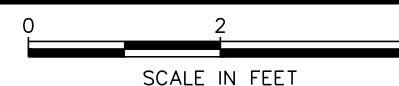
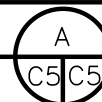
CONNECTION DETAIL

SCALE: 1" = 1'-0"



PAD SECTION

SCALE: 1/2" = 1'-0"



SHELTER FOUNDATION PLAN

SCALE: 3/8" = 1'-0"



PLANS PREPARED FOR:



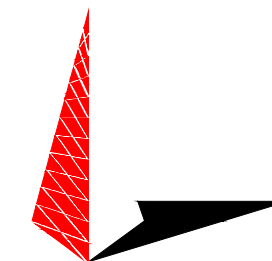
3500 REGENCY PARKWAY, STE. 100
CARY, NC 27518

PROJECT INFORMATION:

AT&T SITE #: 368-317
ATC SITE #: 280422
FARRINGTON NC

464 OLD FARRINGTON RD.
CHAPEL HILL, NC 27514
(CHATHAM COUNTY)

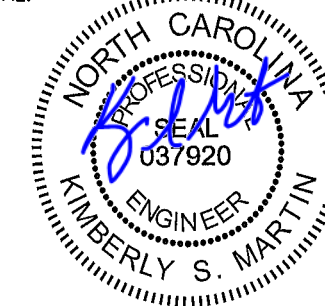
PLANS PREPARED BY:



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3703 JUNCTION BOULEVARD
RALEIGH, NC 27603-5263
OFFICE: (919) 661-6351
www.tepgroup.net

N.C. LICENSE # C-1794

SEAL:



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0	01-13-14	PRELIMINARY

DRAWN BY: SCB CHECKED BY: GMA

SHEET TITLE:

**SHELTER
FOUNDATION
DETAILS**

SHEET NUMBER:

C-5

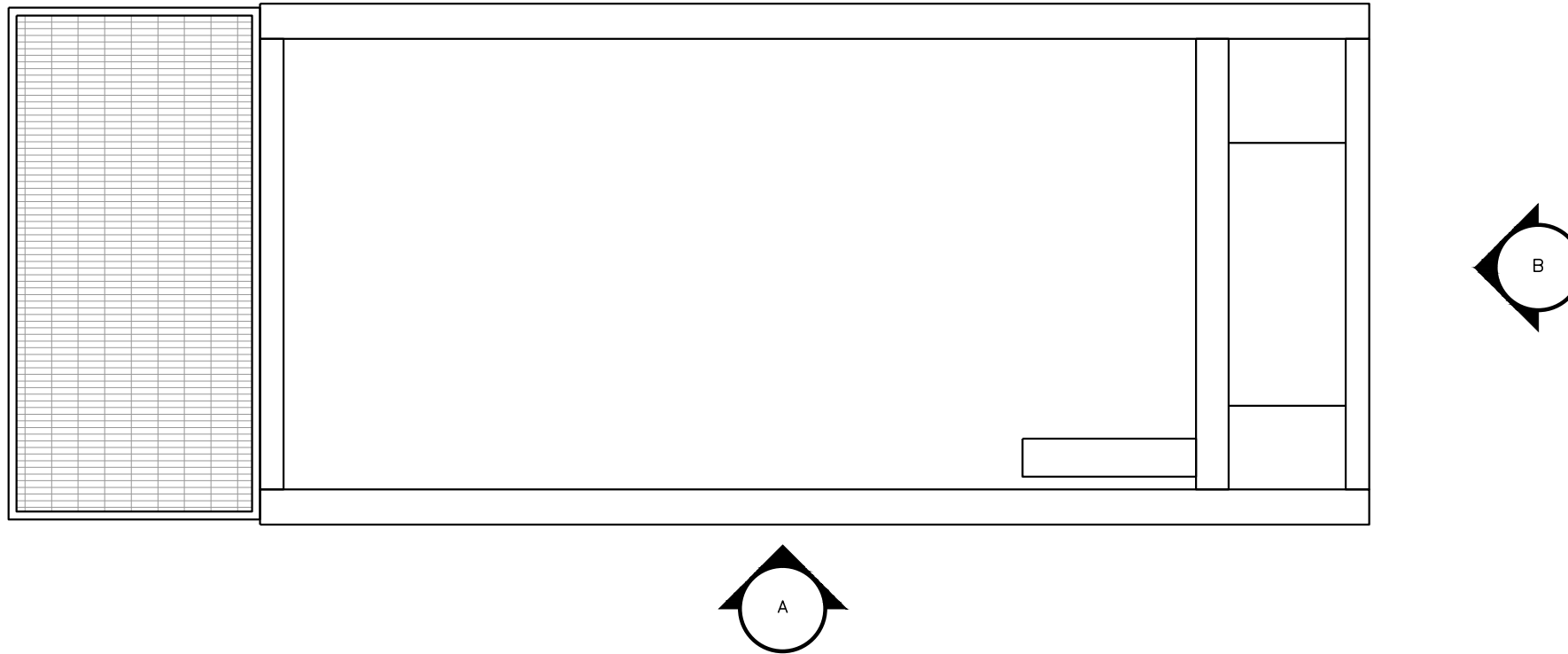
REVISION:

2

TEP #: 131147

GENERATOR NOTE:

80KW INDUSTRIAL DIESEL GENERATOR
BY GENERAC. CONTRACTOR TO VERIFY
DIMENSIONS WITH MANUFACTURER.



PLANS PREPARED FOR:

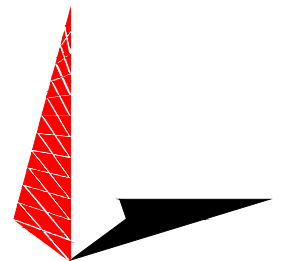


AMERICAN TOWER CORPORATION
3500 REGENCY PARKWAY, STE. 100
CARY, NC 27518

PROJECT INFORMATION:

AT&T SITE #: 368-317
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FARRINGTON NC
464 OLD FARRINGTON RD.
CHAPEL HILL, NC 27514
(CHATHAM COUNTY)

PLANS PREPARED BY:

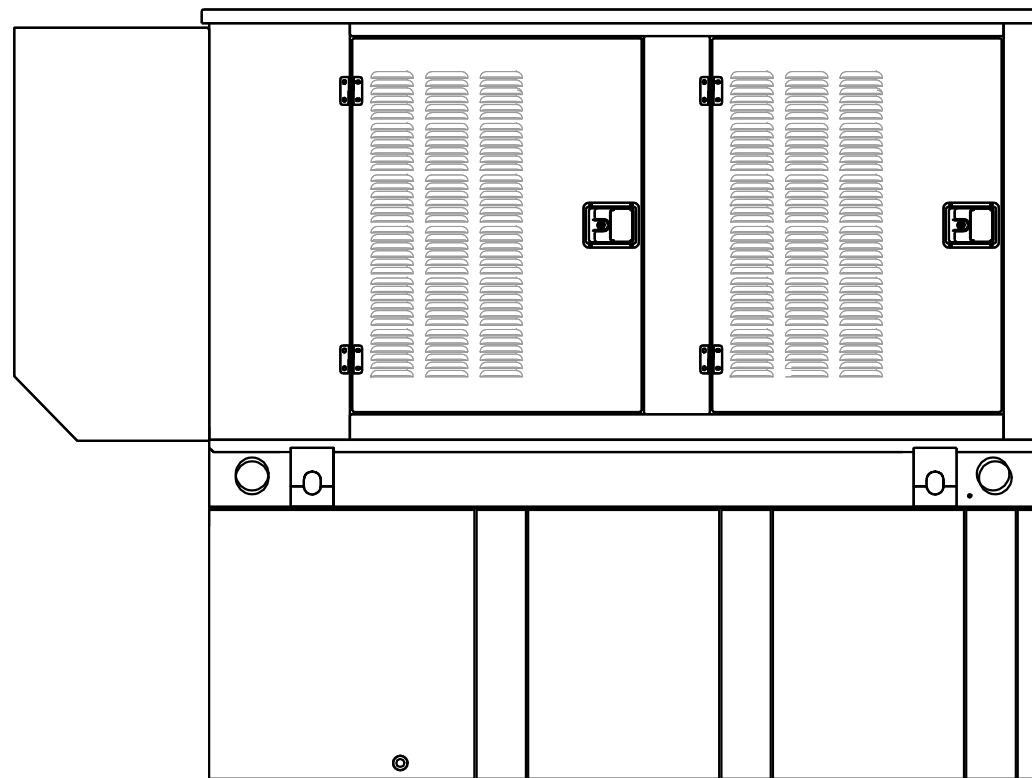


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N.C. LICENSE # C-1794

GENERATOR LAYOUT

SCALE: N.T.S.

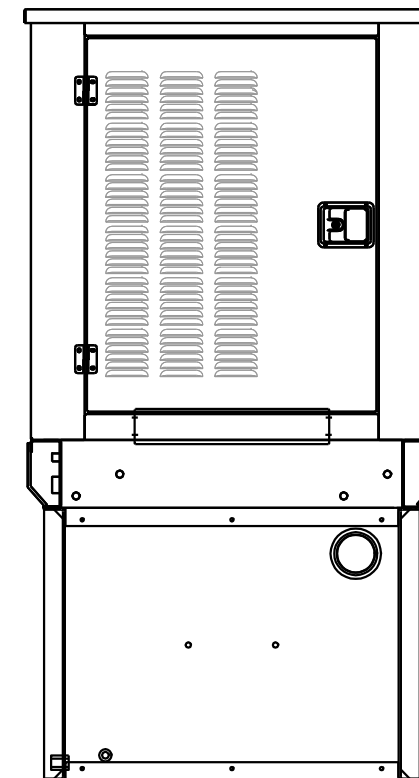


NOTE:

ANCHOR GENERATOR FUEL TANK TO
CONCRETE PAD PER GENERAC
DESIGN DRAWINGS.

ELEVATION A

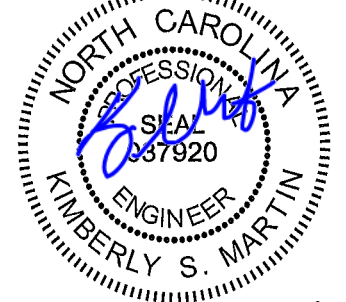
SCALE: N.T.S.



ELEVATION B

SCALE: N.T.S.

SEAL:



REV	DATE	ISSUED FOR:
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0	01-13-14	PRELIMINARY

DRAWN BY: SCB CHECKED BY: GMA

SHEET TITLE:

**GENERATOR & FUEL
TANK ELEVATIONS**

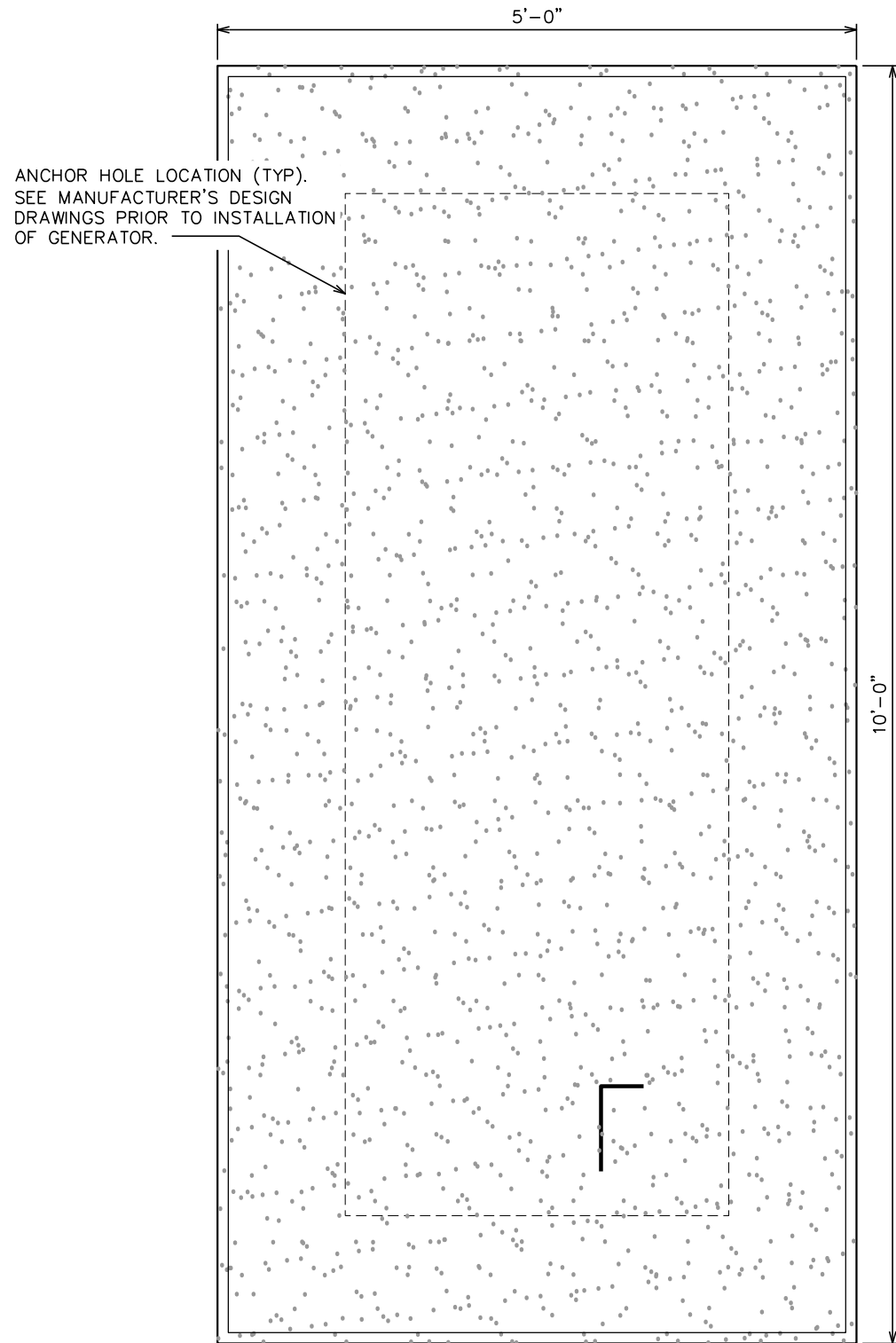
SHEET NUMBER:

C-6

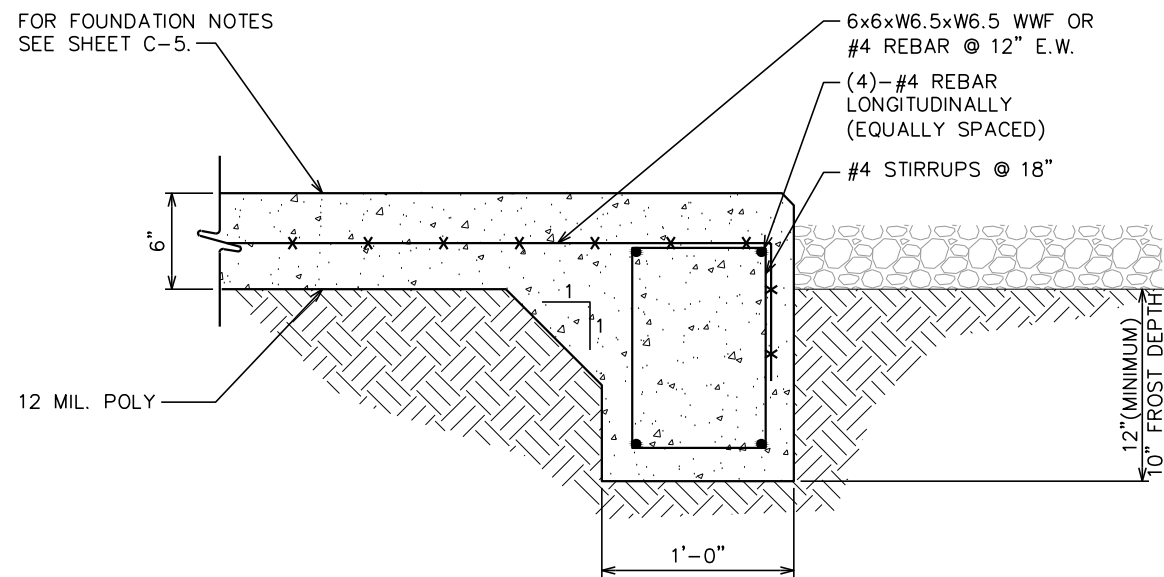
REVISION:

2

TEP #: 131147



FOR FOUNDATION NOTES
SEE SHEET C-5.



PLANS PREPARED FOR:

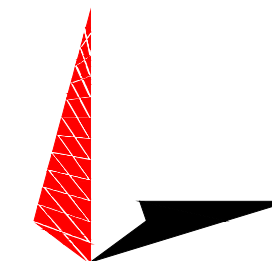


AMERICAN TOWER
CORPORATION
3500 REGENCY PARKWAY, STE. 100
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PROJECT INFORMATION:

AT&T SITE #: 368-317
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FARRINGTON NC
464 OLD FARRINGTON RD.
CHAPEL HILL, NC 27514
(CHATHAM COUNTY)

PLANS PREPARED BY:



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RALEIGH, NC 27603-5263
OFFICE: (919) 661-6351
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N.C. LICENSE # C-1794

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0	01-13-14	PRELIMINARY

DRAWN BY: SCB CHECKED BY: GMA

SHEET TITLE:

**GENERATOR
FOUNDATION
DETAILS**

SHEET NUMBER:

C-7

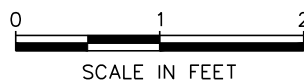
REVISION:

2

TEP #: 131147

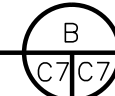
GENERATOR FOUNDATION

SCALE: 3/4" = 1'-0"



SECTION

SCALE: 1" = 1'-0"



PLANS PREPARED FOR:



AMERICAN TOWER CORPORATION
 3500 REGENCY PARKWAY, STE. 100
 CARY, NC 27518

PROJECT INFORMATION:

AT&T SITE #: 368-317
ATC SITE #: 280422
FARRINGTON NC
 464 OLD FARRINGTON RD.
 CHAPEL HILL, NC 27514
 (CHATHAM COUNTY)

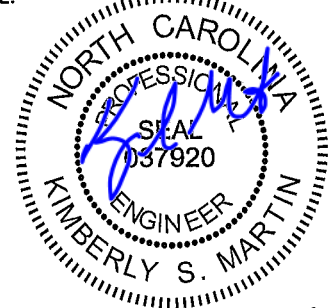
PLANS PREPARED BY:



TOWER ENGINEERING PROFESSIONALS
 3703 JUNCTION BOULEVARD
 RALEIGH, NC 27603-5263
 OFFICE: (919) 661-6351
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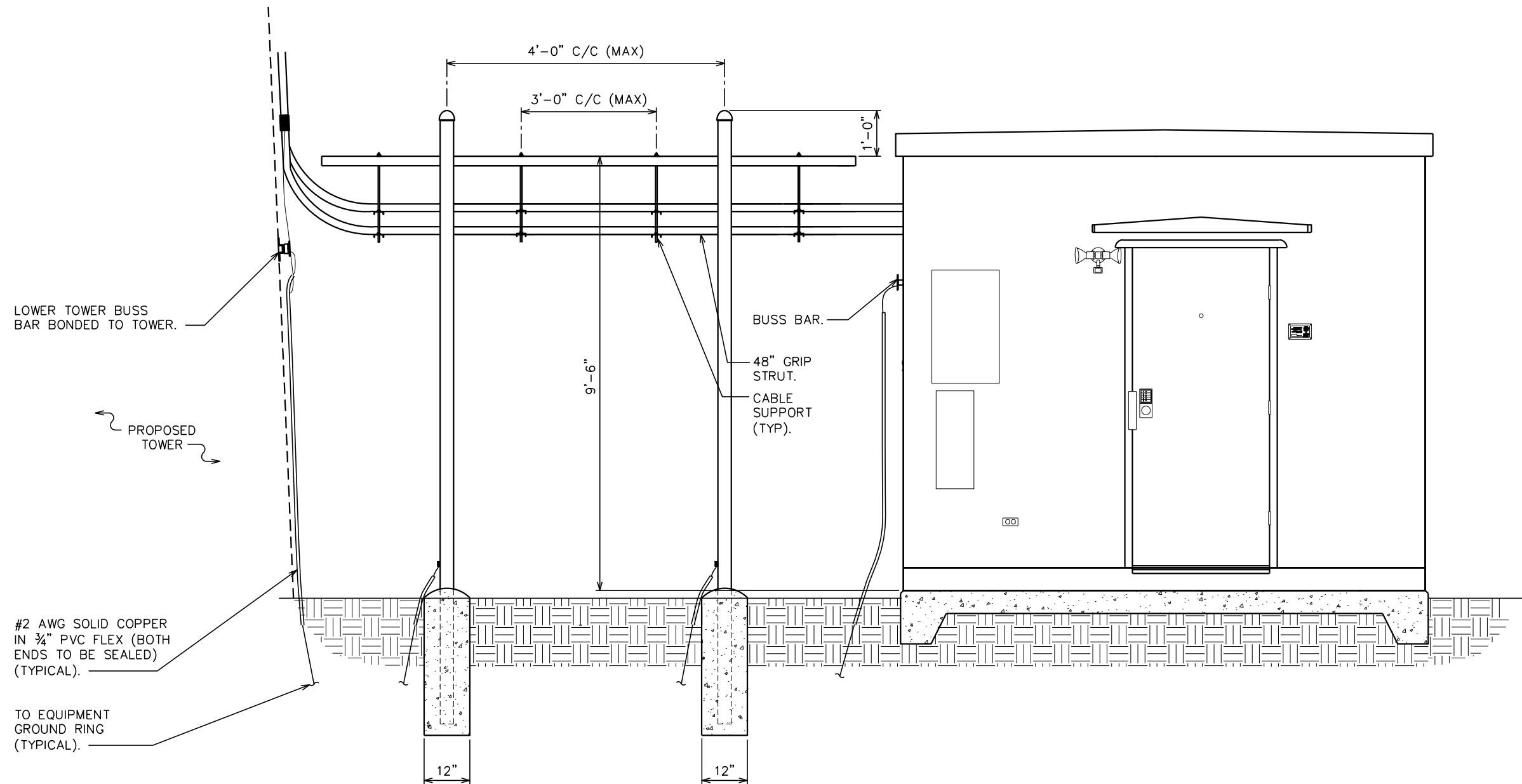
DRAWN BY: SCB CHECKED BY: GMA

SHEET TITLE:

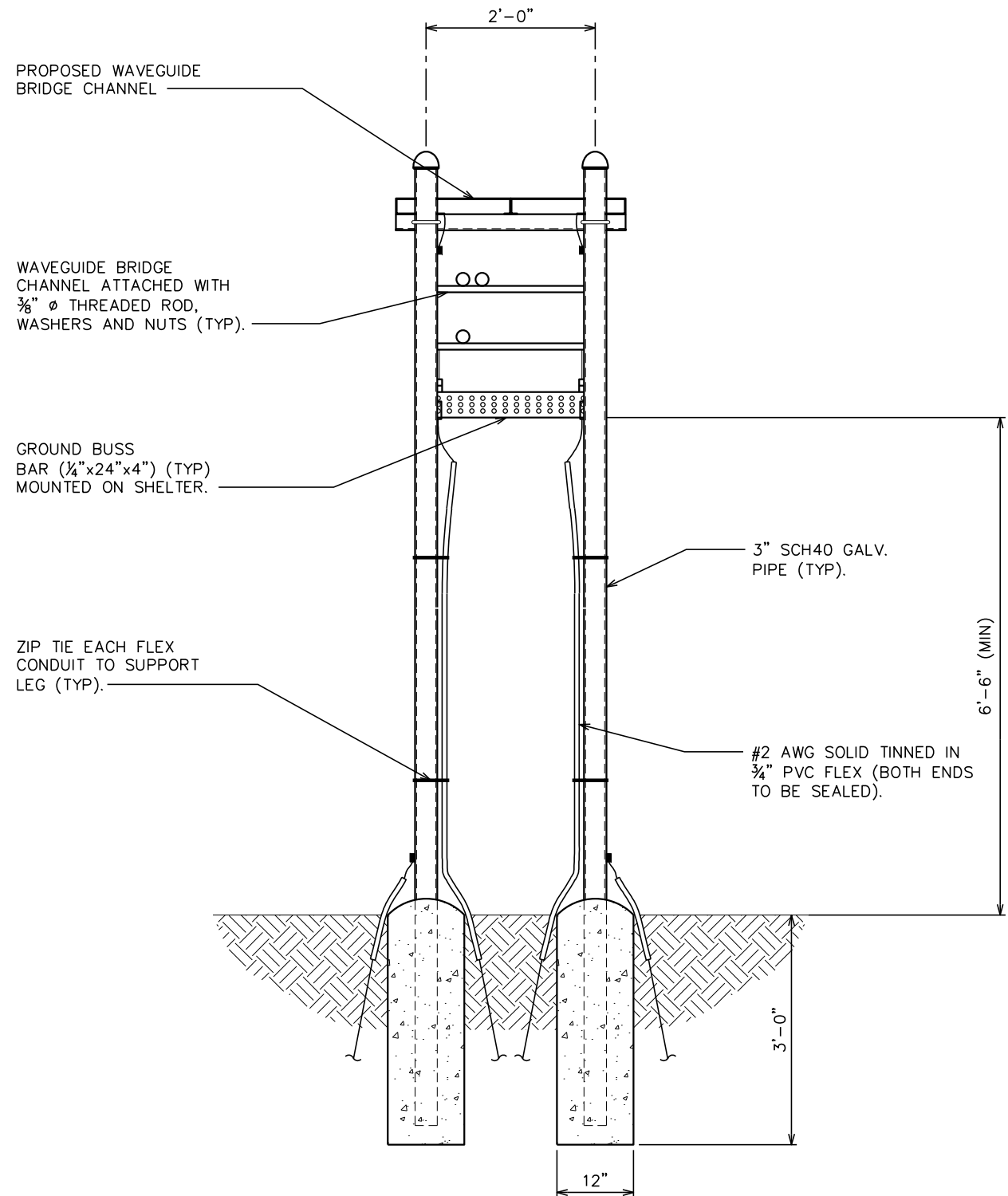
ICE BRIDGE DETAILS I

SHEET NUMBER: **C-8** REVISION: **2**

TEP #: 131147



ICE BRIDGE DETAILS
 SCALE: N.T.S



PLANS PREPARED FOR:



AMERICAN TOWER CORPORATION
 3500 REGENCY PARKWAY, STE. 100
 CARY, NC 27518

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AT&T SITE #: 368-317
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FARRINGTON NC
 464 OLD FARRINGTON RD.
 CHAPEL HILL, NC 27514
 (CHATHAM COUNTY)

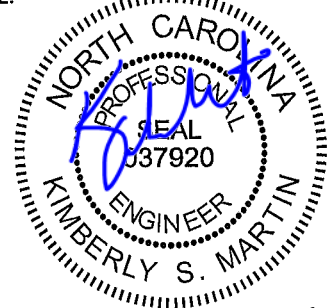
PLANS PREPARED BY:



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 RALEIGH, NC 27603-5263
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0	01-13-14	PRELIMINARY

DRAWN BY: JJM CHECKED BY: JAS

SHEET TITLE:

ICE BRIDGE DETAILS II

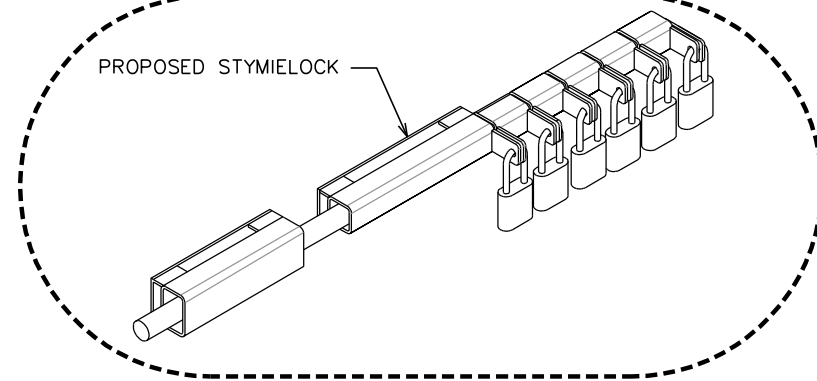
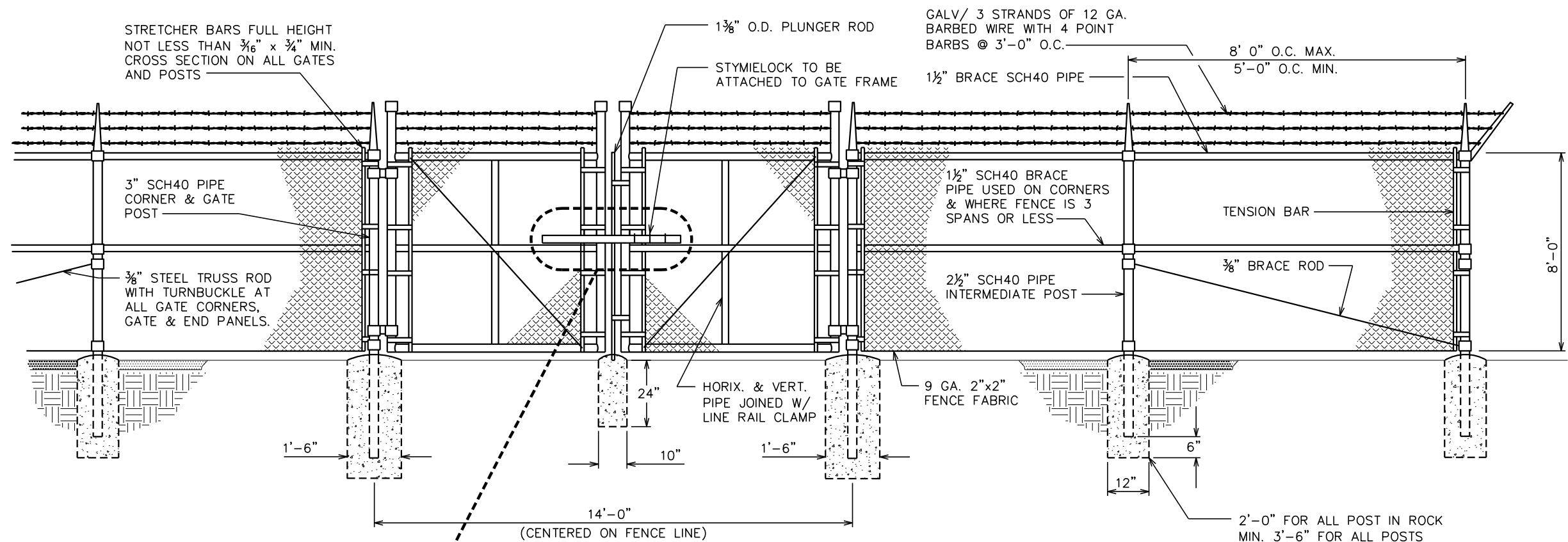
SHEET NUMBER: **C-9** REVISION: **2**

TEP #: 131147

ICE BRIDGE DETAILS

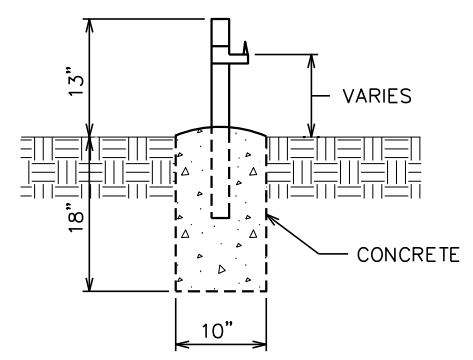
SCALE: 1/2" = 1'-0"





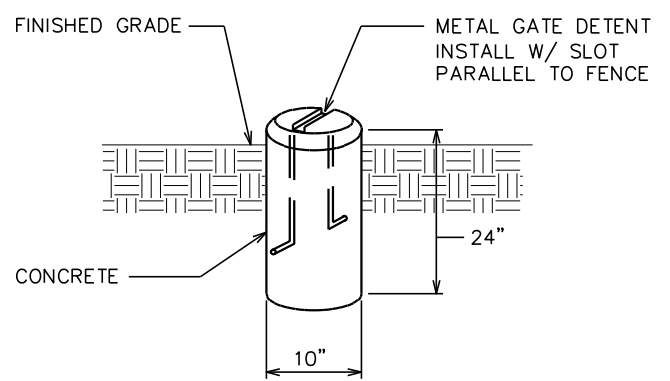
TYPICAL FENCE ELEVATION

SCALE: N.T.S.



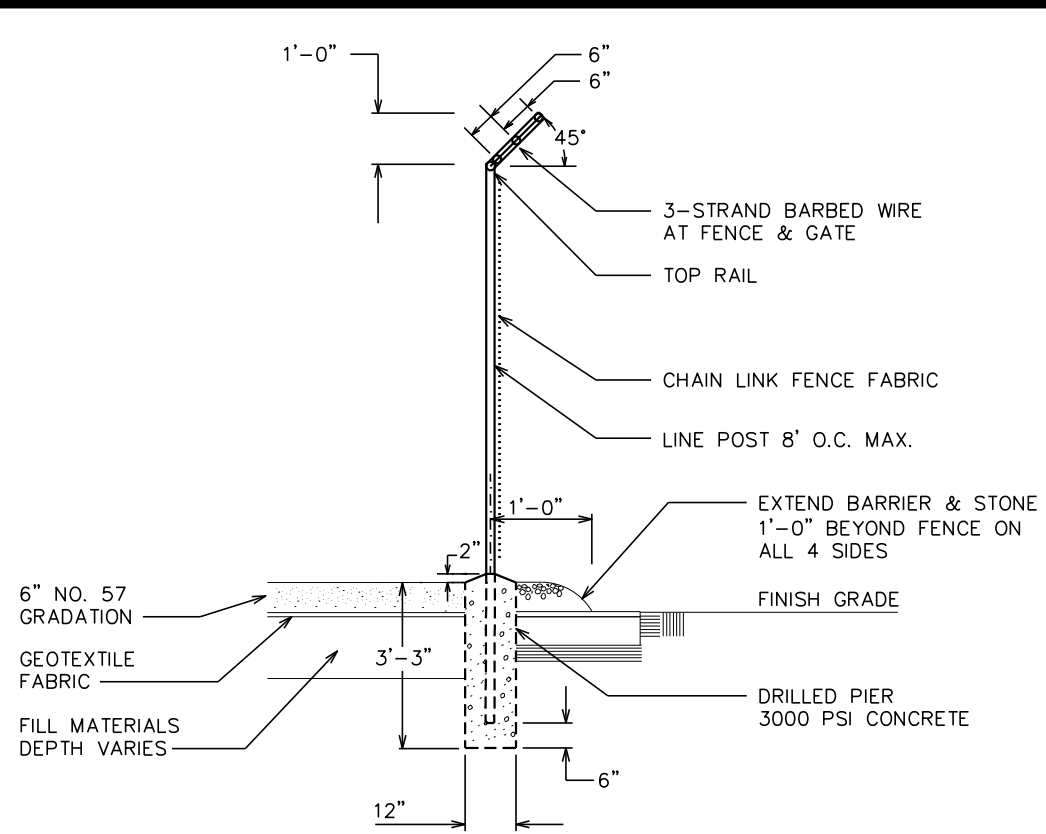
GATE STOP / KEEPER DETAIL

SCALE: N.T.S.



GATE DETENT DETAIL

SCALE: N.T.S.



FENCE / BARBED WIRE ARM DETAIL

SCALE: N.T.S.

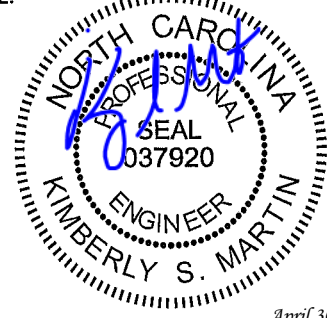
PLANS PREPARED FOR:

AMERICAN TOWER CORPORATION
 3500 REGENCY PARKWAY, STE. 100
 CARY, NC 27518

PROJECT INFORMATION:
AT&T SITE #: 368-317
ATC SITE #: 280422
FARRINGTON NC
 464 OLD FARRINGTON RD.
 CHAPEL HILL, NC 27514
 (CHATHAM COUNTY)

PLANS PREPARED BY:

TOWER ENGINEERING PROFESSIONALS
 3703 JUNCTION BOULEVARD
 RALEIGH, NC 27603-5263
 OFFICE: (919) 661-6351
 www.tepgroup.net
 N.C. LICENSE # C-1794

SEAL:

 April 30, 2014


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0	01-13-14	PRELIMINARY

DRAWN BY: SCB CHECKED BY: GMA

SHEET TITLE:
FENCE DETAILS

SHEET NUMBER: **C-10** REVISION: **2**
 TEP #: 131147

property of




**AUTHORIZED
PERSONNEL
ONLY!**

In case of emergency or prior to performing maintenance on this site, call 1-800-638-2822 and reference cell site number: _____

- ① WHITE/BLUE BACKGROUND W/ BLACK LETTERING
 QUANTITY: (1)
 SIZE: 9"x12"
 (TO BE MOUNTED ON UNIVERSAL POWER CABINET DOOR ADJACENT TO COMPOUND ENTRY - SEE NOTE 3)

NO TRESPASSING
 VIOLATORS WILL BE PROSECUTED

property of




In case of emergency or prior to performing maintenance on this site, call 1-800-830-3365 and reference cell site number: _____

- ③ WHITE/RED BACKGROUND W/ BLACK LETTERING
 QUANTITY: (4)
 SIZE: 12"x12"
 (ONE TO BE MOUNTED ON EACH SIDE OF COMPOUND FENCE)

**DO NOT CLIMB
 TOWER WITHOUT
 OWNER'S WRITTEN
 PERMISSION**

- ④ WHITE BACKGROUND W/ RED LETTERING
 QUANTITY: (1)
 (TO BE MOUNTED AT EYE LEVEL ON TOWER NEAR SAFETY CLIMB)

NOTICE



Radio Frequency fields beyond this point may exceed the FCC general public exposure limit.

OBEY ALL POSTED SIGNS AND SITE GUIDELINES FOR WORKING IN RADIO FREQUENCY ENVIRONMENTS.
 In accordance with Federal Communications Commission rules on radio frequency exposure 47 CFR 1.1307(b)

- ② WHITE/BLUE BACKGROUND W/ BLACK LETTERING
 QUANTITY: (1)
 (TO BE MOUNTED AT EYE LEVEL ON TOWER NEAR SAFETY CLIMB)

000

- ⑤ WHITE BACKGROUND W/ BLACK LETTERING
 E911 STREET #
 QUANTITY: (1 TYP)
 LETTERS MUST BE A MINIMUM 6" TALL
 (TO BE MOUNTED ON THE GATE OF COMPOUND)

- ① SITE IDENTIFICATION SIGN
 ② FCC/RF EXPOSURE SIGN
 ③ AUTHORIZED ENTRY SIGN
 ④ TOWER CLIMBING SIGN
 ⑤ STREET ADDRESS SIGN
 ⑥ INFORMATION RF EXPOSURE SIGN
 ⑦ TOWER REGISTRATION SIGN

INFORMATION

AMERICAN TOWER operates telecommunications equipment at this location.

Stay back a minimum of 3 feet from any antenna.

Obey all posted signs and guidelines.

Do not cross into areas restricted by striping and/or barriers.

Contact the owner(s) of the antenna(s) and follow their instructions prior to performing any repairs or maintenance within a restricted area of closer than 3 feet from the antenna.

Contact AMERICAN TOWER at 1-800-830-3365 prior to doing any work near AMERICAN TOWER structures. This is site #-----.

Contact the management office if this door/hatch/gate is found unlocked.

- ⑥ WHITE BACKGROUND W/ BLACK LETTERING
 QUANTITY: (1) PER ACCESS GATE
 (TO BE MOUNTED ON COMPOUND ACCESS GATE)

FCC TOWER REGISTRATION NO.:
0123456789

- ⑦ WHITE BACKGROUND W/ BLACK LETTERING
 QUANTITY: (1)
 (TO BE MOUNTED ON COMPOUND ACCESS GATE - SEE NOTE 5)
 NOTE: NUMBER SHOWN IS GENERIC, CONTACT CONSTRUCTION MANAGER FOR ACTUAL FCC TOWER REG. #.

NOTES:

- SIGNS SHALL MEASURE 8"x12", BE FABRICATED FROM CORROSION RESISTANT PRESSED METAL, AND PAINTED WITH LONG LASTING UV RESISTANT COATINGS.
- SIGNS (EXCEPT WHERE NOTED OTHERWISE) SHALL BE MOUNTED TO THE TOWER, GATE AND FENCE USING A MINIMUM OF 9 GAUGE ALUMINUM WIRE, HOG RINGS (AS UTILIZED IN FENCE INSTALLATIONS) OR BRACKETS WHERE NECESSARY. BRACKETS SHALL BE OF SIMILAR METAL AS THE STRUCTURE TO AVOID GALVANIC CORROSION.
- AMERICAN TOWER SITE # AND EMERGENCY CONTACT # SHALL BE MOUNTED ON THE UNIVERSAL POWER CABINET DOOR ADJACENT TO THE COMPOUND ENTRY WITH PERMANENT SET ADHESIVE. TWO-SIDED TAPE SHALL BE UTILIZED AT EACH CORNER ON THE BACKSIDE TO AID PLACEMENT UNTIL ADHESIVE SETS.
- ADDITIONAL E911 ADDRESS SIGNS ARE REQUIRED AT EACH ACCESS ROAD GATE LEADING TO THE COMPOUND AS WELL AS ON THE COMPOUND GATE ITSELF. LETTERING ON 911 ADDRESS SIGNS MUST BE A MINIMUM OF 6" TALL.
- ADDITIONAL FCC REGISTRATION # SIGNS ARE REQUIRED AT EACH ACCESS ROAD GATE LEADING TO THE COMPOUND AS WELL AS ON THE COMPOUND GATE ITSELF.
- RECOMMENDED SOURCE FOR OBTAINING SIGNAGE:

ST. CLAIR SIGNS
 3184 WADE HAMPTON BLVD.
 TAYLORS, SC 29687
 (864) 244-0040

RF EXPOSURE SIGNS
 RICHARD TELL ASSOCIATES
 3433 RINGSTAR ROAD, SUITE 3
 NORTH LAS VEGAS, NV 89030
 (702) 645-3338

PLANS PREPARED FOR:



3500 REGENCY PARKWAY, STE. 100
 CARY, NC 27518

PROJECT INFORMATION:
AT&T SITE #: 368-317
ATC SITE #: 280422
FARRINGTON NC
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 CHAPEL HILL, NC 27514
 (CHATHAM COUNTY)

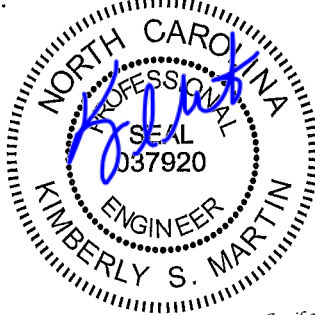
PLANS PREPARED BY:



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 RALEIGH, NC 27603-5263
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SEAL:



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0	01-13-14	PRELIMINARY

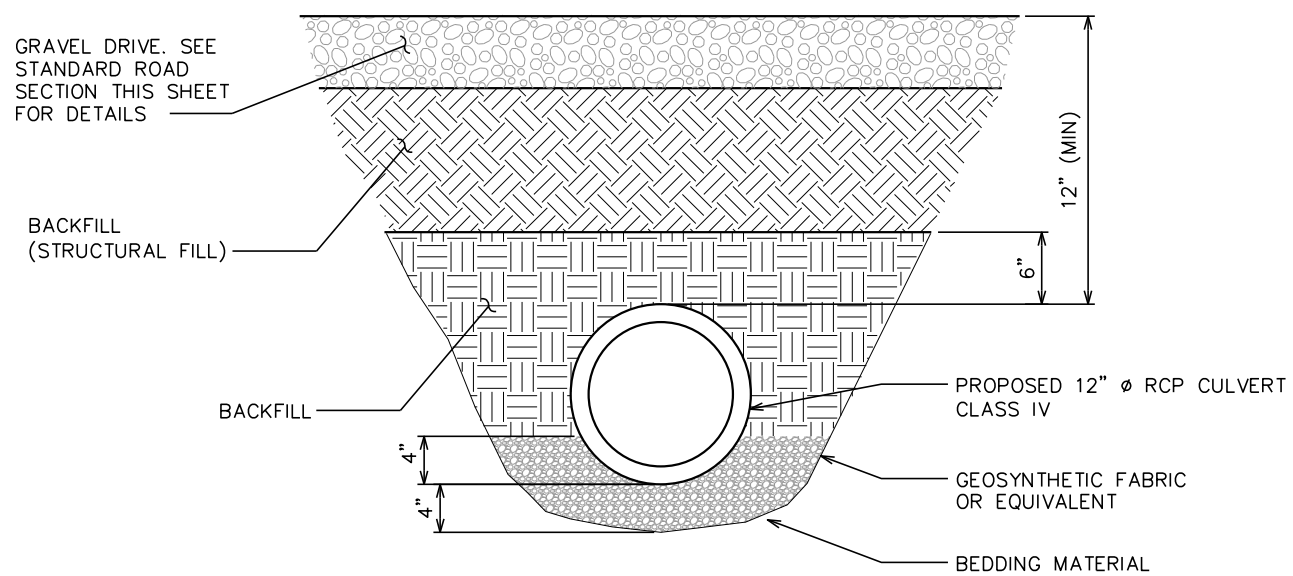
DRAWN BY: JHJ CHECKED BY: GMA

SHEET TITLE:
**SIGNAGE
 DETAILS**

SHEET NUMBER: C-11	REVISION: 2 TEP #: 131147
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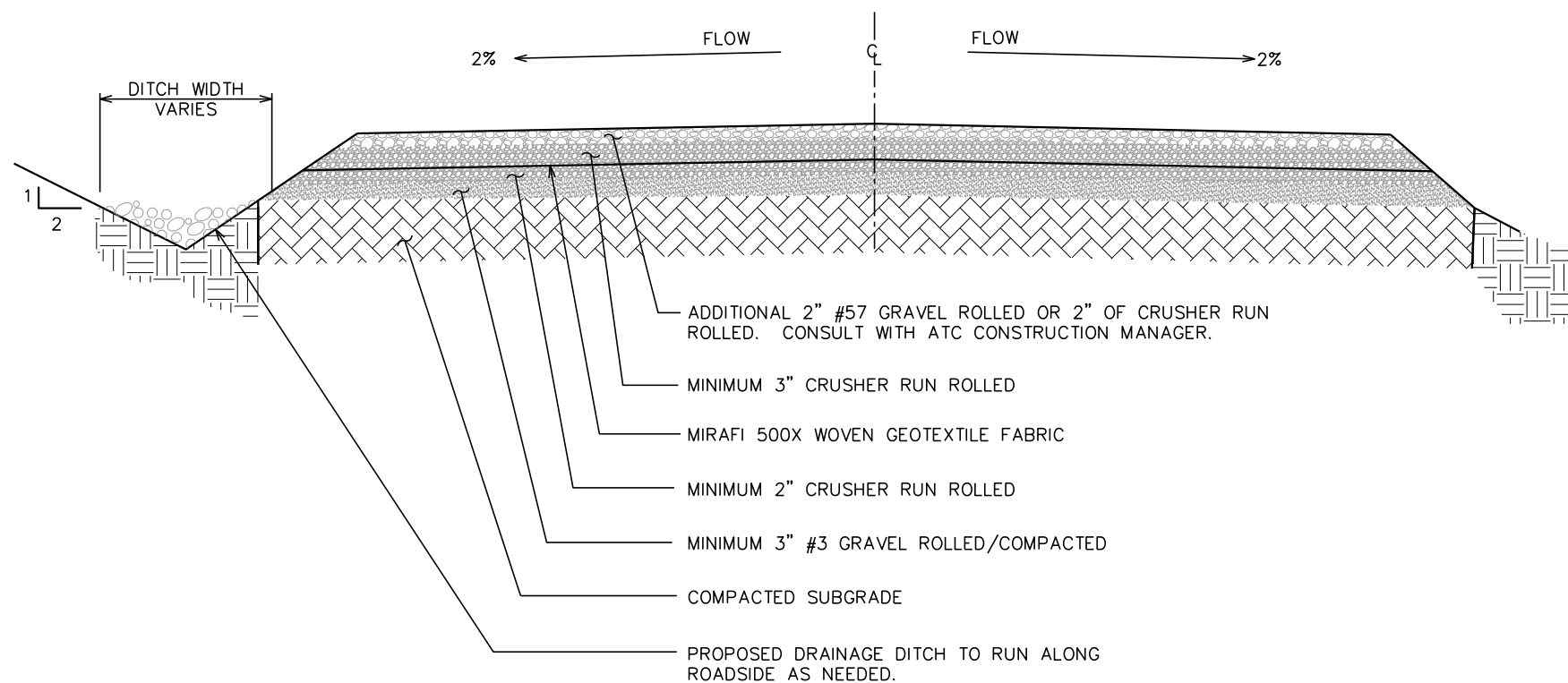
TYPICAL SIGNS AND SPECIFICATIONS

SCALE: N.T.S.



