



AT&T Mobility, LLC  
Raleigh, NC

**DATE:** February 12, 2014  
**SUBJECT:** FCC Compliance Assessment for Proposed AT&T Mobility Site 368-512

AT&T Mobility has been requested to evaluate the radio frequency emissions of our proposed site 368-512. In addition, AT&T Mobility has been requested to address other RF related topics such as transmitter operation and maximum permissible output power levels. The remainder of this report will address all RF related items requested by Chatham County Zoning/Planning for proposed site 368-512.

### **Transmitter Operation**

AT&T Mobility owns the C LTE Bands and B PCS Band PCS licenses in Chatham County. The transmitters being used on the proposed site are authorized to operate in the 740-746 and 1950-1965 Megahertz (MHz) frequency range. The Ericsson Node B base station transmitters AT&T Mobility utilizes have a maximum output level of 60 watts. AT&T Mobility utilizes the GSM, LTE and UMTS digital technology. As a result our transmitters utilize Gaussian Minimum Shift Keying (GMSK), 16-State Quadrature Amplitude (16QAM), 64-State Quadrature Amplitude (64 QAM) and Quadrature Phase Shift Keying (QPSK) modulation. Precision filters limit unwanted and spurious emissions to levels below the FCC specification. The signals being transmitted will not interfere with the operation of commercial radio, cellular radio, television, telephone or other FCC approved communication equipment. For our proposed site 368-512, GSM technology will not be deployed.

### **Maximum Permissible Output Power**

The maximum permissible output power for 1900 band per sector is 1640 Watts of effective radiated power (ERP) from the antennas in Chatham County. The proposed site 368-512 is only transmitting 747 total watts ERP.

The maximum permissible output power for 700 band per sector is 1000 Watts of effective radiated power (ERP) from the antennas in Chatham County. The proposed site 368-512 is only transmitting 242 total watts ERP.

### **RF Exposure (NIER levels)**

The FCC states in 47 CFR 1.1310 that the maximum permissible exposure (MPE) level from non-ionizing electromagnetic radiation (NIER) to the general population at cellular and PCS frequencies is 1.0 milliwatt per centimeter squared (mW/cm<sup>2</sup>). MPE is a measure of the RF power density at or below which there are no potential harmful effects from the exposure.

Power density calculations are based on guidelines given by the ANSI Standard C95.1-1992 and are based on a worst case scenario. For analysis purposes, worst case conditions were chosen for all output power levels based on the deployment of LTE and UMTS technologies. The site is being deployed initially with 9 transmitters. For analysis purposes, 15 transmitters were used. A summary of the results of the power density calculations for site 368-512 is listed below in **Table 1** and **Table 2**.

Distance From Tower (Feet)	Power Density (mw/cm2)	% FCC Standard
1	0.0000335	0.013395
25	0.0000332	0.013296
50	0.0000241	0.009642
75	0.0000172	0.006897
100	0.0000474	0.018960

**Table 1: Power Density Summary for Site 368-512 for 1900 Band**

Distance From Tower (Feet)	Power Density (mw/cm2)	% FCC Standard
1	0.0000042	0.0033943
25	0.0000068	0.0055914
50	0.0000109	0.0088705
75	0.0000145	0.0118154
100	0.0000170	0.0138561

**Table 2: Power Density Summary for Site 368-512 for 700 Band**

As shown in **Table 1**, the maximum power density will not exceed 0.0000474mW/cm<sup>2</sup> at ground level in 1900 Band and as shown in **Table 2**, the maximum power density will not exceed 0.0000170mW/cm<sup>2</sup> at ground level in 700 Band. Moreover, the average energy expected near ground level is less than 1% of the MPE level. This level does not exceed the MPE limit set by the Federal Communications Commission or the American National Standards Institute.

Based upon the ANSI/FCC standard and the predicted levels of electromagnetic energy emitted by site 368-512, this installation will be of no safety concern to the general public.