CULVERT DETAIL @ COMPOUND ENTRANCE

SCALE: 3/4" = 1'-0"



STANDARD ROAD SECTION (GOOD SUBGRADE)

SCALE: 1/2" = 1'-0"

PLANS PREPARED FOR:

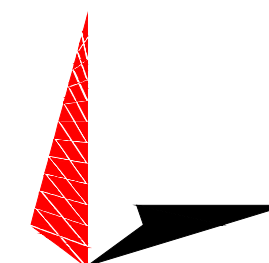


AMERICAN TOWER CORPORATION
3500 REGENCY PARKWAY, STE. 100
CARY, NC 27518

PROJECT INFORMATION:

AT&T SITE #: 368-317
ATC SITE #: 280422
FARRINGTON NC
464 OLD FARRINGTON RD.
CHAPEL HILL, NC 27514
(CHATHAM COUNTY)

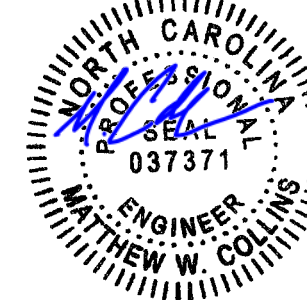
PLANS PREPARED BY:



TOWER ENGINEERING PROFESSIONALS
3703 JUNCTION BOULEVARD
RALEIGH, NC 27603-5263
OFFICE: (919) 661-6351
www.tepgroup.net

N.C. LICENSE # C-1794

SEAL:



April 30, 2014

REV	DATE	ISSUED FOR:
2	04-30-14	CONSTRUCTION
1	01-22-14	PRELIMINARY
0	01-13-14	PRELIMINARY

DRAWN BY: MSQ CHECKED BY: GMA

SHEET TITLE:

CULVERT & DRIVEWAY DETAILS

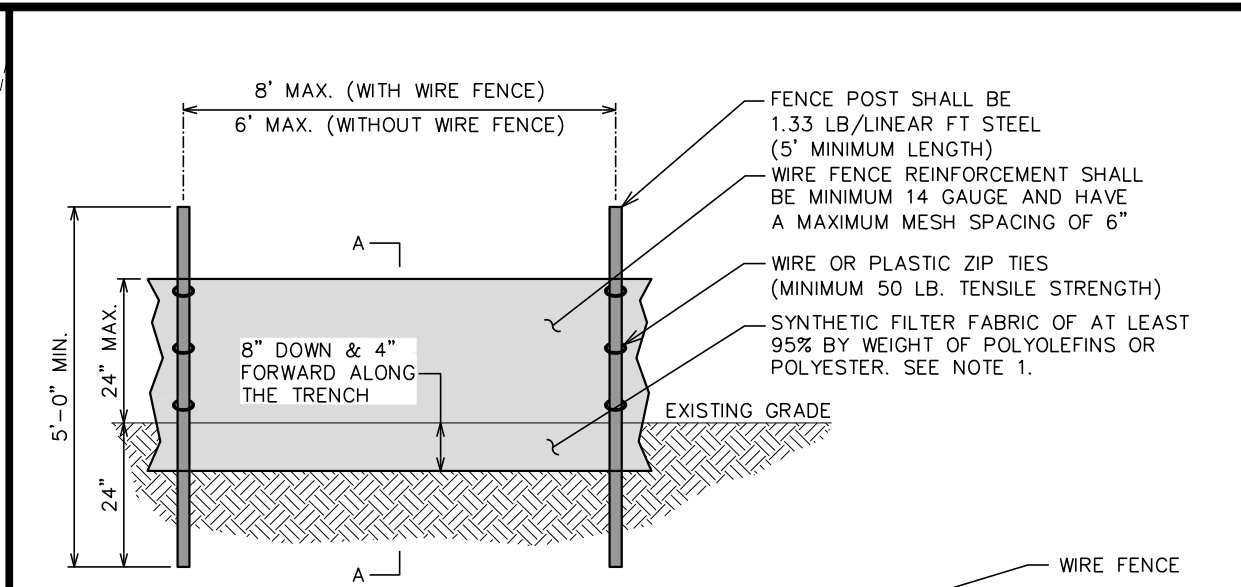
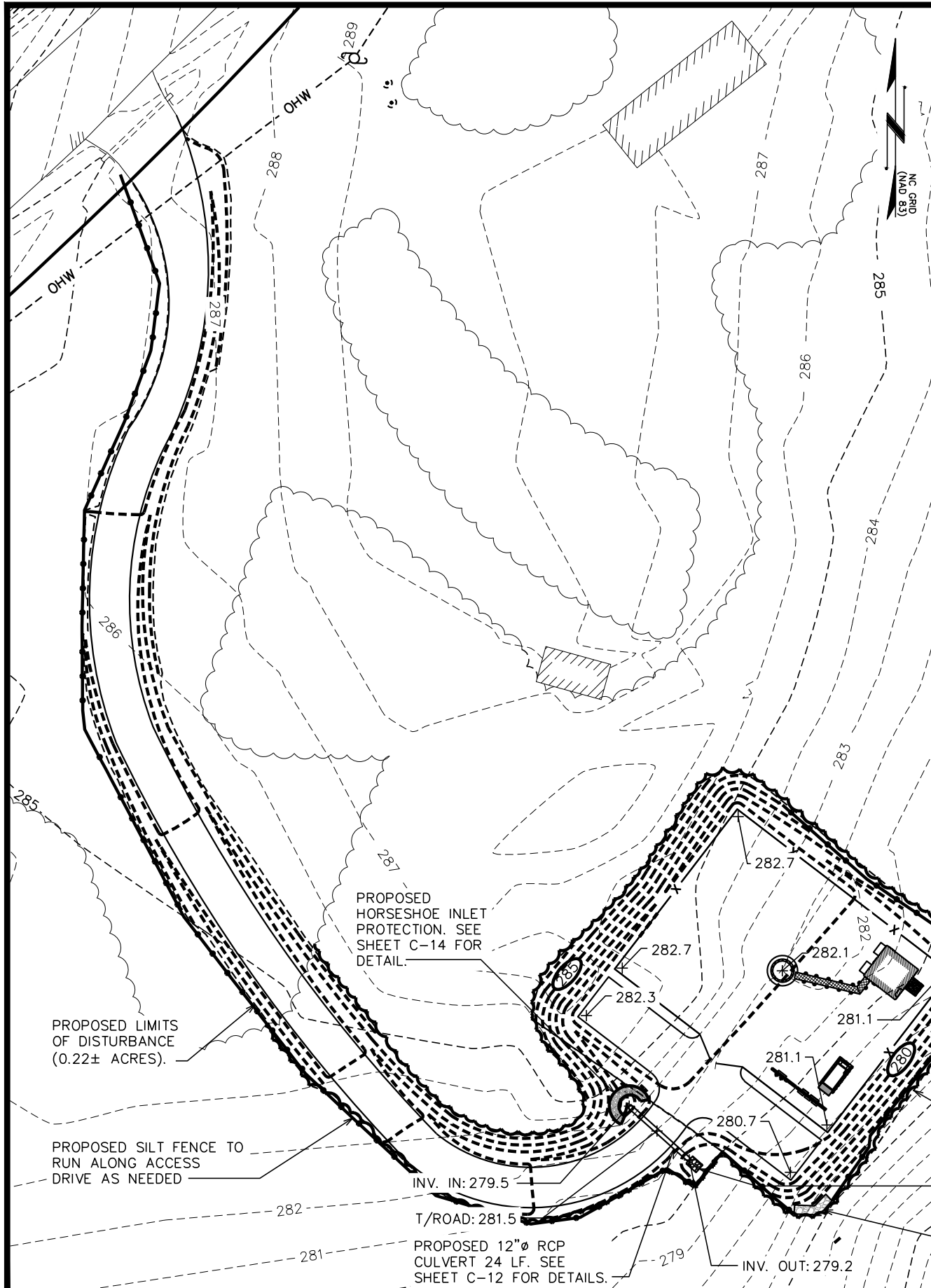
SHEET NUMBER:

C-12

REVISION:

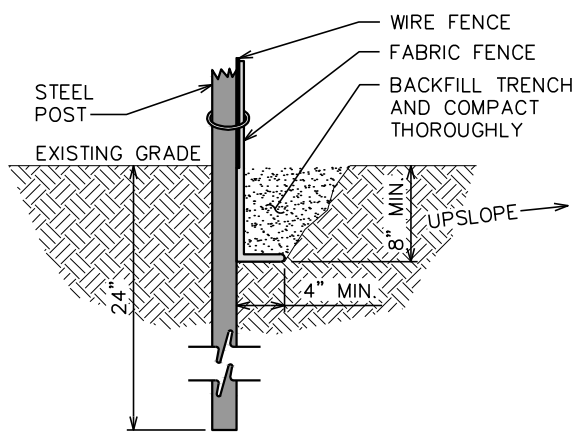
2

TEP #: 131147



NOTES:

1. FILTER FABRIC SHALL CONFORM TO THE REQUIREMENTS LISTED IN ASTM D 6461.
2. ENDS OF INDIVIDUAL FILTER FABRIC SHALL BE SECURELY FASTENED AT A SUPPORT POST WITH 4 FEET MINIMUM OVERLAP TO THE NEXT POST
3. PLACE 12 INCHES OF FABRIC ALONG THE BOTTOM AND SIDE OF THE TRENCH.
4. INSPECT SEDIMENT FENCE(S) AT LEAST ONCE A WEEK AND AFTER EACH RAINFALL.
5. REMOVE SEDIMENT DEPOSITS AS NECESSARY TO PROVIDE ADEQUATE STORAGE VOLUME FOR THE NEXT RAIN AND TO REDUCE PRESSURE ON THE FENCE.
6. AFTER CONSTRUCTION IS COMPLETE, THE CONTRACTOR SHALL REMOVE ALL FENCING MATERIALS AND UNSTABLE SEDIMENT DEPOSITS, BRING THE AREA TO GRADE AND PROPERLY STABILIZE THE SITE.



SECTION A-A

STANDARD SILT FENCE DETAIL

SCALE: N.T.S.

SITE DATA TABLE

TOTAL PARCEL AREA:	10.29 ACRES±
EXISTING IMPERVIOUS:	0.12 ACRES± (1.17%)
PROPOSED IMPERVIOUS:	0.26 ACRES± (2.53%)
TOTAL IMPERVIOUS:	0.38 ACRES± (3.69%)
PROPOSED ACCESS DRIVE DISTURBED AREA:	0.23 ACRES± (2.24%)
PROPOSED COMPOUND DISTURBED AREA:	0.22 ACRES± (2.14%)
TOTAL PROPOSED DISTURBED AREA:	0.45 ACRES± (4.37%) (19,602± SQ. FT.)

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N.C. LICENSE # C-1794

SEAL:

June 6, 2014

5	06-06-14	CONSTRUCTION
4	05-29-14	CONSTRUCTION
3	05-20-14	CONSTRUCTION
2	04-30-14	CONSTRUCTION
REV	DATE	ISSUED FOR:

DRAWN BY: KWJ CHECKED BY: GMA

SHEET TITLE:

SOIL & EROSION CONTROL PLAN

SHEET NUMBER: **C-13**

REVISION: **5**

TEP #: 131147

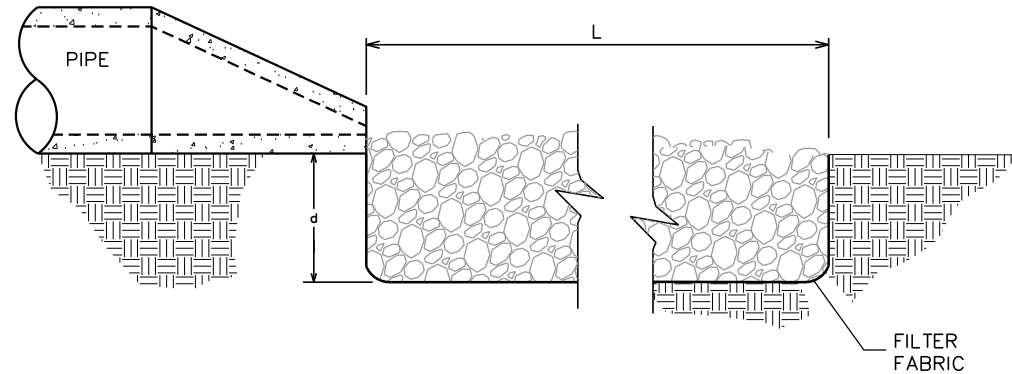
SOIL & EROSION CONTROL PLAN

SCALE: 1" = 40'

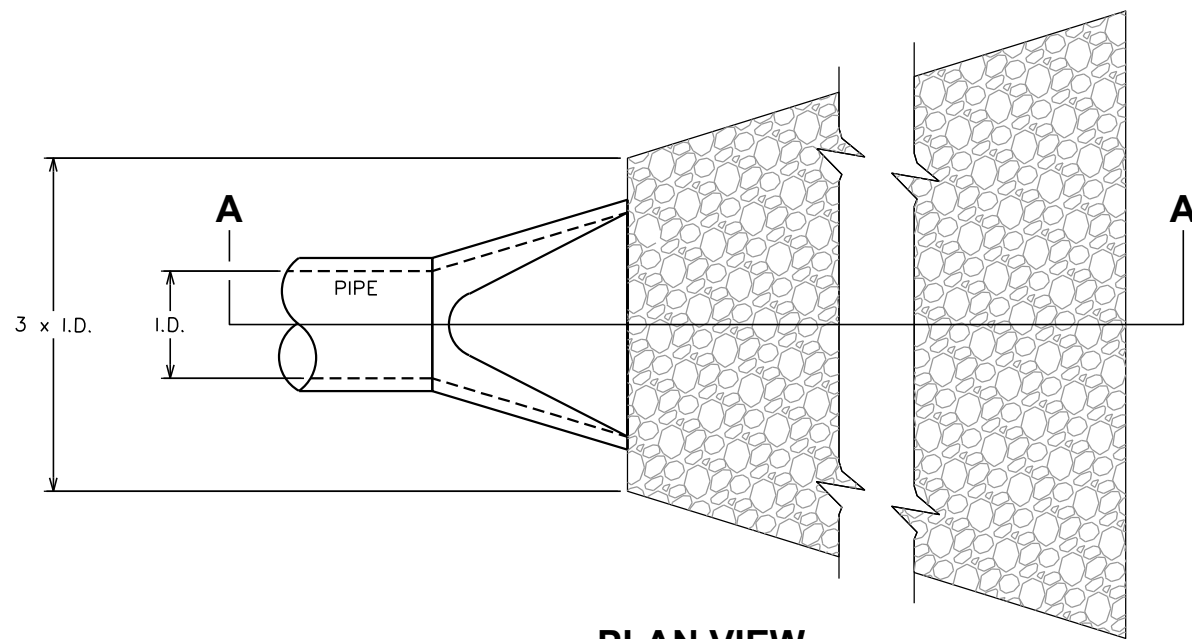


NOTES:

1. L = THE LENGTH OF THE RIPRAP APRON.
2. d = 1.5 TIMES THE MAXIMUM STONE DIAMETER BUT NOT LESS THAN 6" (INCHES).
3. A FILTER BLANKET OR FILTER FABRIC SHOULD BE INSTALLED BETWEEN THE RIPRAP AND SOIL FOUNDATION.



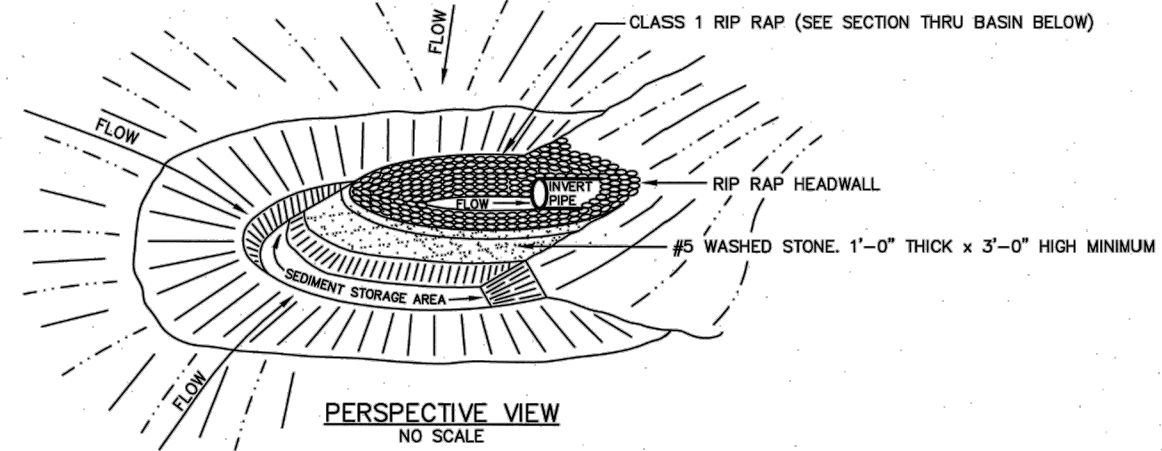
SECTION 'A-A'



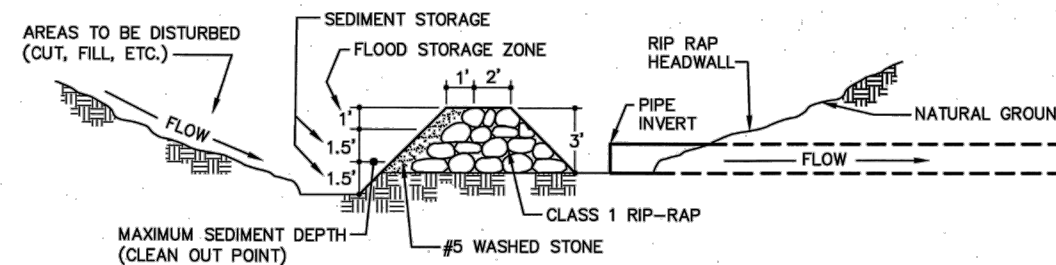
PLAN VIEW

PIPE OUTLET PROTECTION

SCALE: N.T.S.



PERSPECTIVE VIEW
NO SCALE

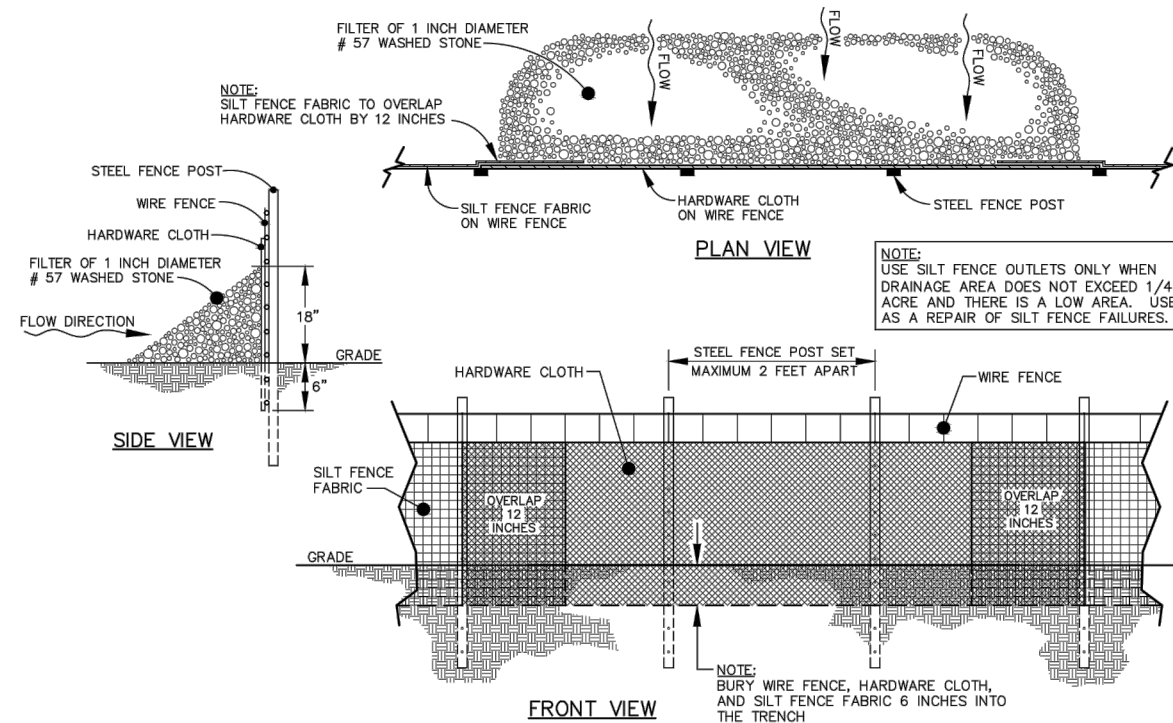


SECTION THRU CATCH BASIN, FILTER AND CULVERT PIPE

NO SCALE

PIPE INLET PROTECTION DETAIL

SCALE: N.T.S.



STANDARD SILT FENCE OUTLET DETAIL

SCALE: N.T.S.

PLANS PREPARED FOR:

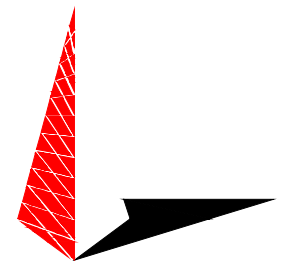


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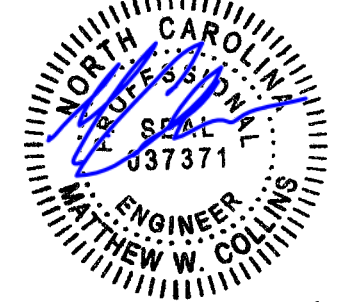
PLANS PREPARED BY:



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0	01-13-14	PRELIMINARY

DRAWN BY: JJC CHECKED BY: GMA

SHEET TITLE:

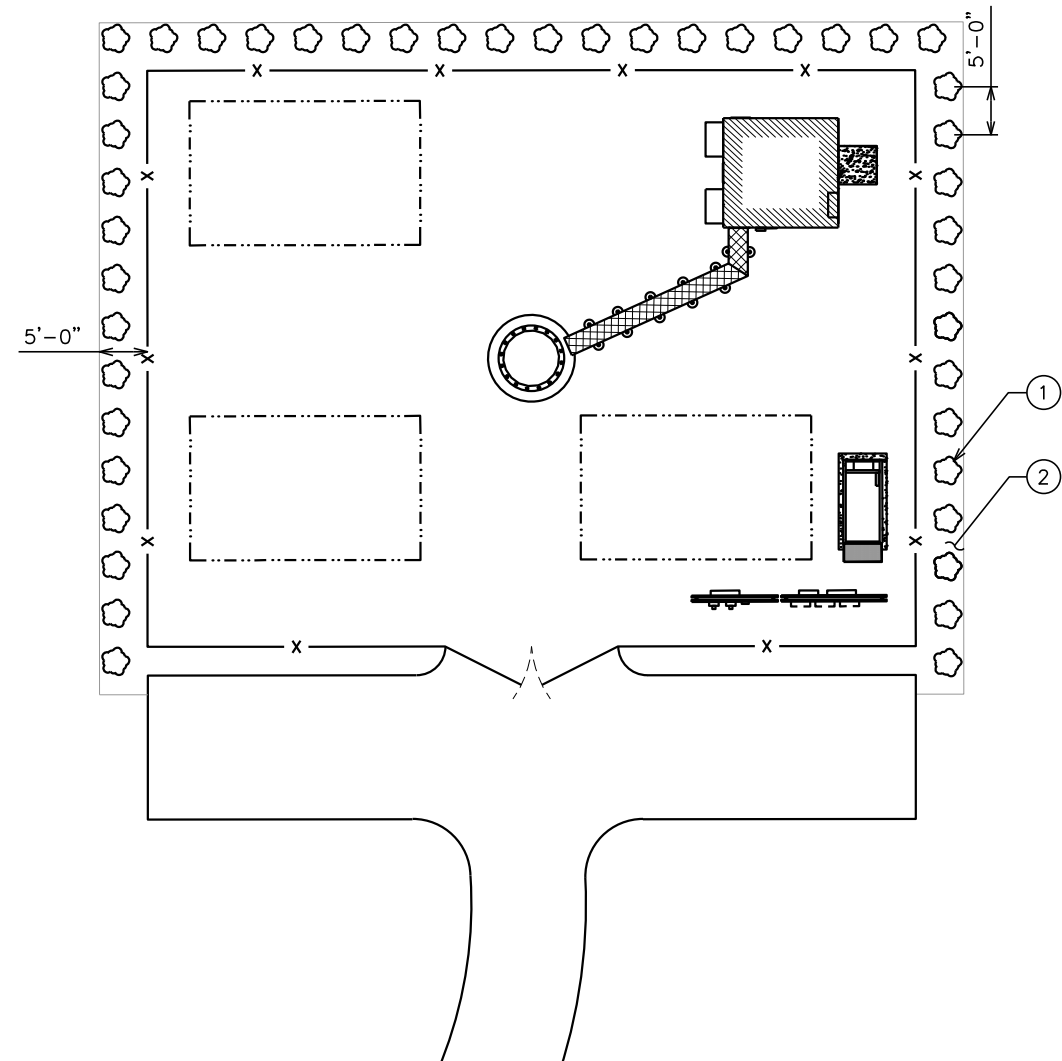
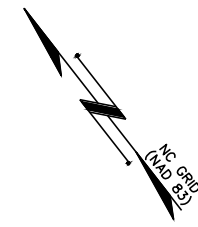
SOIL & EROSION CONTROL DETAILS

SHEET NUMBER: **C-14** REVISION: **2**

TEP #: 131147

LANDSCAPE NOTES:

1. TOPSOIL TO BE PROVIDED BY SITE CONTRACTOR IN ROUGH GRADE TO WITHIN 1" OF FINISH GRADE.
2. EACH PLANT TO BE FREE FROM DISEASE, INSECT INFESTATION, AND MECHANICAL INJURIES, AND IN ALL RESPECTS BE SUITABLE FOR FIELD PLANTING.
3. ALL PLANTS TO BE FULLY GUARANTEED (LABOR AND MATERIALS) FOR A PERIOD OF NOT LESS THAN ONE (1) YEAR FROM DATE OF INSTALLATION.
4. ALL PLANTS SHALL CONFORM TO THE AMERICAN STANDARD FOR NURSERY STOCK, ANSI Z60.1-1973 IN REGARD TO SIZING, GROWING, AND B&B SPECIFICATIONS.
5. THE CONTRACTOR SHALL PROTECT ALL EXISTING TREES AND SHRUBS WITHIN THE CONSTRUCTION AREA IDENTIFIED AS "TO REMAIN" FROM DAMAGE BY EQUIPMENT AND CONSTRUCTION ACTIVITIES.




PLANS PREPARED FOR:

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SEAL:

 APRIL 30, 2014

COMPOUND DETAIL
 SCALE: 1" = 20'



PLANTING SCHEDULE								
ITEM	QTY.	BOTANICAL NAME	COMMON NAME	HEIGHT @ PLANTING	HEIGHT @ 4 YRS.	SPREAD/CALIPER	SPACING	REMARKS
SHRUBS								
①	44	(MORELLA CERIFERA)	WAX MYRTLE	2'-0" (MIN)	6'-0" (MIN)	N/A	5' (MIN)	SHOWN AS 
MULCH								
②	-	-	MULCH	-	-	-	-	APPLY 3"-4" DEEP WITHIN BUFFERYARD FOR GROUND COVER

2	04-30-14	CONSTRUCTION
1	01-22-14	PRELIMINARY
0	01-13-14	PRELIMINARY
REV	DATE	ISSUED FOR:

DRAWN BY: MAW CHECKED BY: SCB

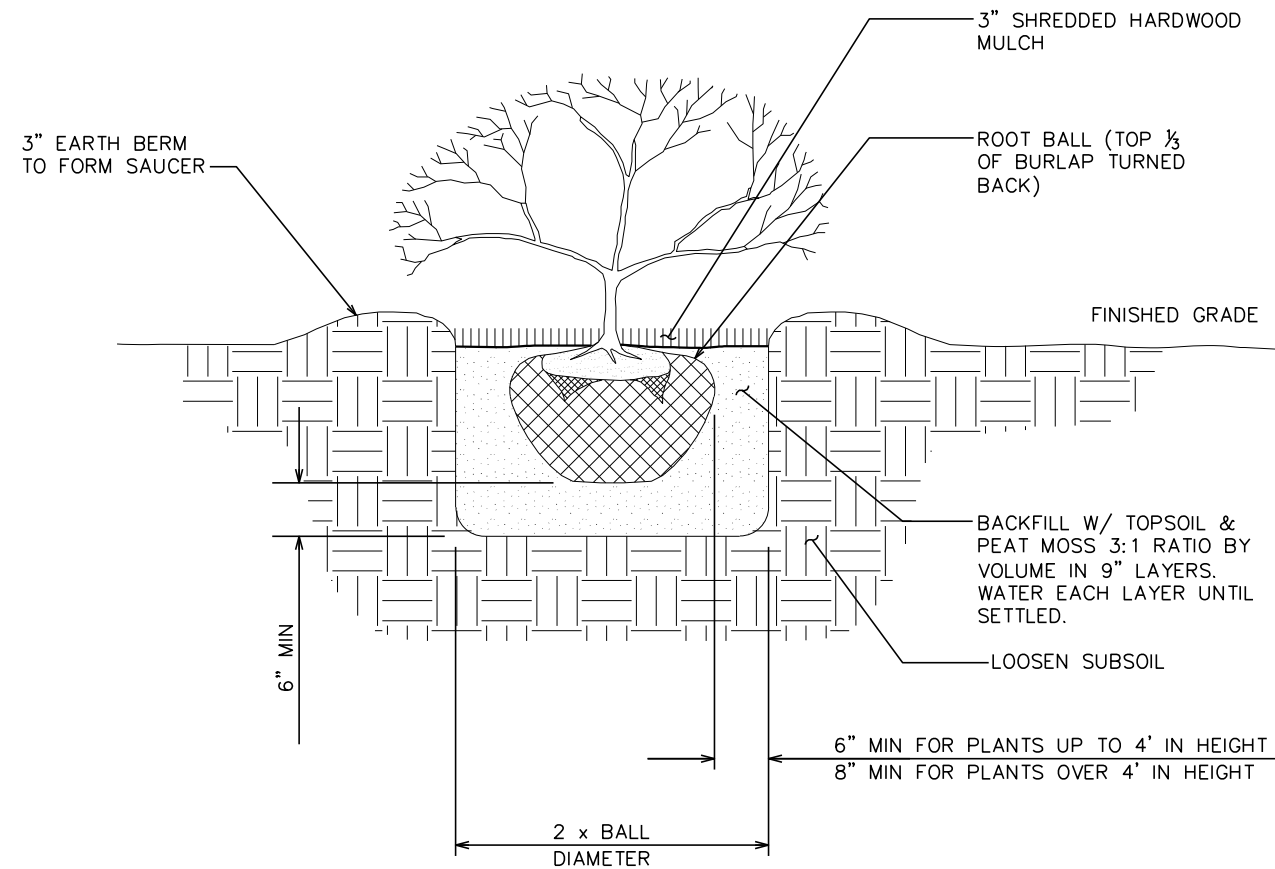
SHEET TITLE:
LANDSCAPING PLAN

SHEET NUMBER:
L-1

REVISION:
2
 TEP #: 131147

NOTE:

SEE LANDSCAPING NOTES ON L-1



PLANS PREPARED FOR:

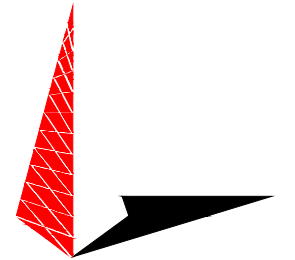


AMERICAN TOWER CORPORATION
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SEAL:



April 30, 2014

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0	01-13-14	PRELIMINARY

DRAWN BY: JHJ CHECKED BY: GMA

SHEET TITLE:

**LANDSCAPING
DETAILS**

SHEET NUMBER:

L-2

REVISION:

2

TEP #: 131147

LANDSCAPING DETAILS

SCALE: N.T.S.

ELECTRICAL NOTES:

SCOPE:

- SHALL INCLUDE ALL LABOR, MATERIALS AND APPLIANCES REQUIRED FOR THE FURNISHING, INSTALLING AND TESTING, COMPLETE AND READY FOR OPERATION OF ALL WORK SHOWN ON THE DRAWING AS SPECIFIED HEREIN:
 - ELECTRIC SERVICE
 - CONDUIT AND RACEWAY
 - CONDUCTORS
 - MISCELLANEOUS MATERIALS
 - TELEPHONE CONDUITS
 - LIGHTNING ARRESTING SYSTEM

CODES

- THE INSTALLATION SHALL COMPLY WITH ALL APPLICABLE LAWS AND CODES. THESE INCLUDE BUT ARE NOT LIMITED TO THE LATEST EDITIONS OF:
 - THE NATIONAL ELECTRICAL SAFETY CODE
 - THE NATIONAL ELECTRIC CODE – NFPA-70
 - THE INTERNATIONAL ELECTRIC CODE – IEC
 - LOCAL AND STATE AMENDMENTS
 - REGULATIONS OF THE SERVING UTILITY COMPANY
 - NCEC
- ALL PERMITS REQUIRED SHALL BE OBTAINED BY THE CONTRACTOR.
- AFTER COMPLETION AND FINAL INSPECTION OF THE WORK, THE OWNER SHALL BE FURNISHED A CERTIFICATE OF COMPLETION AND APPROVAL.

TESTING

- UPON COMPLETION OF THE INSTALLATION, OPERATE AND ADJUST ALL EQUIPMENT AND SYSTEMS TO MEET SPECIFIED PERFORMANCE REQUIREMENTS. ALL TESTING SHALL BE DONE BY QUALIFIED PERSONNEL.

GUARANTEE

- IN ADDITION TO THE GUARANTEE OF THE EQUIPMENT BY THE MANUFACTURER, EACH PIECE OF EQUIPMENT SPECIFIED HEREIN SHALL ALSO BE GUARANTEED FOR DEFECTS OF MATERIAL OR WORKMANSHIP OCCURRING DURING A PERIOD OF ONE (1) YEAR FROM FINAL ACCEPTANCE OF THE WORK BY THE OWNER. WITHOUT EXPENSE TO THE OWNER ALL WARRANTY CERTIFICATES & GUARANTEES FURNISHED BY THE MANUFACTURERS SHALL BE TURNED OVER TO THE OWNER.

CO-ORDINATION:

- CONTRACTOR SHALL COORDINATE ALL WORK WITH THE POWER AND TELEPHONE COMPANIES AND SHALL COMPLY WITH ALL SERVICE REQUIREMENTS OF EACH UTILITY COMPANY.

EXAMINATION OF SITE

- PRIOR TO BEGINNING WORK, THE CONTRACTOR SHALL VISIT THE SITE OF THE JOB AND SHALL FAMILIARIZE HIMSELF WITH ALL CONDITIONS AFFECTING THE PROPOSED ELECTRICAL INSTALLATION AND SHALL MAKE PROVISIONS AS TO THE COST THEREOF. FAILURE TO COMPLY WITH THE INTENT OF THIS PARAGRAPH WILL IN NO WAY RELIEVE THE CONTRACTOR OF PERFORMING ALL WORK NECESSARY FOR A COMPLETE AND WORKING SYSTEM OR SYSTEMS.

CUTTING, PATCHING AND EXCAVATION:

- COORDINATION OF ALL SLEEVES, CHASES, ETC., WILL BE REQUIRED PRIOR TO THE CONSTRUCTION OF ANY PORTION OF THE WORK. ALL CUTTING AND PATCHING OF WALLS, PARTITIONS, FLOORS, AND CHASES IN CONCRETE, WOOD, STEEL OR MASONRY SHALL BE DONE AS PROVIDED ON THE DRAWINGS.
- ALL NECESSARY EXCAVATIONS AND BACKFILLING INCIDENTAL TO THE WORK UNLESS SPECIFICALLY NOTED OTHERWISE ON THE DRAWING SHALL BE PROVIDED BY THIS CONTRACTOR.
- SEAL ALL PENETRATION THROUGH WALL AND FLOORS WITH APPROVED GROUT.

EXTERIOR CONDUIT:

- ALL EXPOSED CONDUIT SHALL BE NEATLY INSTALLED AND RUN PARALLEL OR PERPENDICULAR TO STRUCTURAL ELEMENTS. SUPPORTS AND MOUNTING HARDWARE SHALL BE HOT DIPPED GALVANIZED STEEL.

RACEWAYS

- ALL CONDUCTORS SHALL BE INSTALLED IN CONDUIT. ALL CONDUIT SHALL BE RIGID STEEL, EMT OR SCH40 PVC AS INDICATED ON THE DRAWINGS.
- WHERE INSTALLED ON EXTERIORS AND EXPOSED TO DAMAGE, ALL CONDUIT SHALL BE RIGID STEEL. ALUMINUM CONDUIT SHALL NOT BE ALLOWED.
- CONCEALED CONDUIT IN WALLS OR INTERIOR SPACES ABOVE GRADE MAY BE EMT.
- UNDERGROUND CONDUITS SHALL BE RIGID STEEL OR SCHEDULE 40 PVC AS INDICATED ON THE DRAWINGS.
- ALL CONDUIT RUNS SHALL USE APPROVED COUPLINGS AND CONNECTORS. PROVIDE INSULATED BUSHING FOR ALL CONDUIT TERMINATIONS. ALL CONDUIT RUNS IN A WET LOCATION SHALL HAVE WATERPROOF FITTINGS.
- PROVIDE SUPPORTS FOR ALL CONDUITS IN ACCORDANCE WITH NEC REQUIREMENTS. ALL CONDUITS SHALL BE SIZED AS REQUIRED BY NEC.
- BURIAL DEPTH OF ALL CONDUITS SHALL BE AS REQUIRED BY CODE FOR EACH SPECIFIC CONDUIT TYPE AND APPLICATION.
- CONDUIT ROUTES ARE SCHEMATIC. CONTRACTOR SHALL FIELD VERIFY BEFORE BID. COORDINATE ROUTE WITH WIRELESS CARRIER AND BUILDING OWNER.

EQUIPMENT:

- ALL DISCONNECT SWITCHES SHALL BE SERVICE ENTRANCE RATED, HEAVY DUTY TYPE.
- NEW CIRCUIT BREAKERS SHALL BE RATED TO WITHSTAND THE MAXIMUM AVAILABLE FAULT CURRENT AS DETERMINED BY THE LOCAL UTILITY. CONTRACTOR SHALL VERIFY MAXIMUM AVAILABLE FAULT CURRENT, AND COORDINATE INSTALLATION WITH THE LOCAL UTILITY BEFORE STARTING WORK.
- ALL ELECTRICAL MATERIALS, DEVICES, APPLIANCES AND EQUIPMENT SHALL BE LABEL/LISTED BY UL OR A NORTH CAROLINA APPROVED THIRD PARTY TESTING AGENCY.

CONDUCTORS

- FURNISH AND INSTALL CONDUCTORS CALLED FOR IN THE DRAWINGS. ALL CONDUCTORS SHALL HAVE TYPE THWN (MIN) (75° C) INSULATION, RATED FOR 600 VOLTS.
- ALL CONDUCTORS SHALL BE COPPER, THE USE OF ALUMINUM CONDUCTORS SHALL NOT BE ALLOWED. ALL CONDUCTORS SHALL BE UL LISTED AND SHALL BE PROVIDED AND INSTALLED AS FOLLOWS:
 - MINIMUM WIRE SIZE SHALL BE #12 AWG.
 - ALL CONDUCTORS SIZE #8 AND LARGER SHALL BE STRANDED. CONDUCTORS SIZED #10 AND SMALLER MAY BE SOLID OR STRANDED.
 - CONNECTION FOR #10 AWG AND SMALLER SHALL BE BY TWISTING TIGHT AND INSTALLING INSULATED PRESSURE OR WIRE NUT CONNECTIONS.
 - CONNECTION FOR #8 AWG AND LARGER SHALL BE BY USE OF STEEL CRIMP-ON SLEEVES WITH NYLON INSULATOR.
- ALL CONDUCTORS SHALL BE COLOR CODED IN ACCORDANCE WITH NEC STANDARDS.
- THE RACEWAY SYSTEM SHALL BE COMPLETE BEFORE INSTALLING CONDUCTORS

PENETRATIONS:


- CONTRACTOR SHALL COMPLY WITH UL PENETRATION DETAILS FOR PENETRATIONS OF ALL RATED WALLS, ROOF, ETC.

GROUNDING

- ALL ELECTRICAL NEUTRALS, RACEWAYS AND NON-CURRENT CARRYING PARTS OF ELECTRICAL EQUIPMENT AND ASSOCIATED ENCLOSURES SHALL BE GROUNDED IN ACCORDANCE WITH NEC ARTICLE 250. THIS SHALL INCLUDE NEUTRAL CONDUCTORS, CONDUITS, SUPPORTS, CABINETS, BOXES, GROUND BUSSES, ETC. THE NEUTRAL CONDUCTOR FOR EACH SYSTEM SHALL BE GROUNDED BY ONE POINT ONLY.
- PROVIDE GROUND CONDUCTOR IN ALL RACEWAYS.
- PROVIDE BONDING AND GROUND TO MEET NFPA 780 – LIGHTNING PROTECTION AS A MINIMUM.
- PROVIDE GROUNDING SYSTEM AS INDICATED ON THE DRAWINGS, AS REQUIRED BY THE NATIONAL ELECTRIC CODE AND RADIO EQUIPMENT MANUFACTURER.

ABBREVIATIONS AND LEGEND

A	– AMPERE	PVC	– SCH40 RIGID NON-METALLIC CONDUIT
AFG	– ABOVE FINISHED GRADE	RGS	– RIGID GALVANIZED STEEL CONDUIT
ATS	– AUTOMATIC TRANSFER SWITCH	SW	– SWITCH
AWG	– AMERICAN WIRE GAUGE	TGB	– TOWER GROUND BAR
BCW	– BARE COPPER WIRE	UL	– UNDERWRITERS LABORATORIES
BFG	– BELOW FINISHED GRADE	V	– VOLTAGE
BKR	– BREAKER	W	– WATTS
C	– CONDUIT	XFMR	– TRANSFORMER
CKT	– CIRCUIT	XMTR	– TRANSMITTER
DISC	– DISCONNECT		
EGR	– EXTERNAL GROUND RING		
EMT	– ELECTRIC METALLIC TUBING		
FSC	– FLEXIBLE STEEL CONDUIT		
GEN	– GENERATOR		
GPS	– GLOBAL POSITIONING SYSTEM		
GRD	– GROUND		
IGB	– ISOLATED GROUND BAR		
IGR	– INTERIOR GROUND RING (HALO)		
KW	– KILOWATTS		
NEC	– NATIONAL ELECTRIC CODE		
PCS	– PERSONAL COMMUNICATION SYSTEM		
PH	– PHASE		
PNL	– PANEL		
PNLBD	– PANELBOARD		

----	E	----	UNDERGROUND ELECTRICAL CONDUIT
----	T	----	UNDERGROUND TELEPHONE CONDUIT
			KILOWATT-HOUR METER
-----		-----	UNDERGROUND BONDING AND GROUNDING CONDUCTOR.
	∅		GROUND ROD
	●		CADWELD
	⊠		GROUND ROD WITH INSPECTION WELL

PLANS PREPARED FOR:



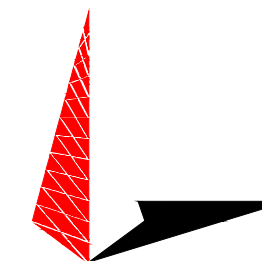
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SEAL:



April 30, 2014

2	04-30-14	CONSTRUCTION
1	01-22-14	PRELIMINARY
0	01-13-14	PRELIMINARY
REV	DATE	ISSUED FOR:

DRAWN BY: SCB CHECKED BY: FTH

SHEET TITLE:

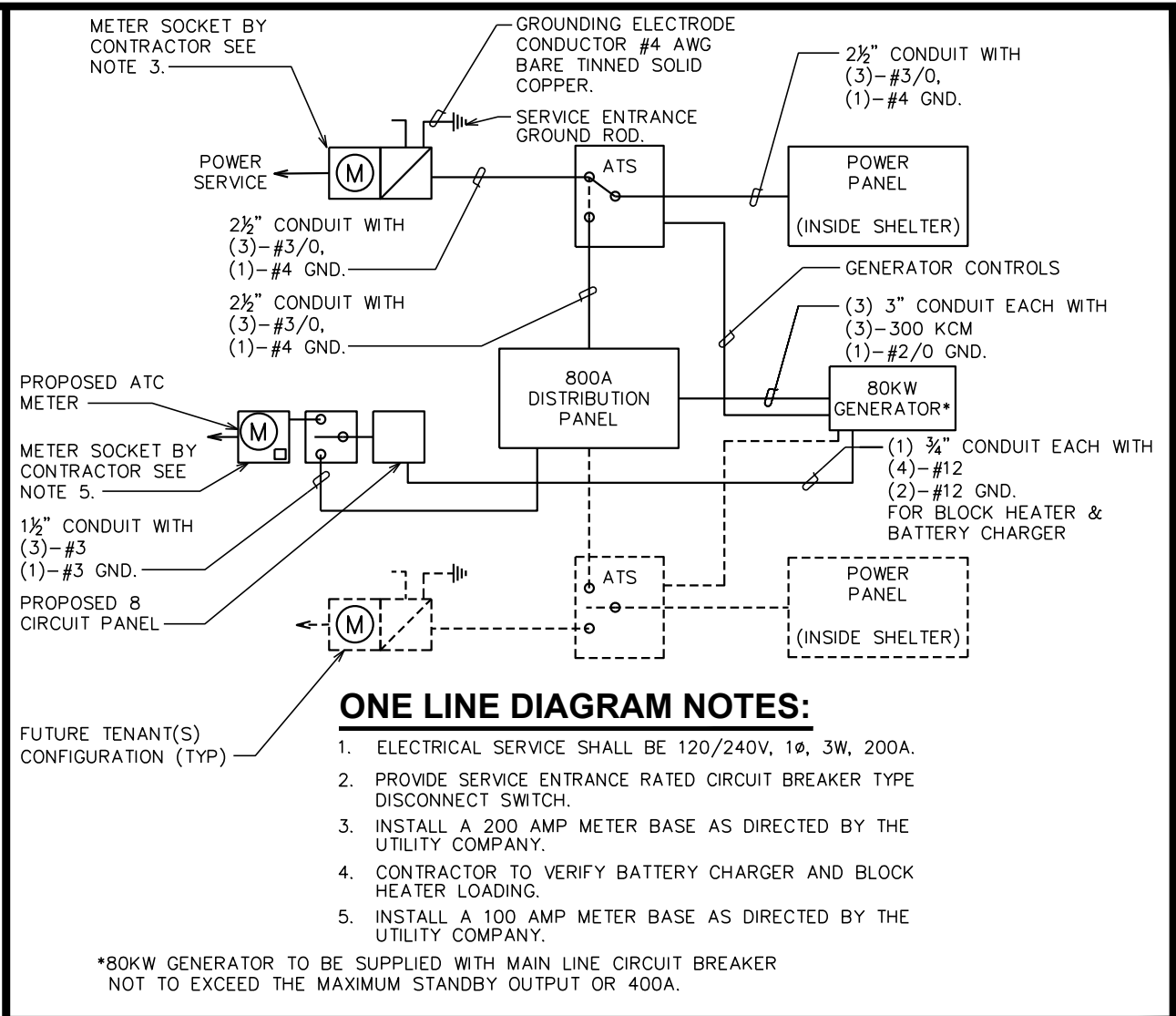
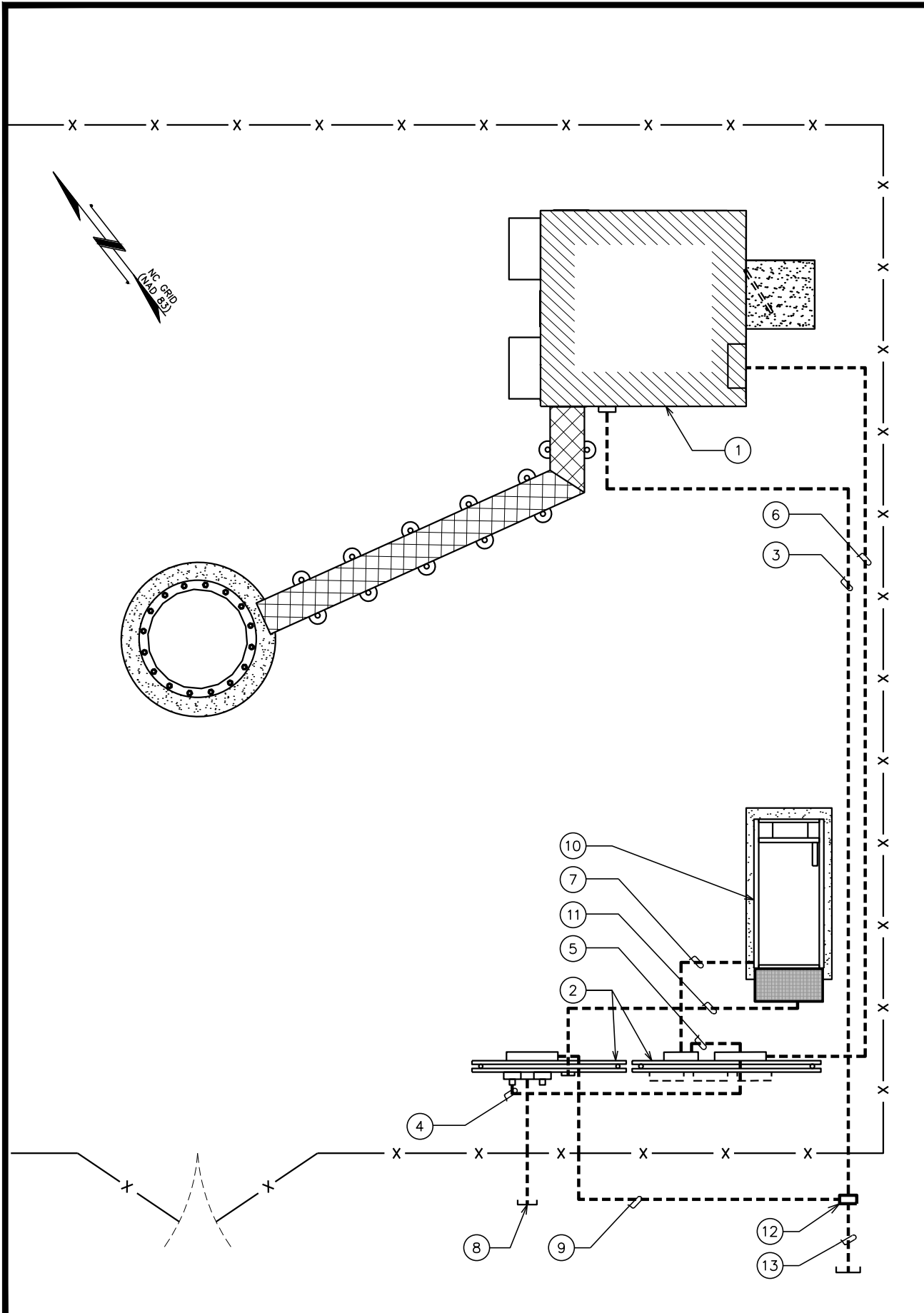
ELECTRICAL
NOTES

SHEET NUMBER: REVISION:

E-1

2

TEP #: 131147



ONE LINE DIAGRAM NOTES:

1. ELECTRICAL SERVICE SHALL BE 120/240V, 1 ϕ , 3W, 200A.
2. PROVIDE SERVICE ENTRANCE RATED CIRCUIT BREAKER TYPE DISCONNECT SWITCH.
3. INSTALL A 200 AMP METER BASE AS DIRECTED BY THE UTILITY COMPANY.
4. CONTRACTOR TO VERIFY BATTERY CHARGER AND BLOCK HEATER LOADING.
5. INSTALL A 100 AMP METER BASE AS DIRECTED BY THE UTILITY COMPANY.

ONE LINE DIAGRAM

SCALE: N.T.S.

PLAN NOTES:

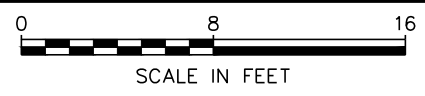
- 1 PROPOSED AT&T EQUIPMENT SHELTER.
- 2 PROPOSED H-FRAMES SEE SHEETS E-5 & E-5A FOR DETAILS
- 3 (1) 4" TELCO CONDUIT W/ (3) 1 1/4" FLEX INTERDUCT & PULL STRING FOR FIBER POWER LEADS.
- 4 (1) 2 1/2" POWER CONDUIT FROM PROPOSED METER TO 200A AUTOMATIC TRANSFER SWITCH.
- 5 (1) 2 1/2" POWER CONDUIT FROM 800A DISTRIBUTION PANEL TO 200A AUTOMATIC TRANSFER SWITCH.
- 6 (1) 2 1/2" POWER CONDUIT FROM 200A AUTOMATIC TRANSFER SWITCH TO TENANT SHELTER DISTRIBUTION PANEL.
- 7 (3) 3" POWER CONDUIT FROM THE PROPOSED GENERATOR TO THE 800A DISTRIBUTION PANEL
- 8 PROPOSED (2) 4" POWER CONDUIT STUBBED UP 3' OUTSIDE FENCE. CONTRACTOR TO COORDINATE SERVICE WITH LOCAL POWER COMPANY.
- 9 PROPOSED (1) 4" TELCO/FIBER CONDUIT FROM TELCO EQUIPMENT CABINET TO FIBER HANDHOLE.
- 10 PROPOSED GENERATOR. SEE DETAILS SHEETS C-6 AND C-7
- 11 AUTOMATIC START-UP AND INTER CARRIER CONTROL BY GENERATOR COMPANY.
- 12 PROPOSED FIBER HANDHOLE BY AT&T.
- 13 PROPOSED 4" CONDUIT W/ PULL STRING FROM FIBER HANDHOLE TO BE STUBBED UP 10' FROM R.O.W. ROUTE TO FOLLOW ACCESS & UTILITY EASEMENT.

TRENCHING NOTE:

PRIOR TO ANY DIGGING, THE CONTRACTOR SHALL IDENTIFY ALL EXISTING UTILITIES ON SITE.

SERVICE ROUTING PLAN

SCALE: 1/8" = 1'-0"



PLANS PREPARED FOR:

AMERICAN TOWER CORPORATION
3500 REGENCY PARKWAY, STE. 100
CARY, NC 27518

PROJECT INFORMATION:

AT&T SITE #: 368-317
ATC SITE #: 280422
FARRINGTON NC
464 OLD FARRINGTON RD.
CHAPEL HILL, NC 27514
(CHATHAM COUNTY)

PLANS PREPARED BY:

TOWER ENGINEERING PROFESSIONALS
3703 JUNCTION BOULEVARD
RALEIGH, NC 27603-5263
OFFICE: (919) 661-6351
www.tepgroup.net
N.C. LICENSE # C-1794

SEAL:

April 30, 2014

REV	DATE	ISSUED FOR:
2	04-30-14	CONSTRUCTION
1	01-22-14	PRELIMINARY
0	01-13-14	PRELIMINARY

DRAWN BY: C5N CHECKED BY: FTH

SHEET TITLE:

SERVICE ROUTING PLAN & ONE-LINE DIAGRAM

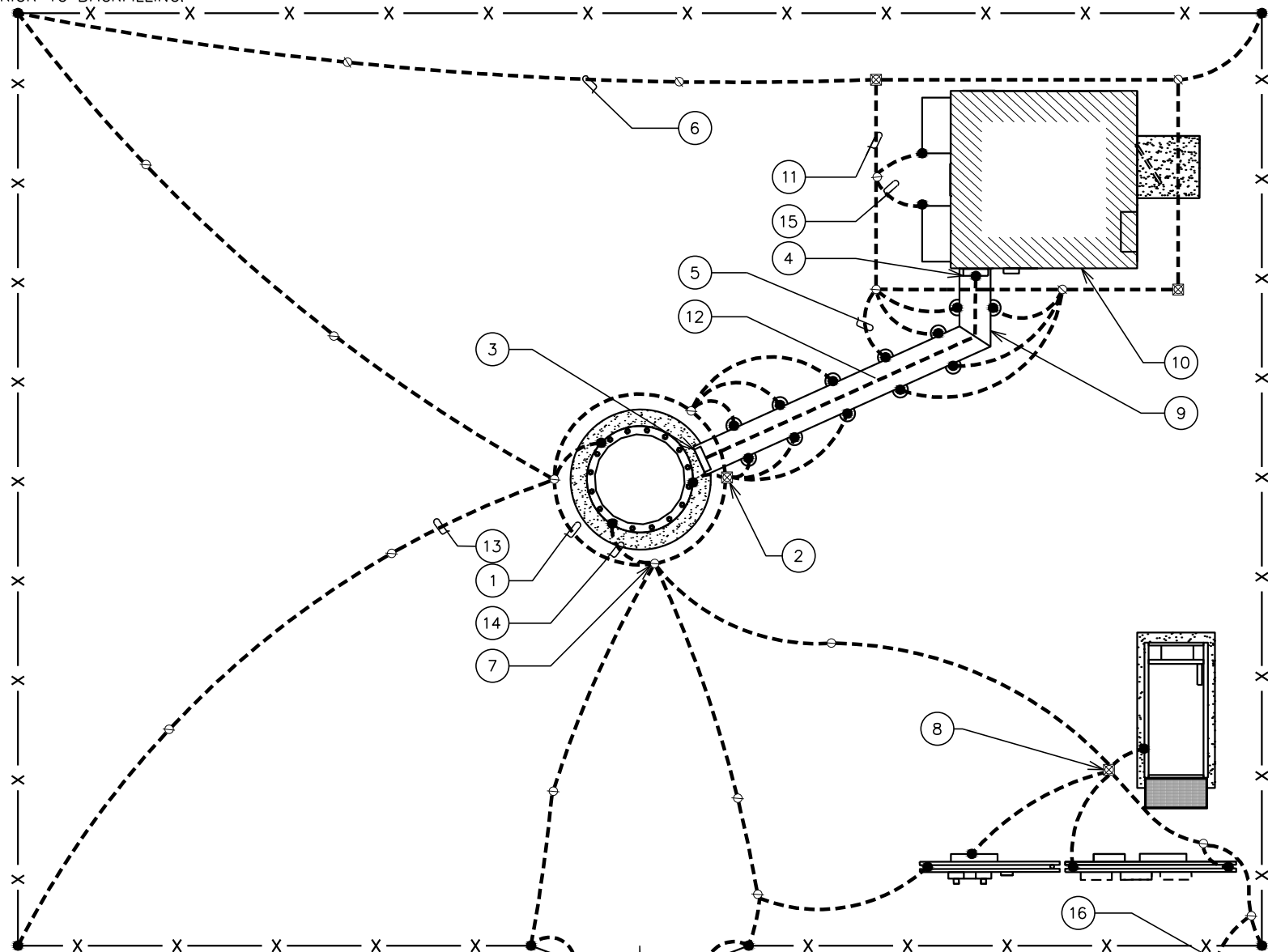
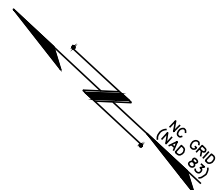
SHEET NUMBER: **E-2**

REVISION: **2**

TEP #: 131147

GROUNDING NOTES

- GROUNDING ELECTRODES SHALL BE CONNECTED IN A RING USING #2 AWG BARE TINNED COPPER WIRE. THE TOP OF THE GROUND RODS AND THE RING CONDUCTOR SHALL BE 2 FEET BELOW FINISHED GRADE. GROUNDING ELECTRODES SHALL BE DRIVEN ON 10'-0" CENTERS. (MIN. 15'-0" MAX)
- BONDING OF THE GROUNDED CONDUCTOR (NEUTRAL) AND THE GROUNDING CONDUCTOR SHALL BE AT THE SERVICE DISCONNECTING MEANS/ BONDING JUMPER SHALL BE INSTALLED PER N.E.C. ARTICLE 250.30.
- CONTRACTOR SHALL NOTIFY THE CONSTRUCTION MANAGER WHEN THE GROUNDING SYSTEM IS COMPLETE. THE CONSTRUCTION MANAGER SHALL INSPECT THE GROUNDING SYSTEM PRIOR TO BACKFILLING.

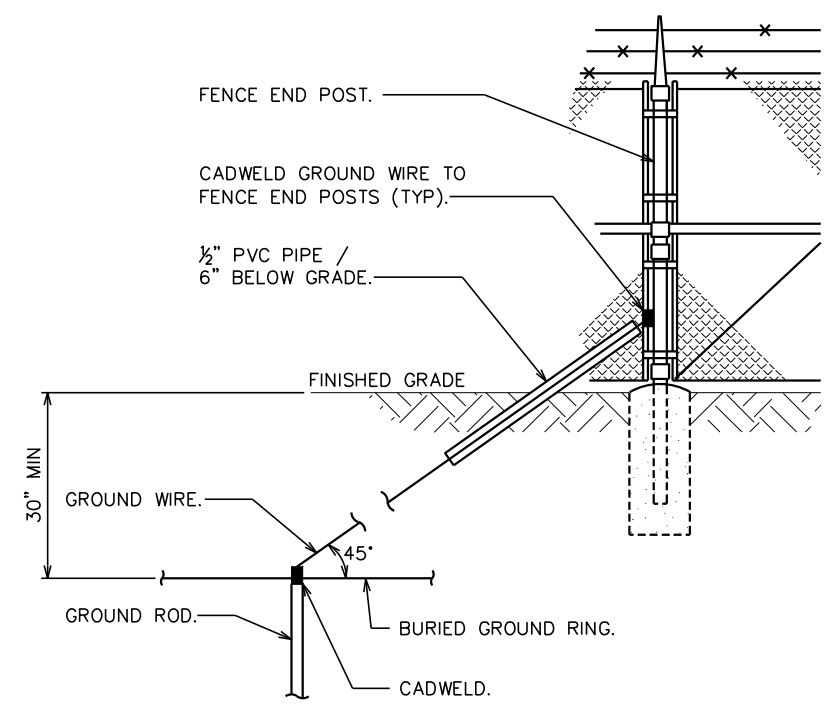
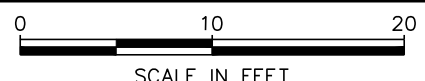


DRAWING NOTES:

- | | | |
|---|---|--|
| ① PROPOSED TOWER GROUND RING | ⑥ #2 AWG BOND TO PROPOSED GROUND RING (TYP OF 2) | ⑫ #2 AWG BARE SOLID TINNED COPPER WIRE BETWEEN BUS BARS |
| ② INSPECTION WELL AT CONNECTION TO PROPOSED GROUND RING | ⑦ 5/8" x 10' COPPER GROUND ROD (TYP) | ⑬ TOWER BONDING TO FENCE (TYP OF 2) |
| ③ TOWER BUS BAR | ⑧ SERVICE ENTRANCE GROUND ROD WITH INSPECTION WELL. SEE E-6 FOR DETAIL. | ⑭ TOWER BONDING TO TOWER GROUND RING (TYP OF 3) |
| ④ ICE BRIDGE BUS BAR | ⑨ ICE BRIDGE | ⑮ PROPOSED HVAC GROUNDING (TYP OF 2). MECHANICAL FASTENERS AT ABOVE GROUND CONNECTIONS AS ALLOWED BY CODE. |
| ⑤ #2 AWG ICE BRIDGE BOND BURIED 30" BFG (TYP) | ⑩ EQUIPMENT SHELTER | ⑯ PROPOSED #2 GROUND TO BE STUBBED UP NEXT TO PROPOSED FIBER HANDHOLE. |
| | ⑪ #2 AWG GROUND RING BURIED 30" BFG | |

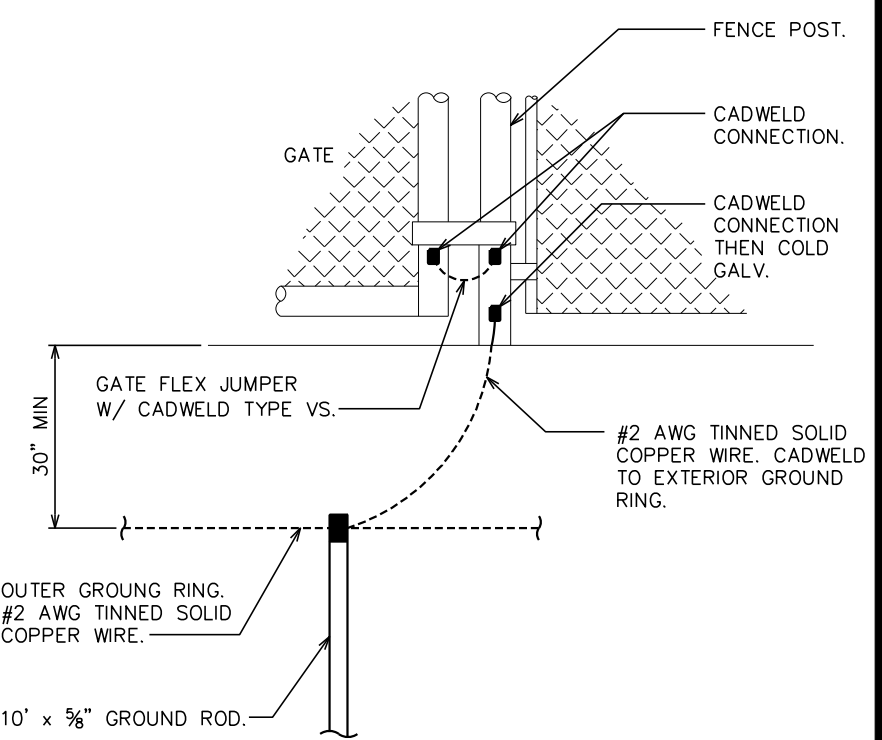
TOWER GROUNDING PLAN

SCALE: 1" = 10'



FENCE GROUNDING

SCALE: N.T.S.



TYPICAL GATE POST GROUNDING DETAIL

SCALE: N.T.S.

PLANS PREPARED FOR:

3500 REGENCY PARKWAY, STE. 100
CARY, NC 27518

PROJECT INFORMATION:

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ATC SITE #: 280422
FARRINGTON NC
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(CHATHAM COUNTY)

PLANS PREPARED BY:

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3703 JUNCTION BOULEVARD
RALEIGH, NC 27603-5263
OFFICE: (919) 661-6351
www.tepgroup.net

N.C. LICENSE # C-1794

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DRAWN BY: SCB CHECKED BY: FTH

SHEET TITLE:

TOWER & SHELTER GROUNDING PLAN

SHEET NUMBER:	REVISION:
E-3	2
	TEP #: 131147

800A ATC DISTRIBUTION PANEL SCHEDULE

LOAD SERVED	VOLT AMPERES (WATTS)		WIRE	BREAKER		CKT #	PHASE	CKT #	BREAKER		WIRE	VOLT AMPERES (WATTS)		LOAD SERVED
	L1	L2		P	TRIP				L1	L2				
AT&T ATS	10695		3/0	2	200	1	A	1						FUTURE CARRIER SERVICE T.B.D.
		11230				3	B	3						FUTURE CARRIER SERVICE T.B.D.
FUTURE CARRIER SERVICE T.B.D.						5	A	5						FUTURE CARRIER SERVICE T.B.D.
						7	B	7						FUTURE CARRIER SERVICE T.B.D.
FUTURE CARRIER SERVICE T.B.D.						9	A	9						SPARE
						11	B	11						SPARE
SPARE						13	A	13						SPARE
SPARE						15	B	15						SPARE
VOLT AMPS	10695	11230												VOLT AMPS
L1 VOLT AMPERES								10695	11230		L2 VOLT AMPERES			
TOTAL VOLT AMPERES								21925		TOTAL VOLT AMPERES				
TOTAL AMPS								91.35		TOTAL AMPS				

AT&T POWER PANEL SCHEDULE

LOAD SERVED	VOLT AMPERES (WATTS)		WIRE	BREAKER		CKT #	PHASE	CKT #	BREAKER		WIRE	VOLT AMPERES (WATTS)		LOAD SERVED
	L1	L2		P	TRIP				L1	L2				
3 TON HVAC #1	3400		8	2	50	1	A	1						3 TON HVAC #2
		3400				3	B	3					3400	
INTERIOR LIGHTS	335		12	1	15	5	A	5						RECTIFIER #2
INTERIOR RECEPTACLES	1080		12	1	20	7	B	7					800	
EXTERIOR RECEPTACLES	360		12	1	20	9	A	9						RECTIFIER #3
EXTERIOR LIGHTS	150		12	1	15	11	B	11					800	
RECTIFIER #1	800		10	2	30	13	A	13						RECTIFIER #4
		800				15	B	15					800	
						17	A	17						
						19	B	19						
						21	A	21						
						23	B	23						
						25	A	25						
						27	B	27						
						29	A	29						
VOLT AMPS	4895	5430												VOLT AMPS
L1 VOLT AMPERES								10695	11230		L2 VOLT AMPERES			
TOTAL VOLT AMPERES								21925		TOTAL VOLT AMPERES				
TOTAL AMPS								91.35		TOTAL AMPS				
AMPS X 125%								114.19		AMPS X 125%				
X 110% FOR MAIN								125.61		X 110% FOR MAIN				

100A ATC SERVICE PANEL SCHEDULE

LOAD SERVED	VOLT AMPERES (WATTS)		WIRE	BREAKER		CKT #	PHASE	CKT #	BREAKER		WIRE	VOLT AMPERES (WATTS)		LOAD SERVED
	L1	L2		P	TRIP				L1	L2				
BATTERY CHARGER	1440		12	1	20	1	A	1						SPARE
SPARE						3	B	3						BLOCK HEATER
SPARE						5	A	5						SPARE
SPARE						7	B	7						SPARE
VOLT AMPS	1440													VOLT AMPS
L1 VOLT AMPERES								1440	1440		L2 VOLT AMPERES			
TOTAL VOLT AMPERES								2800		TOTAL VOLT AMPERES				
TOTAL AMPS								11.6667		TOTAL AMPS				
AMPS X 125%								14.5833		AMPS X 125%				
X 110% FOR MAIN								16.04		X 110% FOR MAIN				

PANELBOARD SCHEDULE

SCALE: N.T.S.

PLANS PREPARED FOR:

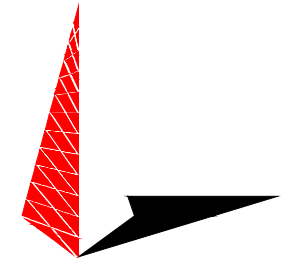


3500 REGENCY PARKWAY, STE. 100
CARY, NC 27518

PROJECT INFORMATION:

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ATC SITE #: 280422
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464 OLD FARRINGTON RD.
CHAPEL HILL, NC 27514
(CHATHAM COUNTY)

PLANS PREPARED BY:



TOWER ENGINEERING PROFESSIONALS

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OFFICE: (919) 661-6351
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N.C. LICENSE # C-1794

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DRAWN BY: CSN CHECKED BY: FTH

SHEET TITLE:

PANELBOARD SCHEDULE

SHEET NUMBER:

E-4

REVISION:

2

TEP #: 131147

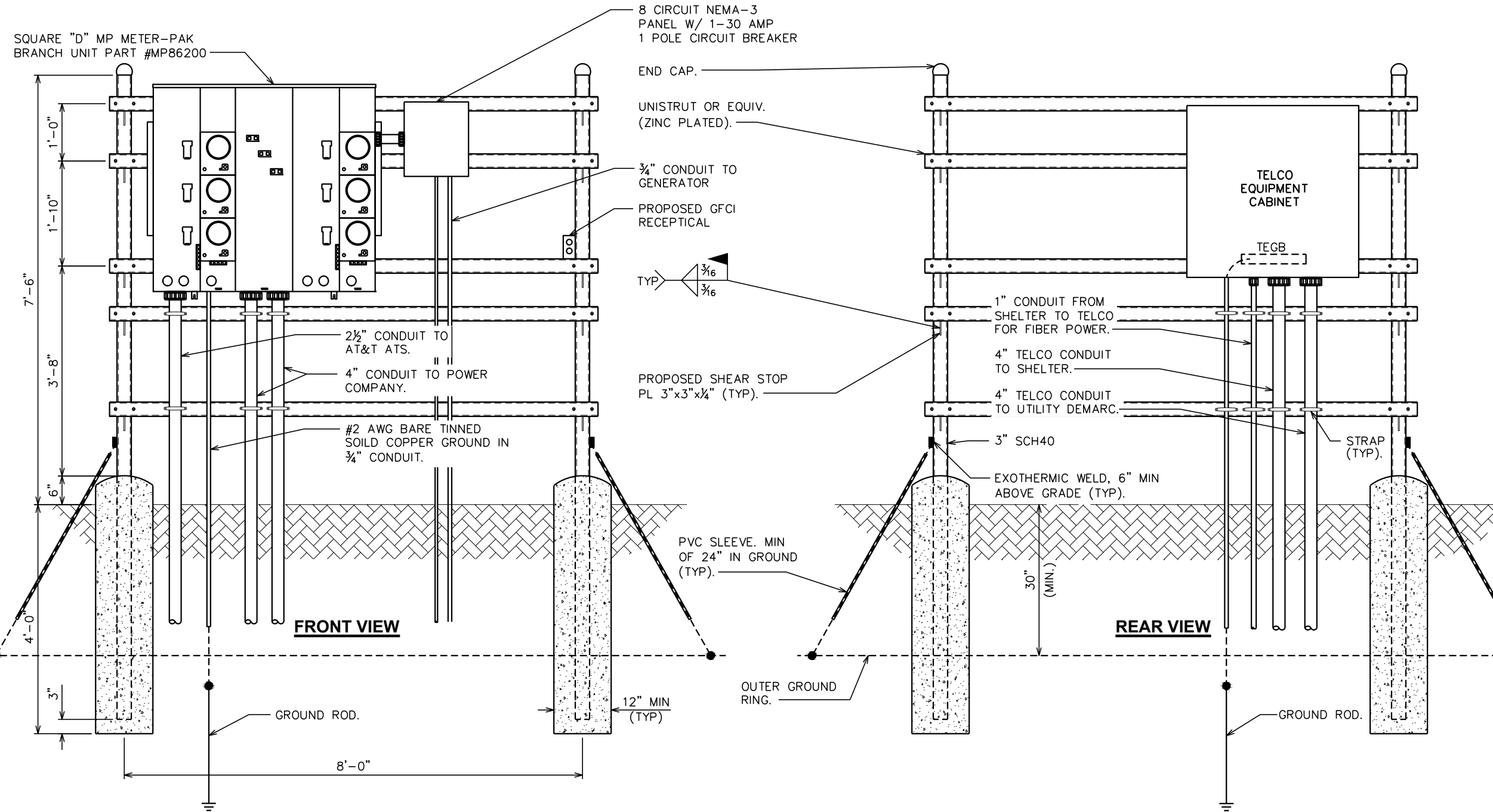
NOTES:

1. ELECTRIC SERVICE: 240/120V, 1 ϕ , 3W, 800A UNDERGROUND SERVICE TO POLE RISER.
2. USE COPPER STRANDED, 600V, TYPE THW/THWN, WITH CROSS-LINKED POLYETHYLENE INSULATION FOR #8 AWG AND LARGER WIRE.

3. UNDERGROUND CONDUITS SHALL BE SCHEDULE 40 PVC (MEET UL STANDARDS G51 AND NEMA TC2-1990). EXPOSED CONDUITS SHALL BE PVC UV RESISTANT OR RIGID GALVANIZED STEEL. ALL CONDUIT BENDS SHALL BE A MINIMUM OF 36" RADIUS.

4. GROUNDING CONDUCTOR SHALL BE 2 AWG SOLID BARE TINNED COPPER UNLESS OTHERWISE NOTED.

5. 4" PVC CONDUIT INSTALLED 30' (MINIMUM) BELOW GRADE FOR INCOMING SERVICE BY TELEPHONE COMPANY. PROVIDE PULL STRING - 200 LB. TEST POLYETHYLENE CORD.
6. METER CENTER PART NUMBER SHOWN INCLUDES 4-JAW RINGED METER SOCKETS. CONTRACTOR TO VERIFY METER CONNECTION SPECIFICATIONS WITH LOCAL UTILITY PRIOR TO ORDERING.



PLANS PREPARED FOR:

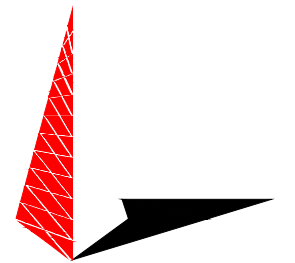


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PLANS PREPARED BY:



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DRAWN BY: SCB CHECKED BY: FTH

SHEET TITLE:

**SERVICE RACK
DETAILS I**

SHEET NUMBER: REVISION:

E-5

2

TEP #: 131147

SERVICE RACK DETAILS

SCALE: N.T.S.

NOTE:

SEE SHEET E-5 FOR SERVICE RACK NOTES.

PLANS PREPARED FOR:

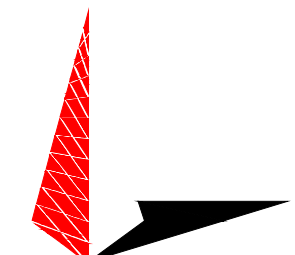


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PLANS PREPARED BY:



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DRAWN BY: CSN CHECKED BY: FTH

SHEET TITLE:

**SERVICE RACK
DETAILS II**

SHEET NUMBER: REVISION:

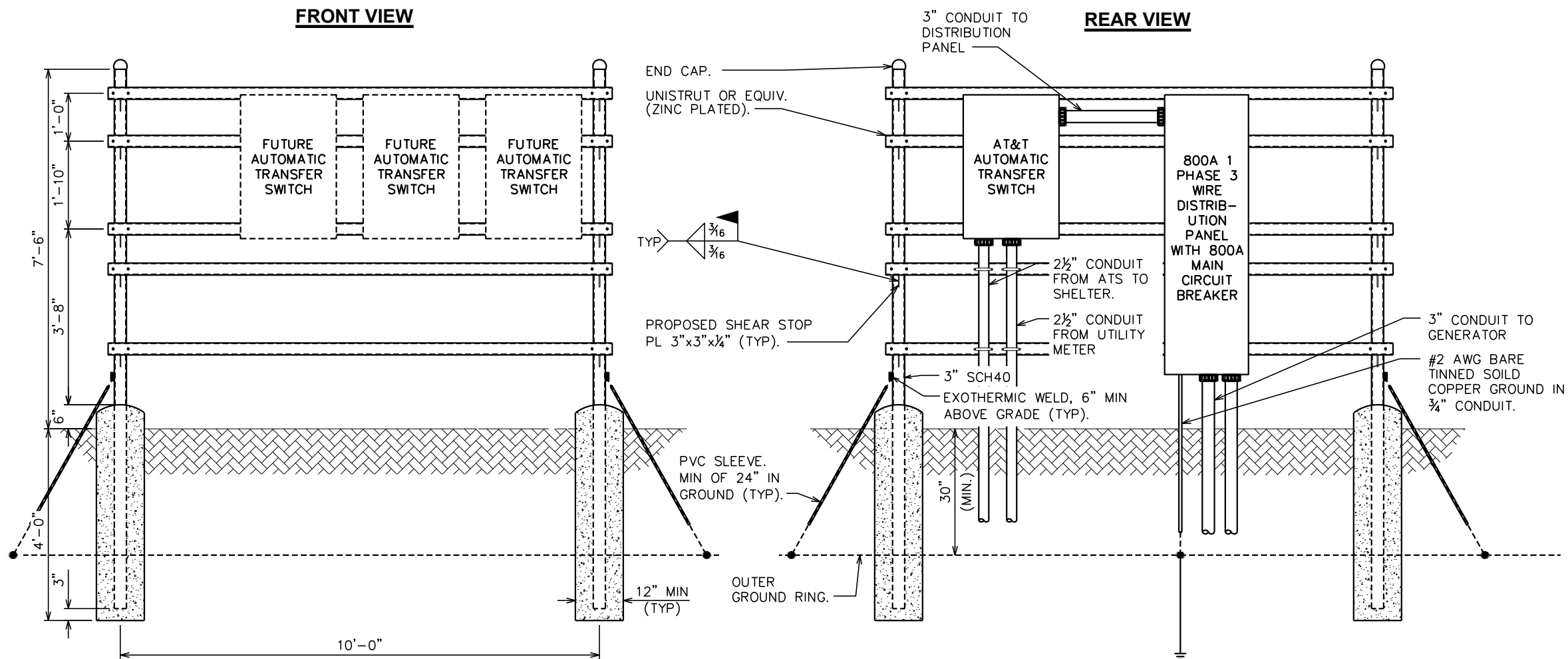
E-5A

2

TEP #: 131147

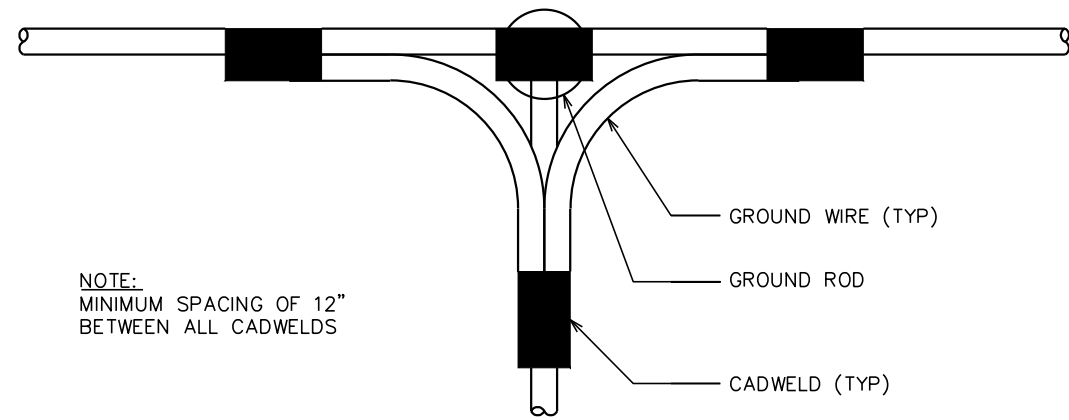
FRONT VIEW

REAR VIEW



SERVICE RACK DETAILS

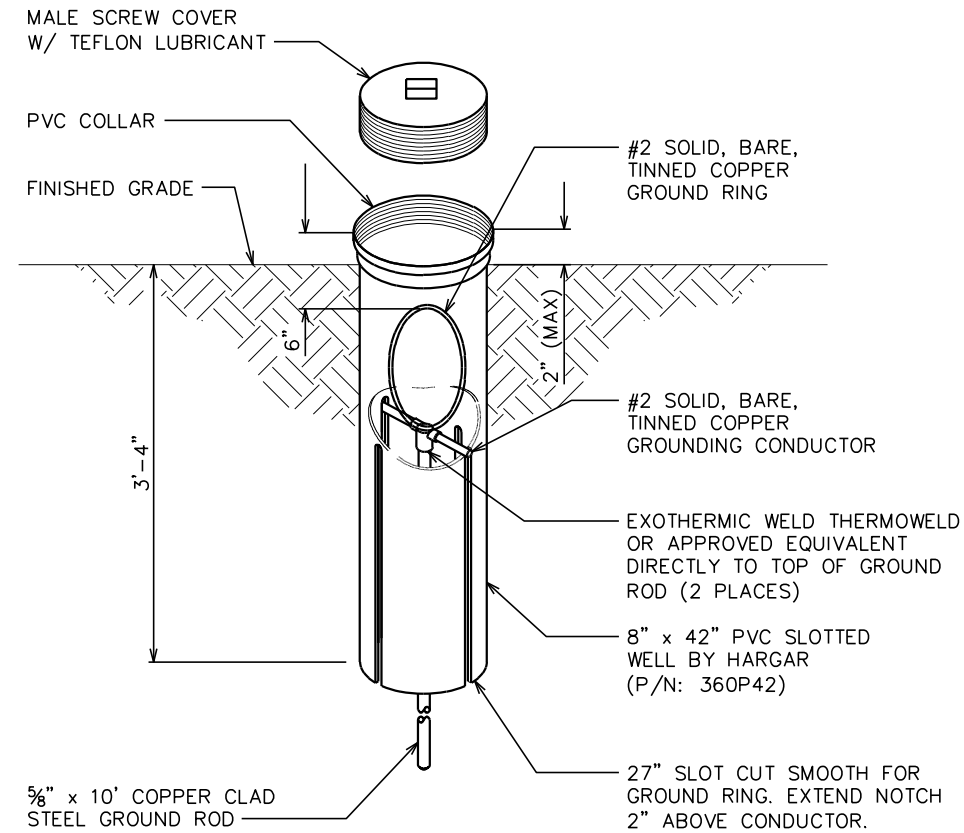
SCALE: N.T.S.



NOTE:
MINIMUM SPACING OF 12"
BETWEEN ALL CADWELDS

TOP VIEW

SIDE VIEW

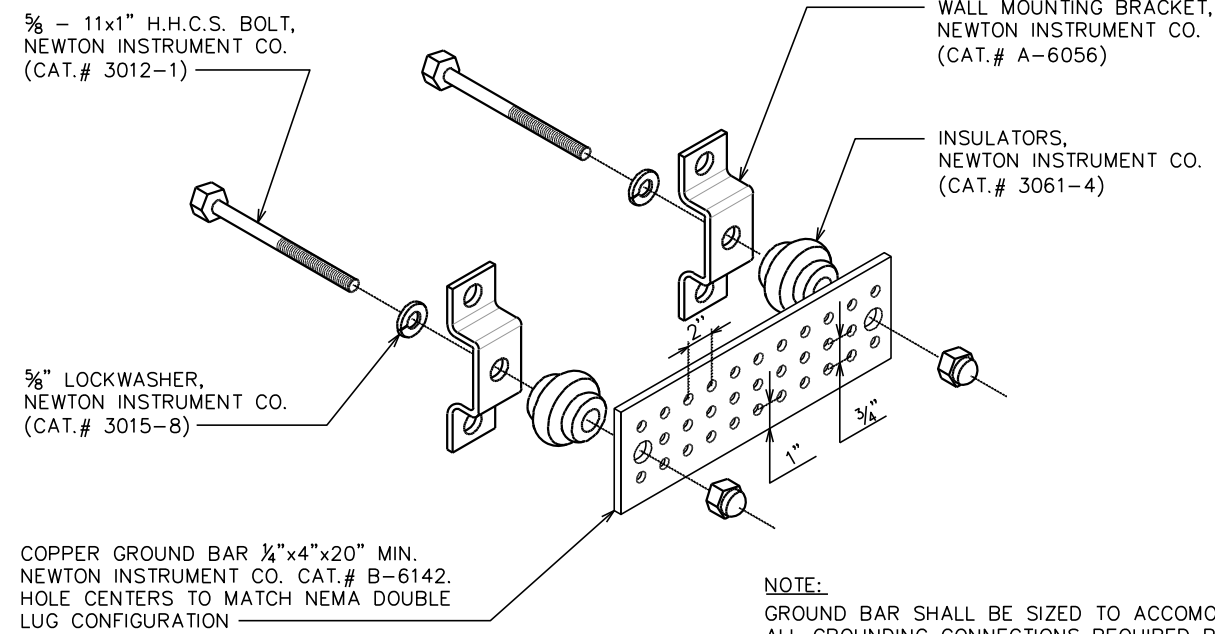


GROUND ROD WITH INSPECTION WELL

SCALE: N.T.S.

CADWELD GROUNDING DETAIL

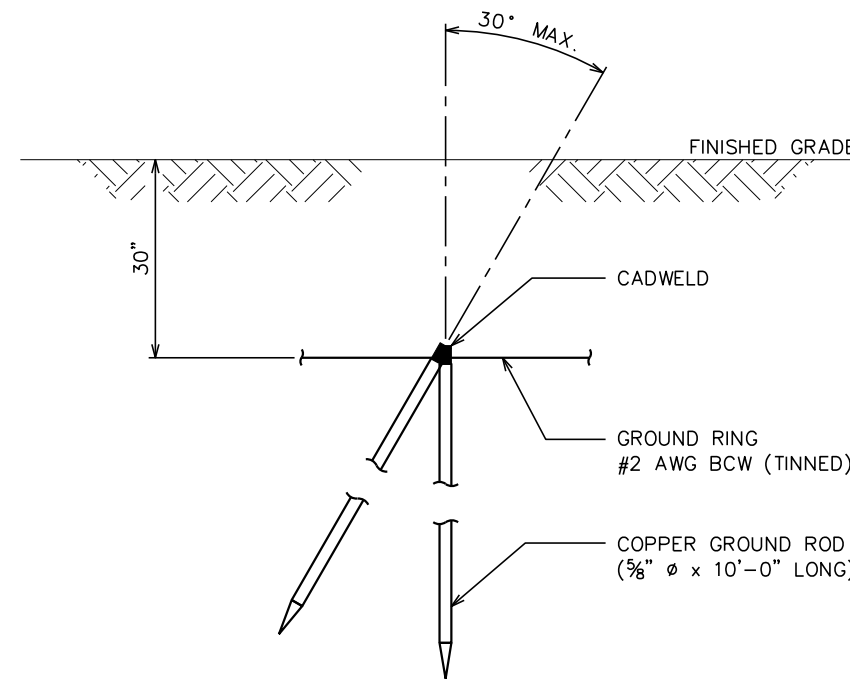
SCALE: N.T.S.



NOTE:
GROUND BAR SHALL BE SIZED TO ACCOMODATE
ALL GROUNDING CONNECTIONS REQUIRED PLUS
PROVIDE 50% SPARE CAPACITY.

STANDARD GROUND BAR DETAIL

SCALE: N.T.S.



COPPER-CLAD STEEL GROUND ROD

SCALE: N.T.S.

PLANS PREPARED FOR:

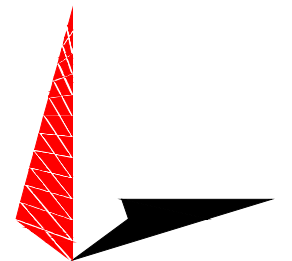


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SHEET TITLE:

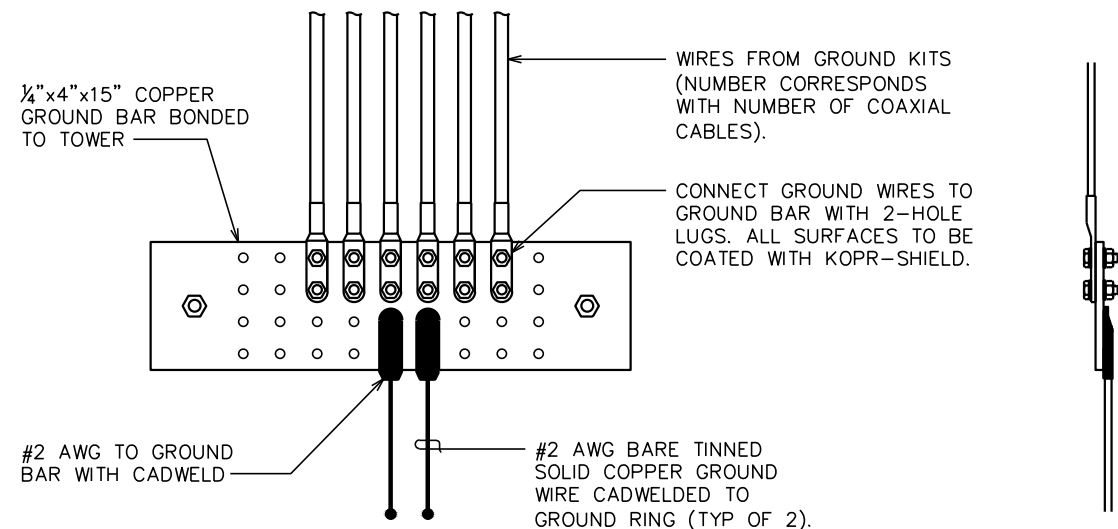
**GROUNDING
DETAILS I**

SHEET NUMBER: REVISION:

E-6

2

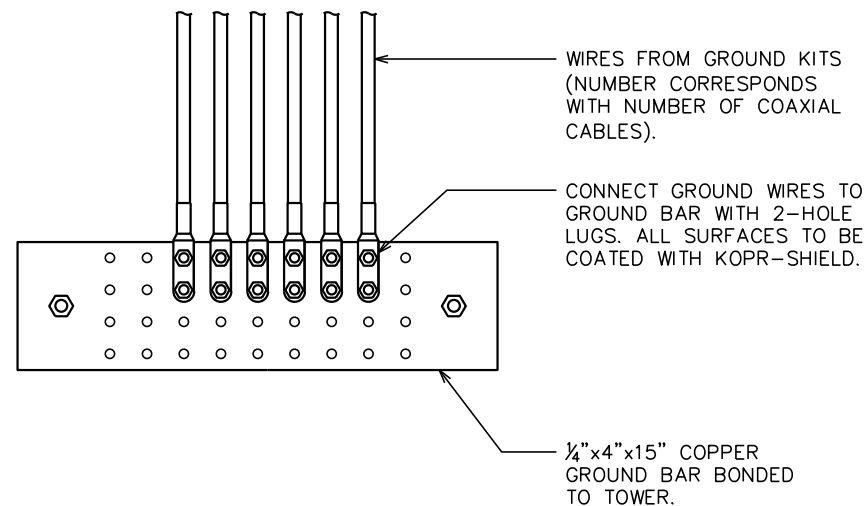
TEP #: 131147



END VIEW

NOTE:

THE CONTRACTOR SHALL UTILIZE AN INTERMEDIATE GROUND BAR FOR ANTENNA RAD CENTERS OVER 200'.

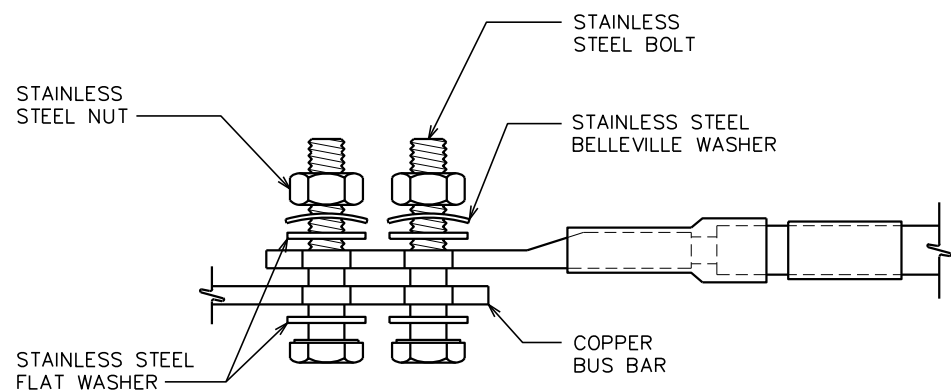


UPPER / INTERMEDIATE GROUND BAR

SCALE: N.T.S.

LOWER GROUND BAR

SCALE: N.T.S.

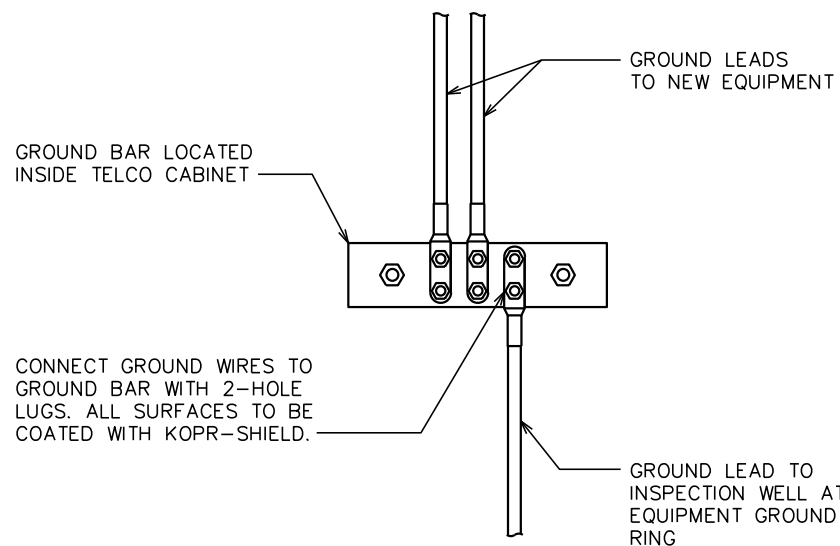


NOTES:

1. ALL HARDWARE SHALL BE 18-8 STAINLESS STEEL, INCLUDING THE BELLEVILLE WASHERS. COAT ALL SURFACES WITH KOPR-SHIELD BEFORE MATING.
2. FOR GROUND BOND TO STEEL ONLY; INSERT A DRAGON TOOTH WASHER BETWEEN THE LUG AND STEEL. COAT ALL SURFACES WITH KOPR-SHIELD.

LUG DETAIL

SCALE: N.T.S.



GROUND BAR IN TELCO CABINET

SCALE: N.T.S.

PLANS PREPARED FOR:

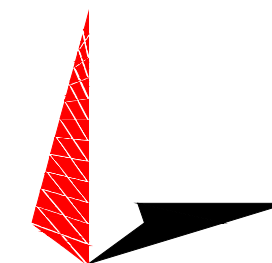


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PLANS PREPARED BY:



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DRAWN BY: SCB CHECKED BY: FTH

SHEET TITLE:

**GROUNDING
 DETAILS II**

SHEET NUMBER: **E-7** REVISION: **2**

TEP #: 131147

GENERAC 80KW

GENERAL ASSEMBLY AND INSTALLATION SUPPLEMENT

Automatic Transfer Switches

100 - 400 Amps, 600 VAC
1 of 2



200 Amp HTS NEMA 1

Description

- The Generac HTS Transfer Switch is a "State of the Art" Smart Switch designed to operate in conjunction with the Generac H100 Series generator controller.
- The HTS Transfer Switch has a 2 wire RS485 communication link to the generator controller.
- The utility voltage is monitored by the HTS along with signal before transfer timing, time delay neutral and inphase transfer.
- Switch operation is instigated by the generator controller.
- All timers and voltage setpoints are programmable through GenLink® Communications Software.
- Time delay neutral and inphase monitor are included.

Standard Features

- Single coil design, electrically operated and mechanically held
- Programmable exercise time
- SPDT aux contacts
- Main contacts are silver alloy
- Conformal coating protects the printed circuit board
- UL1008 Listed
- Indicating LED's for switch position, standby operating, utility available

- 3 position test switch: Fast Test, Auto, Normal Test
- Arc shutes on main contacts
- Signal before transfer contacts
- Rated to all classes of loads
- Remote start, stop and transfer through GenLink® Communications Software
- Up to four transfer switches per generator
- 50/60 hertz operation

Optional Accessories

- NEMA 12 enclosure (100-400 Amps)
- NEMA 3R enclosure (All)

- NEMA 4 and 4x enclosure
- 4 pole for separately derived systems

100 - 400 Amps, 600 VAC
2 of 2

Interconnections

Switches and Indicators:

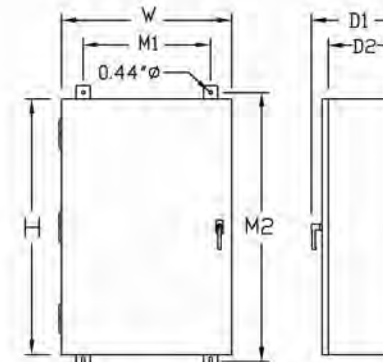
- System Ready LED
- Switch Position LED's
- Test Switch
- Return to Normal Switch
- Standby Operating LED
- Utility Available LED
- Fast Test Switch
- Safety Disconnect Switch

Standby Accept Voltage	85-95%
Standby Accept Frequency	85-95%
Nominal Voltage	1 Volt Increments
Allowable Deviation of Utility	1-100%
Line Interruption Delay	1-10 Seconds
Engine Warmup Time	1-300 Seconds
Minimum Run Time	5-60 Minutes
Return to Utility Timer	1-30 Minutes
Engine Cooldown Timer	1-30 Minutes
Signal Before Transfer Timer	1-30 Seconds
Transfer Type	Inphase Time Delay Neutral
Phase Difference for Inphase Transfer	-7 +0 Degrees

Withstand Current - 600 Volt HTS Series

HTS RATED AMPS	100	150	200	300	400
FUUSE PROTECTED					
Maximum RMS Symmetrical Fault Current – Amps	200,000	200,000	200,000	200,000	200,000
Maximum Fuse Size – Amps	200	400	400	600	600
Fuse Class	J,T	J,T	J,T	J,T	J,T
CIRCUIT BREAKER PROTECTED					
Maximum RMS Symmetrical Fault Current – Amps	14,000	25,000	25,000	35,000	35,000
Protective Device Continuous Rating (Max.) – Amps	150	300	300	600	600

- Tested in accordance with the withstand and closing requirements of UL 1008 and CSA Standards.
- Current ratings are listed @ 480 VAC.



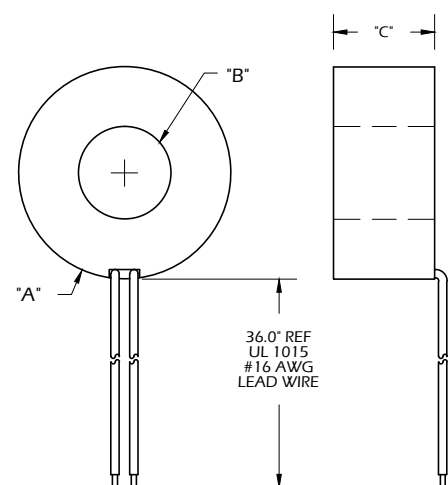
Unit Dimensions

HTS RATED AMPS	VOLTAGE	ENCLOSURE HEIGHT H	ENCLOSURE WIDTH W	WALL MOUNT BOLT PATTERN		ENCLOSURE DEPTH		WEIGHT (lbs.)
				M1	M2	D1	D2	
100	ALL	36	24	18	37.5	12.7	10	180
150-200	120/240	36	24	18	37.5	12.7	10	185
150-200	120/208	36	24	18	37.5	12.7	10	185
150-200	277/480	48*	30*	24	49.5	14.8	12	265
300-400	120/240	36	24	18	37.5	12.7	10	245
300-400	120/208	36	24	18	37.5	12.7	10	245
300-400	277/480	48*	30*	24	49.5	14.8	12	325

Terminal Lug Wire Ranges

HTS RATED AMPS	CONTACTOR TERMINALS (1 LUG PER POLE) LUG WIRE RANGE	# LUGS	NEUTRAL BAR*	GROUND LUG (1 PROVIDED)
			LUG WIRE RANGE	LUG WIRE RANGE
100	2/0 – 14 AWG	4	2/0 – 14 AWG	2/0 – 14 AWG
150	400MCM – 4 AWG	4	350MCM – 6 AWG	350MCM – 6 AWG
200	400MCM – 4 AWG	4	350MCM – 6 AWG	350MCM – 6 AWG
300	600MCM – 4 AWG	4	600MCM – 4 AWG	350MCM – 6 AWG
	or 2 – [250MCM – 1/0 AWG]		[250MCM – 1/0 AWG]**	350MCM – 6 AWG
400	600MCM – 4 AWG	4	600MCM – 4 AWG	350MCM – 6 AWG
	or 2 – [250MCM – 1/0 AWG]		[250MCM – 1/0 AWG]**	

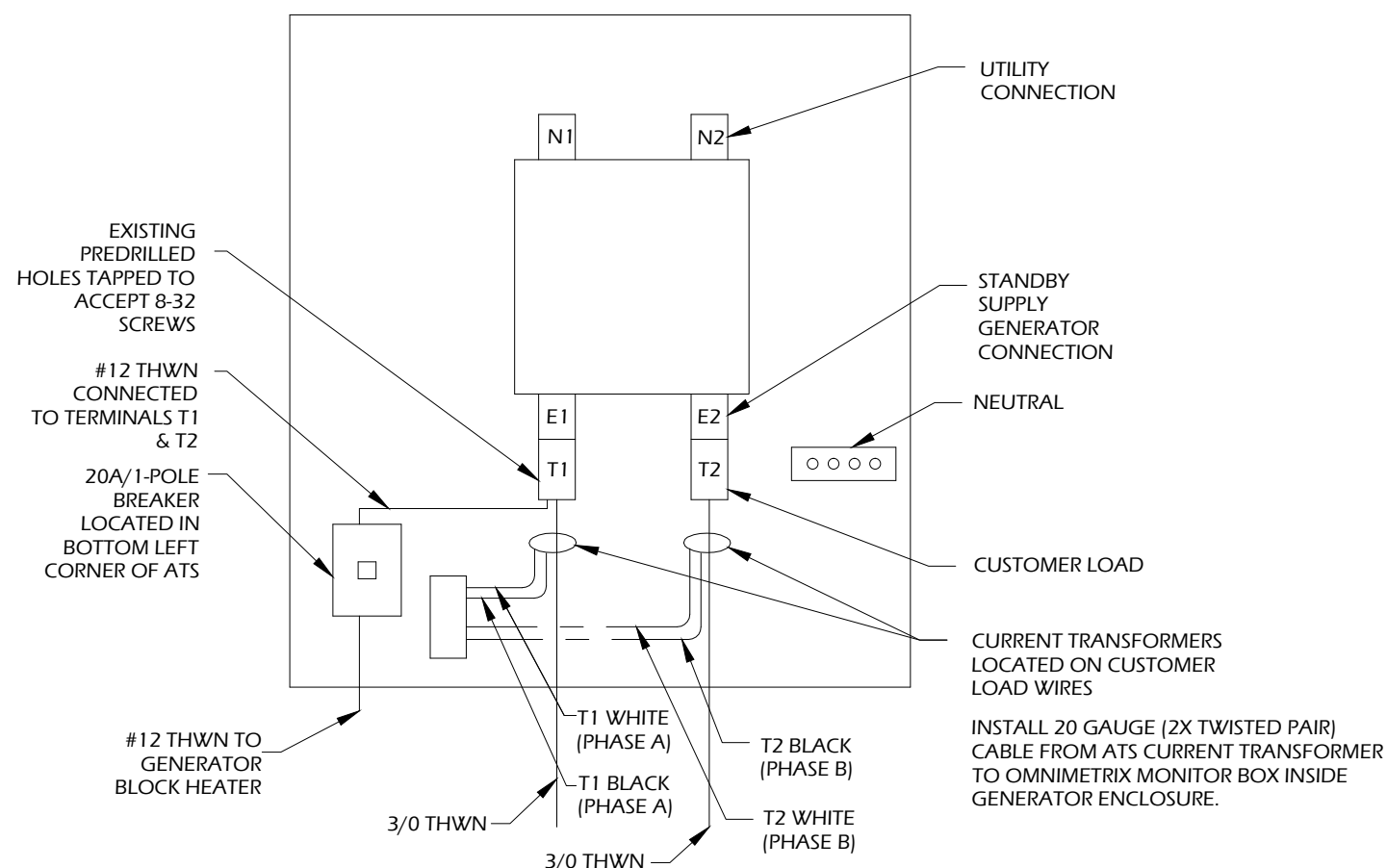
* Not included in HTS with switched neutral. ** Allowable wire range in brackets is for 2 wires per lug.



PART NO.	RATIO	MODEL NO.	±%	VA	OHMS	"A"	"B"	"C"
0F7784A	100:1A	635-100-01-L36	1	1	.31	65	28	30.5
0F7784B	200:1A	635-200-01-L36	1	5	.95	65	28	30.5
0F7784C	300:1A	A-300-01-L36	1	4.5	.06	112	57.1	27.4
0F7784D	400:1A	A-400-01-L36	1	4	.11	112	57.1	27.4
0F7784E	500:1A	A-500-01-L36	1	6.5	.13	112	57.1	27.4
0F7784F	600:1A	A-600-01-L36	1	7.5	.15	112	57.1	27.4
0F7784G	800:1A	MW-800-01-L36	1	10	.20	143.5	89	29.2
0F7784H	1000:1A	MW-1000-01-L36	1	12	.22	143.5	89	29.2
0F7784J	1500:1A	MW-1500-01-L36	1	15	.50	143.5	89	29.2
0F7784K	2000:1A	MW-2000-01-L36	1	12	.67	143.5	89	29.2
0F7784L	3000:1A	MW-3000-01-L36	1	25	1.0	143.5	89	29.2

NOTE:
1. ORIGINAL CURRENT TRANSducers.