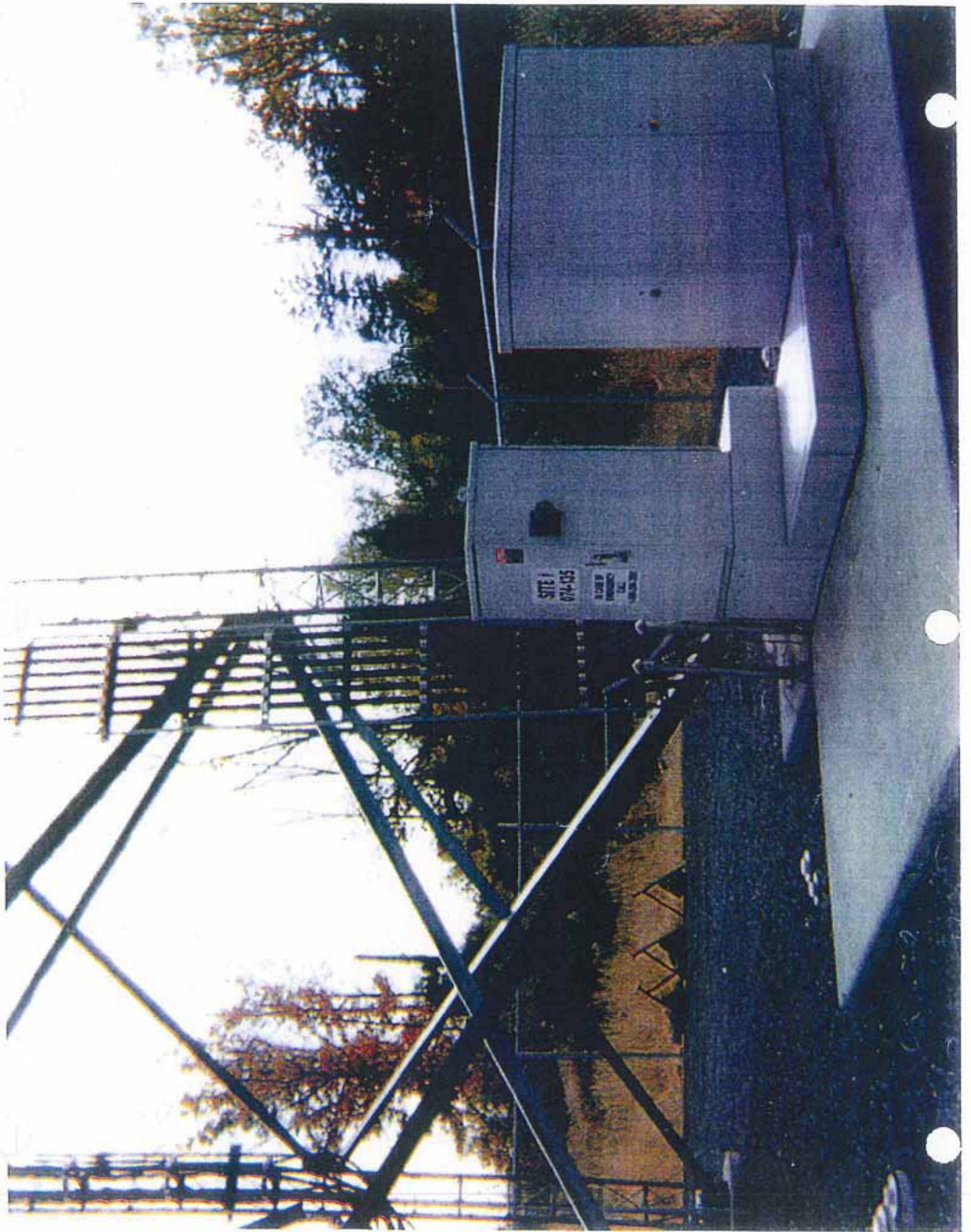
Sincerely



David J. LaCava  
Senior Radio Access Network Specialist  
AT&T Mobility

## Typical Equipment Cabinets

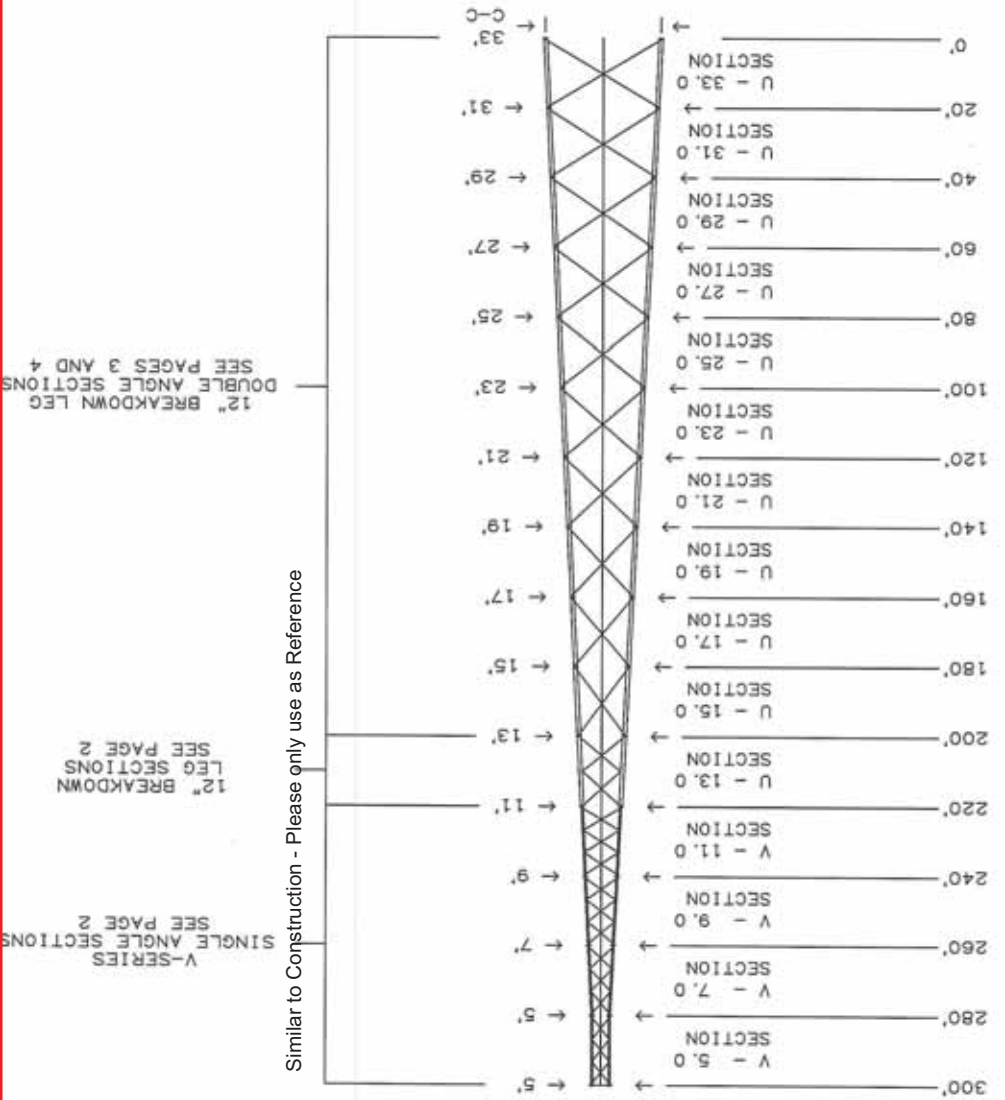




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A Changed to Revision BA SKK 12/10/2013	
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PAGE 1 OF 7	

AMERICAN TOWER CORP. #280868 TAYLOR GUM, NC V-33.0 X 300' NORTH CAROLINA C. O. A. F-1022

\*\*\*\*\* American Tower Note: This Tower Design will be similar to Construction - Please only use current page and subsequent pages for Reference. \*\*\*\*\*