2 CURRENT FLOW METER IN ATS



NOTES:
1. CONNECT TO TENANT BREAKER AT METER.
2. CONNECT TO DISTRIBUTION CENTER BRANCH BREAKER

1 ATS

*SINGLE PHASE

Ref: All Generac Power Systems fuel tank bases supplied from the factory are manufactured and labeled per U.L. 142 and are warranted through Generac Power Systems.

UL registration number: MH18459

U.L. 142 DOUBLE WALL FUEL TANK BASE SPECIFICATION

Fuel tank base construction:

- Be constructed in accordance with Underwriters Laboratories Standard UL-142. Be constructed in accordance with Flammable and Combustible Liquids Code, NFPA 30; The Standard for Installation and use of Stationary Combustible Engine and Gas Turbines, NFPA 37; and The Standard for Emergency and Standby Power Systems, NFPA 110. Include reinforced steel box channel for generator support, with load rating of 5,000 lbs. per gen-set mounting hole location. Full height gussets shall be provided at gen-set mounting holes. Be shipped with a certificate of Structural/Mechanical Integrity, certifying that it has met standards through rigorous testing and has demonstrated specified capabilities.

Sub Base Tank Testing:

Primary tank and secondary containment basin sections shall be pressurized at 3-5 psi and leak-checked to ensure integrity of sub base weld seams per UL-142 standards

Sub Base Tank Fittings:

The sub base tank shall include the following fittings:

- Appropriately sized NPT
- Fuel supply Fuel return fitting
- NPT for normal vent, sized as appropriate NPT for emergency vent, sized as appropriate
- 2" NPT for manual fill
- NPT for level gauge, sized as appropriate.
- 2" NPT for electronic fuel level; includes Low fuel alarm. High fuel level alarm
- NPT fitting for leak detection alarm

Fuel Level Gauge

The sub base tank shall include a direct-reading fuel level gauge.

Low Fuel Level

Factory Pre-set at 40% remaining for Alarm
Factory Pre-set at 20% remaining for Shut-down

High Fuel Level

Factory Pre-set at 90% full for Alarm

Fuel Containment Basin

Sub base tank shall include a welded steel containment basin, sized at a minimum of 110% of the tank capacity to prevent escape of fuel into the environment in the event of a tank rupture. A fuel containment basin leak detector switch shall be provided.

Sub Base Tank Venting

Normal and Emergency Venting:

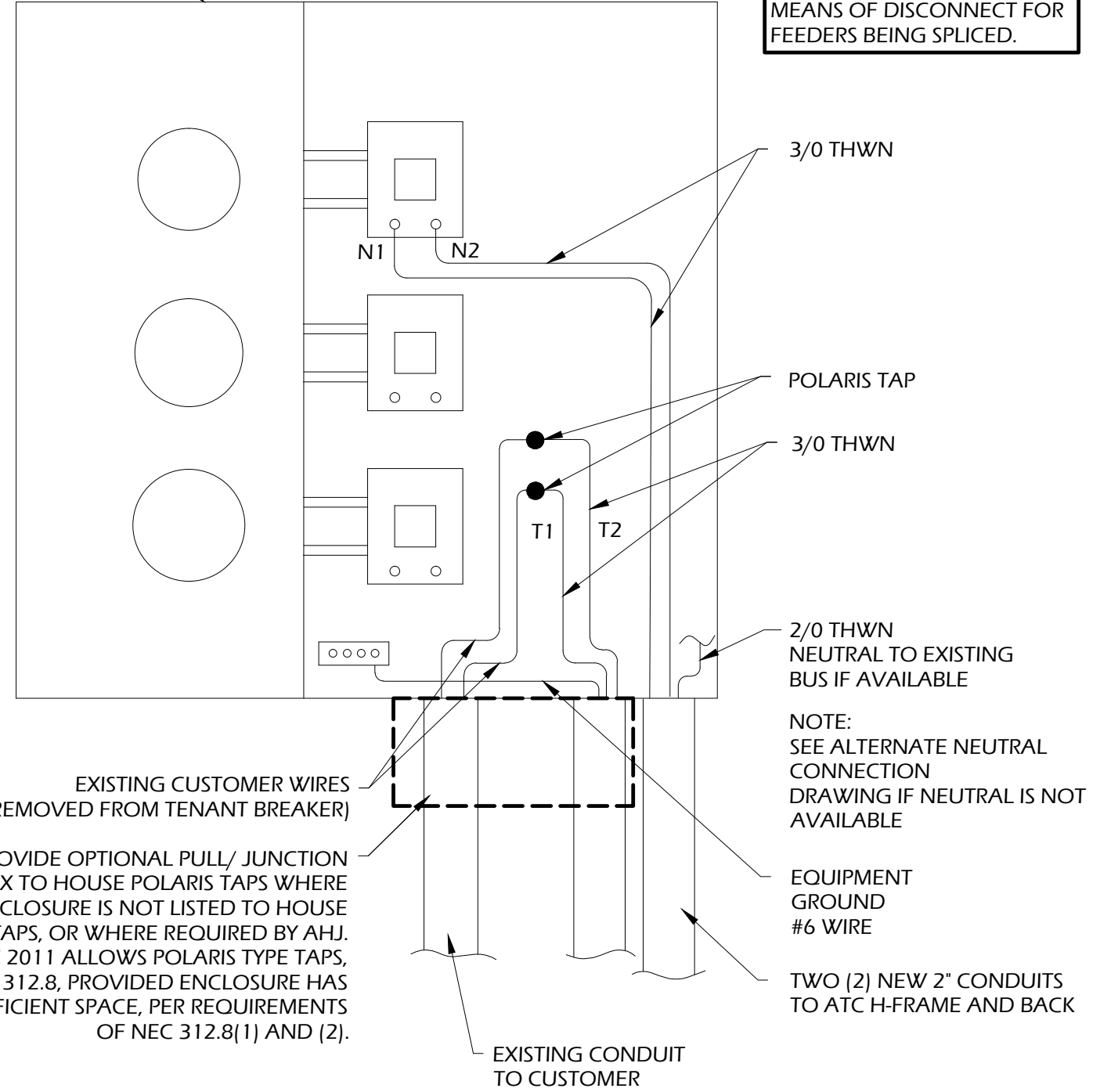
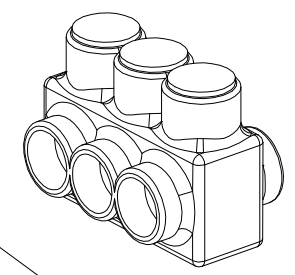
Normal and Emergency venting shall be sized per U.L. 142 specifications for wetted surface area of tank.

NOTE: BONDING JUMPER/
GROUNDING ELECTRODE
CONDUCTOR SHALL BE #4 CU
FOR 200A, PER NEC TABLE
250.66.

PER NEC 312.8(3), PROVIDE
WARNING LABEL (PHENOLIC
PLATE) ON ENCLOSURE
CONTAINING POLARIS TAP
SPECIFYING LOCATION OF
MEANS OF DISCONNECT FOR
FEEDERS BEING SPLICED.

NOTE: POLARIS TAP MUST BE
SECURELY WRAPPED WITH
COMMERCIAL GRADE NYLON
ELECTRICAL TAPE AFTER
INSTALLATION IS COMPLETE

METERING/
DISCONNECT
ENCLOSURE

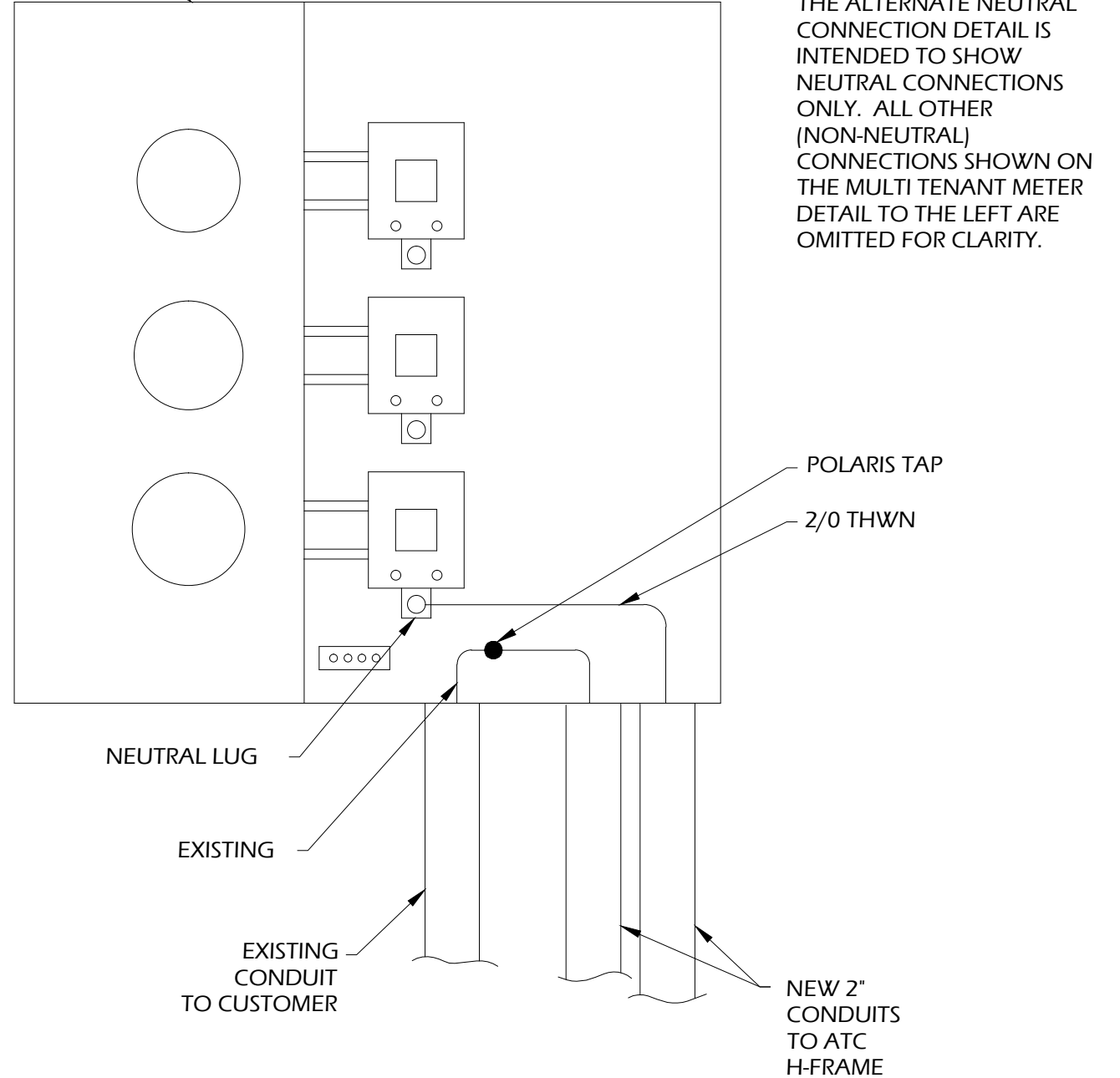
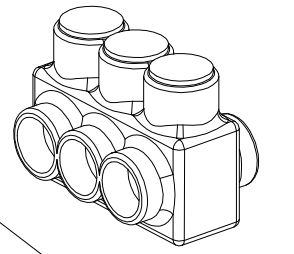


1 MULTI TENANT METER OPTION
SCALE: NOT TO SCALE

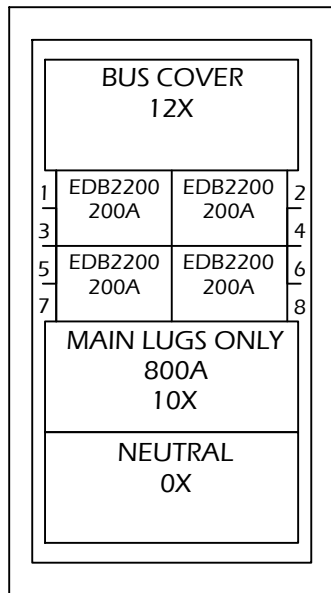
*SINGLE PHASE, 200A

NOTE: POLARIS TAP MUST BE
SECURELY WRAPPED WITH
COMMERCIAL GRADE NYLON
ELECTRICAL TAPE AFTER
INSTALLATION IS COMPLETE

METERING/
DISCONNECT
ENCLOSURE



2 ALTERNATE NEUTRAL CONNECTION
FOR MULTI-TENANT METER OPTION
SCALE: NOT TO SCALE



GENERAL INFORMATION (SECTION 1 OF 1)

SERVICE VOLTAGE: 120/240V 1PH 3W ENCLOSURE: TYPE 3R
 BUS RATING & TYPE: 800A ALUMINUM NEUTRAL RATING: 800A
 GROUND BAR: SLD. BOLTED ALUMINUM, AI OR Cu CABLE
 S.C. RATING: 22K A.I.C. FULLY RATED

MAIN DEVICE TYPE: MAIN LUGS ONLY - BOTTOM CABLE ENTRY
 MAIN TERMINALS: MECHANICAL - (3) #2-500 kcmil (Cu/Al)
 NEUTRAL TERMINALS: MECHANICAL - (3) #2-500 kcmil (Cu/Al)
 BOOK CATALOG NO: RPG2457
 TRIM: COMPLETE ENCLOSURE (INCLUDES TRIM)

SURFACE MOUNTED

BOX DIMENSIONS: 57" (1447.8mm)H X 24" (609.6mm)W X 12.65" (326.4mm)D
 MIN. GUTTER SIZE: TOP=10.625" (269.9mm) BOTTOM=10.625" (269.9mm)
 LEFT=5" (127.0mm) RIGHT=5" (127.0mm)

FINAL ID NAMEPLATE: (1) 800A
 TYPE: PLASTIC ADHESIVE-BACKED (2) 120/240V 1PH 3W
 COLOR: WHITE WITH BLACK LETTERS (3)

UL SERVICE ENTRANCE LABEL

TRIM LOOK T-HANDLE LOCK ASSEMBLY
 CIRCUIT DIRECTORY PLASTIC SLEEVE WITH CARD
 PAINTED BOX ANSI 61

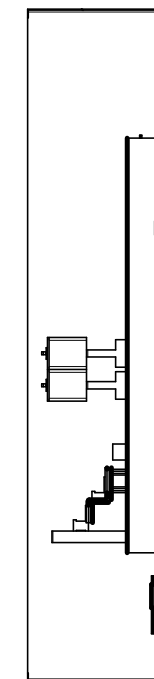
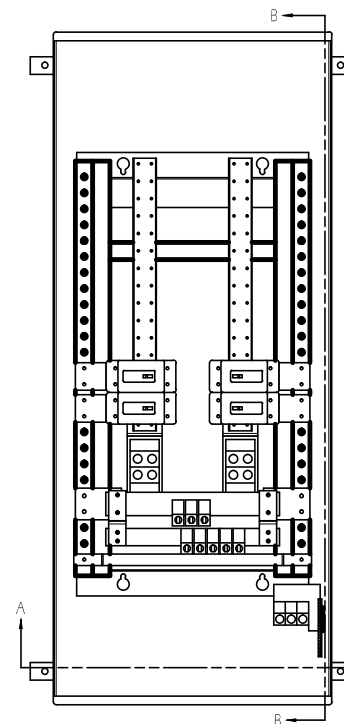
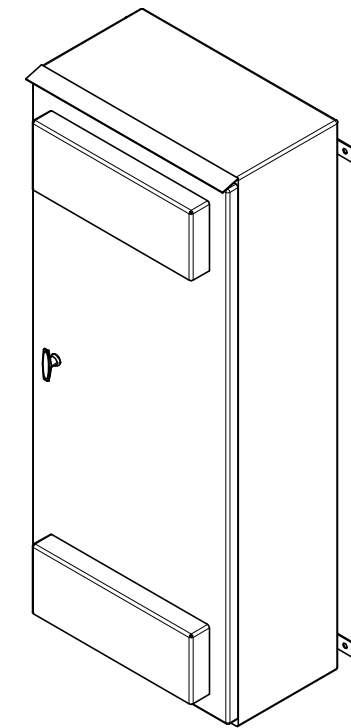
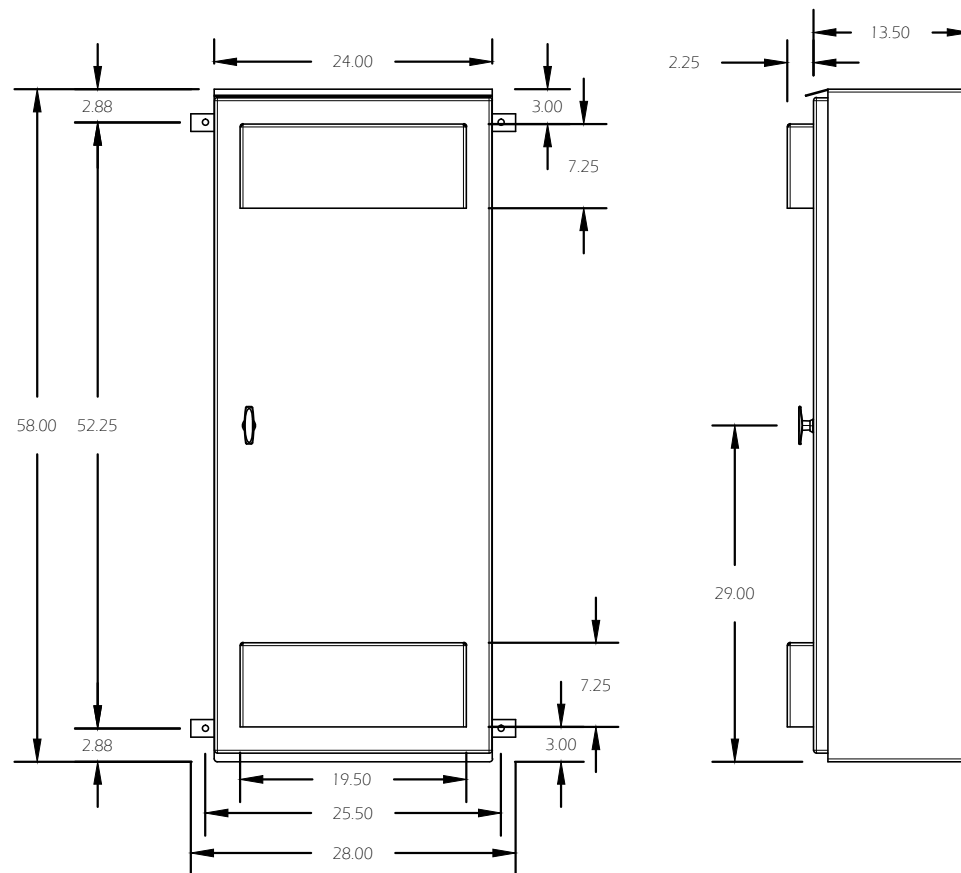
PLANT INFORMATION

	PART NUMBER	QTY	PART NUMBER	QTY
UL LABEL:	7494A06H01	1	EOB2200	4
BUS CUTTING:	6563C06H01	2		
NEUTRAL:	6672C66G03	1		
GROUND BAR, AL/CU:	6572C78G03	1		
CHASSIS ASSEMBLY:	6572C25G06	1		
LUG ASSEMBLY:	6572C52G06	1		
BREAKER ASSY:	6572C87G04	2		
DEAD FRONT COVER:	5554C11801	2		
COVER PACKAGING:	4177B06G02	1		
DEAD FRONT COVER ASSEMBLY:	6574C74G02	1		
PACKAGING:	50C5330G01	1		

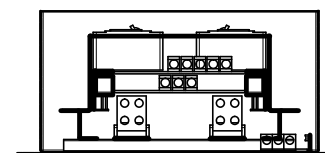
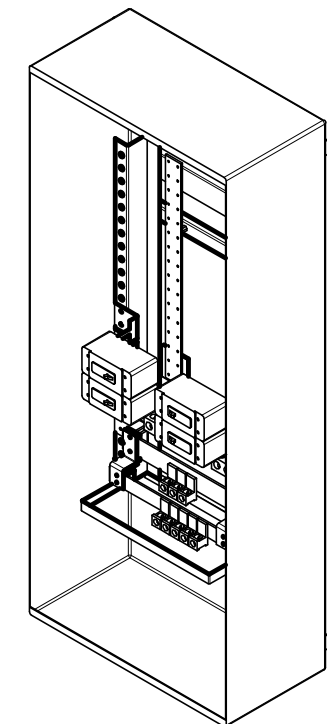
Spot _____ Final Inspection _____

Notes:

NOTE:
 PANEL SHOWN IS FOR SINGLE PHASE. FOR 3-PHASE SITES, USE CORRESPONDING 3-POLE VERSION OF THIS PANEL.



SECTION B-B



SECTION A-A

1 DISTRIBUTION PANEL
 SCALE: NOT TO SCALE

2 DISTRIBUTION PANEL DETAILS
 SCALE: NOT TO SCALE

SD080

GENERAC | **INDUSTRIAL POWER**

Industrial Diesel Generator Set

EPA Emissions Certification: Tier III

80 kW Diesel

Standby Power Rating
100 kVA 80 kW 60 Hz

Prime Power Rating
90 kVA 72 kW 60 Hz



features

benefits

Generator Set

- PROTOTYPE & TORSIONALLY TESTED ▶ PROVIDES A PROVEN UNIT
- UL2200 TESTED ▶ ENSURES A QUALITY PRODUCT
- RHINOCOAT PAINT SYSTEM ▶ IMPROVES RESISTANCE TO ELEMENTS
- WIDE RANGE OF ENCLOSURES AND TANKS ▶ PROVIDES A SINGLE SOURCE SOLUTION

Engine

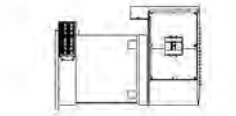
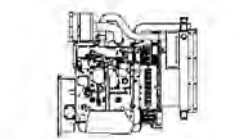
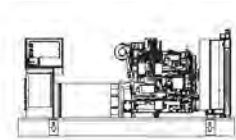
- EPA TIER COMPLIANT ▶ ENVIRONMENTALLY FRIENDLY
- INDUSTRIAL TESTED, GENERAC APPROVED ▶ ENSURES INDUSTRIAL STANDARDS
- POWER-MATCHED OUTPUT ▶ ENGINEERED FOR PERFORMANCE
- INDUSTRIAL GRADE ▶ IMPROVES LONGEVITY AND RELIABILITY

Alternator

- TWO-THIRDS PITCH ▶ ELIMINATES HARMFUL 3RD HARMONIC
- LAYER WOUND ROTOR & STATOR ▶ IMPROVES COOLING
- CLASS H MATERIALS ▶ HEAT TOLERANT DESIGN
- DIGITAL 3-PHASE VOLTAGE CONTROL ▶ FAST AND ACCURATE RESPONSE

Controls

- ENCAPSULATED BOARD W/ SEALED HARNESS ▶ EASY, AFFORDABLE REPLACEMENT
- 4-20mA VOLTAGE-TO-CURRENT SENSORS ▶ NOISE RESISTANT 24/7 MONITORING
- SURFACE-MOUNT TECHNOLOGY ▶ PROVIDES VIBRATION RESISTANCE
- ADVANCED DIAGNOSTICS & COMMUNICATIONS ▶ HARDENED RELIABILITY



primary codes and standards



GENERAC | **INDUSTRIAL POWER**

application and engineering data

80 kW Diesel

SD080

ENGINE SPECIFICATIONS

General	
Make	Iveco / FPT
EPA Emissions Compliance	Tier III
EPA Emissions Reference	See Emissions Data Sheet
Cylinder #	4
Type	Diesel
Displacement - L (cu. in.)	4.5 (274)
Bore - mm (in.)	105 (4.1)
Stroke - mm (in.)	132 (5.2)
Compression Ratio	17.5:1
Intake Air Method	Turbocharged
Cylinder Head Type	2 Valve
Piston Type	Aluminum
Crankshaft Type	Forged Steel
Engine Block Type	Cast Iron / Wet Sleeve

Engine Governing	
Governor	Electronic
Frequency Regulation (Steady State)	+/-0.25%

Lubrication System	
Oil Pump Type	Gear
Oil Filter Type	Full Flow
Crankcase Capacity - L (gal)(qts)	13.6 (3.6) (14.4)

Cooling System	
Cooling System Type	Closed
Water Pump	Belt Driven Centrifugal
Fan Type	Pusher
Fan Blade Number	2538 (10)
Fan Diameter (in.)	26
Coolant Heater Wattage	1500
Coolant Heater Standard Voltage	120

Fuel System	
Fuel Type*	Ultra Low Sulfur Diesel Fuel
Fuel Specifications	ASTM
Fuel Filtering (microns)	5
Fuel Inject Pump Make	Standyne
Fuel Pump Type	Engine Driven Gear
Injector Type	Mechanical
Engine Type	Direct Injection
Fuel Supply Line - mm (in.)	1/4 inch Npt
Fuel Return Line - mm (in.)	1/4 inch Npt

Engine Electrical System	
System Voltage	12VDC
Battery Charging Alternator	90 Amp
Battery Size (at 0 oC)	995 CCA
Battery Group	31
Battery Voltage	12 Volt DC
Ground Polarity	Negative

ALTERNATOR SPECIFICATIONS

Model	390 mm Generac
Poles	4
Field Type	Revolving
Insulation Class - Rotor	H
Insulation Class - Stator	H
Total Harmonic Distortion	<5%
Telephone Interference Factor (TIF)	<50
Alternator Type	Synchronous Brushless, Opt.PMG
Bearings	One - Pre Lubed & Sealed
Coupling	Direct, Flexible Disc
Load Capacity - Standby	80
Load Capacity - Prime	72
Prototype Short Circuit Test	Y

Voltage Regulator Type	Digital
Number of Sensed Phases	3
Regulation Accuracy (Steady State)	+/-0.25%

CODES AND STANDARDS COMPLIANCE (WHERE APPLICABLE)

NFPA 99
NFPA 110
ISO 8528-5
ISO 1708A.5
ISO 3046
BS5514
SAE J1349
DIN6271
IEEE C62.41 TESTING
NEMA ICS 1

Rating Definitions:

Standby - Applicable for a varying emergency load for the duration of a utility power outage with no overload capability. (Max. load factor = 70%)

Prime - Applicable for supplying power to a varying load in lieu of utility for an unlimited amount of running time. (Max. load factor = 80%) A 10% overload capacity is available for 1 out of every 12 hours

SD080

operating data (60Hz)

80 kW Diesel

POWER RATINGS (kW)

	STANDBY		PRIME	
Single-Phase 120/240VAC @ 1.0pf	80 Amps:	333	72 Amps:	300
Three-Phase 120/208VAC @ 0.8pf	80 Amps:	278	72 Amps:	250
Three-Phase 120/240VAC @ 0.8pf	80 Amps:	241	72 Amps:	217
Three-Phase 277/480VAC @ 0.8pf	80 Amps:	120	72 Amps:	108
Three-Phase 346/600VAC @ 0.8pf	80 Amps:	96	72 Amps:	87

STARTING CAPABILITIES (sKVA)

Alternator	kW	480VAC						208/240VAC					
		10%	15%	20%	25%	30%	35%	10%	15%	20%	25%	30%	35%
Standard*	80	59	88	117	147	176	205	44	59	88	110	132	154
Upsize 1	100	79	118	157	197	236	275	59	79	118	148	177	206
Upsize 2	125	116	174	232	290	348	406	87	116	174	218	261	305

*All Generac industrial alternators utilize Class H materials. Standard alternator provides less than or equal to Class F temperature rise. Upsize 1 provides less than or equal to Class A temperature rise.

Fuel

Fuel Consumption Rates**

Fuel Pump Lift - in (m)	STANDBY			PRIME		
	Percent Load	gph	lph	Percent Load	gph	lph
36(.9)	25%	2.1	7.9	25%	1.9	7.2
Total Fuel Pump Flow (Combustion + Return)	50%	3.7	14.0	50%	3.4	12.9
13.6 gph	75%	5.2	19.7	75%	4.7	17.8
	100%	6.3	23.8	100%	5.8	22.0

**Refer to "Emissions Data Sheets" for maximum fuel flow for EPA and SCAQMD permitting purposes.

COOLING

	STANDBY		PRIME	
Coolant System Capacity - Gal (L)	4.5 (17.44)			
Maximum Radiator Backpressure	1.5" H ₂ O Column			
Coolant Flow per Minute	gpm (lpm)	32.7(123.8)	32.7(123.8)	
Heat rejection to Coolant	BTU/hr	137,140	137,140	
Inlet Air	cfm (m ³ /min)	6360(180.0)	6360(180.0)	
Max. Operating Radiator Air Temp	F° (C°)	122(50)	122(50)	
Max. Operating Ambient Temperature	F° (C°)	122(50)	122(50)	

COMBUSTION AIR REQUIREMENTS

	STANDBY		PRIME	
Intake Flow at Rated Power	cfm (m ³ /min)	306 (8.67)	275 (7.80)	

EXHAUST

	STANDBY		PRIME	
Exhaust Outlet Size (Open Set)	3.0"			
Maximum Backpressure (Post-Silencer)	1.5"			
Exhaust Flow (Rated Output)	cfm (m ³ /hr)	790(134.4)	790(134.4)	
Maximum Backpressure	inHg (Kpa)	1.5(5.1)	1.5(5.1)	
Exhaust Temp (Rated Output)	F° (C°)	887(475)	887(475)	

ENGINE

	STANDBY		PRIME	
Rated Engine Speed	rpm	1,800	1800	
Horsepower at Rated kW***	hp	131	127	
Piston Speed	ft/min (m/min)	1559(44.1)	1559(44.1)	
BMEP	psi	210	194	

*** Refer to "Emissions Data Sheets" for maximum bHP for EPA and SCAQMD permitting purposes.

Deration - Operational characteristics consider maximum ambient conditions. Derte factors may apply under atypical site conditions. Please consult a Generac Power Systems Industrial Dealer for additional details. All performing ratings in accordance with ISO3046, BS5514, ISO8528 and DIN6271 standards.

SD080

standard features and options

80 kW Diesel

GENERATOR SET

- Genset Vibration Isolation Std
- IBC Seismic Certified/Seismic Rated Vibration Isolators Opt
- Extended warranty Opt
- Export boxing Opt
- Gen-Link Communications Software Opt
- Steel Enclosure Opt
- Aluminum Enclosure Opt

ENGINE SYSTEM

- General**
- Oil Drain Extension Std
- Oil Make-Up System Opt
- Oil Heater Opt
- Fuel System**
- Fuel lockoff solenoid Std
- Secondary fuel filter Std
- Stainless steel flexible exhaust connection Std
- Industrial Exhaust Silencer Std
- Critical Exhaust Silencer Opt
- Flexible fuel lines Opt
- Primary fuel filter Opt
- Single Wall Tank (Export Only) -
- UL 142 Fuel Tank Opt

Cooling System

- 120VAC Coolant Heater Opt
- 208VAC Coolant Heater Opt
- 240VAC Coolant Heater Opt
- Other Coolant Heater -
- Closed Coolant Recovery System Std
- UV/Ozone resistant hoses Std
- Factory-Installed Radiator Std
- Radiator Drain Extension Std

Engine Electrical System

- Battery charging alternator Std
- Battery cables Std
- Battery tray Std
- Battery box Std
- Battery heater Opt
- Solenoid activated starter motor Std
- Air cleaner Std
- Fan guard Std
- Radiator duct adapter Std
- 2A battery charger Opt
- 10A UL float/equalize battery charger Opt
- Rubber-booted engine electrical connections Std

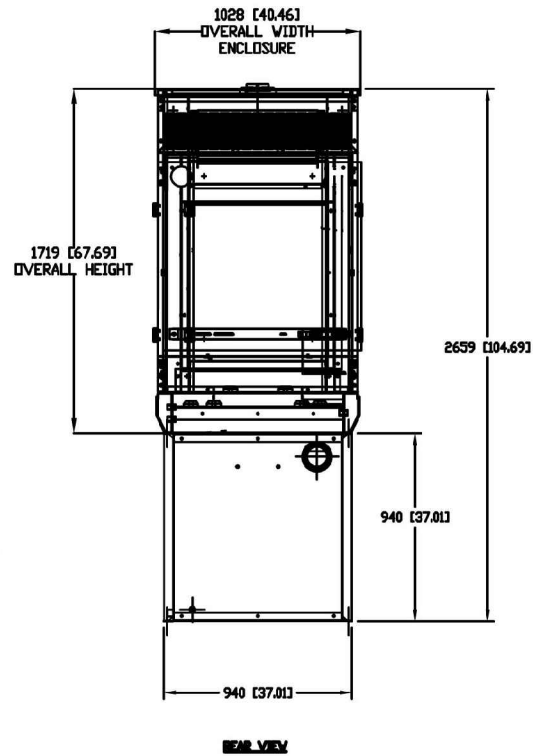
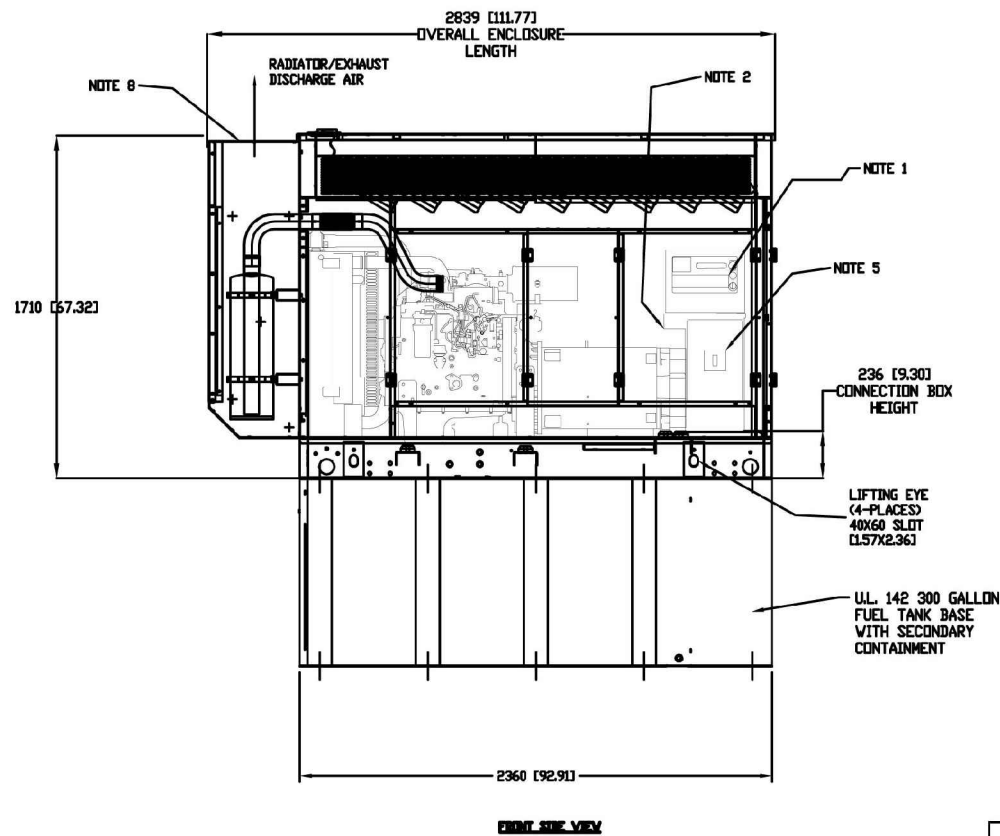
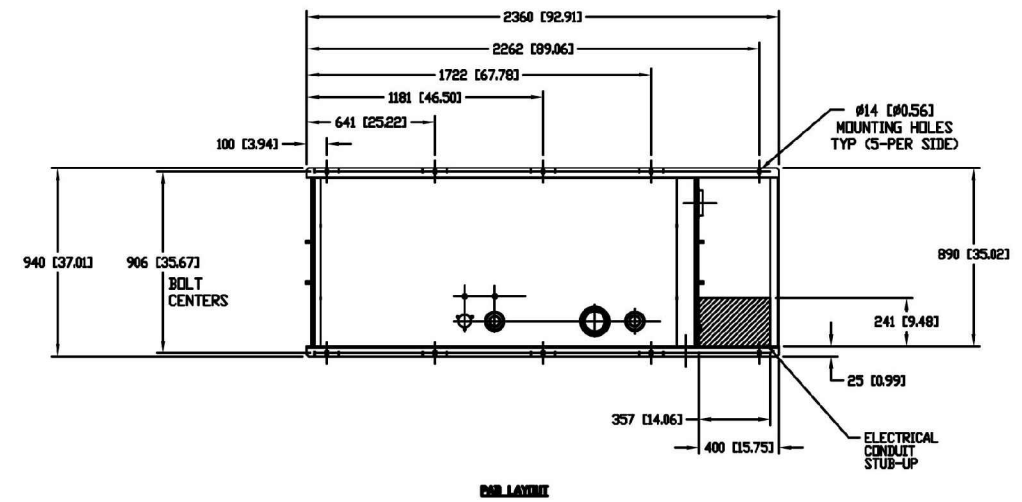
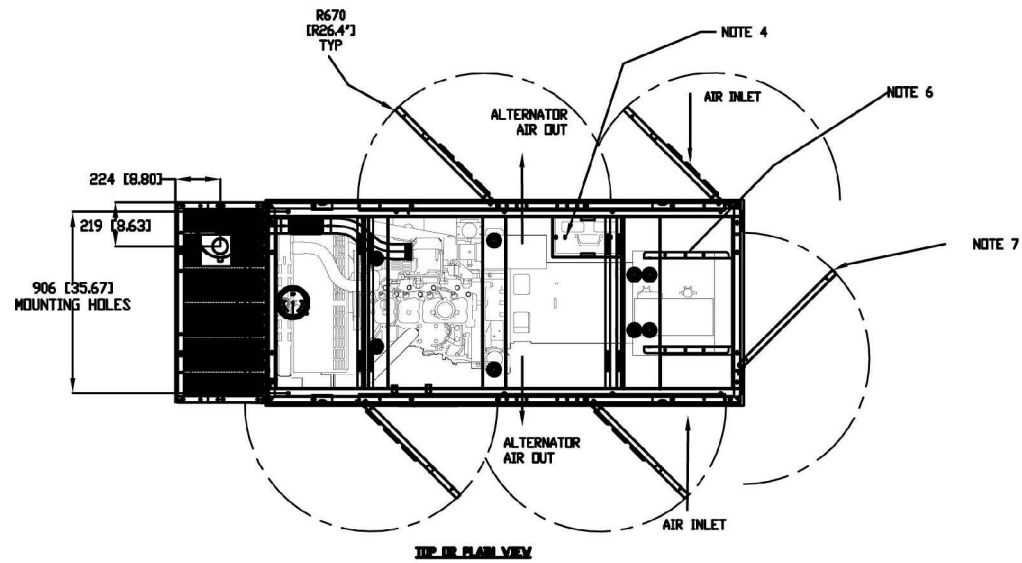
ALTERNATOR SYSTEM

- UL2200 GENprotect Std
- Main Line Circuit Breaker Opt
- 2nd Circuit Breaker Opt
- 3rd Circuit Breaker -
- Alternator Upsizing Opt
- Anti-Condensation Heater Opt
- Tropical coating Opt
- Permanent Magnet Excitation Opt

CONTROL SYSTEM

- General**
- Digital H Control Panel - Dual 4x20 Display Std
- Digital G-100 Control Panel - Touchscreen na
- Digital G-200 Paralleling Control Panel - Touchscreen na
- Programmable Crank Limiter Std
- 21-Light Remote Annunciator Opt
- Remote relay Panel (8 or 16) Opt
- 7-Day Programmable Exerciser -
- Special Applications Programmable PLC -
- RS-232 -
- RS-485 -
- All-Phase Sensing DVR -
- Full System Status -
- Utility Monitoring (Req. H-Transfer Switch) -
- 2-Wire Start Compatible -
- Power Output (kW) -
- Power Factor -
- Reactive Power -
- All phase AC Voltage -
- All phase Currents -
- Oil Pressure -
- Coolant Temperature -
- Coolant Level -
- Oil Temperature -
- Fuel Pressure -
- Engine Speed -
- Battery Voltage -
- Frequency -
- Date/Time Fault History (Event Log) -
- UL2200 GENprotect -
- Low-Speed Exercise -
- Isochronous Governor Control -
- 40deg C - 70deg C Operation -
- Waterproof Plug-In Connectors -
- Audible Alarms and Shutdowns -
- Not in Auto (Flashing Light) -
- On/Off/Manual Switch -
- E-Stop (Red Mushroom-Type) -
- Remote E-Stop (Break Glass-Type, Surface Mount) -
- Remote E-Stop (Red Mushroom-Type, Surface Mount) -
- Remote E-Stop (Red Mushroom-Type, Flush Mount) -
- NFPA 110 Level I and II (Programmable) -
- Remote Communication - RS232 -
- Remote Communication - Modem -
- Remote Communication - Ethernet -
- 10A Run Relay -
- Alarms (Programmable Tolerances, Pre-Alarms and Shutdowns)**
- Low Fuel -
- Oil Pressure (Pre-programmed Low Pressure Shutdown) -
- Coolant Temperature (Pre-programmed High Temp Shutdown) -
- Coolant Level (Pre-programmed Low Level Shutdown) -
- Alternator Overload -
- Fuel Pressure -
- Engine Speed (Pre-programmed Overspeed Shutdown) -
- Voltage (Pre-programmed Overvoltage Shutdown) -
- Battery Voltage -
- Other Options**
- _____
- _____
- _____

0H5302C-ATC



RECOMMENDED ELECTRICAL STUB-UPS (SEE DETAILED VIEW & TOP VIEW)	
AC LOAD LEAD CONDUIT SEE NOTES 5 & 6 FOR CB LOCATION	A
NOTE-A (SEE STUB UP AREA 1 & ID)	
(STUB-UP ID GLAND PLATE AC LOAD LEAD CONDUIT FOR PERMANENT MAGNET EXCITATION CONNECTION BOX)	B
(STUB-UP ID GLAND PLATE AC LOAD LEAD CONDUIT FOR DIRECT AND BRUSHLESS EXCITATION CONNECTION BOX)	
OVERALL STUB-UP AREA 120/240V AC TO OUTLET (SEE NOTE 2) FOR OPTIONS	

- NOTE:
- CONTROL PANEL MAY BE ROTATED 180DEG IN EITHER DIRECTION
 - 1- 20A GFCI DUPLEX OUTLET (120V BY CUSTOMER)
 - CONNECTION POINTS FOR CONTROL WIRES PROVIDED IN AC CONNECTION PANEL
 - BATTERY (12 VOLT NEGATIVE GROUND SYSTEM)
 - MAIN LINE CIRCUIT BREAKER (MFCB), (AC LOAD LEADS CONNECT DIRECTLY TO MFCB)
 - REMOVABLE BLANK PANEL FOR OPTIONAL 2nd MAIN LINE CIRCUIT BREAKER
 - DOORS MUST BE ABLE TO OPEN TO AT LEAST 90DEG TO BE REMOVED
 - SEE DRAWING 0C3850 FOR DUCT REMOVAL. REMOVAL OF FRONT DUCT WILL PROVIDE ACCESS TO MUFFLER FOR SERVICING.
 - STANDARD BLOCK HEATER
 - FUEL LINES ARE PLUMBED TO FRAME FOR UNITS WITH NO BASE TANK. FUEL LINES ARE PLUMBED DIRECTLY TO BASE TANK WHEN SO EQUIPPED
 - CENTER OF GRAVITY & WEIGHT MAY SHIFT SLIGHTLY DUE TO UNIT OPTIONS
 - IF GENSET IS TO BE INSTALLED ON A BASETANK REFER TO BASETANK INSTALL DRAWING.

ENGINE SERVICE CONNECTIONS:

FUEL INLET = 1/2" NPT COUPLING
 FUEL RETURN = 1/2" NPT COUPLING
 OIL DRAIN = 1/2" NPT COUPLING
 EXHAUST OUTLET - 3.0" O.D. MUFFLER

WEIGHT DATA
 APPROX. DRY WEIGHT WITHOUT FUEL GENSET PACKAGE 4032 lbs.

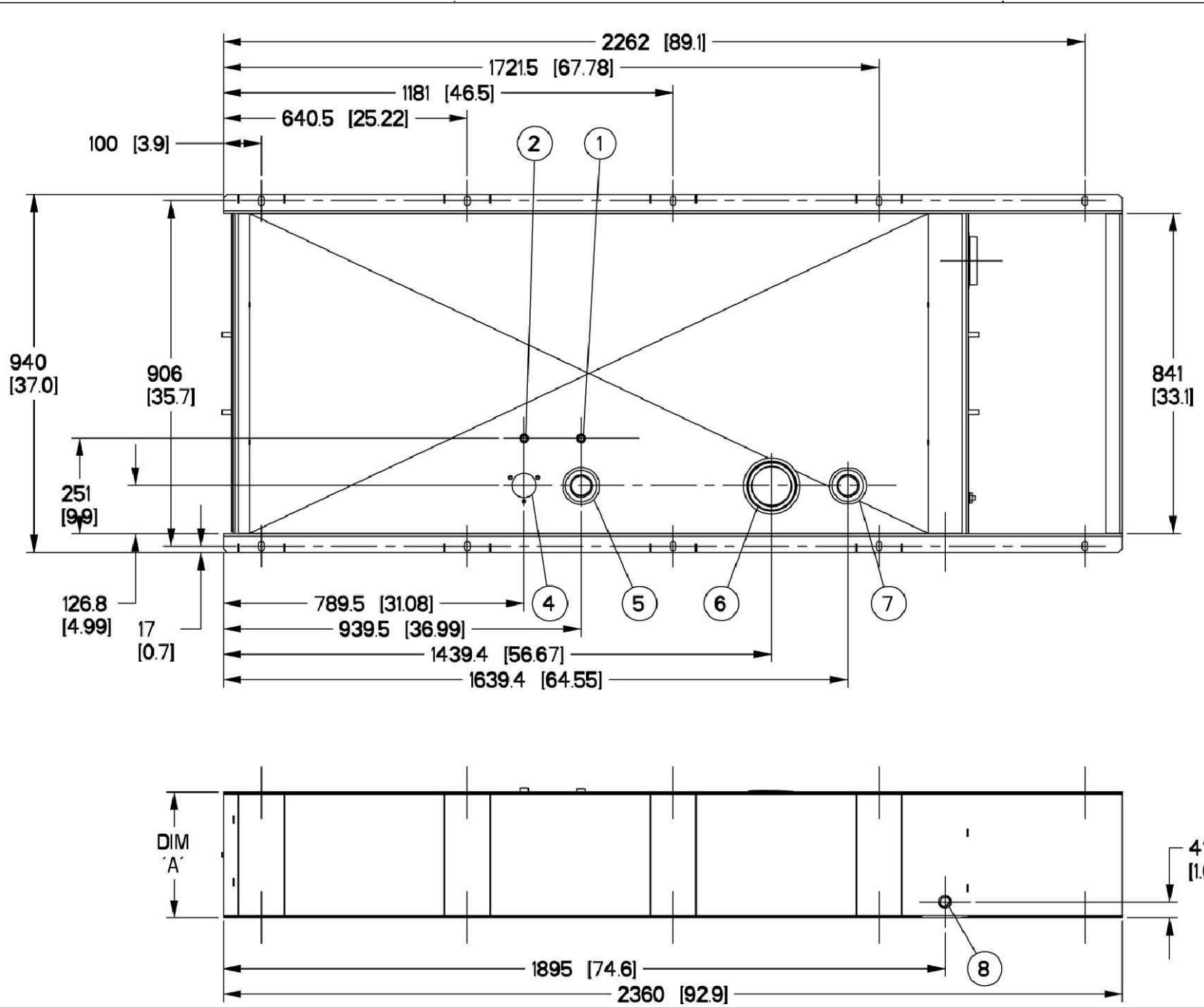
REFERENCE DRAWING 0H5302C FOR INSTALLATION
 FUEL TANK DRAWING 0H4610A

GENERAC POWER SYSTEMS OWNS THE COPYRIGHT OF THIS DRAWING WHICH IS SUPPLIED IN CONFIDENCE AND MUST NOT BE USED FOR ANY PURPOSE OTHER THAN FOR WHICH IT IS SUPPLIED WITHOUT THE EXPRESS WRITTEN CONSENT OF GENERAC POWER SYSTEMS.
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INSTALLATION DRAWING

SD80
DIESEL 4.5L IVECO
TURBOCHARGED & AFTERCOOLED
SOUND ATTENUATED ENSL., LVL 2
W/ 300 GALLON FTB

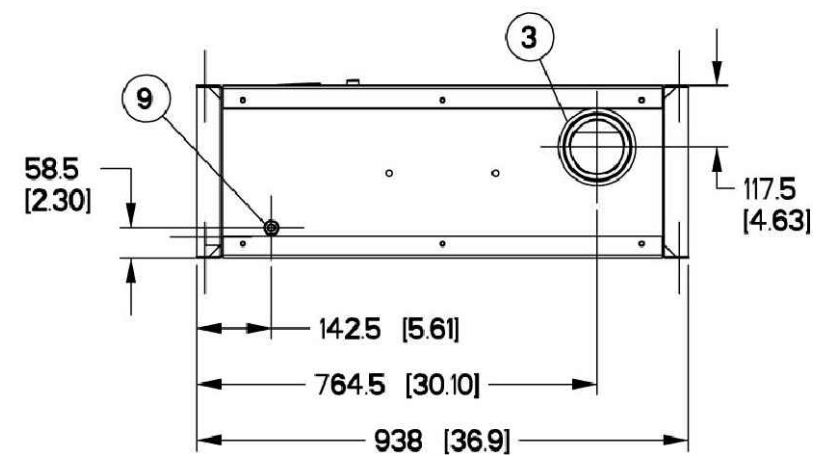
GENERAC POWER SYSTEMS	
Waukesha	
P.O. BOX 8 WAUKESHA, WIS. 53187	
FILE NAME	0H5302C-B ATC.DWG
SCALE	N/A
FIRST USE	D4.5L IVECO
DWG NO.	0H5302C-ATC
SIZE	B
REV	B



ITEM #	TANK FITTING	FUNCTION
1	3/8" NPT COUPLING	FUEL SUPPLY
2	3/8" NPT COUPLING	FUEL RETURN
3	4" NPT WELD FLANGE	EMERGENCY VENT (OUTER)
4		FUEL LEVEL
5	2" NPT WELD FLANGE	FUEL FILL
6	4" NPT WELD FLANGE	EMERGENCY VENT (INNER)
7	2" NPT WELD FLANGE	VENT
8	3/4" NPT COUPLING	DRAIN
9	Ø22 HOLE	LEAK DETECTOR

TANK P/N	0H48080ST03	0H48090ST03	0H48100ST03
DIM "A"	330 [13]	635 [25]	940 [37]
TOTAL TANK CAPACITY	318 [84]	734 [194]	1154 [305]
USABLE TANK CAPACITY	299 [79]	716 [189]	1134 [300]
DRY WEIGHT (EST)	237 [522]	344 [758]	445 [982]

NOTES:
 1) ALL DIMENSIONS ARE:
 LENGTH: mm [inch]
 WEIGHT: kg [lbs]
 CAPACITY: L [gal]
 2) UL #142 LISTED



DRAWING CREATED FROM PRO/ENGINEER
 3D FILE. ECO MODIFICATION TO BE
 APPLIED TO SOLID MODEL ONLY.

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GENERAC

TITLE			
B-GROUP, DW TYPE 2 TANKS			
ISSUE DATE:		10/02/09	
SIZE	CAGE NO	DWG NO	REV
B		0H4610A	D
SCALE	WT-KG	SHEET 1 of 1	
0.075	--		

INSTALLATION DRAWING



June 13, 2014

Styers, Kemerait & Mitchell, PLLC
1101 Haynes Street, Suite 101
Raleigh, North Carolina 27604

Attention: Mr. Gray Styers

Subject: Balloon Test Letter Report
Proposed 150-ft Monopole Communications Tower
American Tower Site: Farrington NC
American Tower Site #: 280422
AT&T Site #: 368-317
Chapel Hill, NC (Chatham County)

Dear Mr. Styers:

Tower Engineering Professionals, Inc. (TEP) of Raleigh, NC completed a balloon test for a proposed monopole communications tower facility that will be located at 464 Old Farrington Road, south of the Town of Chapel Hill in Chatham County, NC. The proposed tower facility will be located on a parcel of real estate owned by Lester Ray Porter that is identified as Parcel ID # 9796-33-9976. The balloon flight was conducted for the proposed tower heights of 195-ft and 150-ft AGL on the morning of May 3, 2014 in order to assess the potential visual impact that the proposed communications tower may have on the surrounding area of potential effect (APE).

The balloon test was performed on May 3, 2014 from ~8:00AM to 12:00PM. The balloon was flown at an elevation of 195-ft AGL from 8:00AM to 10:00AM before being lowered and flown at an elevation of 150-ft AGL from 10:00AM to 11:00AM. The balloon test photographs were taken from ~9:00AM to 11:00AM. The weather at the time of the balloon flight consisted of temperatures ranging from ~60° to ~70° Fahrenheit. The atmospheric conditions were clear with 5-10 mph winds from the west during the balloon flight. TEP personnel deployed an approximately 10' long x 4'-1" wide yellow blimp with blue fins at an elevation of 195-ft and 150-ft above ground level (AGL). Based on the minimal amount of displacement of the blimp associated with the above referenced wind speeds at the time of the balloon test photographs, it is the opinion of TEP that the balloon flight is an accurate depiction of the proposed tower elevation AGL. The photographs were taken with a Nikon D3000 SLR Digital Camera set at 35mm, in an attempt to most accurately mimic the view of the human eye.



Balloon Flight

The balloon flight was conducted at the proposed tower centerline, approximately 325-ft southeast of a portion of Old Farrington Road. According to the construction drawings provided to TEP by the client dated January 22, 2014 the proposed tower will be located within a forested area at:

Latitude: N 35° 50' 55.255" (NAD 83)
 Longitude: W 79° 01' 13.600" (NAD 83)
 Elevation: ~282.1-ft AMSL

<i>Balloon Flight</i>	<i>Approximate Location:</i>	<i>Distance from proposed structure:</i>
Photo #1	13001 Droughton Court (N35° 51' 3.52", W79° 1' 17.52")	~0.17 miles
Photo #2	Intersection of Wicker Drive & Reynolds Court (N35° 51' 5.23", W79° 1' 17.79")	~0.20 miles
Photo #3	12022 Wicker Drive (N35° 51' 5.12", W79° 1' 22.10")	~0.23 miles
Photo #4	Christopher Drive (N35° 51' 3.89", W79° 1' 29.53")	~0.30 miles
Photo #5	Philpott Drive (N35° 51' 0.54", W79° 1' 29.04")	~0.26 miles
Photo #6	Perdue Drive (N35° 50' 58.04", W79° 1' 29.41")	~0.25 miles
Photo #7	Intersection of Old Farrington Road and Wicker Drive (N35° 50' 54.29", W79° 1' 22.52")	~0.14 miles
Photo #8	Intersection of David Stone Drive and Wicker Drive (N35° 51' 4.30", W79° 1' 23.29")	~0.23 miles
Photo #9	Intersection of Magnolia Dr. & Whippoorwill Ln. (N35° 51' 16.58", W79° 1' 13.39")	~0.40 miles
Photo #10	Intersection of Walser Drive and Pharr (N35° 50' 52.69", W79° 1' 37.33")	~0.38 miles

TEP personnel obtained numerous photographs from each of the aforementioned locations in an attempt to provide an accurate depiction of the view of the proposed tower facility from the surrounding area. Photographs were taken for the balloon flight and their corresponding locations are depicted on the additional photo location map provided. Photographs were obtained from multiple locations surrounding the proposed tower site; ten (10) were selected



for inclusion in this report. Four (4) photographs were selected and photo simulations were rendered depicting the proposed 150-ft monopole tower from the desired locations.

Please don't hesitate to contact me if there are any questions or concerns with regards to the balloon test report for the proposed undertaking.

Regards,

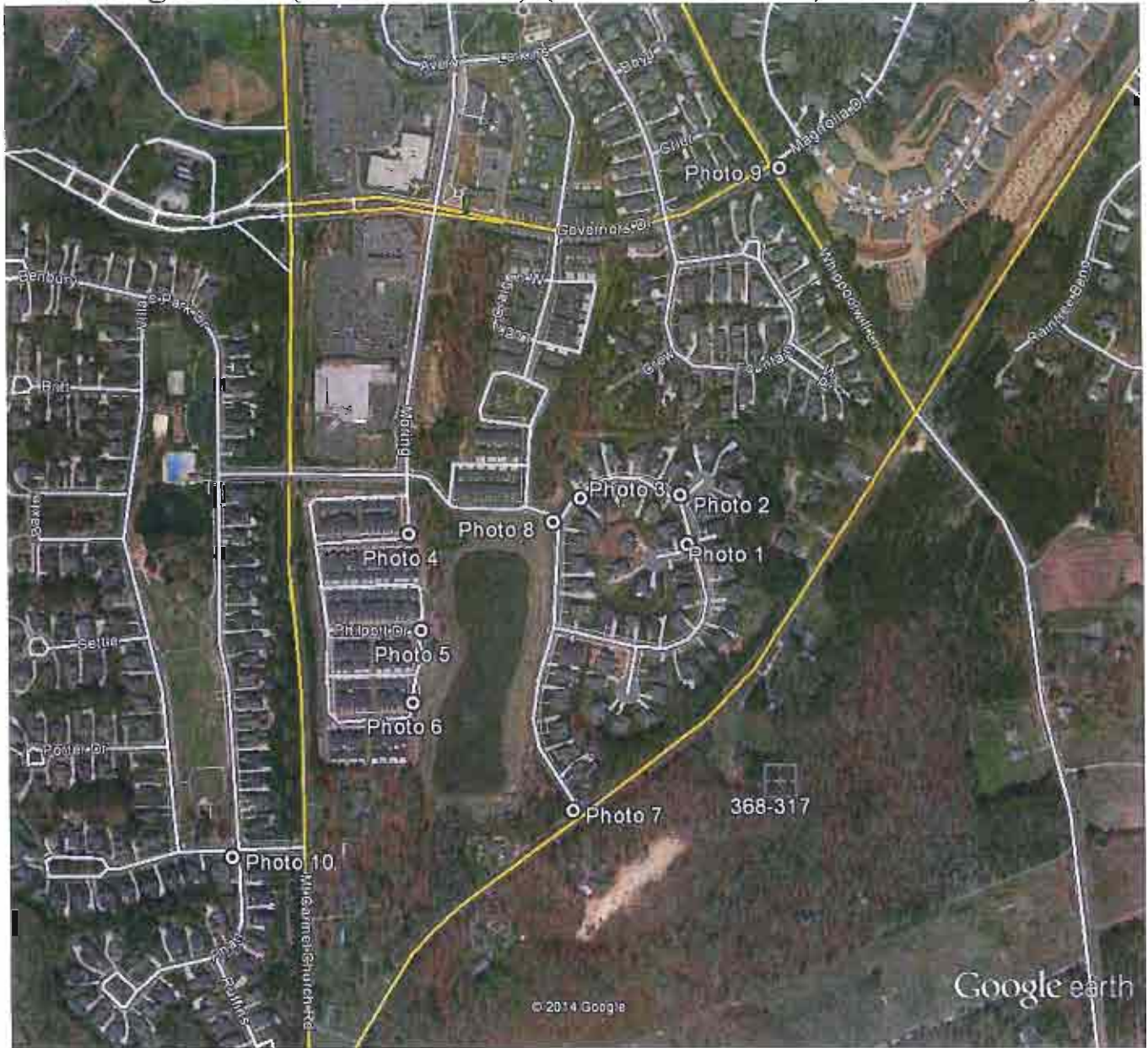
A handwritten signature in black ink, appearing to read "George T. Swearingen, III", with a stylized flourish at the end.

George T. Swearingen, III
Division Manager - Environmental

Farrington NC (ATC#-280422) (AT&T#-368-317)
150-ft Monopole

Balloon Test Results		
Photo Location	Location	Result
1	13001 Droughton Court (N35° 51' 3.52", W79° 1' 17.52")	Visible
2	Intersection of Wicker Drive & Reynolds Court (N35° 51' 5.23", W79° 1' 17.79")	Visible
3	12022 Wicker Drive (N35° 51' 5.12", W79° 1' 22.10")	Visible
4	Christopher Drive (N35° 51' 3.89", W79° 1' 29.53")	Visible
5	Philpott Drive (N35° 51' 0.54", W79° 1' 29.04")	Visible
6	Perdue Drive (N35° 50' 58.04", W79° 1' 29.41")	Visible
7	Intersection of Old Farrington Road and Wicker Drive (N35° 50' 54.29", W79° 1' 22.52")	Not Visible
8	Intersection of David Stone Drive and Wicker Drive (N35° 51' 4.30", W79° 1' 23.29")	Not Visible
9	Intersection of Magnolia Dr. & Whippoorwill Ln. (N35° 51' 16.58", W79° 1' 13.39")	Not Visible
10	Intersection of Walser Drive and Pharr (N35° 50' 52.69", W79° 1' 37.33")	Not Visible

Farrington NC (ATC#-280422) (AT&T#-368-317) 150-ft Monopole



Google earth

feet 2000
meters 600




PHOTO LOCATION 1

CURRENT VIEW WITH BALLOON



BALLOON VISIBLE

 AMERICAN TOWER	<p>SITE NAME: FARRINGTON NC AT&T SITE#: 368-317 - ATC SITE #: 280422 SITE ADDRESS: 464 OLD FARRINGTON RD N35° 50' 55.255", W79° 01' 13.600" VIEW FROM: PHOTO LOCATION 1 (SEE MAP BELOW) ~N35° 51' 3.52", W79° 1' 17.52"</p>
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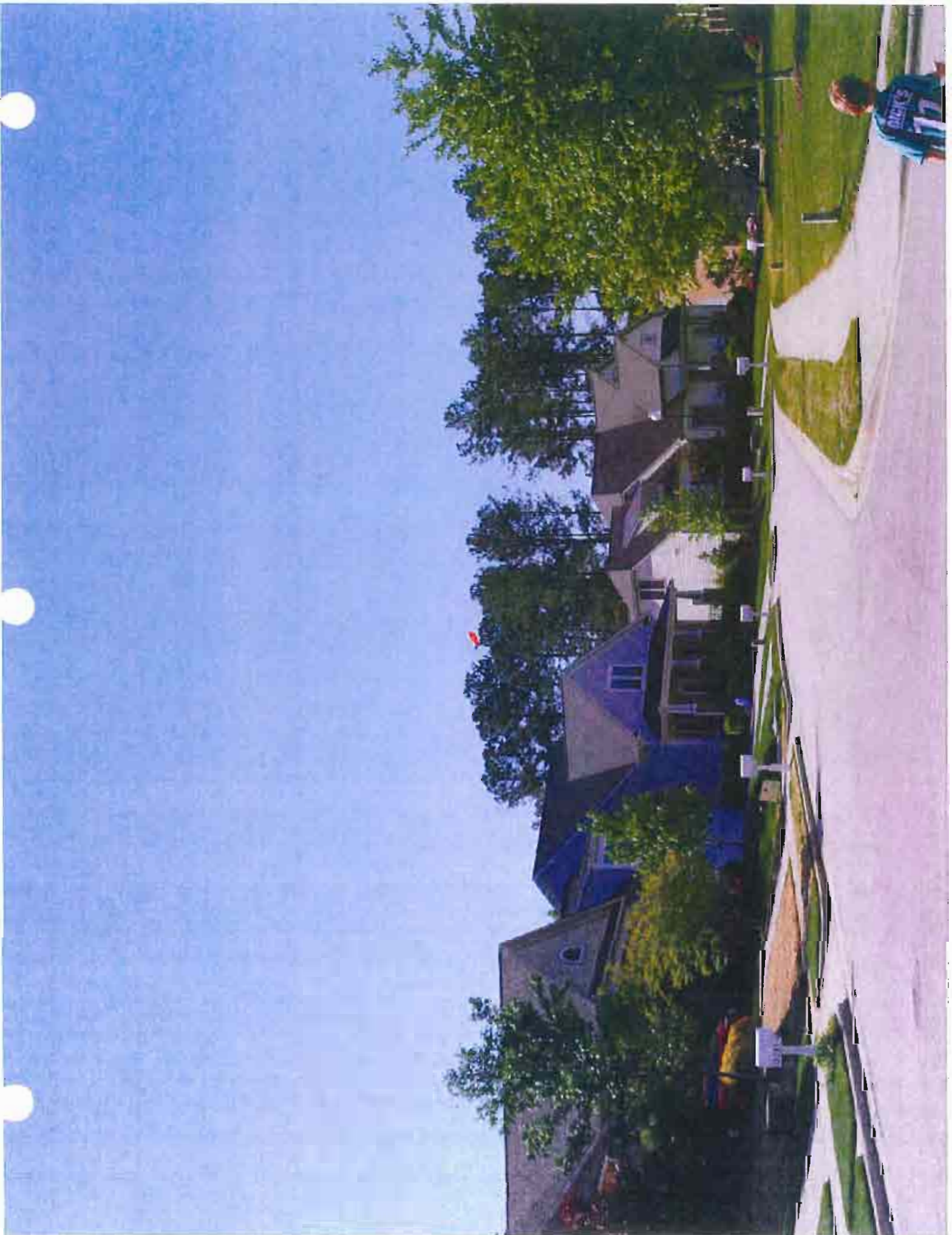


PHOTO LOCATION 2

CURRENT VIEW WITH BALLOON



PHOTO RENDERING

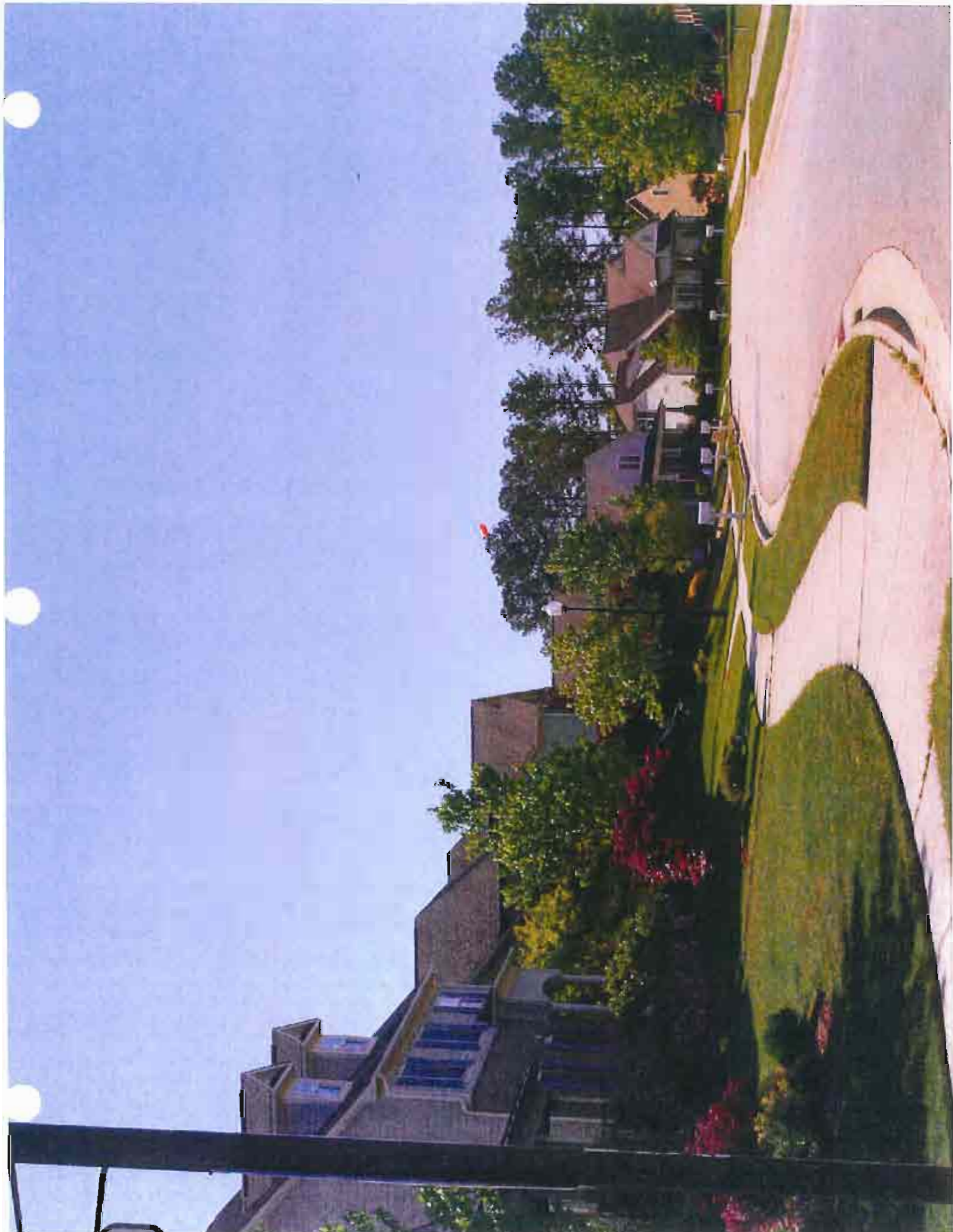


 <p>AMERICAN TOWER</p>	<p>SITE NAME: FARRINGTON NC AT&T SITE#: 368-317 - ATC SITE #: 280422 SITE ADDRESS: 464 OLD FARRINGTON RD N35° 50' 55.255", W79° 01' 13.600" VIEW FROM: PHOTO LOCATION 2 (SEE MAP BELOW) ~N35° 51' 5.23", W79° 1' 17.79"</p>
--	---



PHOTO RENDERING PROVIDED BY TOWER ENGINEERING PROFESSIONALS, INC.





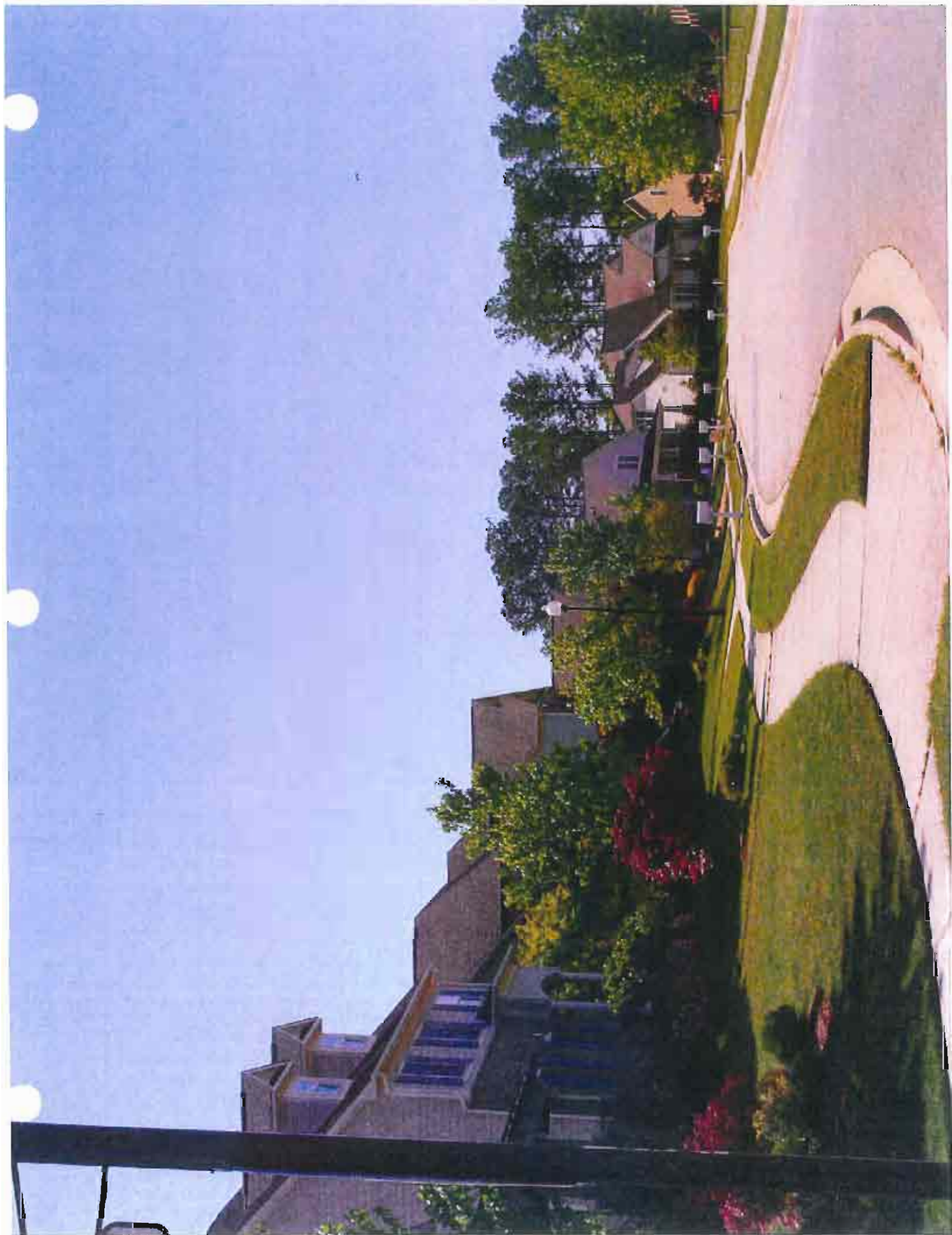


PHOTO LOCATION 3



CURRENT VIEW WITH BALLOON


 <p>AMERICAN TOWER</p>	<p>SITE NAME: FARRINGTON NC AT&T SITE#: 368-317 - ATC SITE #: 280422 SITE ADDRESS: 464 OLD FARRINGTON RD N35° 50' 55.255", W79° 01' 13.600" VIEW FROM: PHOTO LOCATION 3 (SEE MAP BELOW) -N35° 51' 5.12", W79° 1' 22.10"</p>
--	---

PHOTO RENDERING



PHOTO RENDERING PROVIDED BY TOWER ENGINEERING PROFESSIONALS, INC.







PHOTO LOCATION 4

CURRENT VIEW WITH BALLOON



 AMERICAN TOWER
SITE NAME: FARRINGTON NC AT&T SITE#: 368-317 - ATC SITE #: 280422 SITE ADDRESS: 464 OLD FARRINGTON RD N35° 50' 55.255", W79° 01' 13.600" VIEW FROM: PHOTO LOCATION 4 (SEE MAP BELOW) ~N35° 51' 3.89", W79° 1' 29.53"

PHOTO RENDERING



PHOTO RENDERING PROVIDED BY TOWER ENGINEERING PROFESSIONALS, INC.







PHOTO LOCATION 5

CURRENT VIEW WITH BALLOON



BALLOON VISIBLE


 AMERICAN TOWER
SITE NAME: FARRINGTON NC AT&T SITE#: 368-317 - ATC SITE #: 280422 SITE ADDRESS: 464 OLD FARRINGTON RD N35° 50' 55.255", W79° 01' 13.600" VIEW FROM: PHOTO LOCATION 5 (SEE MAP BELOW) ~N35° 51' 00.54", W79° 1' 29.04"



PHOTO PROVIDED BY TOWER ENGINEERING PROFESSIONALS, INC.



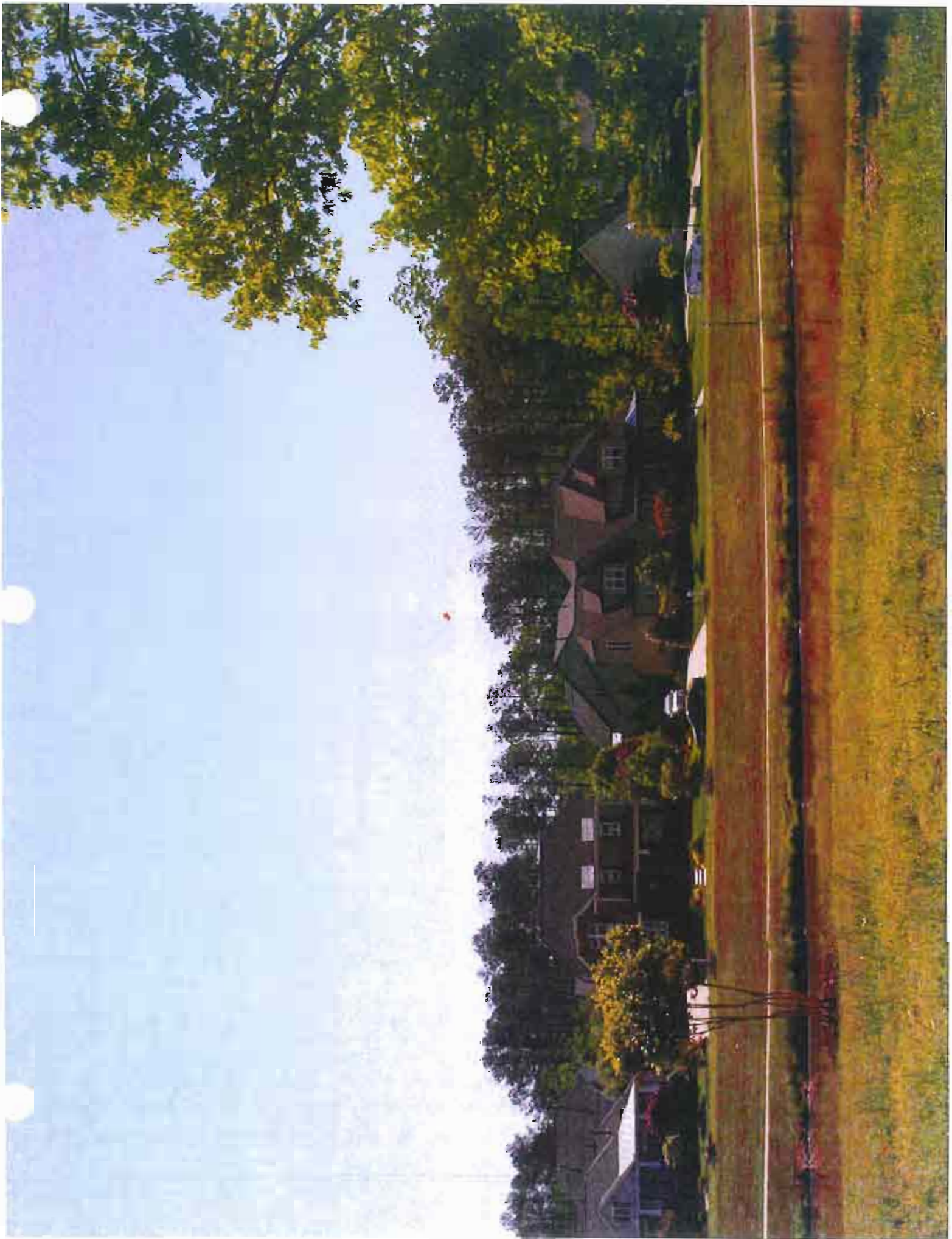


PHOTO LOCATION 6

CURRENT VIEW WITH BALLOON



 AMERICAN TOWER
SITE NAME: FARRINGTON NC AT&T SITE#: 368-317 - ATC SITE #: 280422 SITE ADDRESS: 464 OLD FARRINGTON RD N35° 50' 55.255", W79° 01' 13.600" VIEW FROM: PHOTO LOCATION 6 (SEE MAP BELOW) ~N35° 50' 58.04", W79° 1' 29.41"

PHOTO RENDERING



PHOTO RENDERING PROVIDED BY TOWER ENGINEERING PROFESSIONALS, INC.







PHOTO LOCATION 7

CURRENT VIEW WITH BALLOON



BALLOON NOT VISIBLE

 AMERICAN TOWER	<p>SITE NAME: FARRINGTON NC AT&T SITE#: 368-317 - ATC SITE #: 280422 SITE ADDRESS: 464 OLD FARRINGTON RD N35° 50' 55.255", W79° 01' 13.600" VIEW FROM: PHOTO LOCATION 7 (SEE MAP BELOW) ~N35° 50' 54.29", W79° 1' 22.52"</p>
--	--



PHOTO LOCATION 8

CURRENT VIEW WITH BALLOON



BALLOON NOT VISIBLE

 AMERICAN TOWER	<p>SITE NAME: FARRINGTON NC AT&T SITE#: 368-317 - ATC SITE #: 280422 SITE ADDRESS: 464 OLD FARRINGTON RD N35° 50' 55.255", W79° 01' 13.600" VIEW FROM: PHOTO LOCATION 8 (SEE MAP BELOW) ~N35° 51' 4.30", W79° 1' 23.29"</p>
--	---



PHOTO PROVIDED BY TOWER ENGINEERING PROFESSIONALS, INC.



PHOTO LOCATION 9

CURRENT VIEW WITH BALLOON



BALLOON NOT VISIBLE

 AMERICAN TOWER
SITE NAME: FARRINGTON NC AT&T SITE#: 368-317 - ATC SITE #: 280422 SITE ADDRESS: 464 OLD FARRINGTON RD N35° 50' 55.255", W79° 01' 13.600" VIEW FROM: PHOTO LOCATION 9 (SEE MAP BELOW) ~N35° 51' 16.58", W79° 1' 13.39"



PHOTO LOCATION 10

CURRENT VIEW WITH BALLOON



BALLOON NOT VISIBLE

 AMERICAN TOWER
SITE NAME: FARRINGTON NC A/T&T SITE#: 368-317 - ATC SITE #: 280422 SITE ADDRESS: 464 OLD FARRINGTON RD N35° 50' 55.255", W79° 01' 13.600" VIEW FROM: PHOTO LOCATION 10 (SEE MAP BELOW) ~N35° 50' 52.69", W79° 1' 37.33"



PHOTO PROVIDED BY TOWER ENGINEERING PROFESSIONALS, INC.



* Federal Airways & Airspace *
* Summary Report: New Construction *
* Antenna Structure *

Airspace User: Leslie Nixon

File: 280422

Location: Chapel Hill, NC
Distance: 5.6 Statute Miles
Direction: 348° (true bearing)

Latitude: 35°-50'-55.25" Longitude: 79°-01'-13.60"

SITE ELEVATION AMSL.....282 ft.
STRUCTURE HEIGHT.....155 ft.
OVERALL HEIGHT AMSL.....437 ft.

NOTICE CRITERIA

FAR 77.9(a): NNR (DNE 200 ft AGL)
FAR 77.9(b): NNR (DNE Notice Slope)
FAR 77.9(c): NNR (Not a Traverse Way)
FAR 77.9: NNR FAR 77.9 IFR Straight-In Notice Criteria for IGX
FAR 77.9: NNR FAR 77.9 IFR Straight-In Notice Criteria for RDU
FAR 77.9(d): NNR (Off Airport Construction)

NR = Notice Required
NNR = Notice Not Required
PNR = Possible Notice Required (depends upon actual IFR procedure)
For new construction review Air Navigation Facilities at bottom
of this report.

Notice to the FAA is not required at the analyzed location and height for
slope, height or Straight-In procedures. Please review the 'Air Navigation'
section for notice requirements for offset IFR procedures and EMI.

OBSTRUCTION STANDARDS

FAR 77.17(a) (1): DNE 499 ft AGL
FAR 77.17(a) (2): DNE - Airport Surface
FAR 77.19(a): DNE - Horizontal Surface
FAR 77.19(b): DNE - Conical Surface
FAR 77.19(c): DNE - Primary Surface
FAR 77.19(d): DNE - Approach Surface
FAR 77.19(e): DNE - Transitional Surface

VFR TRAFFIC PATTERN AIRSPACE FOR: IGX: HORACE WILLIAMS

Type: A RD: 33720.86 RE: 488.3
FAR 77.17(a) (1): DNE
FAR 77.17(a) (2): DNE - Height No Greater Than 200 feet AGL.
VFR Horizontal Surface: DNE
VFR Conical Surface: DNE
VFR Approach Slope: DNE
VFR Transitional Slope: DNE

VFR TRAFFIC PATTERN AIRSPACE FOR: RDU: RALEIGH-DURHAM INTL

Type: A RD: 65202.52 RE: 363
FAR 77.17(a) (1): DNE
FAR 77.17(a) (2): DNE - Greater Than 5.99 NM.
VFR Horizontal Surface: DNE

VFR Conical Surface: DNE
 VFR Approach Slope: DNE
 VFR Transitional Slope: DNE

TERPS DEPARTURE PROCEDURE (FAA Order 8260.3, Volume 4)
 FAR 77.17(a) (3) Departure Surface Criteria (40:1)
 DNE Departure Surface

MINIMUM OBSTACLE CLEARANCE ALTITUDE (MOCA)
 FAR 77.17(a) (4) MOCA Altitude Enroute Criteria
 The Maximum Height Permitted is 900 ft AMSL

PRIVATE LANDING FACILITIES

FACIL IDENT TYP NAME	BEARING To FACIL	RANGE IN NM	DELTA ARP ELEVATION	FAA IFR
3NC9 AIR WOMBLE FIELD	295.85	3.62	-38	
No Impact to VFR Transitional Surface. Below surface height of 262 ft above ARP.				
83NC HEL HOLLY GREEN	19.71	4.68	+137	
No Impact to Private Landing Facility Structure is beyond notice limit by 23436 feet.				

AIR NAVIGATION ELECTRONIC FACILITIES

FAC IDNT	TYPE	ST AT	FREQ	VECTOR	DIST (ft)	DELTA ELEVA	ST	LOCATION	GRND ANGLE	APCH BEAR
RDU	VORTAC	I	117.2	82.9	70798	+8	NC	RALEIGH/DURHAM	.01	
RDU	RADAR WXL	Y		82.89	70799	+8	NC	RALEIGH/DURHAM	.01	
RDU	RADAR	Y	2750.	81.81	73111	-58	NC	RALEIGH-DURHAM IN	-.05	
No Impact. This structure does not require Notice based upon EMI. The studied location is within 20 NM of a Radar facility. The calculated Radar Line-Of-Sight (LOS) distance is: 53 NM. This location and height is within the Radar Line-Of-Sight.										
RAX	RADAR WXL	Y		113.14	170968	-25	NC	RALEIGH/DURHAM	-.01	
LIB	VORTAC	I	113.0	265.43	176058	-391	NC	LIBERTY	-.13	
QRL	RADAR ARSR	Y	1266.4	131.4	186254	+86	NC	Raleigh (Benson)	.03	

Report and Order FCC 13-115

AM STUDY NOT REQUIRED: Structure is not near a FCC licensed AM station.
 Movement Method Proof as specified in 73.151(c) is not required. Please
 review 'AM Station Report' for details.

Nearest AM Station: WCHL @ 9963 meters.

Airspace® Summary Version 14.6.365

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06-09-2014
 11:32:32

Michael F. Plahovinsak, P.E.

FOR REFERENCE
ONLY

August 6, 2013

American Tower Corporation

Attn: Kimberly Jackson

Re: Proposed 150-ft Monopole
Located in Rutherford Co., NC: Bethany Church #280401
MFP #23513-338 / TAPP TP-11576

Dear Jackson:

I understand that there may be some concern on the part of local building officials regarding the potential for failure of the proposed communication monopole. Communication structures are designed in accordance with the Telecommunications Industry Association ANSI/TIA-222-G, "Structural Standards for Steel Antenna Towers and Antenna Supporting Structures".

I have designed this monopole to withstand a basic wind speed of 90 mph as recommended by ANSI/TIA-222-G for Rutherford County. The design also conforms to the requirements of the 2006-2012 International Building Code.

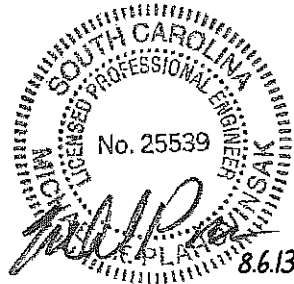
In the very unlikely event of a failure, the fall radius of the structure would be limited to 150'.

The structure has been designed with all of the applicable factors as required by the code. Communication poles are safe structures with a long history of reliable operation.

I hope this review of the monopole design has given you a greater degree of comfort regarding the design capacity inherent in pole structures. If you have any additional questions please call me at 614-398-6250 or email mike@mfpeng.com.

Sincerely,

Michael F. Plahovinsak, P.E.
Professional Engineer

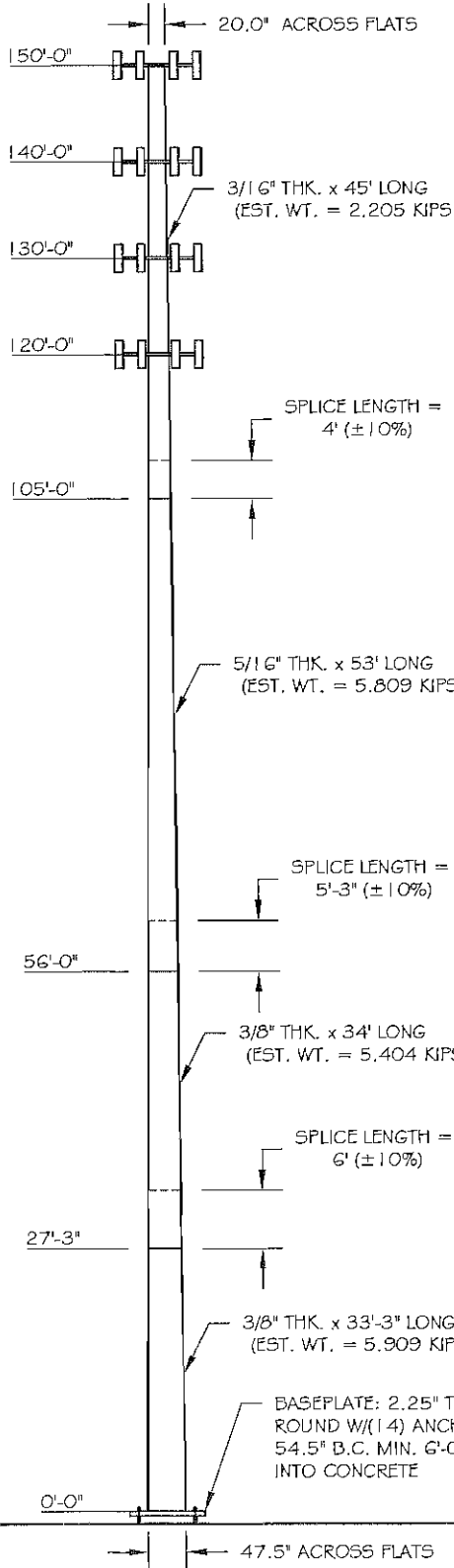




**TransAmerican
Power Products, Inc.**

2427 Kelly Lane
Houston, Texas 77065

PH: 281-444-8277 / FX: 281-444-7270



Page 1 of 1	Job Number: 23513-0338
Eng: MFP	Customer Ref: TP-11576
	Date: 8/6/2013
Structure: 150-FT MONOPOLE	
Site: 280401 BETHANY CHURCH	
Location: RUTHERFORD CO., NC / 35°18'44", -81°52'59"	
Owner: AMERICAN TOWER	
Revision No.:	Revision Date:

DESIGN

Building Code: 2012 NORTH CAROLINA BUILDING CODE			
Design Standard: ANSI/TIA-222-G-2			
Wind Speed Load Cases: 3-SEC. GUSTED WIND SPEED			
Load Case #1: 90 MPH Design Wind Speed			
Load Case #2: 30 MPH Wind with 0.75" Ice Accumulation			
Load Case #3: 60 MPH Service Wind Speed			
Structure Class: II	Exposure Cat.: C	Topography Cat.: I	Crest Height:

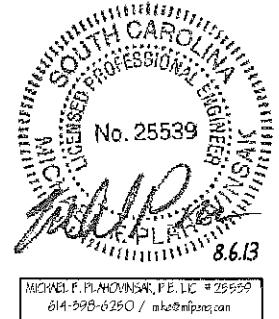
EQUIPMENT LIST

Elev.	Description
150	(12) PANEL ANTENNAS (105 FT2 / 1800 LBS)
150	T-ARM MOUNTS
140	(12) PANEL ANTENNAS (105 FT2 / 1800 LBS)
140	T-ARM MOUNTS
130	(12) PANEL ANTENNAS (105 FT2 / 1800 LBS)
130	T-ARM MOUNTS
120	(12) PANEL ANTENNAS (105 FT2 / 1800 LBS)
120	T-ARM MOUNTS

ANTENNA FEED LINES ROUTED ON THE INSIDE OF THE POLE

STRUCTURE PROPERTIES

Cross-Section: 18-SIDED	Taper: 0.19500 in/ft				
Shaft Steel: ASTM A572 GR 65	Baseplate Steel: ASTM A572 GR 55				
Anchor Rods: 2.25 in. AG 15 GR. 75 X 7'-0" LONG					
Sect.	Length (ft)	Thickness (in)	Splice (ft)	Top Dia. (in)	Bot Dia. (in)
1	45.00	0.1875	4.00	20.00	28.78
2	53.00	0.3125	5.25	27.62	37.96
3	34.00	0.3750	6.00	36.31	42.94
4	33.25	0.3750		41.02	47.50



BASE REACTIONS FOR FOUNDATION DESIGN

Moment: 3650 ft-kp
Shear: 31 kp
Axial: 44 kp

tnxTower Michael F. Plahovinsak, P.E. 18301 State Route 161 W Plain City, OH 43064 Phone: 614-398-6250 FAX: mike@mfpeng.com	Job 150-ft Monopole - MFP #23513-338	Page 1 of 5
	Project 280401, Bethany Church	Date 18:18:40 08/06/13
	Client TAPP (TP-11576)	Designed by Mike

Tower Input Data

This tower is designed using the TIA-222-G standard.

The following design criteria apply:

Tower is located in Rutherford County, North Carolina.

Basic wind speed of 90 mph.

Structure Class II.

Exposure Category C.

Topographic Category 1.

Crest Height 0.00 ft.

Nominal ice thickness of 0.7500 in.

Ice thickness is considered to increase with height.

Ice density of 56 pcf.

A wind speed of 30 mph is used in combination with ice.

Temperature drop of 50 °F.

Deflections calculated using a wind speed of 60 mph.

A non-linear (P-delta) analysis was used.

Pressures are calculated at each section.

Stress ratio used in pole design is 1.

Local bending stresses due to climbing loads, feedline supports, and appurtenance mounts are not considered.

Tapered Pole Section Geometry

Section	Elevation ft	Section Length ft	Splice Length ft	Number of Sides	Top Diameter in	Bottom Diameter in	Wall Thickness in	Bend Radius in	Pole Grade
L1	150.00-105.00	45.00	4.00	18	20.0000	28.7800	0.1875	0.7500	A572-65 (65 ksi)
L2	105.00-56.00	53.00	5.25	18	27.6246	37.9600	0.3125	1.2500	A572-65 (65 ksi)
L3	56.00-27.25	34.00	6.00	18	36.3112	42.9400	0.3750	1.5000	A572-65 (65 ksi)
L4	27.25-0.00	33.25		18	41.0202	47.5000	0.3750	1.5000	A572-65 (65 ksi)

Tapered Pole Properties

Section	Tip Dia. in	Area in ²	I in ⁴	r in	C in	I/C in ³	J in ⁴	It/Q in ³	w in	w/t
L1	20.3085	11.7909	584.7409	7.0334	10.1600	57.5532	1170.2512	5.8966	3.1900	17.013
L2	29.2240	17.0161	1757.5271	10.1503	14.6202	120.2119	3517.3668	8.5097	4.7353	25.255
L3	38.5456	37.3416	6686.5611	13.3649	19.2837	346.7472	13381.9206	18.6744	6.1310	19.619
L4	37.9107	42.7731	6978.6644	12.7574	18.4461	378.3275	13966.5115	21.3906	5.7308	15.282
	43.6024	50.6630	11596.6768	15.1106	21.8135	531.6279	23208.6128	25.3363	6.8974	18.393
	42.8403	48.3780	10097.2673	14.4291	20.8383	484.5541	20207.8208	24.1936	6.5596	17.492
	48.2328	56.0905	15737.2821	16.7294	24.1300	652.1874	31495.2717	28.0506	7.7000	20.533

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Feed Line/Linear Appurtenances - Entered As Area

Description	Face or Leg	Allow Shield	Component Type	Placement ft	Total Number	C _A A		Weight
						ft ² /ft	plf	
1 5/8"	C	No	Inside Pole	150.00 - 0.00	18	No Ice	0.00	0.92
						1/2" Ice	0.00	0.92
						1" Ice	0.00	0.92
1 5/8"	C	No	Inside Pole	140.00 - 0.00	18	No Ice	0.00	0.92
						1/2" Ice	0.00	0.92
						1" Ice	0.00	0.92
1 5/8"	C	No	Inside Pole	130.00 - 0.00	18	No Ice	0.00	0.92
						1/2" Ice	0.00	0.92
						1" Ice	0.00	0.92
1 5/8"	C	No	Inside Pole	120.00 - 0.00	18	No Ice	0.00	0.92
						1/2" Ice	0.00	0.92
						1" Ice	0.00	0.92

Discrete Tower Loads

Description	Face or Leg	Offset Type	Offsets:		Azimuth Adjustment °	Placement ft	C _A A		Weight K	
			Horz ft	Vert ft			Front ft ²	Side ft ²		
(12) Panel w/ mounting (105 ft ² / 1800 lbs)	C	None			0.0000	150.00	No Ice	105.00	105.00	1.80
							1/2" Ice	125.00	125.00	2.34
							1" Ice	145.00	145.00	2.88
(12) Panel w/ mounting (105 ft ² / 1800 lbs)	C	None			0.0000	140.00	No Ice	105.00	105.00	1.80
							1/2" Ice	125.00	125.00	2.34
							1" Ice	145.00	145.00	2.88
(12) Panel w/ mounting (105 ft ² / 1800 lbs)	C	None			0.0000	130.00	No Ice	105.00	105.00	1.80
							1/2" Ice	125.00	125.00	2.34
							1" Ice	145.00	145.00	2.88
(12) Panel w/ mounting (105 ft ² / 1800 lbs)	C	None			0.0000	120.00	No Ice	105.00	105.00	1.80
							1/2" Ice	125.00	125.00	2.34
							1" Ice	145.00	145.00	2.88

Load Combinations

Comb. No.	Description
1	Dead Only
2	1.2 Dead+1.6 Wind 0 deg - No Ice
3	0.9 Dead+1.6 Wind 0 deg - No Ice
4	1.2 Dead+1.6 Wind 90 deg - No Ice
5	0.9 Dead+1.6 Wind 90 deg - No Ice
6	1.2 Dead+1.6 Wind 180 deg - No Ice
7	0.9 Dead+1.6 Wind 180 deg - No Ice
8	1.2 Dead+1.0 Ice+1.0 Temp
9	1.2 Dead+1.0 Wind 0 deg+1.0 Ice+1.0 Temp
10	1.2 Dead+1.0 Wind 90 deg+1.0 Ice+1.0 Temp
11	1.2 Dead+1.0 Wind 180 deg+1.0 Ice+1.0 Temp
12	Dead+Wind 0 deg - Service
13	Dead+Wind 90 deg - Service
14	Dead+Wind 180 deg - Service

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Maximum Member Forces

Section No.	Elevation ft	Component Type	Condition	Gov. Load Comb.	Axial K	Major Axis Moment kip-ft	Minor Axis Moment kip-ft
L1	150 - 105	Pole	Max Tension	1	0.00	0.00	0.00
			Max. Compression	8	-22.91	0.00	0.00
			Max. Mx	4	-10.07	-604.36	0.00
			Max. My	2	-10.07	0.00	604.36
			Max. Vy	4	23.70	-604.36	0.00
			Max. Vx	2	-23.70	0.00	604.36
L2	105 - 56	Pole	Max Tension	1	0.00	0.00	0.00
			Max. Compression	8	-36.64	0.00	0.00
			Max. Mx	4	-21.47	-1823.83	0.00
			Max. My	2	-21.47	0.00	1823.83
			Max. Vy	4	27.27	-1823.83	0.00
			Max. Vx	2	-27.27	0.00	1823.83
L3	56 - 27.25	Pole	Max Tension	1	0.00	0.00	0.00
			Max. Compression	8	-47.50	0.00	0.00
			Max. Mx	4	-30.55	-2614.24	0.00
			Max. My	2	-30.55	0.00	2614.24
			Max. Vy	4	29.09	-2614.24	0.00
			Max. Vx	2	-29.09	0.00	2614.24
L4	27.25 - 0	Pole	Max Tension	1	0.00	0.00	0.00
			Max. Compression	8	-61.53	0.00	0.00
			Max. Mx	4	-42.54	-3607.62	0.00
			Max. My	2	-42.54	0.00	3607.62
			Max. Vy	4	30.45	-3607.62	0.00
			Max. Vx	2	-30.45	0.00	3607.62

Maximum Tower Deflections - Service Wind

Section No.	Elevation ft	Horz. Deflection in	Gov. Load Comb.	Tilt °	Twist °
L1	150 - 105	40.328	12	2.4284	0.0000
L2	109 - 56	20.960	12	1.8958	0.0000
L3	61.25 - 27.25	6.360	12	0.9702	0.0000
L4	33.25 - 0	1.913	12	0.5152	0.0000

Critical Deflections and Radius of Curvature - Service Wind

Elevation ft	Appurtenance	Gov. Load Comb.	Deflection in	Tilt °	Twist °	Radius of Curvature ft
150.00	(12) Panel w/ mounting (105 ft ² / 1800 lbs)	12	40.328	2.4284	0.0000	21130
140.00	(12) Panel w/ mounting (105 ft ² / 1800 lbs)	12	35.304	2.3160	0.0000	10564
130.00	(12) Panel w/ mounting (105 ft ² / 1800 lbs)	12	30.394	2.1970	0.0000	5281
120.00	(12) Panel w/ mounting (105 ft ² / 1800 lbs)	12	25.711	2.0647	0.0000	3520

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Maximum Tower Deflections - Design Wind

Section No.	Elevation ft	Horz. Deflection in	Gov. Load Comb.	Tilt °	Twist °
L1	150 - 105	162.727	4	9.8174	0.0000
L2	109 - 56	84.723	4	7.6702	0.0000
L3	61.25 - 27.25	25.741	4	3.9283	0.0000
L4	33.25 - 0	7.744	4	2.0860	0.0000

Critical Deflections and Radius of Curvature - Design Wind

Elevation ft	Appurtenance	Gov. Load Comb.	Deflection in	Tilt °	Twist °	Radius of Curvature ft
150.00	(12) Panel w/ mounting (105 ft2 / 1800 lbs)	4	162.727	9.8174	0.0000	5499
140.00	(12) Panel w/ mounting (105 ft2 / 1800 lbs)	4	142.502	9.3650	0.0000	2748
130.00	(12) Panel w/ mounting (105 ft2 / 1800 lbs)	4	122.733	8.8855	0.0000	1370
120.00	(12) Panel w/ mounting (105 ft2 / 1800 lbs)	4	103.873	8.3519	0.0000	909

Pole Design Data

Section No.	Elevation ft	Size	L ft	L _u ft	Kl/r	A in ²	P _u K	φP _n K	Ratio P _u φP _n
L1	150 - 105 (1)	TP28.78x20x0.1875	45.00	0.00	0.0	16.5516	-10.07	1080.86	0.009
L2	105 - 56 (2)	TP37.96x27.6246x0.3125	53.00	0.00	0.0	36.3261	-21.47	2582.89	0.008
L3	56 - 27.25 (3)	TP42.94x36.3112x0.375	34.00	0.00	0.0	49.2707	-30.55	3565.79	0.009
L4	27.25 - 0 (4)	TP47.5x41.0202x0.375	33.25	0.00	0.0	56.0905	-42.54	3899.68	0.011

Pole Bending Design Data

Section No.	Elevation ft	Size	M _{ux} kip-ft	φM _{ux} kip-ft	Ratio M _{ux} φM _{ux}	M _{uy} kip-ft	φM _{uy} kip-ft	Ratio M _{uy} φM _{uy}
L1	150 - 105 (1)	TP28.78x20x0.1875	604.36	618.84	0.977	0.00	618.84	0.000
L2	105 - 56 (2)	TP37.96x27.6246x0.3125	1823.83	1943.89	0.938	0.00	1943.89	0.000
L3	56 - 27.25 (3)	TP42.94x36.3112x0.375	2614.23	3031.67	0.862	0.00	3031.67	0.000
L4	27.25 - 0 (4)	TP47.5x41.0202x0.375	3607.62	3778.60	0.955	0.00	3778.60	0.000

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Pole Shear Design Data

Section No.	Elevation ft	Size	Actual V_u K	ϕV_n K	Ratio $\frac{V_u}{\phi V_n}$	Actual T_u kip-ft	ϕT_n kip-ft	Ratio $\frac{T_u}{\phi T_n}$
L1	150 - 105 (1)	TP28.78x20x0.1875	23.70	540.43	0.044	0.00	1239.19	0.000
L2	105 - 56 (2)	TP37.96x27.6246x0.3125	27.27	1291.45	0.021	0.00	3892.53	0.000
L3	56 - 27.25 (3)	TP42.94x36.3112x0.375	29.09	1782.89	0.016	0.00	6070.74	0.000
L4	27.25 - 0 (4)	TP47.5x41.0202x0.375	30.45	1949.84	0.016	0.00	7566.44	0.000

Pole Interaction Design Data

Section No.	Elevation ft	Ratio $\frac{P_u}{\phi P_n}$	Ratio $\frac{M_{ux}}{\phi M_{nx}}$	Ratio $\frac{M_{uy}}{\phi M_{ny}}$	Ratio $\frac{V_u}{\phi V_n}$	Ratio $\frac{T_u}{\phi T_n}$	Comb. Stress Ratio	Allow. Stress Ratio	Criteria
L1	150 - 105 (1)	0.009	0.977	0.000	0.044	0.000	0.988	1.000	4.8.2 ✓
L2	105 - 56 (2)	0.008	0.938	0.000	0.021	0.000	0.947	1.000	4.8.2 ✓
L3	56 - 27.25 (3)	0.009	0.862	0.000	0.016	0.000	0.871	1.000	4.8.2 ✓
L4	27.25 - 0 (4)	0.011	0.955	0.000	0.016	0.000	0.966	1.000	4.8.2 ✓

Section Capacity Table

Section No.	Elevation ft	Component Type	Size	Critical Element	P K	eP_{allow} K	% Capacity	Pass Fail
L1	150 - 105	Pole	TP28.78x20x0.1875	1	-10.07	1080.86	98.8	Pass
L2	105 - 56	Pole	TP37.96x27.6246x0.3125	2	-21.47	2582.89	94.7	Pass
L3	56 - 27.25	Pole	TP42.94x36.3112x0.375	3	-30.55	3565.79	87.1	Pass
L4	27.25 - 0	Pole	TP47.5x41.0202x0.375	4	-42.54	3899.68	96.6	Pass
Summary								
Pole (L1)							98.8	Pass
RATING =							98.8	Pass

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Anchor Rod and Base Plate Calculation

ANSI/TIA-222-G-2

<i>Factored Base Reactions:</i>	<i>Pole Shape:</i>	<i>Anchor Rods:</i>	<i>Base Plate:</i>
Moment: 3608 ft-kips	18-Sided	(14) 2.25 in. A615 GR. 75	2.25 in. x 60.5 in. Round
Shear: 30 kips	<i>Pole Dia. (D_f):</i>	Anchor Rods Evenly Spaced	fy = 55 ksi
Axial: 43 kips	47.50 in	On a 54.5 in Bolt Circle	

Anchor Rod Calculation According to TIA-222-G section 4.9.9

$\phi =$	0.80 <small>TIA 4.9.9</small>
$I_{bolts} =$	5197.94 in ² <small>Moment of Inertia</small>
$P_u =$	227 kips <small>Tension Force</small>
$V_u =$	2 kips <small>Shear Force</small>
$R_{nt} =$	325.00 kips <small>Nominal Tensile Strength</small>
$\eta =$	0.50 <small>for detail type (d)</small>

The following Interaction Equation Shall Be Satisfied:

$$\left(\frac{P_u + \frac{V_u}{\eta}}{\phi R_{nt}} \right) \leq 1.0$$

$$0.889 \leq 1$$

Base Plate Calculation According to TIA-222-G

$\phi =$	0.90 <small>NA 4.7</small>
$M_{PL} =$	546.4 in-kip <small>Plate Moment</small>
$L =$	10.7 in <small>Section Length</small>
$Z =$	13.5 <small>Plastic Section Modulus</small>
$M_p =$	742.0 in-kip <small>Plastic Moment</small>
$\phi M_n =$	667.8 in-kip <small>Factored Resistance</small>

Calculated Moment vs Factored Resistance

$$546.37 \text{ in-kip} \leq 668 \text{ in-kip}$$

Anchor Rods Are Adequate	88.9% <input checked="" type="checkbox"/>
Base Plate is Adequate	81.8% <input checked="" type="checkbox"/>

IMPACT ANALYSIS OF
A PROPOSED TELECOMMUNICATIONS TOWER ON
THE VALUES OF SURROUNDING OR ADJOINING PROPERTIES

LOCATED ON

464 OLD FARRINGTON ROAD
CHATHAM COUNTY, NORTH CAROLINA

AS OF

JUNE 16, 2014

FOR

GRAY STYERS
STYERS, KEMERAIT & MITCHELL, PLLC
1101 HAYNES STREET, SUITE 101-C
RALEIGH, NC 27604

BY

DAVID A SMITH, MAI, SRA
POST OFFICE BOX 51597
DURHAM, NORTH CAROLINA 27717-1597

PART ONE - INTRODUCTION



DAVID A. SMITH, MAI, SRA

P.O. BOX 51597
DURHAM, NORTH CAROLINA 27717-1597
PHONE (919) 493-1534
smithappraiser@frontier.com



June 16, 2014

Gray Styers
Styers, Kemerait & Mitchell, PLLC
1101 Haynes Street, Suite 101-C
Raleigh, NC 27604

Mr. Styers:

As requested, I have inspected the site of a proposed telecommunications tower and the surrounding and adjoining properties. The proposed tower will be located at 464 Old Farrington Road in Chatham County, North Carolina.