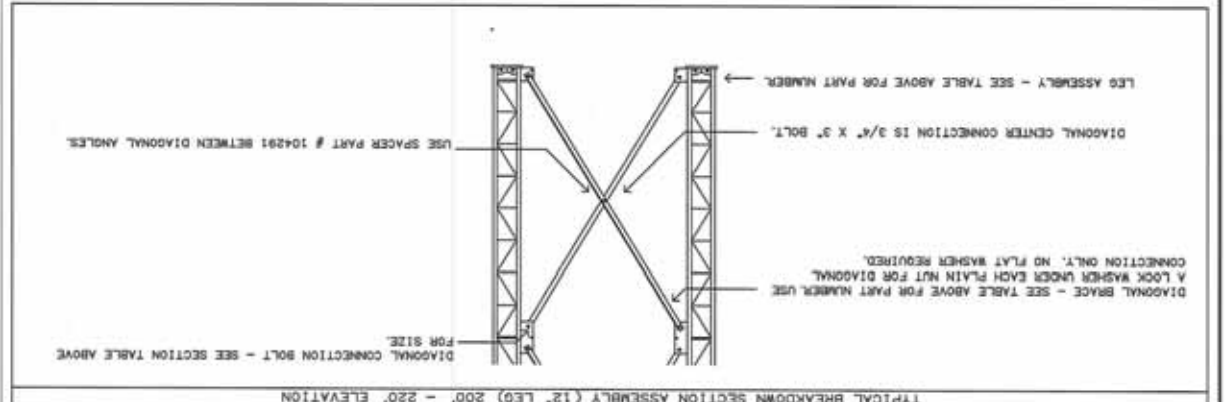


Similar to Construction - Please only use as Reference

\*\*\*\*\* American Tower Note: This Tower Design will be similar to Construction - Please only use current page and subsequent pages for Reference \*\*\*\*\*

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REV A Changed to Revision 0A B DESIGNED CHANGED FROM GUY TOWER C UPDATE TITLE BLOCK	DESCRIPTION OF REVISIONS DATE APPROVED/ENG. SKK APPROVED/FOUND. N/A	DRAWN BY SKK COPYRIGHT 2013 APPROVED/FOUND. N/A	DRAWING NO. 250764 PAGE 2 OF 7

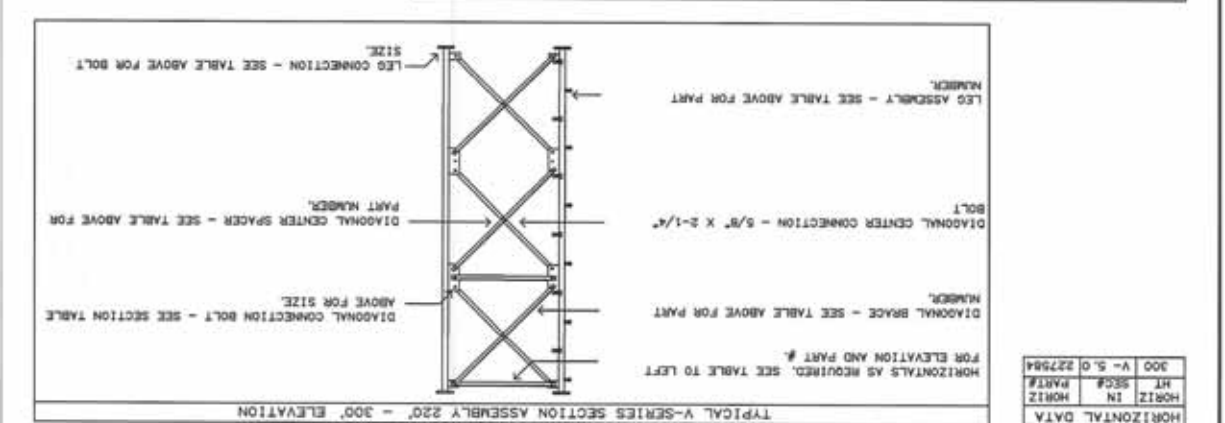
AMERICAN TOWER CORP.  
 #280868 TAYLOR GUM, NC  
 V-33.0 X 300