The purpose of this assignment is to develop an opinion of the effect of the proposed tower on the surrounding and adjoining properties. The intended use of this assignment is to assist the approving body in determining the effect of the proposed tower. The intended users of this report are officers and employees of Styers, Kemerait & Mitchell, PLLC and anyone they designate.

As requested, a summary report has been prepared. This is not an appraisal, but is a consulting assignment. This report assumes that the proposed tower has been constructed.

The properties were inspected on April 23, 2014 which is the effective date of this report and analysis. I made all necessary investigations and analyses. Based on a set of plans of the proposed tower, an inspection of the proposed tower and the surrounding and adjoining properties, an analysis of data gathered and facts and conclusions as contained in the following report of 22 pages, and subject to the assumptions and limiting conditions as stated, it is my opinion that the proposed tower will not adversely affect property values and will not impair the integrity or character of the surrounding or adjoining districts.

I certify that I have personally inspected the site of the proposed tower and those properties that surround or adjoin it. I further certify that I have no interest either present or contemplated in the property and that neither the employment to make this analysis nor the compensation is contingent upon the result of the analysis.

Respectfully submitted,

A handwritten signature in cursive script that reads 'David A. Smith'.

David A. Smith, MAI, SRA
NC State-Certified General Real Estate Appraiser #A281



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CERTIFICATION

I certify that, to the best of my knowledge and belief,...

The statements of fact contained in this report are true and correct.

The reported analyses, opinions, and conclusions are limited only by the reported assumptions and limiting conditions, and are my personal, impartial, and unbiased professional analyses, opinions, and conclusions.

I have no present or prospective interest in the property that is the subject of this report, and no personal interest with respect to the parties involved.

I have no bias with respect to the property that is the subject of this report or to the parties involved with this assignment.

My engagement in this assignment was not contingent upon developing or reporting predetermined results.

My compensation for completing this assignment is not contingent upon the development or reporting of a predetermined value or direction in value that favors the cause of the client, the amount of the value opinion, the attainment of a stipulated result, or the occurrence of a subsequent event directly related to the intended use of this report.

My analyses, opinions, and conclusions were developed, and this report has been prepared, in conformity with the *Uniform Standards of Professional Appraisal Practice*.

I have made a personal inspection of the property that is the subject of this report.

No one provided significant real property appraisal assistance to the person signing this certification.

The reported analysis, opinions, and conclusions were developed, and this report has been prepared, in conformity with the requirements of the Code of Professional Ethics and the Standards of Professional Appraisal Practice of the Appraisal Institute.

The use of this report is subject to the requirements of the Appraisal Institute relating to review by its duly authorized representatives.

As of the date of the report, I have completed the requirements of the continuing education program of the Appraisal Institute.

This assignment was not made, nor was the report rendered on the basis of a requested minimum valuation, specific valuation, or an amount, which would result in approval of a credit transaction.

Unless otherwise stated in this report, I have not performed any services regarding the subject property within the three year period immediately preceding acceptance of this assignment as an appraiser or in any other capacity.

I have not performed any service regarding this property for the prior three years.



David A. Smith, MAI, SRA

PART TWO – PREMISES OF THE REPORT

STATEMENT OF COMPETENCE

I have completed all of the requirements to become a state certified general appraiser for the State of North Carolina and all of the requirements for the MAI designation. In addition I have successfully completed USPAP courses and continuing education seminars for over thirty years as well as preparing real estate appraisal reports over the same period. More detailed information about the courses and seminars are in the qualifications section of this report. I have prepared similar analyses and feel competent to perform this analysis.

EXTRAORDINARY ASSUMPTIONS AND HYPOTHETICAL CONDITIONS

An extraordinary assumption is an assumption, directly related to a specific assignment, which if found to be false, could alter the appraiser's opinions or conclusions. A hypothetical condition is something that is contrary to what exists but is supposed for the purpose of the analysis. This analysis assumes that the proposed tower has been constructed.

No other extraordinary assumptions or hypothetical conditions are made.

GENERAL ASSUMPTIONS AND LIMITING CONDITIONS

The report has been made with the following general assumptions:

1. Possession of this report, or a copy thereof, does not carry with it the right of publication.
2. The appraiser by reason of this report is not required to give further consultation or testimony or to be in attendance in court with reference to the property in question unless arrangements have been previously made.
3. Neither all nor any part of the contents of this report (especially any conclusions, the identity of the appraiser, or the firm with which the appraiser is connected) shall be disseminated to the

public through advertising, public relations, news, sales or other media without the prior written consent and approval of the appraiser.

4. Definitions used in this report have been taken from *The Dictionary of Real Estate Appraisal*, 4th ed., published by the Appraisal Institute, copyright 2002, unless otherwise stated.

5. The appraiser relied on a set of plans entitled “American Tower Corporation, AT&T Site #: 368-317, ATC# 280442, ATC Site Name: Farrington, NC, 464 Old Farrington Road, Chapel Hill, NC 27514,” prepared by Tower Engineering Professionals and last revised January 22, 2014. For purposes of this report, this information is assumed to be correct. Copies of pages from these plans are in the addenda.

6. The appraiser relied on public records from the Chatham and Durham County Tax Offices, the Chatham and Durham County Register of Deeds, the Triangle Multiple Listing Service and antennasearch.com for information regarding properties analyzed in this report. For purposes of this report, this information is assumed to be correct.

PURPOSE, INTENDED USE AND USERS OF THE REPORT

The purpose of this analysis is to estimate the effect of a proposed telecommunications tower on surrounding and adjoining properties. The intended use of the report is to assist the approving body in determining the effect of the proposed use. The intended users of this report are officers and employees of Styers, Kemerait & Mitchell, PLLC and anyone they designate.

DEFINITION OF VALUE

The opinions of value in this analysis are the market values. The definition of market value is that used by federally regulated financial institutions. I found this definition on page A-105 of the *2014-2015 Uniform Standards of Professional Appraisal Practice (USPAP)*. This definition is as follows:

The most probable price which a property should bring in a competitive and open market under all conditions requisite to a fair sale, the buyer and seller each acting prudently and knowledgeably, and assuming the price is not affected by undue stimulus. Implicit in this definition is the consummation of a sale as of a specified date and the passing of title from seller to buyer under conditions whereby:

1. buyer and seller are typically motivated;
2. both parties are well informed or well advised, and acting in what they consider their best interests;
3. a reasonable time is allowed for exposure in the open market;
4. payment is made in terms of cash in United States dollars or in terms of financial arrangements comparable thereto; and

5. the price represents the normal consideration for the property sold unaffected by special or creative financing or sales concessions granted by anyone associated with the sale.

DATE OF ANALYSIS AND DATE OF REPORT

The effective date of the analysis is April 23, 2014. The date of the report is also June 16, 2014.

PROPERTY RIGHTS

The ownership interest considered in this analysis is the fee simple interest. The properties may be leased or have other property rights transferred, but the effect is for the fee simple value of the properties. The definition of fee simple as used in this report is:

Absolute ownership unencumbered by any other interest or estate, subject only to the limitations imposed by the governmental powers of taxation, eminent domain, police power, and escheat.

SCOPE OF WORK

The scope of the report involves collection and confirmation of data relative to the property with the proposed tower and adjoining and abutting properties. I made an inspection of the proposed tower site and referred to a set of plans for the tower. I also made an exterior inspection, from the street right-of-way of those properties that surround or adjoin the proposed tower site. I researched properties around existing cell tower to locate those that sold for comparison purposes. I located a dwelling in Chatham County and a subdivision in Durham County to judge the effect of the proposed tower on property values of surrounding or adjoining properties.

PART THREE – PRESENTATION OF DATA

NEIGHBORHOOD AND LOCATIONAL DATA

The proposed tower is located in northeast Chatham County, North Carolina near the Orange and Durham County lines. This area is a mixture of rural and suburban uses. It was previously a typical rural area with mixture of woodland, agricultural, and scattered residential uses, but new development has occurred in the past few years due to its proximity to Chapel Hill, Durham and the Research Triangle Park. A location map for the subject on the following page.

It is about 2.5 miles southeast of Chapel Hill and 5.5 miles southwest of Durham. The nearest highway is US 15 about 4 miles to the west. The nearest interstate is I-40 about 5 miles to the northeast.

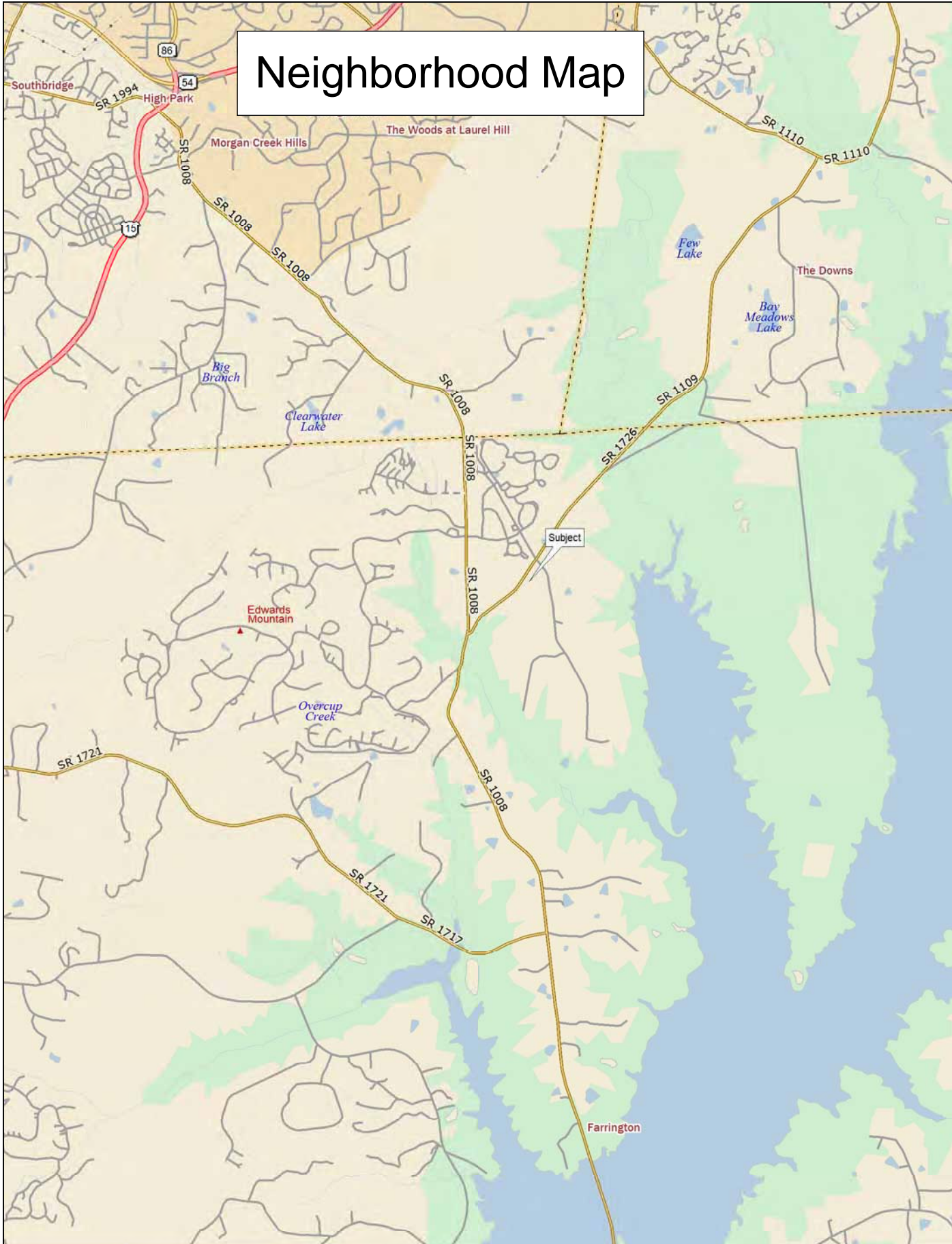
There is a large private community, Governor's Club. Governor's Club began development in 1987 and consists of 1,200 high quality dwellings lots located around an 18 hold championship golf course and golf club. Governor's Village is across the street from Governor's Club and is a mixed use development. There are six neighborhoods, four single family, one townhouse and one apartment and a commercial/office area. The homes are in the middle to upper income range. There is also a larger continuing care facility, Carolina Meadows. This facility is 25 years old and is located on 166 acres. It has about 700 residents in independent living, assisted living and nursing. Also in this area is Lake Jordan. This lake has 14,000 acres of surface area and is a major recreation destination for much of the area. It has hiking, camping boating, fishing, swimming and picnic facilities.

The neighborhood is stable and property values should increase at a steady rate.

DESCRIPTION OF PROPOSED TOWER SITE

Since the purpose of this report is to estimate the effect of the proposed tower on surrounding and adjoining properties and not the property the tower is on, only a brief description of the property is given. More details of the site are in the addenda.

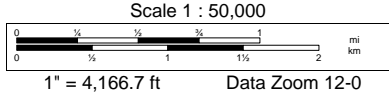
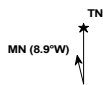
Neighborhood Map



Data use subject to license.

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www.delorme.com



1" = 4,166.7 ft Data Zoom 12-0

The land where the tower will be located is owned by Lester R. Porter, Jr. and Gloria Rhodes Porter. The Chatham County tax office identifies it with a parcel number of 0020032. According to tax records, the land area is 11.179 acres. The property is improved with a single family dwellings and several outbuildings. Tax records indicate that the dwelling has 1,504 square feet of area and was built in 1956. The site is a mixture of cleared and wooded areas.

DESCRIPTION OF THE PROPOSED TOWER

The tower will be of monopole design 150 feet in height (including the base and the lightning rod). It will be located on a 100' x 100' leased area near the southern end of the tract. The tower will not be lit. A 60' x 80' area will be enclosed with eight foot high chain link fence with three strand barbed wire that will contain the equipment. Outside the fenced area will be a gravel parking area for two vehicles. The fenced area will be buffered with shrubs. There will be an equipment shed 11'5" x 16' and 9'6" in height and a generator on a 5' x 10' concrete pad. There will also be an ice bridge between the equipment shed and the tower about 10'6" in height. Space is available for three additional equipment buildings for co-location on the tower. The tower will be accessed by a 12' gravel drive from Old Farrington Road.

The tower will be about 640 feet from the northern property boundary, 289 feet from the eastern boundary, 186 feet from the southern boundary and 304 feet from the western boundary. The area of the proposed tower is wooded and after construction will be surrounded on three sides by existing trees.

DESCRIPTION OF ADJOINING AND ABUTTING PROPERTIES

There are eight properties that adjoin or are across the street from the tower parcel. A chart of these properties is on the following page.

DAVID A. SMITH, MAI, SRA

Owner	Legal Description	Land Size	Building Size
Lester R. Porter, Jr and Gloria Rhodes Porter	796 Whippoorwill Lane	13.98	1,200
Kathryn Sophia Miller	1048 Whippoorwill Lane	5	1,790
Michael E. Poole & Marjorie A. Rohrbach	Whippoorwill Lane	5	
Michael E. Poole & Marjorie A. Rohrbach	588 Whippoorwill Lane	8.84	1,782
Samuel G. Boggs and Vcikie L. Cecil	Old Farrington Road	17.915	
John William Carpenter and Sue A. Carpenter	256 Old Farrington Road	2.254	1,338
Governors Village POA Inc.	1100 Perdue Drive	8.437	
Governors Village POA Inc.	457 Old Farrington Road	2.424	

Four of the properties are vacant and two of these are owned by a homeowner's association across the street. The other four are single family dwellings on larger tracts. There are additional single family dwellings located across the street on the other side of the homeowner's association property. The tower will be well screened from adjacent properties by trees except a small section to the northwest.

PART FOUR – ANALYSIS OF DATA AND CONCLUSIONS

ESTIMATED EFFECT OF THE PROPOSED TELECOMMUNICATIONS TOWER

The potential adverse affects from any proposed improvement are environmental hazards, noise, odor, lighting, traffic and visual impact. Based on the plans of the proposed tower and conversations with those associated with it, there will be no environmental hazards associated with the proposed use. Also after construction there should be no significant adverse noise since the site is unmanned and none of the proposed items produce any significant noise. The improvement should also not produce any adverse odors. The tower will not be lit. Also traffic should not cause any significant adverse impact since the facility requires only periodic maintenance. The tower would be visible and this has the potential to cause adverse impacts on the adjoining and abutting properties.

Except to the northwest, the tower will be screened by woods and the equipment buildings, fence and any non-tower improvements will be screened by trees. The non-tower improvements while partially visible will be well set back from the road not be any more noticeable than typical residential or agricultural uses since they are no more than nine feet in height. The only potential adverse effect is the visual impact of the tower itself on the adjoining or abutting properties.

To estimate the effect of a cell tower on adjoining or abutting properties, I located the sale of a single family dwelling south of Pittsboro with a tower located directly behind it. Single family residences are the most sensitive to external influences and would show the greatest effect. This tower is 250 feet high and was constructed in 1992. The parcel where the tower is located has an address of 307 Jack Wolfe Road and it is located roughly in the east central portion of the tract. More information about this tower is in the addenda.

The property adjacent to the tower is located at 924 Old Sanford Road and sold on August 8, 2012. To determine the effect of the tower on this property I considered sales of similar properties. I researched the Triangle Multiple Listing Service for sales of dwellings built within 10 years of the Sanford Road dwelling, within 100 square feet of its size and sold within two years of its sale date. I considered only those sales that were in the Pittsboro elementary school district and were tradition

(not manufactured home) construction. I located seven dwellings that sold with this criteria. More information about these dwellings is in the addenda.

I deducted the value of the land from the sales prices to arrive at the value of the improvements. Adjustments were then made for differences such as year built, decks, porches, decks, garages, carports, storage buildings, fireplaces, quality and condition. The resulting adjusted improvement value was then divided by the living area of the dwelling to arrive at a selling price per square foot.

The property located adjacent to the tower gave a per square foot value of the dwelling of \$76.19. The seven other properties gave per square foot values of \$72.31, \$74.50, \$66.07, \$83.79, \$63.52, \$76.54 and \$80.44 with an average of \$73.88. Four of the seven properties sold for less per square foot than the property near the tower and the per square foot price of the property is higher than the average. This indicates that the property had no adverse effect on the property adjacent to the tower. A chart showing this analysis is on the following page.

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Address	924 Old Sanford	258 Rocky Hills	107 Dogwood	40 Cotten	174 Hanks	115 Hillcrest	377 Old Graham	285 Oakwood
Sales Date	8/8/2012	2/26/2013	9/30/2010	10/15/2010	9/23/2013	11/25/2013	11/30/2010	3/19/2013
Sales Price	\$177,500	\$145,000	\$175,000	\$128,900	\$176,000	\$100,000	\$160,000	\$113,000
Land Size	4.6	1.1	1.713	0.3	0.647	0.55	0.68	1.33
Land Value	60,542	37,260	52,987	30,000	40,000	30,000	37,250	25,500
Improvement Value	116,958	107,740	122,013	98,900	136,000	70,000	122,750	87,500
Year Built	1983	1991	1974	1975	1991	1979	1992	1974
# Rooms	5	6	6	8	7	7	6	6
Bedrooms	3	3	3	3	3	3	3	3
Baths	2	2	2	2	2	1.5	2	2
Deck	3,633	6,861	3,875		2,076	2,214	2,491	
Porch	3,685	2,828	4,356	5,515	1,379		2,382	
Screen Porch	6,318			7,722				
Storage/Util	1,384	923	28,690	7,565		2,952		
Fireplace		3,400	3,400		3,400			3,400
Garage	8,375							
Carport	8,303		5,716	3,791		2,888		2,888
Quality			6,689	6,664				
Net Adjustment	31,698	14,012	52,725	31,256	6,855	8,054	4,873	6,288
Adjustment Dep	21,872	10,789	31,635	19,066	5,278	5,235	3,801	3,773
Adjusted Price	95,086	96,951	90,378	79,834	130,722	64,765	118,949	83,727
Cost New	93,600	92,850	100,050	99,675	98,250	96,150	95,625	91,425
Age	-	(7,428)	9,005	7,974	(7,860)	3,846	(8,606)	8,228
Condition					(13,100)	12,820	(12,750)	6,095
Final Adjustment	95,086	89,523	99,382	87,808	109,762	81,431	97,593	98,050
Living Area	1248	1238	1334	1329	1310	1282	1275	1219
Price Per SF	\$76.19	\$72.31	\$74.50	\$66.07	\$83.79	\$63.52	\$76.54	\$80.44

I also considered sales of residential lots in two subdivisions in northern Durham County, River's Edge and Eno Forest.

River's Edge, has two towers on adjacent properties. There is a 470 foot lighted lattice tower located directly to the west of the subdivision and a 192 foot unlighted tower located directly to the south. This subdivision has about 50 residential lots and the tax values of the houses range from \$255,866 to \$639,290 with an average of about \$456,677. Forty-two lots sold in the subdivision between August of 2003 and March of 2009. The subdivision has a fifty foot buffer

surrounding it so the towers do not directly abut any lots, but they do abut the subdivision. An aerial photograph of this subdivision is in the addenda.

Eno Forest is located in the same area as River's Edge, but no towers are visible. This subdivision has about 45 lots and the tax values of the houses range from \$366,470 to \$566,281 with an average of about \$460,266. Twenty-two lots in the subdivision sold between November of 2004 to June of 2007. An aerial photograph of this subdivision is in the addenda.

The two subdivisions are similar in most respects. They are in northern Durham, have similar house values and are located in close proximity to the Eno River. Both have areas set aside for open space. The lots in Eno Forest are larger, but developers and builders generally think in terms of number of lots instead of sizes of lots and this should not have a significant effect.

The sales of the lots in the two subdivisions were compared. Lots were used because they are easier to compare than houses since houses can have many more differences. The only adjustments made on the lots were for market conditions (time). Lots sold before January 1, 2008 were adjusted to January 1, 2008 based on the annual CPI (2.5%). Lots sold since that time were adjusted upwards by an annual rate of 5% to reflect the downturn in the real estate market. This date was chosen because it represents the housing peak. Charts for each of the neighborhood lot sales are on the following pages. Those lots located closest to the towers are marked with asterisks.

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ANALYSIS OF LOT SALES – RIVER’S EDGE SUBDIVISION					
Lot	Date	Stamps	Price	Market Condition Adjustment	Adjusted for Market Conditions
1	8/21/2003	\$126	\$63,000	10.00%	\$69,300
37	8/21/2003	\$126	\$63,000	10.00%	\$69,300
35	8/27/2003	\$126	\$63,000	10.00%	\$69,300
39	8/27/2003	\$126	\$63,000	10.00%	\$69,300
11	9/4/2003	\$130	\$65,000	10.00%	\$71,500
41	9/4/2003	\$130	\$65,000	10.00%	\$71,500
7	9/11/2003	\$130	\$65,000	10.00%	\$71,500
43	9/11/2003	\$130	\$65,000	10.00%	\$71,500
12	4/8/2004	\$138	\$69,000	10.00%	\$75,900
40	5/13/2004	\$132	\$66,000	10.00%	\$72,600
42	5/19/2004	\$132	\$66,000	10.00%	\$72,600
5	6/29/2004	\$142	\$71,000	10.00%	\$78,100
3	7/23/2004	\$134	\$67,000	7.50%	\$72,025
9	7/23/2004	\$142	\$71,000	7.50%	\$76,325
6	8/3/2004	\$142	\$71,000	7.50%	\$76,325
36	8/3/2004	\$134	\$67,000	7.50%	\$72,025
2	8/12/2004	\$134	\$67,000	7.50%	\$72,025
38	8/20/2004	\$126	\$63,000	7.50%	\$67,725
8	11/4/2004	\$144	\$72,000	7.50%	\$77,400
4	11/22/2004	\$144	\$72,000	7.50%	\$77,400
10	2/17/2005	\$146	\$73,000	7.50%	\$78,475
13	3/8/2005	\$174	\$87,000	7.50%	\$93,525
14	3/9/2005	\$174	\$87,000	7.50%	\$93,525
15	6/30/2005	\$174	\$87,000	7.50%	\$93,525
22	7/11/2005	\$164	\$82,000	5.00%	\$86,100
17	7/27/2005	\$163	\$90,500	5.00%	\$95,025
26	7/27/2005	\$163	\$72,500	5.00%	\$76,125
34	1/11/2006	\$140	\$70,000	5.00%	\$73,500
16	1/12/2006	\$174	\$87,000	5.00%	\$91,350
27	2/3/2006	\$152	\$76,000	5.00%	\$79,800
23	2/15/2006	\$160	\$80,000	5.00%	\$84,000
44	4/20/2006	\$136	\$68,000	5.00%	\$71,400
25	4/26/2006	\$152	\$76,000	5.00%	\$79,800
18	5/3/2006	\$170	\$85,000	5.00%	\$89,250
47	5/3/2006	\$136	\$68,000	5.00%	\$71,400
48	6/14/2006	\$135	\$67,500	5.00%	\$70,875
29	2/9/2007	\$159	\$79,500	2.50%	\$81,488
49	2/13/2007	\$147	\$73,500	2.50%	\$75,338
21	3/12/2007	\$167	\$83,500	2.50%	\$85,588
20	8/7/2007	\$152	\$76,000	0.00%	\$76,000
31	10/31/2008	\$136	\$68,000	5.00%	\$71,400
33	3/13/2009	\$149	\$74,500	5.00%	\$78,225
			\$72,512		\$77,366

DAVID A. SMITH, MAI, SRA

ANALYSIS OF LOT SALES - ENO FOREST SUBDIVISION					
Lot #	Date Sold	Stamps	Sales Price	Market Condition Adjustment	Adjusted for Market Conditions
8	11/30/2004	\$ 154.50	\$ 77,250	7.50%	\$ 83,044
9	11/30/2004	\$ 154.50	\$ 77,250	7.50%	\$ 83,044
12	11/30/2004	\$ 154.50	\$ 77,250	7.50%	\$ 83,044
13	11/30/2004	\$ 154.50	\$ 77,250	7.50%	\$ 83,044
2	11/30/2004	\$ 152.33	\$ 76,167	7.50%	\$ 81,879
10	11/30/2004	\$ 152.33	\$ 76,167	7.50%	\$ 81,879
11	11/30/2004	\$ 152.33	\$ 76,167	7.50%	\$ 81,879
1	12/1/2004	\$ 158.40	\$ 79,200	7.50%	\$ 85,140
3	12/1/2004	\$ 158.40	\$ 79,200	7.50%	\$ 85,140
6	12/1/2004	\$ 158.40	\$ 79,200	7.50%	\$ 85,140
7	12/1/2004	\$ 158.40	\$ 79,200	7.50%	\$ 85,140
14	12/1/2004	\$ 158.40	\$ 79,200	7.50%	\$ 85,140
15	7/27/2005	\$ 152.00	\$ 76,000	5.00%	\$ 79,800
32	6/2/2006	\$ 160.00	\$ 80,000	5.00%	\$ 84,000
33	11/16/2006	\$ 136.00	\$ 68,000	2.50%	\$ 69,700
34	11/16/2006	\$ 136.00	\$ 68,000	2.50%	\$ 69,700
30	12/15/2006	\$ 124.25	\$ 62,125	2.50%	\$ 63,678
35	12/15/2006	\$ 124.25	\$ 62,125	2.50%	\$ 63,678
44	12/15/2006	\$ 124.25	\$ 62,125	2.50%	\$ 63,678
45	12/15/2006	\$ 124.25	\$ 62,125	2.50%	\$ 63,678
21	2/20/2007	\$ 142.00	\$ 71,000	2.50%	\$ 72,775
22	6/25/2007	\$ 136.00	\$ 68,000	2.50%	\$ 69,700
Average			\$ 73,318		\$ 77,450

While the lots vary in sales price, the averages both before and after adjusting for market conditions give very close indications. Based on this, it appears that the two telecommunications towers have no significant effect on values of adjoining or abutting properties and their construction will maintain or enhance the value of contiguous property.

CONCLUSION

Cellular telephones have become a necessary and desired item in today's world. Many potential buyers of real estate expect cellular communications just as they expect electric service and lack of this service could adversely affect value. In order to meet this need, telecommunications towers have become a common part of the landscape in much the same way that power and telephone lines and other utilities have. Like these utilities, telecommunications towers are needed in locations throughout the country. As such they are in harmony with the area in the same way that other utilities are.

Based on a set of plans of the proposed tower, an inspection of the proposed tower site and the surrounding and adjoining properties, an analysis of data gathered and facts and conclusions as contained in this report of and subject to the assumptions and limiting conditions as stated, it is my opinion that the proposed tower will not adversely affect property values and will not impair the integrity or character of the surrounding or adjoining districts.



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PHONE (919) 493-1534
smithappraiser@frontier.com



QUALIFICATIONS OF DAVID A. SMITH, MAI, SRA

The appraiser, David A. Smith, has been involved in the appraisal of real estate for over thirty years. He worked with his father, Charles W. Smith, from 1976 to 2003. After the retirement of Charles W. Smith in 2003 he formed Smith & Whitfield, Inc. and later David A. Smith & Associates. In 1988 he was awarded the RM designation. With the merger of the American Institute of Real Estate Appraisers and the Society of Real Estate Appraisers in January of 1991, the RM designation was changed to the SRA designation. In 1991 he was awarded the MAI designation of the Appraisal Institute. He became a state-certified real estate appraiser in 1991 the year the state first began licensing real estate appraisers and his certification number is A281.

He has also trained and supervised several appraisers and has prepared all types of appraisal reports. His primary focus is Durham County and the adjoining counties of Orange, Person, Granville and Chatham.

EDUCATION: Graduate Episcopal High School, Alexandria, VA, 1976
A.B., Duke University, Durham, NC, 1981

APPRAISAL INSTITUTE COURSES:

Real Estate Appraisal Principles (Exam 1A-1/8-1), University of North Carolina, 1981
Residential Valuation (Exam 8-2), University of North Carolina, 1981
Basic Valuation Procedures (Exam 1A-2), University of North Carolina, 1983
Standards of Professional Practice (Exam SPP), University of North Carolina, 1983
Capitalization Theory & Techniques, A (Exam 1B-A), University of Colorado, 1984
Capitalization Theory & Techniques, B (Exam 1B-B), University of Colorado, 1984
Valuation Analysis and Report Writing (Exam 2-2), University of North Carolina, 1987
Case Studies in Real Estate Valuation (Exam 2-1), University of North Carolina, 1987
Advanced Sales Comparison & Cost Approaches, Atlanta, Georgia, 2002
General Appraiser Market Analysis and Highest and Best Use, Atlanta, Georgia, 2007
Online Business Practices and Ethics, Chicago, Illinois, 2007
Appraisal Curriculum Overview, 2009
Condemnation Appraising: Principles & Applications, Greensboro, NC, 2011

APPRAISAL INSTITUTE SEMINARS:

Highest and Best Use, 1988
Industrial Valuation, 1988
Rates, Ratios and Reasonableness, 1988
Valuation of Leased Fee Interests, 1989
Current Problems in Industrial Valuation, 1989
Methods of Subdivision Analysis, 1989
Expert Witness in Litigation, 1989
Discounted Cash Flow, 1990
RTC Appraisal Standards, 1990
Preparation and Use of the UCIAR Form, 1990
Standards of Professional Practice Update, 1990
Commercial Construction Overview, 1991
Appraising Troubled Properties, 1991
Appraisal Regulations of the Federal Banking Agency, 1992
Real Estate Law for Appraisals, 1992
Appraising Apartments, 1993
Discounted Cash Flow Analysis, 1994
Appraiser's Legal Liabilities, 1994
Understanding Limited Appraisals, 1994
Analysis Operating Expenses, 1995
Future of Appraisals, 1996
Highest and Best Use Applications, 1996
Standards of Professional Practice, Parts A & B, 1997
Litigation Skills for the Appraiser, 1997
Eminent Domain & Condemnation Appraising, 1998
Matched Pairs/Highest & Best Use/Revisiting Report Options, 1998
Valuation of Detrimental Conditions, 1998
Appraisal of Nonconforming Uses, 2000
How GIS Can Help Appraisers Keep Pace with Changes in R E Industry, 2001
Feasibility Analysis, Market Value and Investment Timing, 2002
Analyzing Commercial Lease Clauses, 2002
Standards of Professional Appraisal Practice, 2002
Effective Appraisal Writing, 2003
Supporting Capitalization Rates, 2004
National USPAP Update, 2004
Rates and Ratios: Making Sense of GIMs, OARs, and DCFs, 2005
The Road Less Traveled: Special Purpose Properties, 2005
National USPAP Update, 2006
Appraisal Consulting: A Solutions Approach for Professionals, 2006
What Clients Would Like Their Appraisers to Know, 2007
Valuation of Detrimental Conditions, 2007
Business Practice and Ethics, 2007
Office Building Valuation: A Contemporary Perspective, 2008
Subdivision Valuation, 2008
National USPAP Update, 2009
Effective Appraisal Writing, 2009
Appraisal Curriculum Overview, 2009
Discounted Cash Flow Model: Concepts, Issues and Apps., 2010
National USPAP Update, 2010
Rates and Ratios: Making sense of GIMs, OARs and DCFs, 2011
National USPAP Update, 2012

Business Practices and Ethics, 2012
Marketability Studies: Advanced Considerations & Applications, 2013
Real Estate Valuation Conference, 2013
National USPAP Update, 2014

OTHER SEMINARS:

Commercial Segregated Cost Seminar, Marshall & Swift, 1988
Appraisal Guide and Legal Principles, Department of Transportation, 1993
The Grammar Game, Career Track, 1994

MEMBERSHIPS:

Appraisal Institute, MAI #09090
Appraisal Institute, SRA/RM #2248
Durham Board of Realtors
North Carolina Association of Realtors
National Association of Realtors

CERTIFICATION:

State Certified General Real Estate Appraiser for North Carolina, #A281

OTHER:

NC Property Tax Commission, 2013 – Present
Durham Civilian Police Review Board, 2009 - Present, Past Chair
Durham County Board of Equalization and Review, 2013 – Present
Durham Public Schools Budget Advisory Committee, 2013 - Present
City of Durham Audit Oversight Committee, 2002 – 2006
Durham Board of Adjustment, 1994 - 2002
Durham City/County Zoning Commission, 1990 – 1995
John Avery Boys and Girls Club, 1994-2002
Historical Preservation Society, 1992 - 1995
Vice President of the Candidates, 1989, NC Chapter 40
President of the Candidates, 1990, NC Chapter 40
Candidate of the Year, 1990, NC Chapter 40

RECENT CLIENTS (within the past five years):

LENDING INSTITUTIONS
American National Bank & Trust Company
AMEX Financial
BB&T
Citizens National Bank
CommunityOne Bank NA
Fidelity Bank
First South Bank

Harrington Bank
KeySource Commercial Bank
Live Oak Banking Company
Mechanics & Farmers Bank
Pacific International Bank
PNC Bank
RBC Bank
Self-Help
State Farm Bank
SunTrust Bank
Wells Fargo Bank

MUNICIPALITIES AND OTHER GOVERNMENT AGENCIES

Chapel Hill Transit
City of Durham
NC Department of Administration
Durham County
Durham Public Schools
Durham Technical Community College
Housing Authority of the City of Durham
NCDOT
Orange County
Orange Water and Sewer Authority
Person County
Town of Chapel Hill

OTHER

Allenton Management
AND Associates
Barcosnic
Builders of Hope
BCG Properties
Blanchard, Miller, Lewis & Styers Attorneys at Law
Blue Cross & Blue Shield of NC
Boulevard Properties
Bugg & Wolf Attorneys at Law
Carolina Land Acquisitions
CRC Health Corporation
Development Ventures Inc.
Duke Energy
Durham Academy
Durham Rescue Mission
Durham Technical Community College
Edward Jones Trust Company
Farrington Road Baptist Church
Forest History Society
GBS Properties of Durham, LLC
Hayden Stanziale
Georgia Towers, LLC

Hawthorne Retail Partners
Integral
Investors Title Insurance
IUKA Development
Joelepa Associates LP
John and Mary Hebrank
LCFCU Financial Partners
Manor Associates
McDonald's USA
Mt. Gilead Baptist Church
Northgate Realty, LLC
Property Advisory Services, Inc.
Rand Enterprises
Research Triangle Foundation
Sehed Development Corporation
Simba Management
Southwest Durham Partners, LLC
Stirling Bridge Group, LLC
Styers, Kemerait & Mitchell, PLLC
Talbert & Bright Attorneys at Law
Teer Associates
Thalle Construction
The Bogey Group
TKTK Accountants
Treyburn Corporate Park, LLC
Trinity Properties
UNC Hospitals
Voyager Academy
Wilhekan Associates

In addition, Mr. Smith has made appraisals for other lending institutions, municipalities, individuals, corporations, estates and attorneys. Appraisal assignments have been made throughout the Triangle, North Carolina, and South Carolina.

Properties appraised include all types of single family residential, multi-family residential, office, retail, commercial, industrial, churches, schools and other specialty type uses, vacant and improved, existing and proposed.

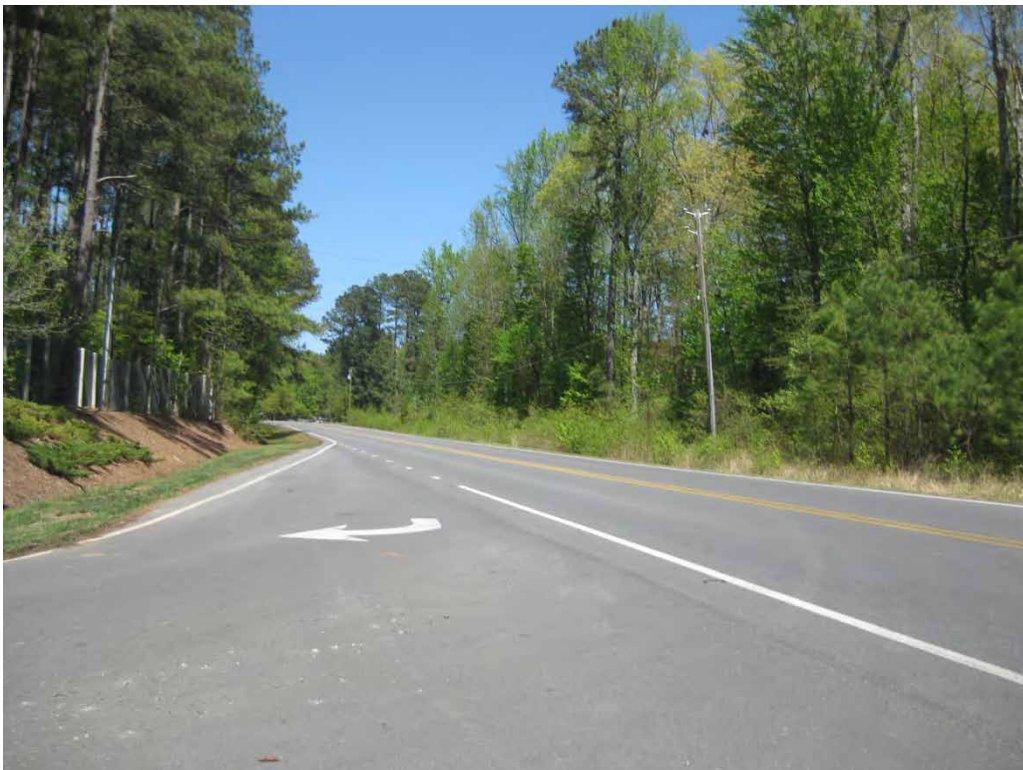
Appraisal assignments were for a variety of purposes including: mortgage loans, estate planning, condemnation, bankruptcy and equitable distribution.

ADDENDA

PHOTOGRAPHS OF SUBJECT



Approximate Location of Proposed Tower



Street Scene Along Old Farrington Road

PHOTOGRAPHS OF SUBJECT



Transmission Line Easement Near the Site



Street Scene Along Whippoorwill Lane

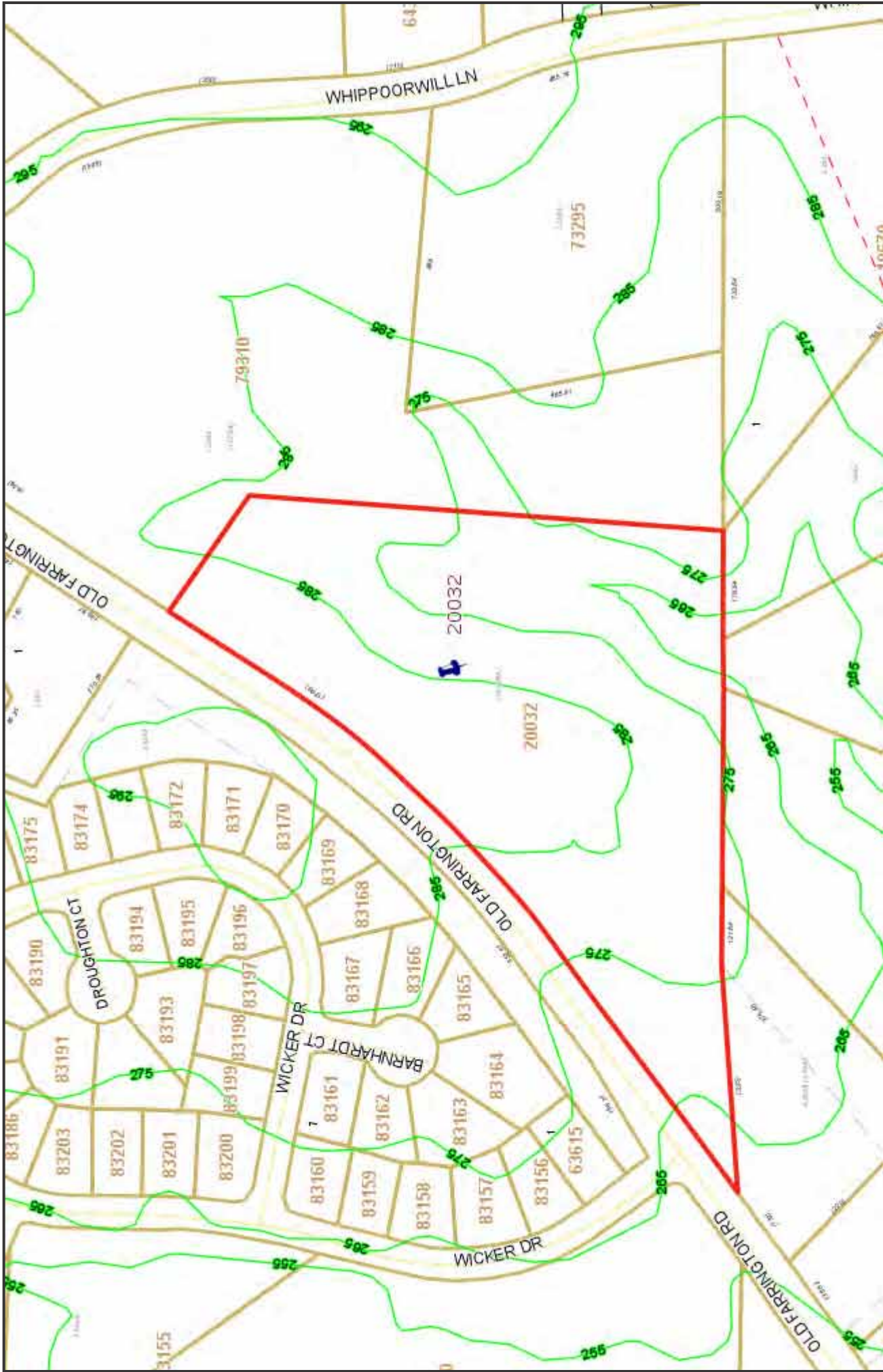
PHOTOGRAPHS OF SUBJECT



Houses in Governor's Village



Houses in Governor's Village



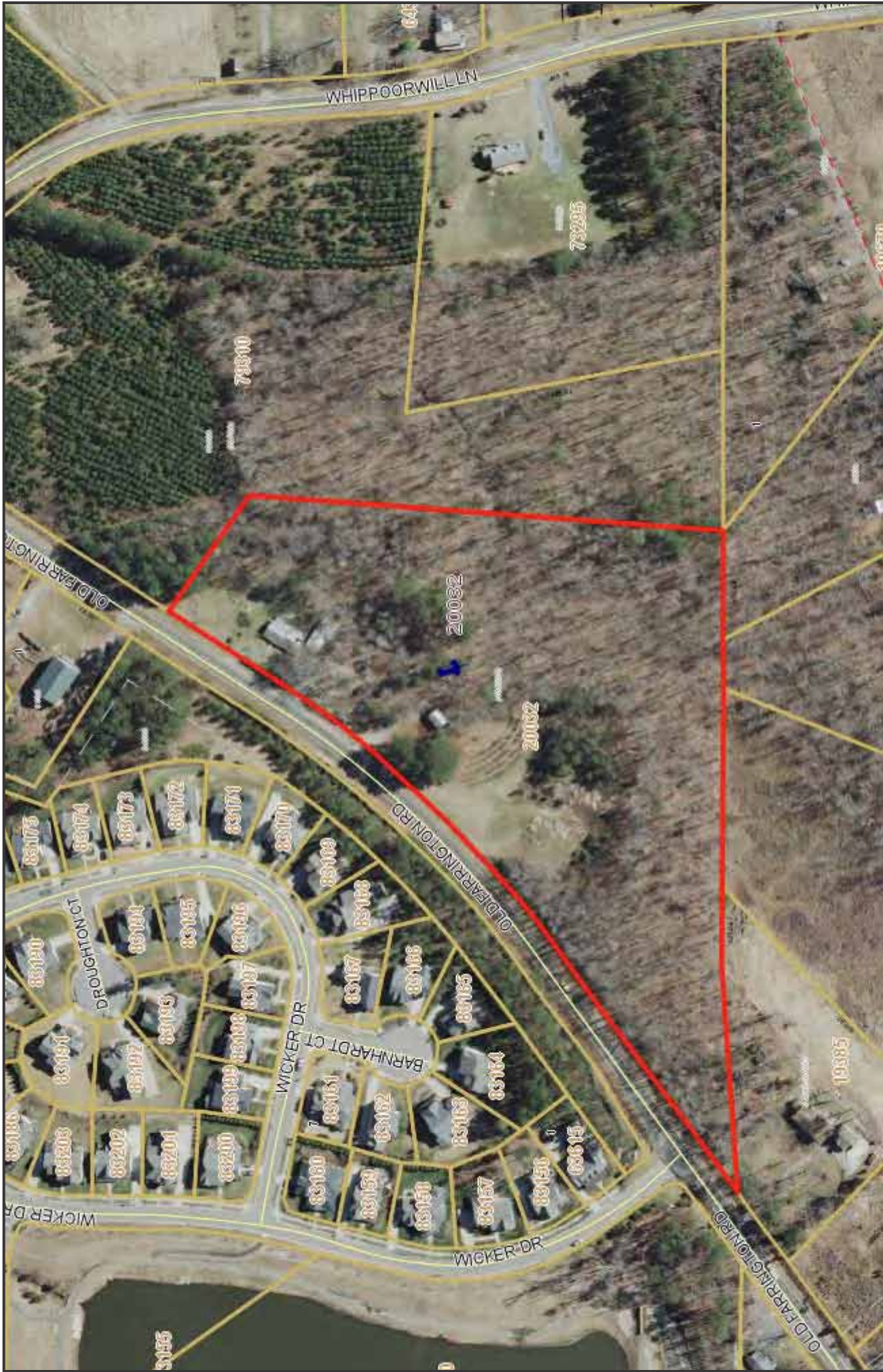
Deed Book: 1160
 Deed Page: 0172
 Plat Book: 2001
 Plat Page: 0495
 Deed Acres: 11.179
 Physical Address: 464 OLD FARRINGTON RD
 Improvement Value: 121762
 Land Value: 254268
 Fire District: 107
 Township Code: 13

Parcel Number: 20032
 Map Number: 9796-33-9976.000
 Owner Name: PORTER LESTER RAY JR ETUX GLORIA RHODES
 Owner Address: 998 WHIPPOORWILL LANE
 Owner City: CHAPEL HILL
 Owner State: NC
 Owner Zip: 27514-7542
 Tax Year: 2014
 Description: O1-21A

CHATHAM COUNTY, NC
Flood Topo Map
 Disclaimer:
 The data provided on this map are prepared for the inventory of real property found within Chatham County, NC and are compiled from recorded plats, deeds, and other public records and data. This data is for informational purposes only and should not be substituted for a true title search, property appraisal, survey, or for zoning verification.



One Inch = 200 Feet



CHATHAM COUNTY, NC

Aerial Map

Disclaimer:
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Parcel Number: 20032
Map Number: 9796-33-9976.000
Owner Name: PORTER LESTER RAY JR ETUX GLORIA RHODES
Owner Address: 998 WHIPPOORWILL LANE
Owner City: CHAPEL HILL
Owner State: NC
Owner Zip: 27514-7542
Tax Year: 2014
Description: O1-21A

Deed Book: 1160
Deed Page: 0172
Plat Book: 2001
Plat Page: 0495
Deed Acres: 11.179
Physical Address: 464 OLD FARRINGTON RD
Improvement Value: 121762
Land Value: 254268
Fire District: 107
Township Code: 13

One Inch = 200 Feet



CHATHAM COUNTY
PROPERTY REPORT - PRINT

Property Owner PORTER LESTER R JR PORTER GLORIA RHODES		Owner's Mailing Address 998 WHIPPOORWILL LANE CHAPEL HILL, NC 27614-7642		Property Location Address 464 OLD FARRINGTON RD	
Administrative Data Parcel ID No. 8629832 PIN 8786 00 33 0076 Owner ID 21810 Tax District 107 - NORTH CHATHAM FIRE DIST Land Use Code Land Use Desc Neighborhood 1396		Administrative Data Legal Desc 01-21A Deed Year BlkPg 2006 - 1160 / 0172 Plat BlkPg 2001 / 0406 Sales Information Grantor PORTER DONALD BRACK Sold Date 2006-02-24 Sold Amount \$ 125,000		Valuation Information Market Value \$ 376,030 Market Value - Land and all permanent improvements, if any, effective January 1, 2008, date of County's most recent General Reappraisal Assessed Value \$ 242,080 If Assessed Value not equal Market Value then subject parcel classified as a special class - agricultural, horticultural, or forestland and thereby eligible for taxation on basis of Present-Use.	
Improvement Detail (Not BlkPg or Improvement on Subject Parcel) Year Built 1958 Bull: Use/Style CONVENTIONAL Current Use D+10 / QUALITY GRADE D+10 % Percent Complete 100 Heated Area (S/F) 1,604 Fireplace (Y/N) N Basement (Y/N) N Attached Garage (Y/N) N *** Multiple Improvements 002 * Note - As of January 1 ** Note - Bathroom(s), Bedroom(s), shown for classification only *** Note - If multiple improvements equal "BLT" then parcel includes additional major improvements					
Land Supplemental Map Acres 11.179 Tax District Note 107 - NORTH CHATHAM FIRE DIST Present-Use Info					
Improvement Valuation (Not BlkPg or Improvement on Subject Parcel) * Improvement Market Value \$ 121,762 ** Improvement Assessed Value \$ 121,762 * Note - Market Value effective Date equal January 1, 2008, date of County's most recent General Reappraisal ** Note - If Assessed Value not equal Market Value then variance resulting from formal appeal procedure					
Land Value Detail (Effective Date January 1, 2008, date of County's most recent General Reappraisal) Land Full Value (LFV) \$ 254,268 Land Present-Use Value (PUV) \$ ** 120,319 Land Total Assessed Value \$ 120,319 * Note: If PUV is not equal to LFV then parcel is based on present use value and is subject to rollback taxes, if applicable.					

Building Sketch



Building Photo

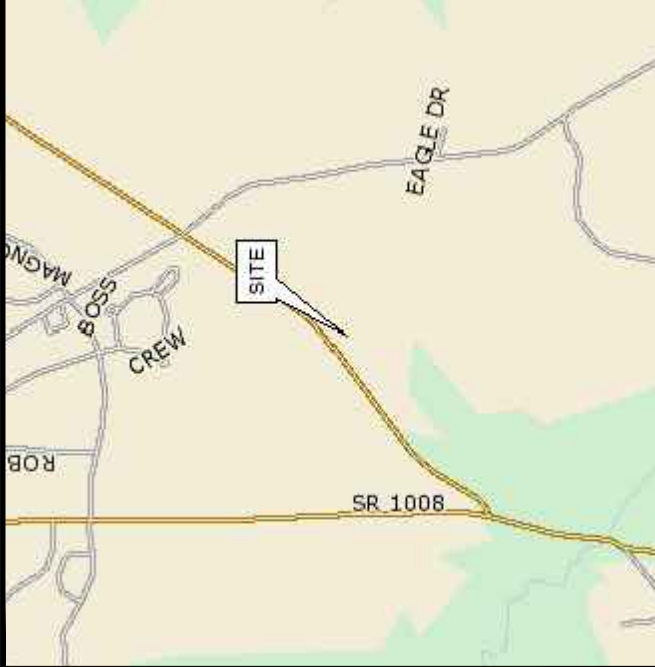


ATC SITE NUMBER : 280422
 ATC SITE NAME: 368-317
 PROJECT DESCRIPTION: PROPOSED WIRELESS TELECOMMUNICATIONS FACILITY
 TOWER TYPE: 195' MONOPOLE (199' OVERALL)
 SITE ADDRESS: 464 OLD FARRINGTON RD CHAPEL HILL, NC 27514
 JURISDICTION: CHATHAM COUNTY
 DISTURBED AREA: 0.73 ± ACRES (COMPOUND & ACCESS DRIVE)
 CURRENT USE TYPE: RESIDENTIAL
 CURRENT ZONING: R-1
 PIN #: 9796-33-9976.000

PROJECT INFORMATION

LATITUDE N 35° 50' 54.728" (NAD '27)
 LONGITUDE W 79° 01' 14.563" (NAD '27)
 LATITUDE N 35° 50' 55.255" (NAD '83)
 LONGITUDE W 79° 01' 13.600" (NAD '83)
 GROUND ELEV. (AMSL) ≈ 282.1' (NAVD '88)

1-A CERTIFICATION



LOCATION MAP

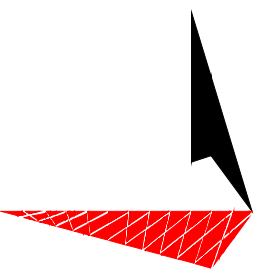
FROM RALEIGH, NC: HEAD NORTH ON S WILMINGTON ST TOWARD E SOUTH ST. TAKE THE 1ST RIGHT ONTO E SOUTH ST. TAKE THE 1ST RIGHT ONTO S BLOUNT ST. CONTINUE ONTO HAMMOND RD. TAKE THE I-40W/US-64W RAMP. MERGE ONTO I-40W/US-64W. CONTINUE TO FOLLOW I-40W (≈25.9 MI). TAKE EXIT 273A FOR NC 54 W TOWARD CHAPEL HILL. MERGE ONTO NC 54 W. TURN LEFT ONTO FARRINGTON RD. TURN LEFT ONTO FARRINGTON MILL RD. CONTINUE ONTO OLD FARRINGTON RD. SITE WILL BE ON THE LEFT.

DRIVING DIRECTIONS



AMERICAN TOWER CORPORATION
 SITE PLAN
 AT&T SITE #: 368-317
 ATC SITE #: 280422
 ATC SITE NAME: FARRINGTON NC
 464 OLD FARRINGTON RD
 CHAPEL HILL, NC 27514

PLANS PREPARED BY:




TOWER ENGINEERING PROFESSIONALS
 3703 JUNCTION BOULEVARD
 RALEIGH, NC 27603-5263
 OFFICE: (919) 661-6351
 www.tepgroup.net

N.C. LICENSE # C-1794

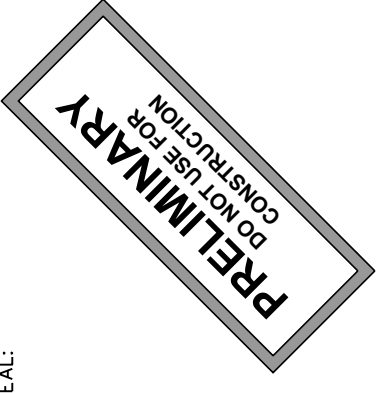
REV	DATE	ISSUED FOR:
I	01-22-14	PRELIMINARY
O	01-13-14	PRELIMINARY

DRAWN BY: JTC CHECKED BY: KSM

SEAL:



SEAL:



SHEET NUMBER: **T-1** REVISION: 1
 TEP #: 131147

INDEX OF SHEETS

SHEET	DESCRIPTION	REV
T1	TITLE SHEET	1
N1	GENERAL NOTES	0
C1	SITE PLAN	1
C1A	SITE LAYOUT	1
C2	COMPOUND DETAIL	1
C3	TOWER ELEVATION	1
C4	SHELTER ELEVATIONS	0
C5	SHELTER FOUNDATION DETAILS	0
C6	GENERATOR & FUEL TANK ELEVATIONS	0
C7	GENERATOR FOUNDATION DETAILS	0
C8	ICE BRIDGE DETAILS I	0
C9	ICE BRIDGE DETAILS II	0
C10	FENCE DETAILS	0
C11	SIGNAGE DETAILS	0
C12	CULVERT & DRIVEWAY DETAILS	0
C13	SOIL & EROSION CONTROL PLAN AND DETAILS	1
C14	PIPE OUTLET PROTECTION DETAILS	1
L1	LANDSCAPING PLAN	1
E1	ELECTRICAL NOTES	0
E2	SERVICE ROUTING PLAN & ONE LINE DIAGRAM	0
E3	TOWER & SHELTER GROUNDING PLAN	0
E4	PANELBOARD SCHEDULE	0
E5	SERVICE RACK DETAILS I	0
E5A	SERVICE RACK DETAILS II	0
E6	GROUNDING DETAILS I	0
E7	GROUNDING DETAILS II	0

ALL WORK AND MATERIALS SHALL BE PERFORMED AND INSTALLED IN ACCORDANCE WITH THE CURRENT EDITIONS OF THE FOLLOWING CODES AS ADOPTED BY THE LOCAL GOVERNING AUTHORITIES. NOTHING IN THESE PLANS IS TO BE CONSTRUED TO PERMIT WORK NOT CONFORMING TO THE LATEST EDITIONS OF THE FOLLOWING:

- NORTH CAROLINA BUILDING CODE (2012 EDITION)
- NORTH CAROLINA CODE COUNCIL
- ANSI/ITIA-222-G-2-2009
- 2012 NCEC (NEC 2011 + ADDENDA)
- LOCAL BUILDING CODE
- CITY/COUNTY ORDINANCES

CODE COMPLIANCE

SITE PROJECT MANAGER:
 AMERICAN TOWERS, LLC
 3500 REGENCY FOREST DR., STE 100
 CARY, NC 27518
 JILL HOUSE
 (919) 466-5163

SITE APPLICANT:
 AMERICAN TOWERS, LLC
 3500 REGENCY FOREST DR., STE 100
 CARY, NC 27518
 JILL HOUSE
 (919) 466-5163

SURVEYOR:
 TOWER ENGINEERING PROFESSIONALS
 3703 JUNCTION BOULEVARD
 RALEIGH, NC 27603
 CLIFFORD C. BYRD, P.L.S.
 (919) 661-6351

CIVIL ENGINEER:
 TOWER ENGINEERING PROFESSIONALS
 3703 JUNCTION BOULEVARD
 RALEIGH, NC 27603
 KIMBERLY S. MARTIN, P.E.
 (919) 661-6351

ELECTRICAL ENGINEER:
 TOWER ENGINEERING PROFESSIONALS
 3703 JUNCTION BOULEVARD
 RALEIGH, NC 27603
 FREDERICK T. HERB, P.E.
 (919) 661-6351

PROPERTY OWNER:
 RAY LESTER PORTER JR.
 998 WHIPPOORWILL LANE
 CHAPEL HILL, NC 27514-7542
 RAY LESTER PORTER JR.
 (919) 933-3668

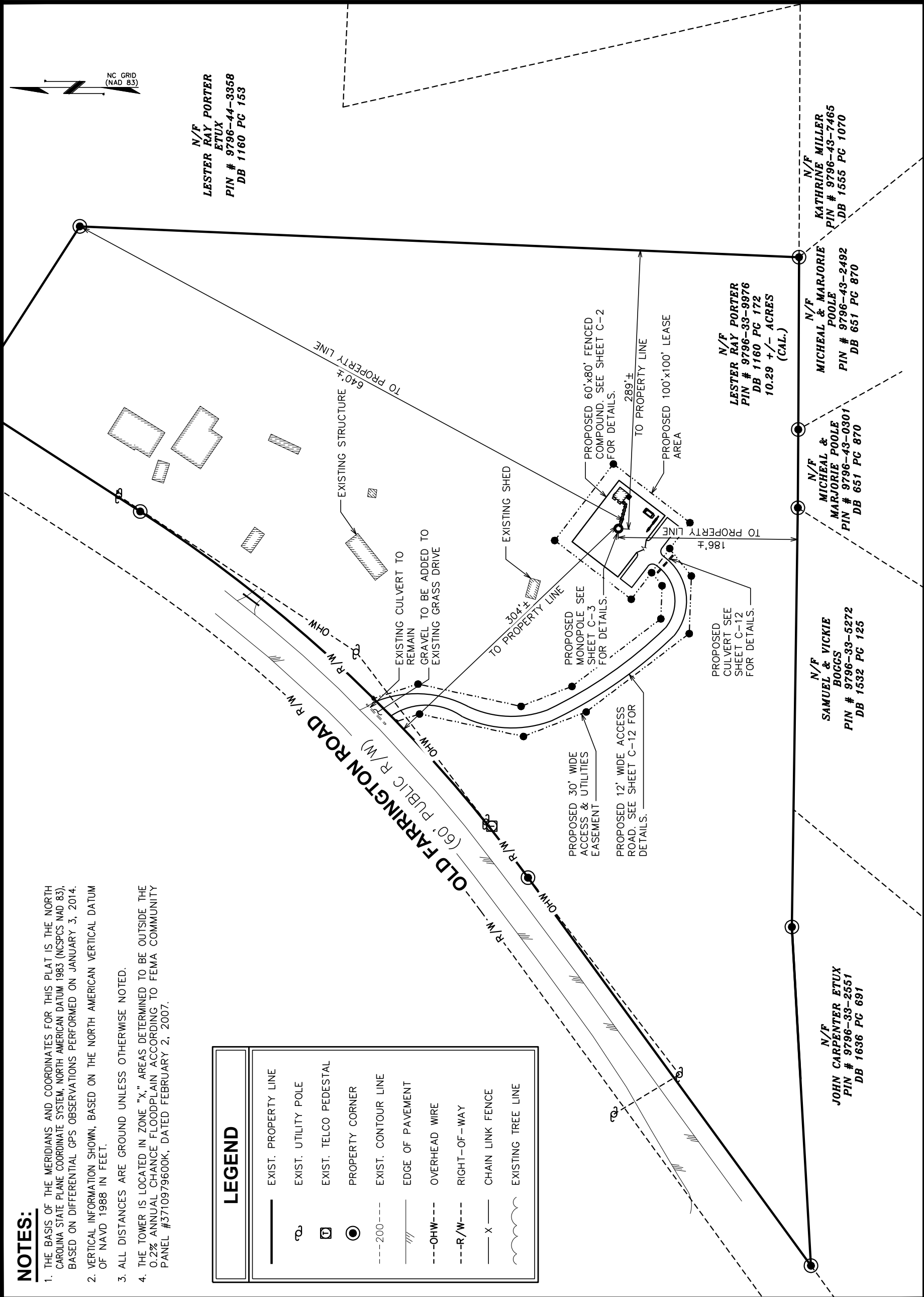
UTILITIES:
 POWER COMPANY: PROGRESS ENERGY
 CONTACT: CUSTOMER SERVICE
 PHONE: (800) 452-2777
 METER # NEAR SITE: UNKNOWN
 TELEPHONE COMPANY: AT&T
 CONTACT: CUSTOMER SERVICE
 PHONE: (800) 225-5288
 METER # NEAR SITE: RAY LESTER PORTER JR.
 CONTACT: UNKNOWN
 PHONE: (919) 933-3668

NOTES:

1. THE BASIS OF THE MERIDIANS AND COORDINATES FOR THIS PLAT IS THE NORTH CAROLINA STATE PLANE COORDINATE SYSTEM, NORTH AMERICAN DATUM 1983 (NCSPCS NAD 83), BASED ON DIFFERENTIAL GPS OBSERVATIONS PERFORMED ON JANUARY 3, 2014.
2. VERTICAL INFORMATION SHOWN, BASED ON THE NORTH AMERICAN VERTICAL DATUM OF NAVD 1988 IN FEET.
3. ALL DISTANCES ARE GROUND UNLESS OTHERWISE NOTED.
4. THE TOWER IS LOCATED IN ZONE "X," AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN ACCORDING TO FEMA COMMUNITY PANEL #3710979600K, DATED FEBRUARY 2, 2007.

LEGEND

- EXIST. PROPERTY LINE
- ⊕ EXIST. UTILITY POLE
- ⊕ EXIST. TELCO PEDESTAL
- PROPERTY CORNER
- 200--- EXIST. CONTOUR LINE
- /// EDGE OF PAVEMENT
- OHW--- OVERHEAD WIRE
- R/W--- RIGHT-OF-WAY
- X — CHAIN LINK FENCE
- ~ EXISTING TREE LINE



N/F
LESTER RAY PORTER
PIN # 9796-44-3358
DB 1160 PC 153

N/F
LESTER RAY PORTER
PIN # 9796-33-9976
DB 1160 PC 172
10.29 +/- ACRES
(CAL.)

N/F
SAMUEL & VICKIE
BOGGS
PIN # 9796-33-5272
DB 1532 PC 125

N/F
JOHN CARPENTER ETUX
PIN # 9796-33-2551
DB 1636 PC 691

N/F
MICHEAL & MARJORIE
POOLE
PIN # 9796-43-0301
DB 651 PC 870

N/F
MICHEAL & MARJORIE
POOLE
PIN # 9796-43-2492
DB 651 PC 870

N/F
KATHRINE MILLER
PIN # 9796-43-7465
DB 1555 PC 1070



PLANS PREPARED FOR:

3500 REGENCY FOREST DR., STE. 100
CARY, NC 27518

PROJECT INFORMATION:

AT&T SITE #: 368-317
ATC SITE #: 280422
FARRINGTON NC
464 OLD FARRINGTON RD.
CHAPEL HILL, NC 27514
(CHATHAM COUNTY)

PLANS PREPARED BY:

TOWER ENGINEERING PROFESSIONALS
3703 JUNCTION BOULEVARD
RALEIGH, NC 27603-5263
OFFICE: (919) 661-6351
www.tepgroup.net

N.C. LICENSE # C-1794

SEAL:

PRELIMINARY
DO NOT USE FOR CONSTRUCTION

REV	DATE	ISSUED FOR:
I	01-22-14	PRELIMINARY
O	01-13-14	PRELIMINARY

DRAWN BY: KWJ CHECKED BY: JAS

SHEET TITLE:

SITE PLAN

SHEET NUMBER: **C-1**

REVISION: **1**

TEP #: 131147

SITE PLAN

SCALE: 1" = 100'

PLANS PREPARED FOR:

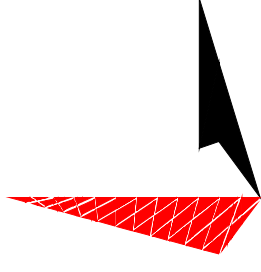


3500 REGENCY FOREST DR., STE. 100
CARY, NC 27518

PROJECT INFORMATION:

AT&T SITE #: 368-317
ATC SITE #: 280422
FARRINGTON NC
464 OLD FARRINGTON RD.
CHAPEL HILL, NC 27514
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CONSTRUCTION

REV	DATE	ISSUED FOR:
I	01-22-14	PRELIMINARY
O	01-13-14	PRELIMINARY

DRAWN BY: KWJ CHECKED BY: JAS

SHEET TITLE:

SITE LAYOUT

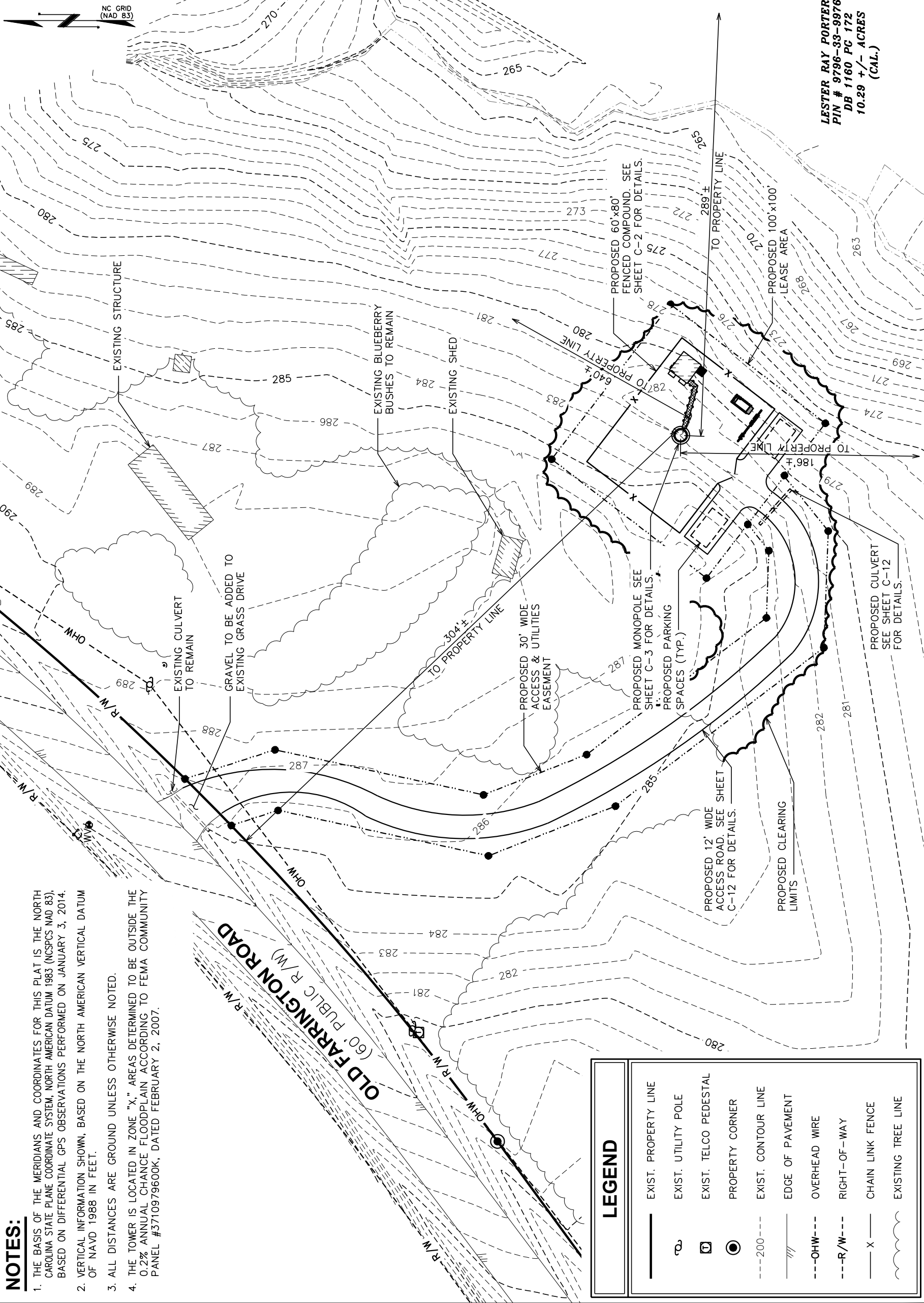
SHEET NUMBER:

C-1A

REVISION:

1

TEP #: 131147



LESTER RAY PORTER
PIN # 9796-33-9976
DB 1160 PC 172
10.29 +/- ACRES
(CAL.)



- NOTES:**
1. THE BASIS OF THE MERIDIANS AND COORDINATES FOR THIS PLAN IS THE NORTH CAROLINA STATE PLANE COORDINATE SYSTEM, NORTH AMERICAN DATUM 1983 (NCSPCS NAD 83), BASED ON DIFFERENTIAL GPS OBSERVATIONS PERFORMED ON JANUARY 3, 2014.
 2. VERTICAL INFORMATION SHOWN, BASED ON THE NORTH AMERICAN VERTICAL DATUM OF NAVD 1988 IN FEET.
 3. ALL DISTANCES ARE GROUND UNLESS OTHERWISE NOTED.
 4. THE TOWER IS LOCATED IN ZONE "X," AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN ACCORDING TO FEMA COMMUNITY PANEL #3710979600K, DATED FEBRUARY 2, 2007.

LEGEND	
	EXIST. PROPERTY LINE
	EXIST. UTILITY POLE
	EXIST. TELCO PEDESTAL
	PROPERTY CORNER
	EXIST. CONTOUR LINE
	EDGE OF PAVEMENT
	OVERHEAD WIRE
	RIGHT-OF-WAY
	CHAIN LINK FENCE
	EXISTING TREE LINE

SITE LAYOUT

SCALE: 1" = 50'

PLANS PREPARED FOR:

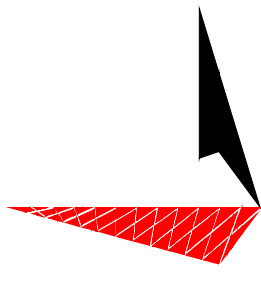


3500 REGENCY FOREST DR., STE. 100
CARY, NC 27518

PROJECT INFORMATION:

AT&T SITE #: 368-317
ATC SITE #: 280422
FARRINGTON NC
464 OLD FARRINGTON RD.
CHAPEL HILL, NC 27514
(CHATHAM COUNTY)

PLANS PREPARED BY:



TOWER ENGINEERING PROFESSIONALS
3703 JUNCTION BOULEVARD
RALEIGH, NC 27603-5263
OFFICE: (919) 661-6351
www.tepgroup.net

N.C. LICENSE # C-1794

SEAL:

PRELIMINARY
DO NOT USE FOR
CONSTRUCTION

1	01-22-14	PRELIMINARY
0	01-13-14	PRELIMINARY
REV	DATE	ISSUED FOR:

DRAWN BY: MAW CHECKED BY: SCB

SHEET TITLE:

**COMPOUND
DETAIL**

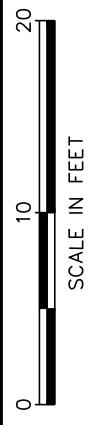
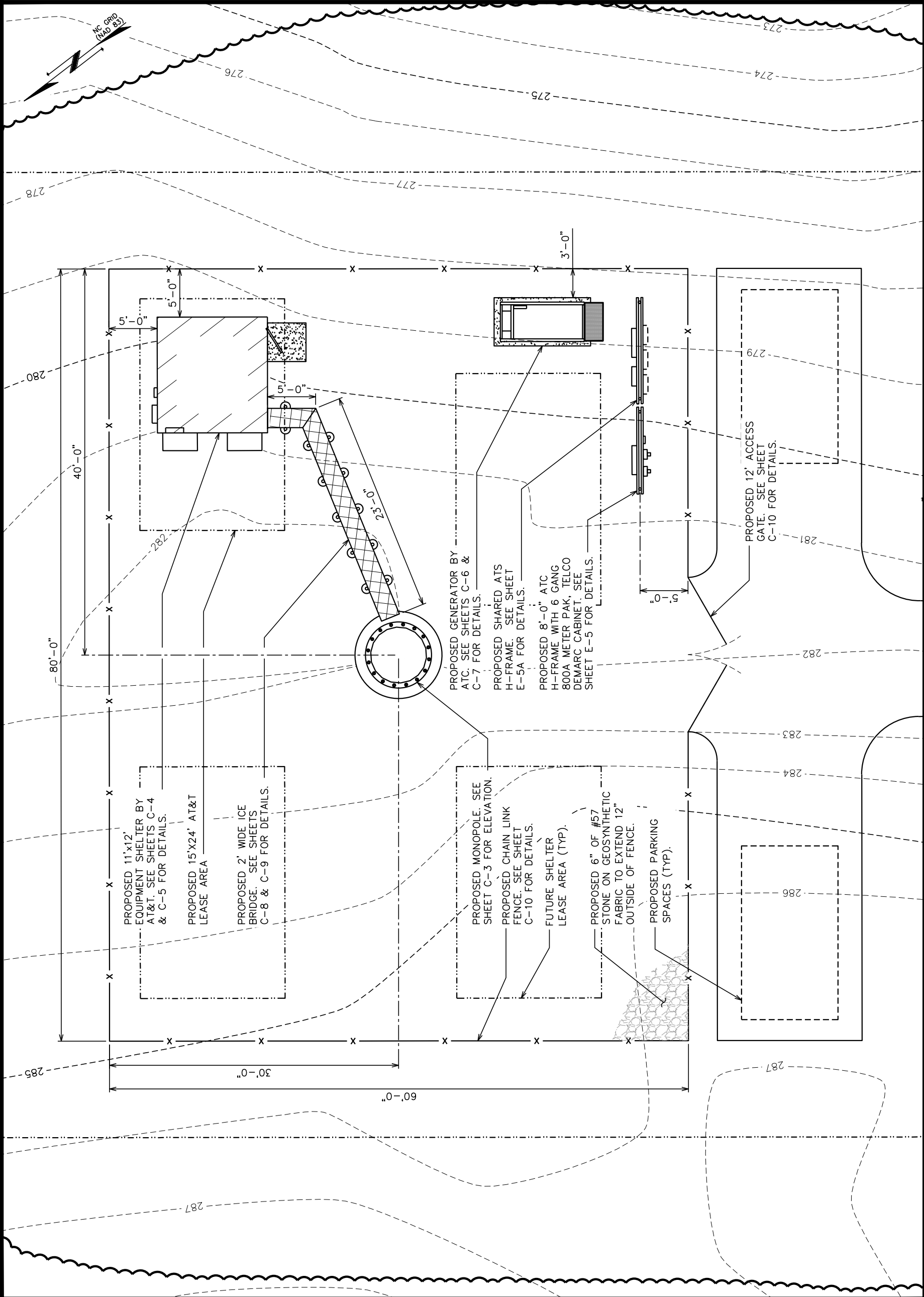
SHEET NUMBER:

C-2

REVISION:

1

TEP #: 131147



COMPOUND DETAIL
SCALE: 1" = 10'

PLANS PREPARED FOR:

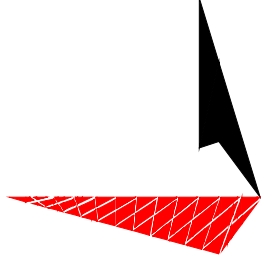


AMERICAN TOWER CORPORATION
3500 REGENCY FOREST DR., STE. 100
CARY, NC 27518

PROJECT INFORMATION:

AT&T SITE #: 368-317
ATC SITE #: 280422
FARRINGTON NC
464 OLD FARRINGTON RD.
CHAPEL HILL, NC 27514
(CHATHAM COUNTY)

PLANS PREPARED BY:



TOWER ENGINEERING PROFESSIONALS
3703 JUNCTION BOULEVARD
RALEIGH, NC 27603-5263
OFFICE: (919) 661-6351
www.teppgroup.net

N.C. LICENSE # C-1794

SEAL:

PRELIMINARY
DO NOT USE FOR
CONSTRUCTION

REV	DATE	ISSUED FOR:
1	01-22-14	PRELIMINARY
0	01-13-14	PRELIMINARY

DRAWN BY: CSN CHECKED BY: GMA

SHEET TITLE:

TOWER
ELEVATION

SHEET NUMBER:
C-3

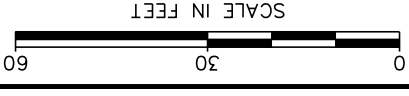
REVISION:

1

TEP #: 131147

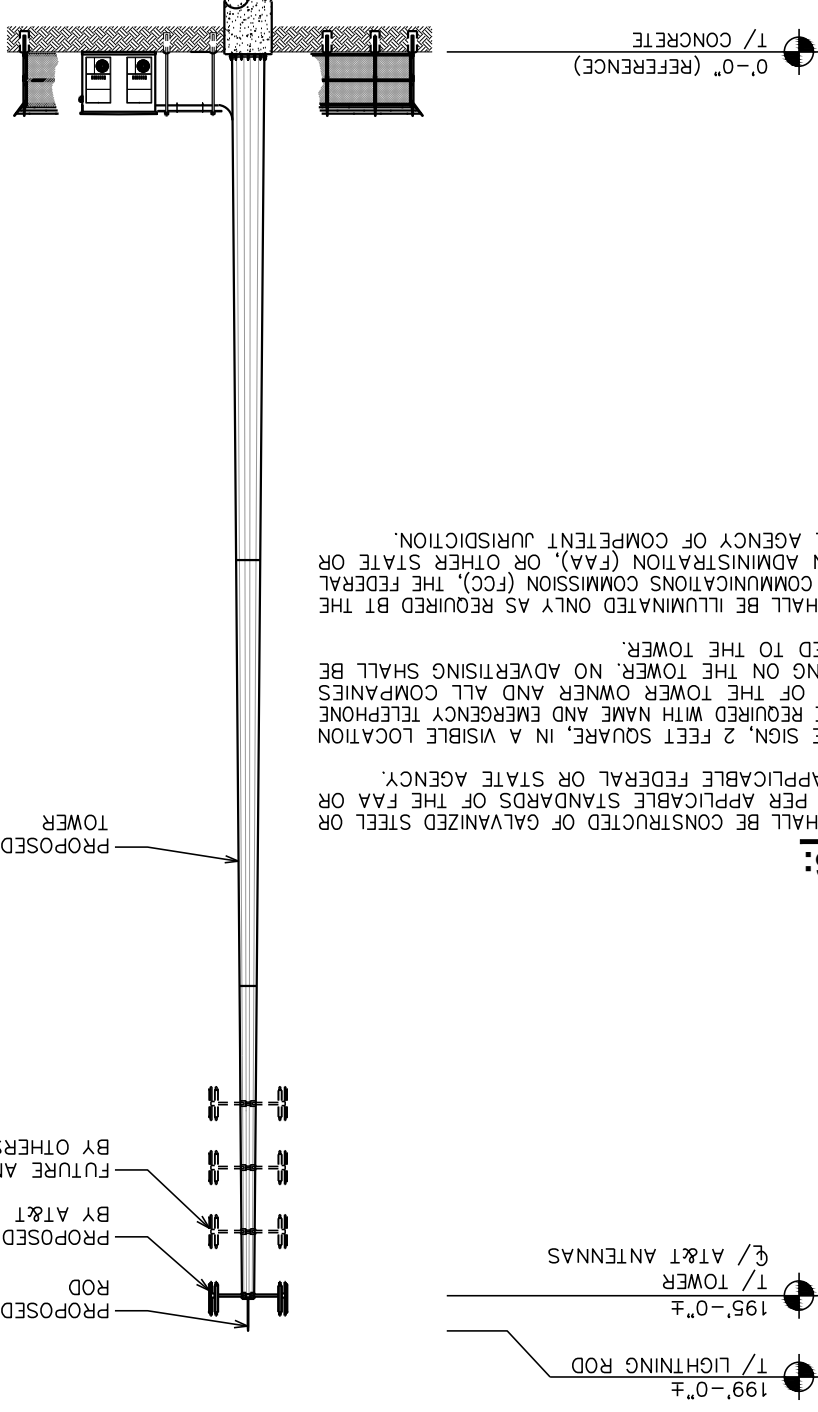
TOWER ELEVATION

SCALE: 1" = 30'



PROPOSED ANTENNA/CABLE SCHEDULE												
ANT. SECTOR	TECH.	MANUFACTURER (MODEL #)	AZIMUTH*	MOUNTING HEIGHT	ELEC. D-TILT	MECH. D-TILT	RRU MODEL	JUMPER SIZE	JUMPER LENGTH (FROM RRU)	DC6 MODEL	CABLE RUN	CABLE LENGTH
A1	ALPHA	ANDREW SBNHH-1D65C	0°	℄ @ 195'-0"	4°	0°	RRUS-11 (TOP)	5mm JUMPER	5'±	DC6-48-60-18-8F (2) (3) FIBER DC POWER		243'±
B1	BETA	ANDREW SBNHH-1D65C	120°	℄ @ 195'-0"	4°	0°	RRUS-11 (TOP)	5mm JUMPER	5'±			
C1	GAMMA	ANDREW SBNHH-1D65C	240°	℄ @ 195'-0"	4°	0°	RRUS-11 (TOP)	5mm JUMPER	5'±			
A2	ALPHA	ANDREW HBX-6516DS-A1M	0°	℄ @ 195'-0"	2°	0°	RRUS-11 (TOP)	5mm JUMPER	5'±			
B2	BETA	ANDREW HBX-6516DS-A1M	120°	℄ @ 195'-0"	2°	0°	RRUS-11 (TOP)	5mm JUMPER	5'±			
C2	GAMMA	ANDREW HBX-6516DS-A1M	240°	℄ @ 195'-0"	2°	0°	RRUS-11 (TOP)	5mm JUMPER	5'±			
A4	ALPHA	ANDREW SBNHH-1D65C	0°	℄ @ 195'-0"	1°	0°	RRUS-32 B30 (TOP)	5mm JUMPER	5'±			
B4	BETA	ANDREW SBNHH-1D65C	120°	℄ @ 195'-0"	1°	0°	RRUS-32 B30 (TOP)	5mm JUMPER	5'±			
C4	GAMMA	ANDREW SBNHH-1D65C	240°	℄ @ 195'-0"	1°	0°	RRUS-32 B30 (TOP)	5mm JUMPER	5'±			

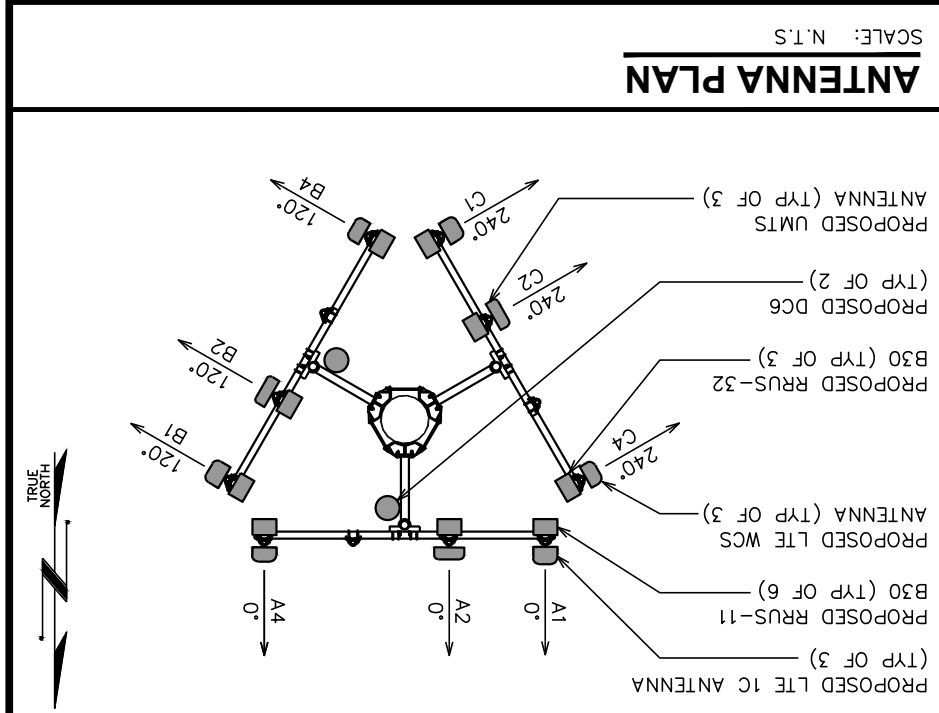
* - AZIMUTHS BASED ON TRUE NORTH
* - ANTENNA MODEL AND AZIMUTH INFORMATION IS TAKEN FROM INFORMATION PROVIDED BY AT&T ON 01-16-2014



- NOTES:**
- TOWER SHALL BE CONSTRUCTED OF GALVANIZED STEEL OR PAINTED PER APPLICABLE STANDARDS OF THE FAA OR OTHER APPLICABLE FEDERAL OR STATE AGENCY.
 - A SINGLE SIGN, 2 FEET SQUARE, IN A VISIBLE LOCATION NUMBER OF THE TOWER OWNER AND ALL COMPANIES OPERATING ON THE TOWER. NO ADVERTISING SHALL BE ATTACHED TO THE TOWER.
 - TOWER SHALL BE ILLUMINATED ONLY AS REQUIRED BY THE FEDERAL COMMUNICATIONS COMMISSION (FCC), THE FEDERAL AVIATION ADMINISTRATION (FAA), OR OTHER STATE OR FEDERAL AGENCY OF COMPETENT JURISDICTION.

ANTENNA PLAN

SCALE: N.T.S.



▼ See offer details

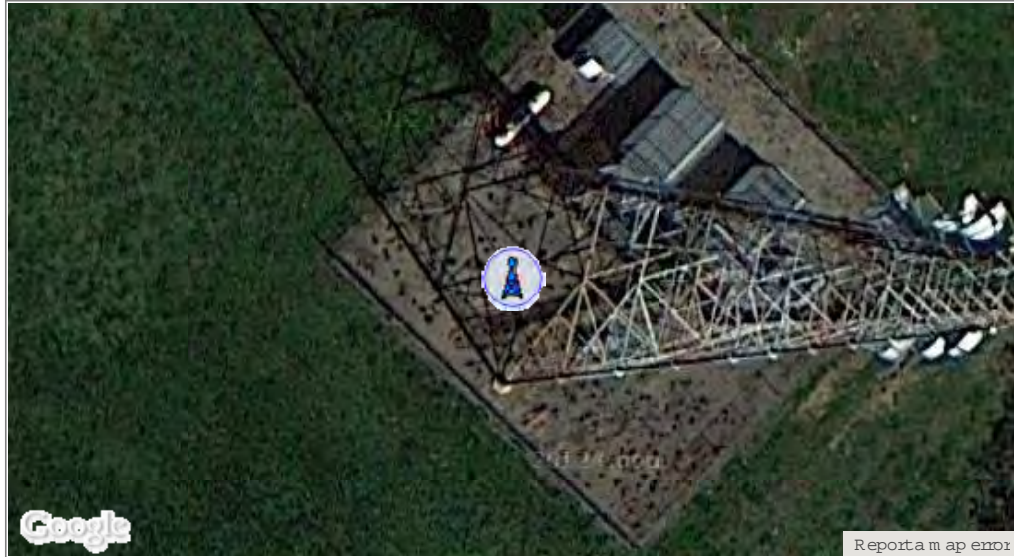
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 **Registered Tower Detail - Tower (2)**



● **Ownership Info**

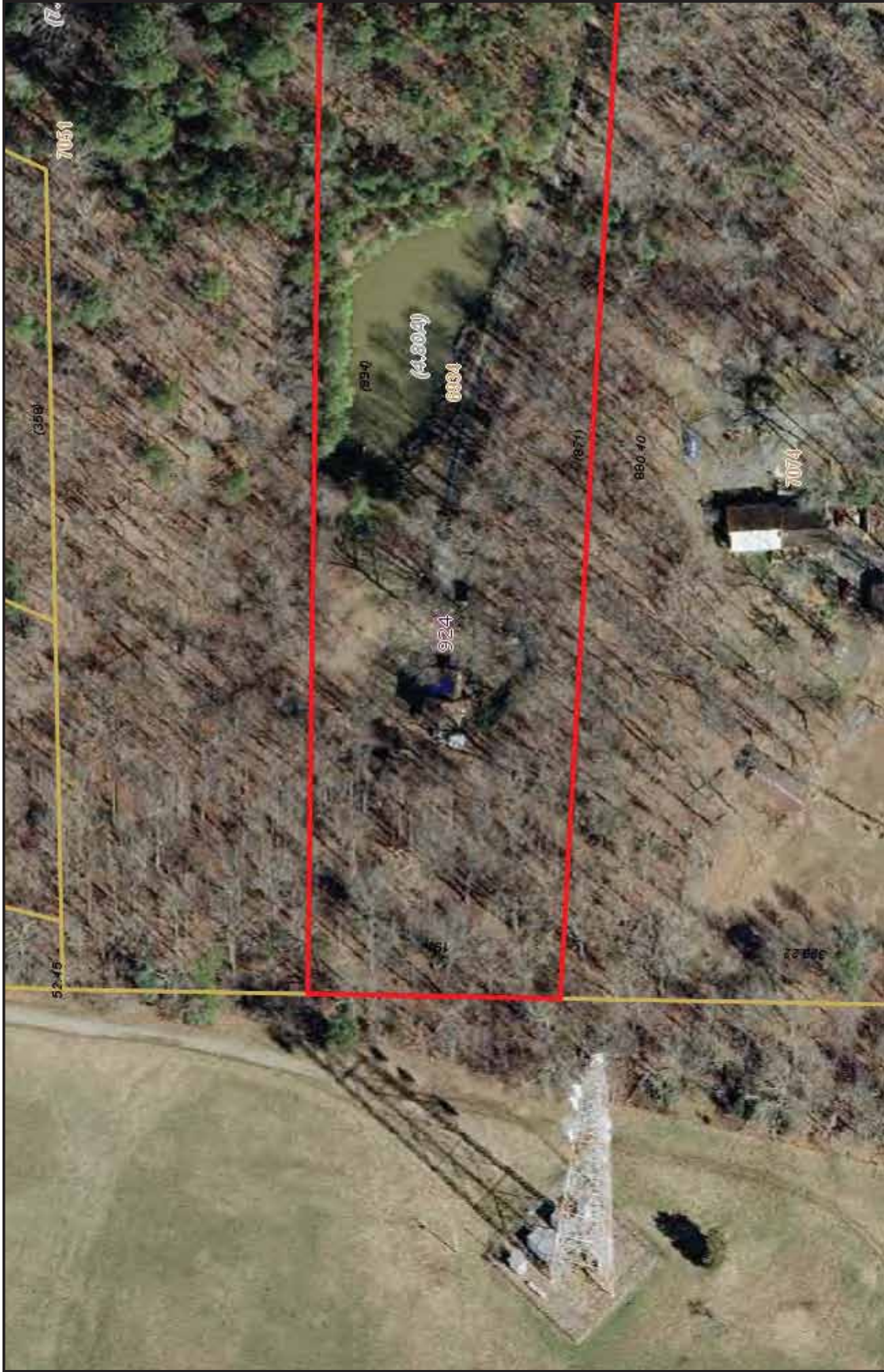
Rep	Company: Spire Telecom, LP Contact: Robert B Gray Phone: (972)658-6197 Email: rgray@integer.us	Address:	8235 Douglas Avenue Dallas, TX, 75225
Owner	Company: Spire Telecom, LP Contact: Not Recorded Phone: (469)366-4043 Email: rgray@integer.us	Address:	8235 Douglas Avenue Dallas, TX, 75225

● **Tower Characteristics**

Registration #:	1006630	Ground Elev:	532.8 feet
Latitude:	35.6781	Height Of Structure:	250.0 feet
Longitude:	-79.1885	Overall Height:	802.9 feet
Structure Type:	Tower	Structure Address:	307 Jack Wolfe Rd, 2.8 MI S PITTSBORO, NC
Status:	Constructed		
Date Constructed:	08/03/1992		

● **History**

Purpose	Status	Date	Addnl Info
New Reg	Granted	01/24/1997	---
Adm Update	Granted	04/06/2001	---
Adm Update	Granted	04/06/2001	---
Adm Update	Granted	04/23/2001	---
Adm Update	Granted	01/13/2003	---
Owner Change	Granted	03/26/2003	Rep: MCI WORLDCOM Network Services, Inc (debtor-in-possession) Assignor: Spire Telecom, LP Owner: MCI WORLDCOM Network Services, Inc (debtor-in-possession)
Owner Change	Granted	06/15/2004	Rep: MCI, Inc. Owner: MCI WorldCom Network Services, Inc.
Owner Change	Granted	01/25/2005	Assignor: Spire Telecom, LP Owner: Spire Telecom, LP Rep: Spire Telecom, LP Assignor: Spire Telecom, LP
Modification	Granted	11/28/2006	---
Constructed	Granted	07/11/2007	---



CHATHAM COUNTY, NC

Property Map

Disclaimer:
The data provided on this map are prepared for the inventory of real property found within Chatham County, NC and are compiled from recorded plats, deeds, and other public records and data. This data is for informational purposes only and should not be substituted for a true title search, property appraisal, survey, or for zoning verification.

Parcel Number: 6934
Map Number: 9740-41-7846.000
Owner Name: MARTIN KELLI S ETUX JASON K
Owner Address: 924 OLD SANFORD RD
Owner City: MONCURE
Owner State: NC
Owner Zip: 27559
Tax Year: 2014
Description: K7-2

Deed Book: 1634
Deed Page: 0709
Plat Book: 33
Plat Page: 0064
Deed Acres: 4.919
Physical Address: 924 OLD SANFORD RD
Improvement Value: 118549
Land Value: 60542
Fire District: 106
Township Code: 5

One Inch = 100 Feet

1843039 Closed Residential LP: \$ 184,500



924 Old Sanford Road

Moncure, NC 27559
Media: 18 **VT:** No **Yr Blt:** 1983 **Area/Sub:** 305/H
Subdivision: Not in a Subdivision **Nbrhd:** **List Type:** ER
Seller's Name: Krajnak, Jerome M. **SP:** \$ 177,500
Closed Dt: 08/08/2012

School Information

Elementary 1: Chatham - Pittsboro **Elementary 2:**
Middle 1: Chatham - Horton **Middle 2:**
High 1: Chatham - Northwood **High 2:**
 Directions: From Pittsboro Cthse. take 15-501 south toward Sanford, go 1 mi. past city limit & rt. Old Sanford Rd, go almost 1 mi. property on rt.