BREAKDOWN SECTION DATA (12' LEG) 200' - 220' ELEVATION

SEC	SECTION LEG	LEG TOP DIAGONAL ANGLE	SECTION LEG CONNECT	DIAG CONNECT	#	LENGTH	SIZE	PART#	PART#	FACE THICK	WEIGHT	DIAW LENGTH
U-13.0	20'	1-3/4"	229686	109374	109376	3	3/16"	3056#	1"	4-3/4"	1"	2-1/4"

\* THE WEIGHTS LISTED ARE THEORETICAL. THE ACTUAL WEIGHTS WILL VARY. ALL WEIGHTS SHOULD BE CONFIRMED IN THE FIELD PRIOR TO ERECTION.  
 + USE 1 FLAT WASHER UNDER EACH LOCK WASHER FOR LEG CONNECTION ONLY.



V-SERIES LEG SECTION DATA 220' - 300' ELEVATION

SECTION	LEG	CLIMBING NON-CLIMB	CONNECT BOLT#	PART NUMBER **	ANGLE	CONNECT BOLT CENTER	QTY	PART#	QTY	PART#	DIAW LENGTH	#1	#2	#3	FACE THICK	WEIGHT	SIZE	WALL	GRADE	
V-5.0	20'	1206#	4"	0.237	A572-50	1	226184	2	226185	3/4"	3-1/2"	227078	227078	227078	2"	1/8"	3/4"	2-1/4"	116467	1
V-7.0	20'	1609#	5"	0.258	A572-50	1	226200	2	226201	3/4"	3-1/2"	226190	226188	226188	2"	3/16"	3/4"	2-1/4"	116467	1
V-9.0	20'	1861#	5"	0.258	A572-50	3	226182	3	226182	3/4"	3-1/2"	225035	225034	225034	2"	3/16"	3/4"	2-1/4"	116467	1
V-11.0	20'	2306#	6"	0.280	A572-50	3	229377	3	229377	1"	4-3/4"	225038	225037	225037	2"	3/16"	3/4"	2-1/4"	116467	1

\*\* PARTS ARE NUMBERED BEGINNING AT THE TOP OF THE SECTION.  
 \* THE WEIGHTS LISTED ARE THEORETICAL. THE ACTUAL WEIGHTS WILL VARY. ALL WEIGHTS SHOULD BE CONFIRMED IN THE FIELD PRIOR TO ERECTION.  
 + AT BOTTOM OF SECTION

HORIZONTAL DATA

HORIZ IN	HORIZ PART#	HT	SEC#	V-5.0	227584	300
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REV B C	DESCRIPTION OF REVISIONS DESIGNED CHANGED FROM GUY TOWER UPDATE TITLE BLOCK	DATE 12/10/2013	APPROVED/ENG. SKK 12/10/2013	APPROVED/ENG. SKK 12/10/2013	VALMONT STRUCTURES 17880-191 BROAD ST CHARLOTTE, NC 28262
AMERICAN TOWER CORP. #280868 TAYLOR GUM, NC V-33, D X 300					
DRAWING NO. 250764		PAGE 3 OF 7			