Remarks: Over 1/3 ac.pond w/brim,bass&catfish,hilltop privacy& only 2 mi to Pittsboro.New mini-split HP down&2 up cut elec. bills&give flexibility.LR/greatroom w/all south facing windows.Large deck & scporch.Wdstove on brick hearth.Detached 1 car garage w/2 car CP could be wkshp or rustic shed w/raised enclosed area & lean-to.Buy early & harvest squash,tomatoes,cukes & peppers.Easy commuting

Rooms / SqFt Information

Living Area	Above Grade: 1248	Below Grade: 0	Total: 1248
Other Area	Above Grade: 180	Below Grade: 0	Total: 180
# Rooms: 5	Beds: 3	Full Baths: 2	Half Baths: 0

Living Area-Room Dim/Levels

Entry Hall:	Office/Study:	Master BR: 13x15 / Main	Bedroom 5:
Living: 13x19 / Main	Kitchen: 8x8.5 / Main	Bedroom 2: 11x11.5 / Second	Utility: 5x7 / Main
Dining:	Breakfast: 8.5x10 / Main	Bedroom 3: 11.5x9.5 / Second	Bonus:
Family:		Bedroom 4:	

Other Area-Room Dim/Levels

Garage: 12x24 / Main	Storage:	Patio:	Scrdn Porch: 10x18 / Main
Carport: 24x23/MAIN	Porch: 21x7 / Main	Deck: 10x21 / Main	

General Information

Lot Dim: Call LO	Lot #: 0	Appx Acres: 4.60	Foundation: Crawl	Zoning:
New Construction: No	Framed:	Est Fin Date:	Restrictive Covenants: N	
Builders Name:			HUD Compliant Senior Housing:	
HOA Mgmt:	HOA Fees 1: \$0		Ownership:	Primary Residence:
	HOA Fees 2: \$0			

Financing and Taxes

Tax Value: \$177,051 **Tax Rate:** 0.7220 **TM/BK/PAR/LT or Deed Page:** Par ID 6934
Financial Comments: \$4,000 toward buyer costs.Bring pre-approval letter w/offer
Legal Desc: DB 792/679; PS33/64 **Pin #:** 974000416719

Features

Design: 2 Story, One Story	Exterior Deck, Gutters, Horses Allowed, Out Building, Pier, Screen Porch, Storage
Property Type: Detached	Features: Shed, See Remarks
Construction Type: Site built (Stick)	
Acres: 3-5.9 Acres	
Exterior: Vinyl	
Finish:	Style: Contemporary
Roof: Shingle, Roof Age 6-10 Years	Basement
A/C: A/C Age 0-3 Years, Heat Pump	Desc:
Fuel-Heat: Electric	Flooring: Hardwood, Carpet, Vinyl
Fireplace: Wood Stove	Heating: Heat Pump, Heat Age 0-3 Yrs
Desc:	Water Heater: Electric, Water Htr Age 3-6 Yrs
Lot Desc:	Water/Sewer: Septic Tank, Well
	Parking: 2 Carport, 1 Garage
Fees: None	Financing: New Needed
Include:	Dining: Breakfast Room
	Washer/Dryer: 1st Floor, Utility Room
Assumption: No Assumption	Loc:
Other	Interior: Garage Shop
Rooms:	Features:

Equip / Electric Range, Elec. Dryer HU, Range Hood, Refrigerator, Washer, Dryer

Accessibility:

Green

Green Certs:

Green Building HERS Rating:

High Perform. Home:

Showing Instructions

Show Instruct: , Appointment Only, Notice Required, Occupied	Agent Phone: 919-545-4545	Agent Appt Ph: 919-595-8989
List Agent: CANDEL/ Elizabeth Anderson	Office Phone: 919-542-0209	
List Office: 72227 / Howard Perry & Walston	CoList Agent Ph:	CoList Appt Ph:
Co List Agent:	Comm to Sub Agt: 2.5% / N	LADOM: 7 CDOM: 7
Comm to Buy Agt: 2.5% / N	Possession: ATC	PE: No
List Type: ER-Exclusive Right		

1843823 Closed Residential LP: \$ 151,000



258 Rocky Hills Road

Pittsboro, NC 27312 (City limits of: Pittsboro)
Media: 25 **VT:** No **Yr Blt:** 1991 **Area/Sub:** 305/1
Subdivision: Rocky Hill Acres **Nbrhd:** **List Type:** ER
Seller's Name: **SP:** \$ 145,000
Closed Dt: 02/26/2013

School Information

Elementary 1: Chatham - Pittsboro **Elementary 2:**
Middle 1: Chatham - Horton **Middle 2:**
High 1: Chatham - Northwood **High 2:**
Directions: From PBO circle-west on old 64, left on 87, right on 902 appx. 1.9 miles to right on Rocky Hills Road.

Remarks: Move-in ready! You'll love the setting of this home - allows for privacy with beautiful front and back yards. Enjoy sitting on either your front rocking porch or back deck to take in the peace and quiet. The vaulted living room ceiling opens up the living room with fireplace. Spacious breakfast nook comfortably fits a dining room table. Ideal location-close to Pittsboro.

Rooms / SqFt Information

Living Area	Above Grade: 1238	Below Grade: 0	Total: 1238
Other Area	Above Grade: 0	Below Grade: 0	Total: 0
# Rooms: 6	Beds: 3	Full Baths: 2	Half Baths: 0

Living Area-Room Dim/Levels

Entry Hall:	Office/Study:	Master BR: 12.6x14.1 / Main	Bedroom 5:
Living: 16.1x18.1 / Main	Kitchen: 12.1x11.8 / Main	Bedroom 2: 11.1x11.2 / Main	Utility:
Dining:	Breakfast: 6x11.8 / Main	Bedroom 3: 11.1x10.1 / Main	Bonus:
Family:		Bedroom 4:	

Other Area-Room Dim/Levels

Garage:	Storage: 4x5 / Main	Patio:	Scrnd Porch:
Carport:	Porch: 18.8x6 / Main	Deck: 29.6x13.4 / Main	

General Information

Lot Dim: see plat	Lot #: 9	Appx Acres: 1.10	Foundation: crawl	Zoning: .92
New Construction: No	Framed:	Est Fin Date:	Restrictive Covenants: Y	
Builders Name:			HUD Compliant Senior Housing:	
HOA Mgmt:	HOA Fees 1: \$100 Annually - Req: Y		Ownership:	Primary Residence:
HOA Mgmt 2: TBD	HOA Fees 2: \$0			

Financing and Taxes

Tax Value: \$155,433	Tax Rate: 0.9200	TM/BK/PAR/LT or Deed Page:
Financial Comments:		Pin #: 9730-48-8898.000
Legal Desc: J6-24-9		

Features

Design: One Story	Exterior Features: Deck, Garden Area, Landscaped, Porch
Property Type: Detached	
Construction Type: Site built (Stick)	
Acres: 1-2.9 Acres	
Exterior: Fiber Cement	
Finish:	Style: Transitional, Ranch
Roof: Shingle	Basement Desc:
A/C: Heat Pump	
Fuel-Heat: Electric	Flooring: Carpet, Vinyl
Fireplace: Masonry	Heating: Forced Air
Desc:	Water Heater: Electric
Lot Desc: Cul-De-Sac, Hardwood Trees, Partial Clr, Prv Rd Mnt Ag, Road Frontage, Secluded	Water/Sewer: Septic Tank, Well
Fees: See Remarks	Parking: DW/Gravel
Include:	Financing: Cash, Conventional, FHA, New Needed
	Dining: Breakfast Room
Assumption: No Assumption	Washer/Dryer: 1st Floor, Closet
Other: 1st Floor Bedroom, 1st Floor Master Bedroom	Loc:
Rooms:	Interior Features: 10Ft+ Ceiling, Ceiling Fan

Equip / Electric Range, Dishwasher, Microwave

Accessibility:

Green

Green Certs:

Green Building HERS Rating:

High Perform. Home:

Showing Instructions

Show Instruct: , Occupied	Agent Phone: 919-946-3486	Agent Appt Ph: 919-595-8989
List Agent: R72671/ Lisa Skumpija	Office Phone: 919-545-9911	
List Office: 1929 / Realty World Carolina Proprs.	CoList Agent Ph:	CoList Appt Ph:
Co List Agent:	Comm to Sub Agt: 0 / % / N	LADOM: 198 CDOM: 198
Comm to Buy Agt: 3 / % / N	Possession: ATC	PE: No
List Type: ER-Exclusive Right		

1701823 Closed Residential LP: \$ 189,000



107 Dogwood Lane

Pittsboro, NC 27312
Media: 12 **VT:** Yes **Yr Blt:** 1974 **Area/Sub:** 305/C
Subdivision: Not in a Subdivision **Nbrhd:** **List Type:** ER
Seller's Name: Perry **SP:** \$ 175,000
Closed Dt: 09/30/2010

School Information

Elementary 1: Chatham - Pittsboro **Elementary 2:**
Middle 1: Chatham - Horton **Middle 2:**
High 1: Chatham - Northwood **High 2:**
 Directions: From Pittsboro courthouse, 64 W to stoplight. Right on 87N. Immediately bear R on Old 87N. L on Dogwood Lane. Property on left.

Remarks: Charming home on dead end street!! Cozy one level home on 1.71 acres near town! Lots of new upgrades including tiled bathrooms, hardwood floors and new roof. Room to garden with your own potting shed, storage bldg and tractor shed, fenced dog pen and a 2 vehicle carport. Gas logs in family room.

Rooms / SqFt Information

Living Area	Above Grade: 1334	Below Grade: 0	Total: 1334
Other Area	Above Grade: 0	Below Grade: 0	Total: 0
# Rooms: 6	Beds: 3	Full Baths: 2	Half Baths: 0

Living Area-Room Dim/Levels

Entry Hall: 5.7X4.4 / Main	Office/Study:	Master BR: 15.6X11.2 / Main	Bedroom 5:
Living:	Kitchen: 11.1X10.4 / Main	Bedroom 2: 10.4X11.3 / Main	Utility:
Dining: 11.3X11.2 / Main	Breakfast:	Bedroom 3: 12.3X11.8 / Main	Bonus:
Family: 14.3X16.3 / Main		Bedroom 4:	

Other Area-Room Dim/Levels

Garage:	Storage: 11.6X16.1 / Addition	Patio:	Scrnd Porch:
Carport: 19X20/ADDTL	Porch: 14.6X11.9 / Main	Deck: 14X16 / Main	Potting Sh/Additional Tractor sh : 17x25.6/Additional

General Information

Lot Dim: 249x291x52x198x300	Lot #: 0	Appx Acres: 1.71	Foundation: crawl	Zoning:
New Construction: No	Framed:	Est Fin Date:	Restrictive Covenants: N	
Builders Name:			HUD Compliant Senior Housing: Y	
HOA Mgmt:			Ownership:	Primary Residence:
			Total HOA Dues: \$ 0	

Financing and Taxes

Tax Value: \$158,940	Tax Rate: 0.6920	TM/BK/PAR/LT or Deed Page: bk759, pg147/ 11,38
Financial Comments: new needed		
Legal Desc: K6-71		Pin #: 006871

Features

Design: One Story	Exterior Deck, Detached Workshop, Garden Area, Gutters, Out Building, Porch
Property Type: Detached	Features:
Construction Type: Site built (Stick)	
Acres: 1-2.9 Acres	
Exterior: All Brick Veneer	
Finish:	Style: Ranch, Traditional
Roof: Roof Age 0-5 Years	Basement
A/C: Central Air, Heat Pump, A/C Age 0-3 Years	Desc:
Fuel-Heat: Electric	Flooring: Carpet, CerBath Flr, Hardwood, Vinyl
Fireplace: Gas Logs, In Family Room, Masonry	Heating: Forced Air, Heat Pump
Desc:	Water Heater: Electric
Lot Desc: Hardwood Trees, Partial Clr, Road Frontage	Water/Sewer: City Water, Septic Tank
	Parking: 2 Carport, DW/Gravel
Fees: None	Financing: Cash, Conventional, FHA, New NeededUSDA
Include:	Dining: Eat-in Kitchen, Separate Dining Room
	Washer/Dryer: 1st Floor, Hall
Assumption: No Assumption	Loc:
Other: 1st Floor Bedroom, 1st Floor Master Bedroom	Interior: Attic Pull Down, Cable TV Available, Ceiling Fan, Smoke Alarm
Rooms:	Features:

Equip / Electric Range, Self Clean Oven

Accessibility:

Green

Green Certs:

Green Building HERS Rating:

High Perform. Home:

Showing Instructions

Show Instruct: , Appointment Only, Combo LB, Notice Required, Occupied		
List Agent: R90521/ Joni Williams	Agent Phone: 919-548-4109	Agent Appt Ph: 919-595-8989
List Office: 1965 / Straight Up Realty, LLC	Office Phone: 919-545-0154	
Co List Agent:	CoList Agent Ph:	CoList Appt Ph:
Comm to Buy Agt: 2.5/ %/ N	Comm to Sub Agt: 0/ %/ N	LADOM: 144 CDOM: 144
List Type: ER-Exclusive Right	Possession: ATC	PE: No

1686222 Closed Residential LP: \$ 159,000



40 Cotten Street

Pittsboro, NC 27312

Media: 12 VT: Yes

Subdivision: Not in a Subdivision

Seller's Name: Ferson

Yr Blt: 1975

Nbrhd:

Area/Sub: 305/P

List Type: ER

SP: \$ 128,900

Closed Dt: 10/15/2010

School Information

Elementary 1: Chatham - Pittsboro

Elementary 2:

Middle 1: Chatham - Horton

Middle 2:

High 1: Chatham - Northwood

High 2:

Directions: Pittsboro Courthouse, South on 15-501 to Right on Pittsboro School Rd. to Left on Cotten St. House on Right.

Remarks: 3 BR 2 Bth Brick Ranch with acreage in Pittsboro. Walk to School or downtown. Well maintained brick ranch in cozy downtown Pittsboro neighborhood. Walk your kids to Elementary and Middle Schools. Lots of interior wood and tile bathrooms. Play in the back yard. Relax on the large screened porch.

Rooms / SqFt Information

Living Area	Above Grade: 1329	Below Grade: 0	Total: 1329
Other Area	Above Grade: 200	Below Grade: 0	Total: 200
# Rooms: 8	Beds: 3	Full Baths: 2	Half Baths: 0

Living Area-Room Dim/Levels

Entry Hall: 11x5 / Main	Office/Study:	Master BR: 15x11 / Main	Bedroom 5:
Living: 17x11 / Main	Kitchen: 13x10 / Main	Bedroom 2: 11x10 / Main	Utility: 8x7 / Main
Dining: 12x11 / Main	Breakfast:	Bedroom 3: 14x11 / Main	Bonus:
Family:		Bedroom 4:	

Other Area-Room Dim/Levels

Garage:	Storage: 12x9 / Main	Patio:	Scrdn Porch: 22x10 / Main
Carport: 18x14/MAIN	Porch: 22x10 / Main	Deck:	

General Information

Lot Dim: 140x95x140x95	Lot #: 0	Appx Acres: 0.30	Foundation: Crawl	Zoning: Res
New Construction: No	Framed:	Est Fin Date:	Restrictive Covenants: N	
Builders Name:			HUD Compliant Senior Housing:	
HOA Mgmt:			Ownership:	Primary Residence:
			Total HOA Dues: \$ 0	

Financing and Taxes

Tax Value: \$179,983	Tax Rate: 0.9000	TM/BK/PAR/LT or Deed Page: DB808 PG561
Financial Comments:		Pin #: 974111650576
Legal Desc: DB808PG561		

Features

Design: One Story	Exterior Brick Wall, Garden Area, Patio, Porch, Screen Porch
Property Type: Detached	Features:
Construction Type: Site built (Stick)	
Acres: .26-.5 Acres	
Exterior All Brick Veneer	
Finish:	Style: Ranch
Roof: Shingle	Basement
A/C: Central Air	Desc:
Fuel-Heat: Oil	Flooring: Carpet
Fireplace None	Heating: Flr Furnace
Desc:	Water Heater: Electric
Lot Desc: Road Frontage	Water/Sewer: City Water, Septic Tank
	Parking: 2 Carport
Fees None Known	Financing: New Needed
Include:	Dining: Breakfast Room
	Washer/Dryer 1st Floor
	Loc:
Assumption: No Assumption	Interior Ceiling Fan, Garage Shop, Tub/Shower
Other Enclosed Porch	Features:
Rooms:	

Equip / Cooktop – Electric, Range Hood, Refrigerator

Accessibility: Level Flooring

Green

Green Certs:

Green Building HERS Rating:

High Perform. Home:

Showing Instructions

Show Instruct: , Combo LB, Tenants, Notice Required, Occupied, See Remarks		
List Agent: R22971	Agent Phone: 919-533-9730	Agent Appt Ph: 919-595-8989
List Office: 2935 / Coldwell Banker Advantage	Office Phone: 919-467-5111	
Co List Agent:	CoList Agent Ph:	CoList Appt Ph: 919-595-8989
Comm to Buy Agt: 3/ %/ N	Comm to Sub Agt: 3/ %/ N	LADOM: 339 CDOM: 339
List Type: ER-Exclusive Right	Possession: ATC	PE: No

1902733 **Closed** **Residential** **LP: \$ 175,000**

Property Leased: N



174 Hanks Street

Pittsboro, NC 27312 (City limits of: Pittsboro)
Media: 19 **VT:** No
Subdivision: Not in a Subdivision
Seller's Name: Zulkosky

Yr Blt: 1991
Nbrhd:

Area/Sub: 305/P
List Type: ER
SP: \$ 176,000
Closed Dt: 09/23/2013

School Information

Elementary 1: Chatham - Pittsboro **Elementary 2:**
Middle 1: Chatham - Horton **Middle 2:**
High 1: Chatham - Northwood **High 2:**

Directions: From Chapel Hill, take 15-501 South approximately 16 miles to Pittsboro. In town, turn right onto Hank Street by the gas station. Cross over stop sign and house will be half a block on your right.

Remarks: Modern, comfortable, recently remodeled 3 bedroom one-story home in the heart of Pittsboro. Rock-maple floors, hand-built concrete counters, new windows throughout. Large lot set back from main road and protected by a grove of old trees. Quiet neighborhood next to downtown. Only 20 minutes to Chapel Hill/Carrboro. Faces the back garden of St. Barts Episcopal Church. Paved drive.

Rooms / SqFt Information

Living Area	Above Grade: 1310	Below Grade: 0	Total: 1310
Other Area	Above Grade: 81	Below Grade: 0	Total: 81
# Rooms: 7	Beds: 3	Full Baths: 2	Half Baths: 0

Living Area-Room Dim/Levels

Entry Hall:	Office/Study: 9x13 / Main	Master BR: 14x11 / Main	Bedroom 5:
Living: 15x13 / Main	Kitchen: 11x12 / Main	Bedroom 2: 13x10 / Main	Utility:
Dining: 8x12 / Main	Breakfast:	Bedroom 3: 9x10 / Main	Bonus:
Family:		Bedroom 4:	

Other Area-Room Dim/Levels

Garage:	Storage:	Patio:	Scrdn Porch:
Carport:	Porch: 11x5 / Main	Deck: 12x10 / Main	

General Information

Lot Dim: 137x205x137x205	Lot #: 2	Appx Acres: 0.65	Foundation: crawl	Zoning:
New Construction: No	Framed:	Est Fin Date:	Restrictive Covenants: N	
Builders Name:			HUD Compliant Senior Housing:	
HOA Mgmt:	HOA Fees 1: \$0		Ownership: Year	Primary Residence: Y
	HOA Fees 2: \$0			

Financing and Taxes

Tax Value: \$137,705	Tax Rate: 0.9890	TM/BK/PAR/LT or Deed Page: Deed BK 1368 PG 1066
Financial Comments:		Pin #: 9741-68-5004
Legal Desc: PL-6-41-2		

Features

Design: One Story	Exterior Features:
Property Type: Detached	
Construction Type: Site built (Stick)	
Acres: .51-.75 Acres	
Exterior: HrdBoard/Masonite	
Finish:	Style: Traditional, Transitional
Roof: Shingle	Basement:
A/C: Central Air	Desc:
Fuel-Heat: Electric	Flooring: Tile, Hardwood
Fireplace: In Living Room, Masonry	Heating: Heat Pump
Desc:	Water Heater: Electric
Lot Desc: Hardwood Trees, Partial Clr, Road Frontage	Water/Sewer: City Water, Septic Tank
	Parking: Entry/Side, DW/Asphalt
Fees: None	Financing: New Needed
Include:	Dining: Eat-in Kitchen
	Washer/Dryer: 1st Floor
Assumption: No Assumption	Loc:
Other:	Interior: Bath/Shower, Bookshelves, Solid Surface Counter Tops
Rooms:	Features:

Equip / Refrigerator, Dishwasher, Electric Range, Microwave

Accessibility:

Green

Green Certs:
Green Building HERS Rating: High Perform. Home:

Showing Instructions

Show Instruct: , Appointment Only, Combo LB, Occupied	Agent Phone: 919-444-1075	Agent Appt Ph: 919-595-8989
List Agent: CPHIGA/ Gary Phillips	Office Phone: 919-929-5658	
List Office: 3194 / Weaver Street Realty	CoList Agent Ph:	CoList Appt Ph:
Co List Agent:	Comm to Sub Agt: 0 / % / N	LADOM: 24 CDOM: 24
Comm to Buy Agt: 2.5 / % / N	Possession: NEG	PE: No
List Type: ER-Exclusive Right		

1904882 **Closed** **Residential** **LP: \$ 115,000**



Property Leased: N Special Conditions: Estate

115 Hillcrest Drive

Pittsboro, NC 27312 (City limits of: Pittsboro)
Media: 8 **VT:** No **Yr Blt:** 1979 **Area/Sub:** 305/P
Subdivision: Not in a Subdivision **Nbrhd:** **List Type:** ER
Seller's Name: Estate of Betty K McKnight **SP:** \$ 100,000
Closed Dt: 11/25/2013

School Information

Elementary 1: Chatham - Pittsboro **Elementary 2:**
Middle 1: Chatham - Horton **Middle 2:**
High 1: Chatham - Northwood **High 2:**
 Directions: from the courthouse circle head north on Hillsboro Rd, pass Chatham Marketplace, turn left onto Park to right onto Hillcrest. House on left.

Remarks: sweet easy to maintain one level home just minutes walk to Marketplace, downtown and the library. Terrific lot for gardening.HVAC 2005. Priced to sell with no intention to repair by sellers. Flood insurance required by seller's lender as of August 2013. Flood certificate for your use- see docs for explanation. A great value!

Rooms / SqFt Information

Living Area	Above Grade: 1282	Below Grade: 0	Total: 1282
Other Area	Above Grade: 0	Below Grade: 0	Total: 0
# Rooms: 7	Beds: 3	Full Baths: 1	Half Baths: 1

Living Area-Room Dim/Levels

Entry Hall:	Office/Study:	Master BR: 13x11 / Main	Bedroom 5:
Living: 19x14 / Main	Kitchen: 13x11 / Main	Bedroom 2: 11x10 / Main	Utility: 8x9 / Main
Dining: 14x11 / Main	Breakfast:	Bedroom 3: 10x10 / Main	Bonus:
Family:		Bedroom 4:	

Other Area-Room Dim/Levels

Garage:	Storage:	Patio:	Scrnd Porch:
Carport: 12x16/MAIN	Porch:	Deck: 16x8 / Main	

General Information

Lot Dim: 100x235x95x278	Lot #: 1	Appx Acres: 0.55	Foundation: crawl	Zoning:
New Construction: No	Framed:	Est Fin Date:	Restrictive Covenants: N	
Builders Name:			HUD Compliant Senior Housing:	
HOA Mgmt:	HOA Fees 1: \$0		Ownership: Year	Primary Residence: N
	HOA Fees 2: \$0			

Financing and Taxes

Tax Value: \$129,864	Tax Rate: 0.9890	TM/BK/PAR/LT or Deed Page: 1125/0541	Pin #: 9742 19 60 1543	Are oil/gas rights severed? No Representation
Legal Desc: PI-7-13A				

Features

Design: One Story	Exterior Deck, Garden Area, Gutters
Property Type: Detached	Features:
Construction Type: Site built (Stick)	
Acres: .51-.75 Acres	
Exterior: Vinyl	
Finish:	Style: Ranch, Traditional
Roof: Shingle	Basement: None
A/C: Central Air	Desc:
Fuel-Heat: Natural Gas	Flooring: Carpet, Vinyl
Fireplace: None	Heating: Flr Furnace
Desc:	Water Heater: Gas
Lot Desc: Hardwood Trees, Partial Clr, Road Frontage	Water/Sewer: City Sewer, City Water
Fees: None Known	Parking: 1 Carport, Attached
Include:	Financing: New Needed
	Dining: Kitchen/Dining Room
Assumption: No Assumption	Washer/Dryer: 1st Floor, Utility Room
Other: Utility Room	Loc:
Rooms:	Interior: Ceiling Fan
	Features:

Equip / Gas Range

Accessibility:

Green

Green Certs: **Green Building HERS Rating:** **High Perform. Home:**

Showing Instructions

Show Instruct: Hours of Notice: 0, Vacant	Agent Phone: 919-923-3220	Agent Appt Ph: 919-595-8989
List Agent: CBARLO/ Louise Barnum	Office Phone: 919-929-5658	
List Office: 3194 / Weaver Street Realty	CoList Agent Ph:	CoList Appt Ph:
Co List Agent:	Comm to Sub Agt: 0/ %/ N	LADOM: 57 CDOM: 57
Comm to Buy Agt: 3/ %/ N	Possession: ATC	PE: No
List Type: ER-Exclusive Right		

1750643 **Closed** **Residential** **LP: \$ 169,900**



Property Leased: N

Special Conditions: Seller licensed real estate professional

377 Old Graham Road

Pittsboro, NC 27312

Media: 14 VT: No

Subdivision: Not in a Subdivision

Seller's Name: Harris

Yr Blt: 1992

Nbrhd:

Area/Sub: 305/C

List Type: ER

SP: \$ 160,000

Closed Dt: 11/30/2010

School Information

Elementary 1: Chatham - Pittsboro

Elementary 2:

Middle 1: Chatham - Horton

Middle 2:

High 1: Chatham - Northwood

High 2:

Directions: From Pittsboro Courthouse, take Hwy 64 W one mile, turn R onto Hwy 87 at AL's Diner, in round-about take 2nd exit(almost straight) onto Old Graham Road, first house on left past Community Family Medicine.

Remarks: Charming ranch within walking distance to Central Carolina Comm. College, Library & downtown. Nice open yard w/ area for garden. New: flooring,paint (inside & ext),fridge,HVAC unit, D/W, range, microwave. Absolutely move-in condition. Spacious LR and separate dining. 12x12 rear deck for grilling and entertaining. Easy access to RTP,Cary and Chapel Hill. Great value & opportunity!

Rooms / SqFt Information

Living Area	Above Grade: 1275	Below Grade: 0	Total: 1275
Other Area	Above Grade: 239	Below Grade: 0	Total: 239
# Rooms: 6	Beds: 3	Full Baths: 2	Half Baths: 0

Living Area-Room Dim/Levels

Entry Hall:	Office/Study:	Master BR: 13x15 / Main	Bedroom 5:
Living:	Kitchen: 10x10 / Main	Bedroom 2: 10x11.8 / Main	Utility:
Dining: 12x10 / Main	Breakfast:	Bedroom 3: 10x10 / Main	Bonus:
Family: 13x18 / Main		Bedroom 4:	

Other Area-Room Dim/Levels

Garage:	Storage:	Patio:	Scrnd Porch:
Carport:	Porch: 5x19 / Main	Deck: 12x12 / Main	

General Information

Lot Dim: 141x209 see plat 91-216 Lot 2	Lot #: 2	Appx Acres: 0.68	Foundation: crawl	Zoning: res
New Construction: No Framed:	Est Fin Date:		Restrictive Covenants: N	
Builders Name:			HUD Compliant Senior Housing:	
HOA Mgmt:			Ownership:	Primary Residence:
			Total HOA Dues: \$ 0	

Financing and Taxes

Tax Value: \$147,189	Tax Rate: 0.7220	TM/BK/PAR/LT or Deed Page: 6857
Financial Comments:		Pin #: 9741-06-49-1149
Legal Desc: K6-60		

Features

Design: One Story	Exterior Deck, Gutters, Porch, Landscaped
Property Type: Detached	Features:
Construction Type: Site built (Stick)	
Acres: .51-.75 Acres	
Exterior: Cedar	
Finish:	Style: Ranch
Roof: Shingle	Basement
A/C: Central Air	Desc:
Fuel-Heat: Gas LP	Flooring: Carpet, Laminate, Vinyl
Fireplace	Heating: Forced Air
Desc:	Water Heater: Electric
Lot Desc: Open	Water/Sewer: City Water, Septic Tank
	Parking: DW/Gravel
Fees None Known	Financing: New Needed
Include:	Dining: Separate Dining Room
	Washer/Dryer 1st Floor, Closet
Assumption: No Assumption	Loc:
Other	Interior Attic Pull Down, Bath/Tub, Bath/Shower
Rooms:	Features:

Equip / Dishwasher, Electric Range, Refrigerator, Microwave, Washer, Dryer

Accessibility:

Green

Green Certs:

Green Building HERS Rating:

High Perform. Home:

Showing Instructions

Show Instruct: , Combo LB	Agent Phone: 919-548-0210	Agent Appt Ph: 919-595-8989
List Agent: R27250/ David Harris	Office Phone: 919-542-2667	
List Office: 72115 / Carolina Southern Realty	CoList Agent Ph:	CoList Appt Ph:
Co List Agent:	Comm to Sub Agt: 0 / % / N	LADOM: 26 CDOM: 26
Comm to Buy Agt: 3.00 / % / N	Possession: ATC	PE: No
List Type: ER-Exclusive Right		

1871780 Closed Residential LP: \$ 114,000

Special Conditions: REO/Lender Owned



285 Oakwood Drive

Pittsboro, NC 27312 (City limits of: Pittsboro)
 Media: 10 VT: No
 Subdivision: Sherwood Forest
 Seller's Name: Fannie Mae

Yr Blt: 1974
 Nbrhd:

Area/Sub: 305/P
 List Type: ER
 SP: \$ 113,000
 Closed Dt: 03/19/2013

School Information

Elementary 1: Chatham - Pittsboro Elementary 2:
 Middle 1: Chatham - Horton Middle 2:
 High 1: Chatham - Northwood High 2:
 Directions: From Hwy 15-501, go west on Park Drive, left on Oakwood Avenue, right on Oakwood Drive.

Remarks: 1 and a third acre lot in town. Brick ranch in an established neighborhood near Downtown Pittsboro. Property needs some updating but is priced accordingly. This property is approved for HomePath Renovation Mortgage Financing. Purchase this Fannie Mae HomePath property for as little as 3% down!

Rooms / SqFt Information

Living Area	Above Grade: 1219	Below Grade: 0	Total: 1219
Other Area	Above Grade: 0	Below Grade: 0	Total: 0
# Rooms: 6	Beds: 3	Full Baths: 2	Half Baths: 0

Living Area-Room Dim/Levels

Entry Hall:	Office/Study:	Master BR:	Bedroom 5:
Living:	Kitchen:	Bedroom 2:	Utility:
Dining:	Breakfast:	Bedroom 3:	Bonus:
Family:		Bedroom 4:	

Other Area-Room Dim/Levels

Garage:	Storage:	Patio:	Scrdn Porch:
Carport:	Porch:	Deck:	

General Information

Lot Dim: 0	Lot #: 15	Appx Acres: 1.33	Foundation: Crawl	Zoning:
New Construction: No	Framed:	Est Fin Date:	Restrictive Covenants: N	HUD Compliant Senior Housing:
Builders Name:		HOA Fees 1: \$0	Ownership:	Primary Residence:
HOA Mgmt:		HOA Fees 2: \$0		

Financing and Taxes

Tax Value: \$145,977 Tax Rate: 0.0000 TM/BK/PAR/LT or Deed Page:
 Financial Comments: Prequalification letter or proof of funds required for final acceptance.
 Legal Desc: PI-7-6-15 Pin #: 8087

Features

Design: One Story	Exterior Features:
Property Type: Detached	
Construction Type: Site built (Stick)	
Acres: 1-2.9 Acres	
Exterior: Wood, Partial Brick	
Finish:	Style: Ranch
Roof: Shingle	Basement Desc:
A/C: Central Air	
Fuel-Heat: Electric	Flooring: Hardwood, Carpet, Tile
Fireplace Desc:	Heating: Forced Air
Lot Desc:	Water Heater: Electric
	Water/Sewer: City Sewer, City Water
Fees None Known	Parking: 1 Carport
Include:	Financing: Cash, Conventional, FHA, VA
	Dining: Living/Dining Room
Assumption: No Assumption	Washer/Dryer: 1st Floor, Closet
Other Rooms:	Loc: Interior Features:
Equip /	Accessibility:
	Green
	Green Certs:
	Green Building HERS Rating: High Perform. Home:

Showing Instructions

Show Instruct: , Combo LB, Vacant	Agent Phone: 919-313-4545	Agent Appt Ph: 919-595-8989
List Agent: R27746/ Antonio Hernandez	Office Phone: 919-313-4545	
List Office: 3044 / Rockwood Realty Inc.	CoList Agent Ph:	CoList Appt Ph:
Co List Agent:	Comm to Sub Agt: 0 / % / N	LADOM: 7 CDOM: 7
Comm to Buy Agt: 3 / % / N	Possession: ATC	PE: No
List Type: ER-Exclusive Right		

CURVE	RADIUS	ARC	CHORD	CHORD BEARING	DELTA	TANGENT
C1	220.00'	40.00'	39.14'	107°31'	20.10'	3.75'
C2	220.00'	7.31'	50.33'	175°42'	20.10'	3.75'
C3	220.00'	17.60'	50.13'	170°15'	23.89'	4.16'
C4	265.00'	10.33'	117.59'	26°42'	13.74'	3.75'
C5	46.00'	46.00'	52.34'	44°42'	26.58'	26.58'
C6	46.00'	46.00'	52.34'	44°42'	26.58'	26.58'
C7	46.00'	46.00'	52.34'	44°42'	26.58'	26.58'
C8	46.00'	46.00'	52.34'	44°42'	26.58'	26.58'
C9	46.00'	46.00'	52.34'	44°42'	26.58'	26.58'
C10	46.00'	46.00'	52.34'	44°42'	26.58'	26.58'
C11	46.00'	46.00'	52.34'	44°42'	26.58'	26.58'
C12	46.00'	46.00'	52.34'	44°42'	26.58'	26.58'
C13	46.00'	46.00'	52.34'	44°42'	26.58'	26.58'
C14	46.00'	46.00'	52.34'	44°42'	26.58'	26.58'
C15	46.00'	46.00'	52.34'	44°42'	26.58'	26.58'
C16	46.00'	46.00'	52.34'	44°42'	26.58'	26.58'
C17	175.00'	37.02'	50.13'	130°15'	13.59'	15.87'
C18	220.00'	33.28'	58.33'	118°15'	15.87'	15.87'

EXISTING PUBLIC N/R & K REAL ESTATE GROUP, LLC
 DB 3292 PG 290
 PB 189, PG 193

30' SANITARY SEWER EASEMENT
 PB 189, PG 193

50' UNDISTURBED BUFFER

100' STREAM BUFFER

100' UNDISTURBED BUFFER

100' UNDISTURBED BUFFER

100' UNDISTURBED BUFFER

100' UNDISTURBED BUFFER

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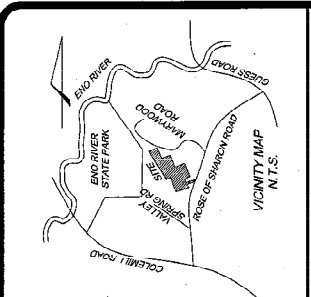
100' UNDISTURBED BUFFER

100' UNDISTURBED BUFFER

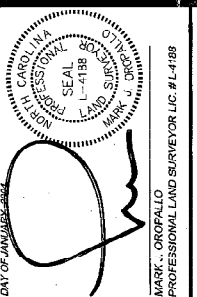
100' UNDISTURBED BUFFER

100' UNDISTURBED BUFFER

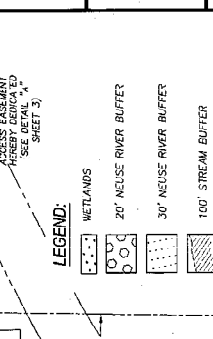
100' UNDISTURBED BUFFER



1. MARK J. ORPALLO, CERTIFY TO ONE OR MORE OF THE FOLLOWING:
 THAT THIS SURVEY CREATES A SUBDIVISION OF LAND WITHIN THE AREA OF A COUNTY OR MUNICIPALITY THAT HAS AN ORDINANCE THAT REGULATES PARCELS OF LAND.
 1. MARK J. ORPALLO, PLS. NO. L-4188, CERTIFY THAT THIS SURVEY WAS MADE UNDER MY SUPERVISION, THAT THE DEED DESCRIPTIONS AND PLATS FOR THIS PROJECT ARE CORRECT AND ACCURATE, THAT THE SURVEYED AREAS ARE CLEARLY INDICATED IN A BROWN LINED AND ARE DRAWN FROM INFORMATION OBTAINED FROM THE FIELD AND THAT THE RATIO OF PRECISION AS CALCULATED IS 1:1000 OR GREATER, THAT THIS MAP WAS PREPARED IN ACCORDANCE WITH G.S. § 17-30.4S, AND THAT I AM A LICENSED SURVEYOR, LICENSE NUMBER AND SEAL, THIS DATE, DAY OF JANUARY, 2024.



MARK J. ORPALLO
 PROFESSIONAL LAND SURVEYOR LIC. # L-4188



REFERENCES
 DB 320 PG 307 PB 23 PG 11
 DB 1338 PG 719 PB 155 PG 237
 DB 189 PG 197 PB 28 PG 51
 DB 425 PG 647 PB 91 PG 93
 DB 203 PG 874 PB 61 PG 114
 DB 152 PG 1 PB 91 PG 68

OWNER'S ADDRESS:
 BRANDYWINE ROSE, LLC
 SUITE 207
 921 MOREENE ROAD,
 DURHAM, NC, 27705

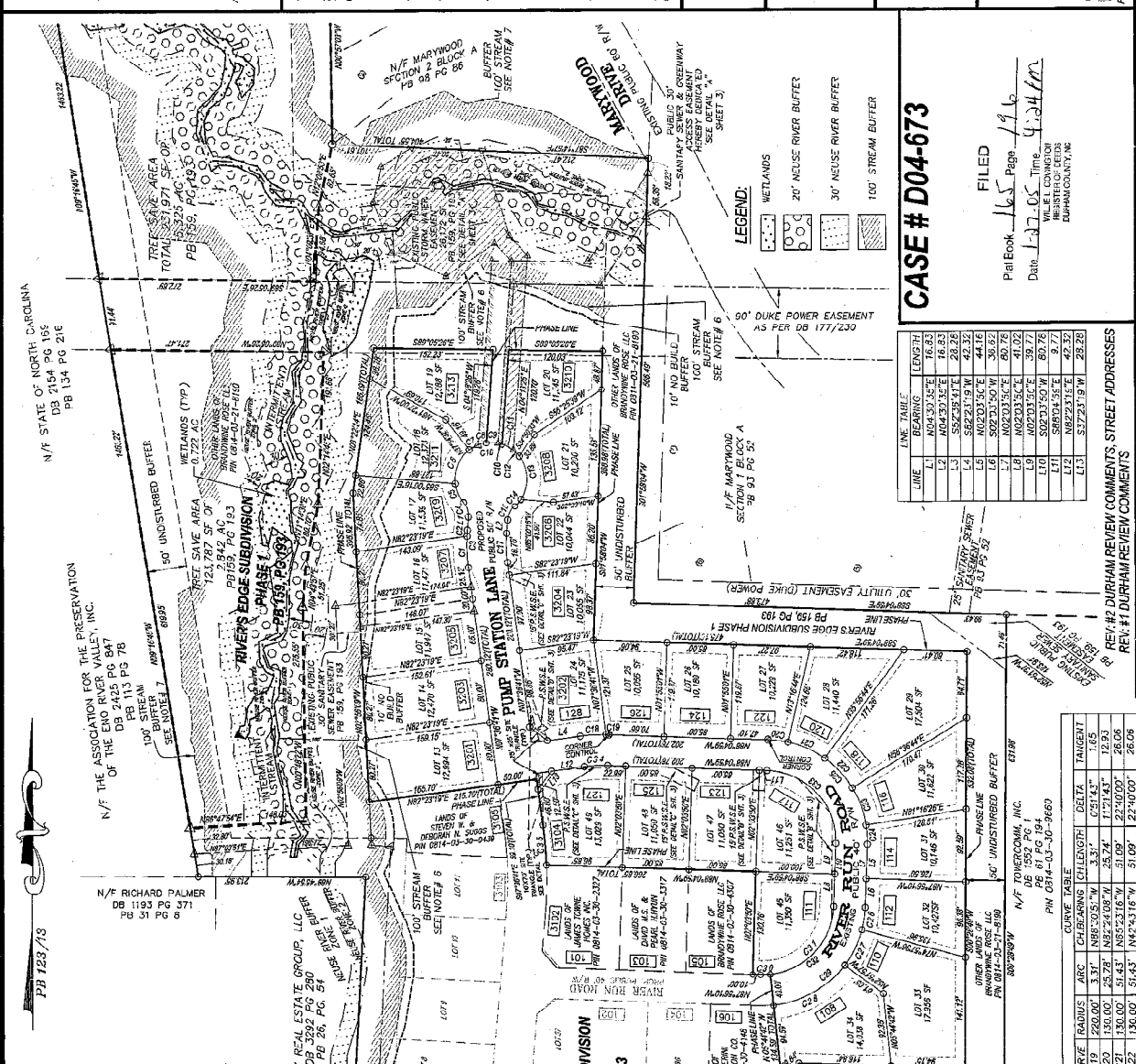
LEGEND:
 CONTROL CORNER
 EXISTING HIGHWAY
 IRON PIPE SET
 MATHEMATICAL POINT
 (N/A) - NON-RADIAL
 STREET ADDRESS
 PUBLIC STORMWATER
 P.S.W.S.C. REWER EASEMENT

NEW PARCEL I.D. #169724
 PIN 0814-03-08-3614

SURVEYED by

MSS LAND CONSULTANTS
 6540 HANSEY DRIVE, Phone (919) 510-4464
 (Suite 101) Fax (919) 510-9102
 Raleigh, NC 27612 Email: orpallo@mssland.com

Committed to Total Quality Service®
 0A, 2009-JUL-01 \\\NCS\BTRDEPLAT1.DWG



FILED
 Plat Book 165 Page 146
 Date 10/20/2024 Time 4:34 PM
 WITNESSES: [Signatures]
 DURHAM COUNTY, NC

CASE # D04-673

LINE	BEARING	LENGTH
L1	N 64°30'30\"	16.33
L2	N 64°30'30\"	16.33
L3	S 65°29'45\"	28.26
L4	S 65°29'45\"	42.32
L5	N 62°23'50\"	44.16
L6	S 62°23'50\"	35.92
L7	N 62°23'50\"	41.00
L8	N 62°23'50\"	39.71
L9	S 62°23'50\"	38.71
L10	S 62°23'50\"	9.71
L11	S 62°23'50\"	42.32
L12	S 62°23'50\"	28.26

REV. #2 DURHAM REVIEW COMMENTS, STREET ADDRESSES
 REV. #1 DURHAM REVIEW COMMENTS

REVISIONS
 11/20/2024
 11/20/2024
 2/10/2025

FINAL PLAT
PHASE 2
RIVER'S EDGE SUBDIVISION

CITY: DURHAM COUNTY: DURHAM STATE: NORTH CAROLINA DATE: OCTOBER, 2024

SHEET 2 OF 3

PHOTOGRAPHS OF SUBJECT



River's Edge Subdivision



River's Edge Subdivision

PHOTOGRAPHS OF SUBJECT



River's Edge Subdivision



River's Edge Subdivision

PHOTOGRAPHS OF SUBJECT



River's Edge Subdivision



River's Edge Subdivision



CITY/COUNTY APPROVAL STAMP

FINAL PLAT
approved by the Durham
Development Review Board
on: 2/13/06
Clerk, Development Review Board

CASE NUMBER: D05-873

SUMMIT Consulting Engineers logo and address: 1003 Corporate Dr., Suite 101, Hillsborough, NC 27278-8851

LEGEND:
R/W ROW OR PIPE SET
EXISTING MONUMENT
DESCRIBED
MATH/EMPHASIS POINT
JULY POLE
EX. CONCRETE MONUMENT
TREE PROTECTION FENCE

PROJECT # 00-208 DRAWING NAME ENO FOREST SUBDIVISION
SCALE: 1" = 100'
FINAL PLAT PHASE B
DURHAM OUTSIDE TWP., CITY OF DURHAM, DURHAM CO., NC

SHEET 2 OF 5

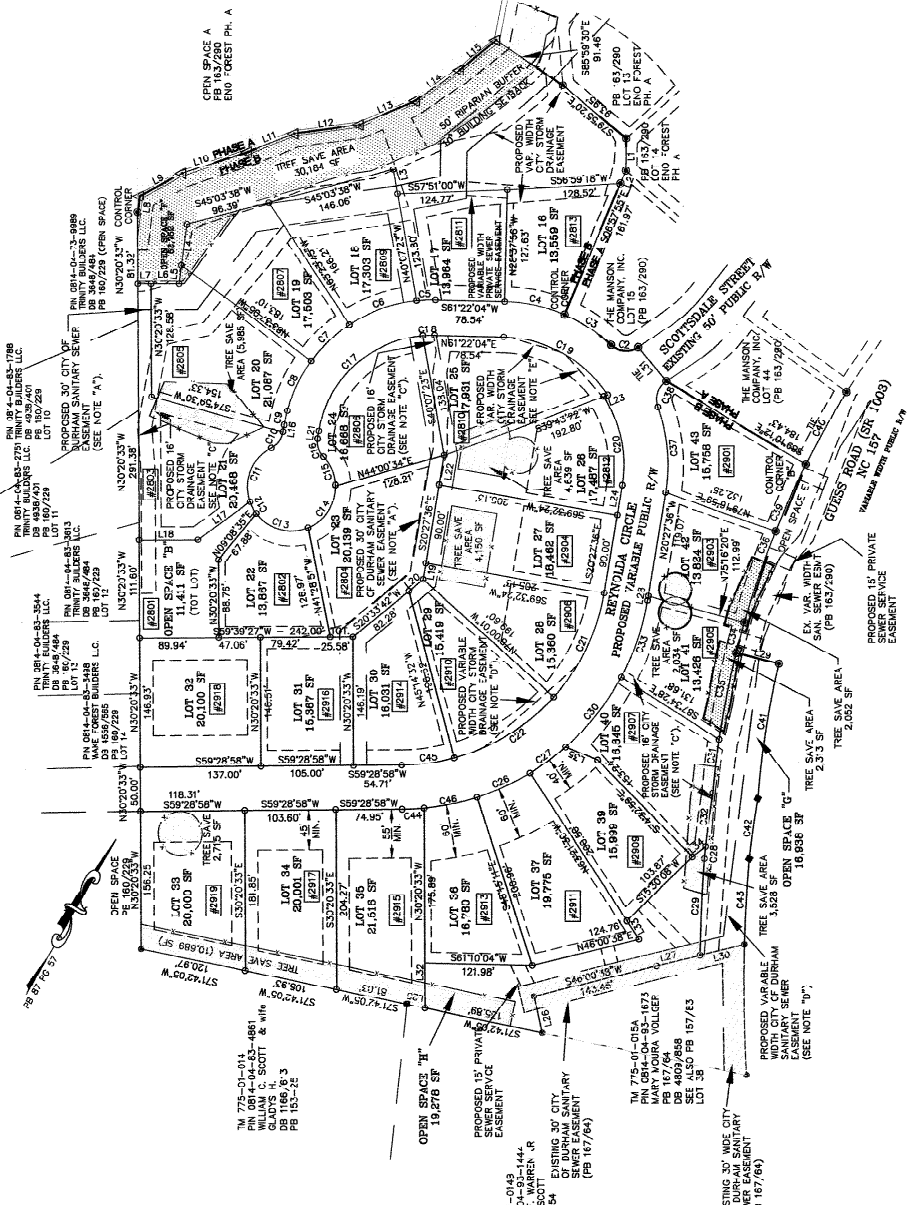


Table with columns: CURVE, RADIUS, LENGTH, CHORD, AREA, DELTA, TANGENT. Lists curve data for various lots and easements.

Table with columns: LINE, DIRECTION, DISTANCE. Lists line data for various lots and easements.

FILED
Plat Book 171 Page 215
Date 2-16-06 Time 3:04pm
COUNTY CLERK
DURHAM COUNTY, NC
Review Officer of
Durham County, verify that this map or plat to which
this certification is affixed meets all statutory requirements
for recording.
Date _____
Review Officer _____

CO. GRID COORDINATES AND 835858 S
N. 844212.27
E. 201885.05
CONTROL CORNER 'B'
N. 844212.27
E. 201885.05
TIES FROM NCS 'JOCOMIN'
TO CONTROL CORNER 'B'
S081140'E GRID BEARING 14896.64' GRID DISTANCE
S402456'W GRID BEARING 11416.78' GRID DISTANCE

PHOTOGRAPHS OF SUBJECT



Eno Forest



Eno Forest

River's Edge



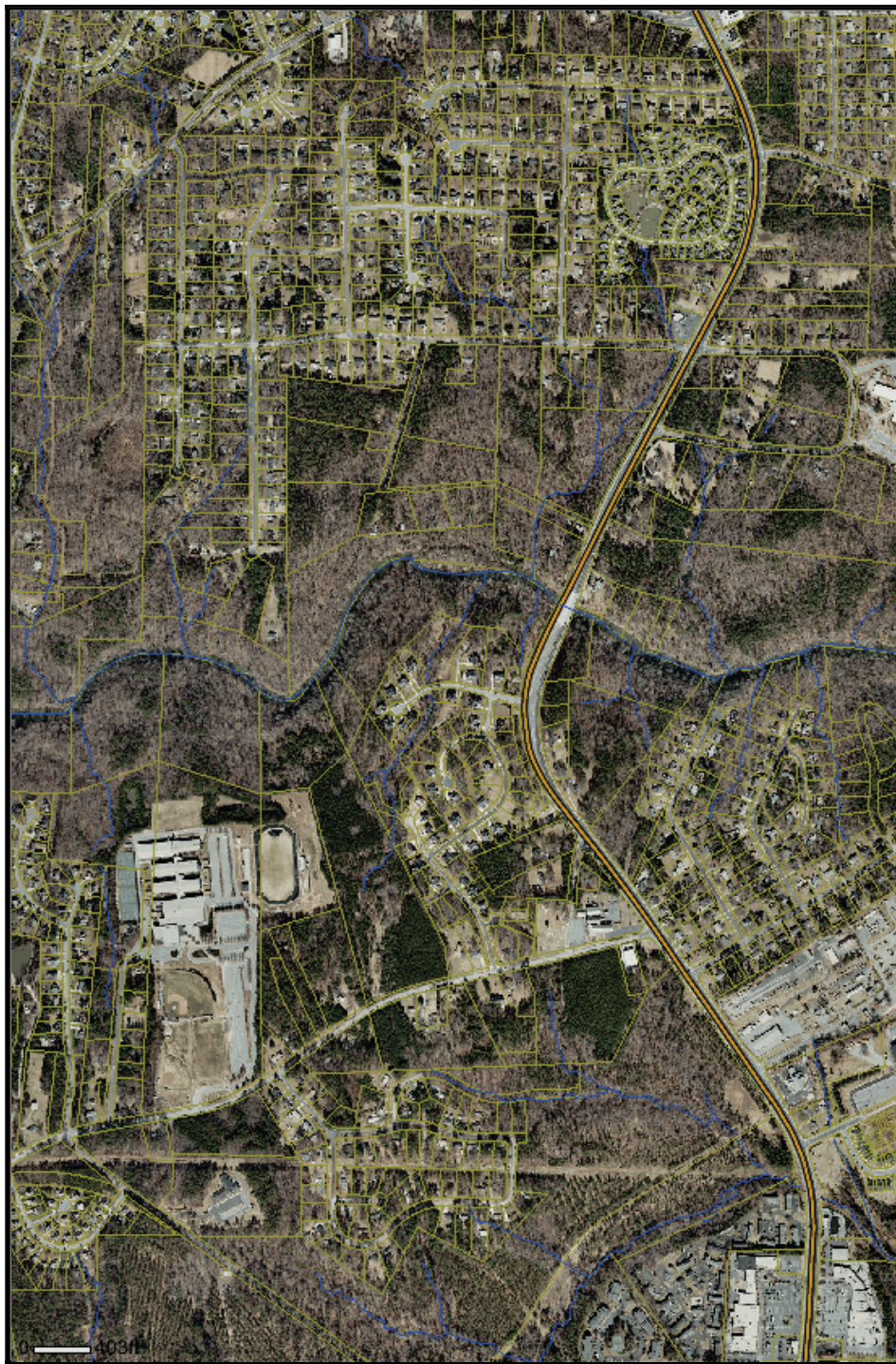
LEGEND

- Durham_County
- Streams_and_Ditches
 - DITCH
 - RIVER
 - STREAM
 - UNKNOWN
- Highways
- Parcels
- Ortho_2010

Tuesday, April 16 2013



Eno Forest



LEGEND

- Durham_County
- Streams_and_Ditches
 - DITCH
 - RIVER
 - STREAM
 - UNKNOWN
- Highways
- Parcels
- Ortho_2010

Tuesday, April 16 2013