BREAKDOWN SECTION DIAGONAL DATA (12" LEG WITH DOUBLE ANGLES) 0' - 200' ELEVATION

#	MODEL	UPPER	LOWER	LONG	FACE	THICK	DIAM	LENGTH	DIAM	LENGTH	DIA CENTER & SPACER BOLT PLATE	PART #	SPACER
1	U-33.0	215340	215343	215390	4"	1/4"	7/8"	2-1/2"	5/8"	2-1/4"	211833	104291	9
2	U-31.0	215333	215336	215386	3-1/2"	1/4"	7/8"	2-1/2"	5/8"	2-1/4"	211833	104291	9
3	U-29.0	215327	215330	215383	3-1/2"	1/4"	7/8"	2-1/2"	5/8"	2-1/4"	211833	104291	8
4	U-27.0	215320	215324	215380	3-1/2"	1/4"	7/8"	2-1/2"	5/8"	2-1/4"	211833	104291	8
5	U-25.0	215312	215316	215377	3-1/2"	1/4"	7/8"	2-1/2"	5/8"	2-1/4"	211833	104291	8
6	U-23.0	215304	215308	215373	3-1/2"	1/4"	7/8"	2-1/2"	5/8"	2-1/4"	211833	104291	8
7	U-21.0	215296	215300	215369	3-1/2"	1/4"	7/8"	2-1/2"	5/8"	2-1/4"	211833	104291	8
8	U-19.0	215288	215292	215364	3"	3/16"	7/8"	2-1/2"	5/8"	2-1/4"	211833	104291	7
9	U-17.0	215280	215284	215361	3"	3/16"	7/8"	2-1/2"	5/8"	2-1/4"	211833	104291	6
10	U-15.0	215272	215276	215357	3"	3/16"	7/8"	2-1/2"	5/8"	2-1/4"	211833	104291	5

\* QUANTITY IS PER PANEL PER FACE. USE 1 LOCK WASHER UNDER EACH PLAIN NUT.

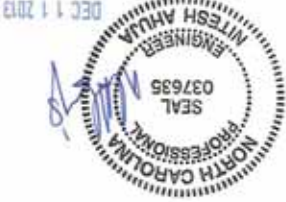
BREAKDOWN SECTION LEG DATA (12" LEG WITH DOUBLE ANGLES) 0' - 200' ELEVATION

#	MODEL	LENGTH	WEIGHT	SIZE	PART #	DIAM	LENGTH
1	U-33.0	20'	848#	3"	208338		
2	U-31.0	20'	835#	3"	208336	1-1/4"	5"
3	U-29.0	20'	723#	2-3/4"	208337	1"	4-3/4"
4	U-27.0	20'	712#	2-3/4"	208337	1"	4-3/4"
5	U-25.0	20'	622#	2-1/2"	208335	1"	4-3/4"
6	U-23.0	20'	611#	2-1/2"	208335	1"	4-3/4"
7	U-21.0	20'	601#	2-1/2"	208335	1"	4-3/4"
8	U-19.0	20'	467#	2-1/4"	208334	1"	4-3/4"
9	U-17.0	20'	461#	2-1/4"	208334	1"	4-3/4"
10	U-15.0	20'	395#	2"	208332	1"	4-3/4"

\* THE WEIGHTS LISTED ARE THEORETICAL. THE ACTUAL WEIGHTS WILL VARY. ALL WEIGHTS SHOULD BE CONFIRMED IN THE FIELD PRIOR TO ERECTION.  
 + QTY IS PER LEG. USE 1 LOCK WASHER AND 1 FLAT WASHER UNDER EACH PLAIN NUT.

C) UPDATE TITLE BLOCK		SKK	12/10/2013	NORTH CAROLINA C. O. A. F-1022
B) DESIGNED CHANGED FROM GUY TOWER	SKK	12/10/2013	APPROVED/ENG.	12/10/2013
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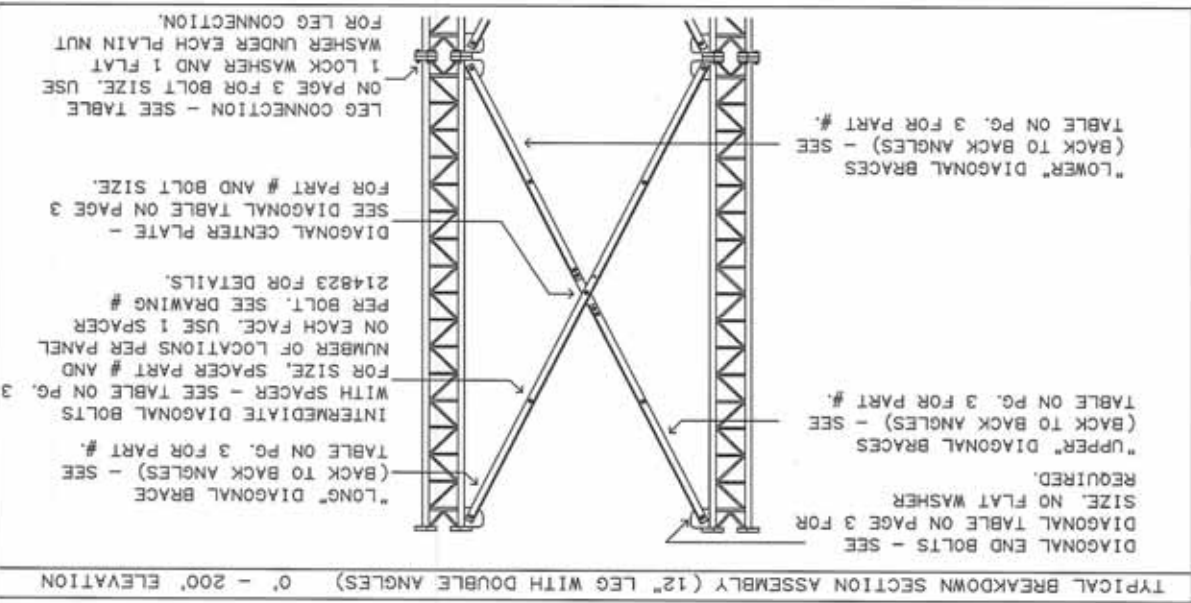
AMERICAN TOWER CORP.  
#280868 TAYLOR GUM, NC  
V-33.0 X 300'



ATTENTION ERECTOR:

1. EXTRA CARE MUST BE TAKEN WHEN STANDING BREAKDOWN LEG SECTIONS FROM A FLAT "ASSEMBLY" POSITION ON THE GROUND TO AN UPRIGHT POSITION FOR STACKING. POOR RIGGING AND/OR LIFTING PROCEDURES MAY DAMAGE THE ANGLE BRACES AND/OR BREAKDOWN LEGS. IT IS THE RESPONSIBILITY OF THE TOWER CONTRACTOR TO ENSURE BREAKDOWN LEGS AND ANGLES ARE NOT DAMAGED DURING THE TOWER ASSEMBLY AND ERECTION.

2. WHEN LIFTING ("FLYING"), SINGLE PANEL TOWER SECTIONS TO PLACE THEM ON PREVIOUSLY ERECTED SECTIONS, A MINIMUM OF TWO (2) FULL SECTIONS (TYPICALLY 40') MUST BE ASSEMBLED TOGETHER TO PROVIDE ADEQUATE STABILITY TO THE TOWER LEGS AND ANGLE BRACES. IT IS THE RESPONSIBILITY OF THE TOWER CONTRACTOR TO ENSURE BREAKDOWN LEGS AND ANGLES ARE NOT DAMAGED DURING THE TOWER ASSEMBLY AND ERECTION.



TYPICAL BREAKDOWN SECTION ASSEMBLY (12" LEG WITH DOUBLE ANGLES) 0' - 200' ELEVATION



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AMERICAN TOWER CORP.  
#280868 TAYLOR GUM, NC  
V-33.0 X 300

1. FOUNDATION DESIGN BY OTHERS.

FOUNDATION NOTES



1. TOWER DESIGN CONFORMS TO STANDARD T1A-222-0 UTILIZING AN 95 MPH 3-SEC GUST BASIC WIND SPEED WITH A STRUCTURE CLASS OF II. TOPOGRAPHIC CATEGORY OF I AND EXPOSURE B CRITERIA WITH NO ICE.

2. TOWER DESIGN CONFORMS TO STANDARD T1A-222-0 UTILIZING AN 30 MPH 3-SEC GUST BASIC WIND SPEED WITH A STRUCTURE CLASS OF II. TOPOGRAPHIC CATEGORY OF I AND EXPOSURE B CRITERIA WITH .75" RADIAL ICE.

3. NO TWIST AND SWAY LIMITATIONS SPECIFIED OR USED FOR THIS TOWER.

4. MATERIAL: (A) SOLID ROOF TO ASTMA A572 GRADE 50. (B) ANGLES TO ASTMA A449 (F<sub>y</sub>=120 KSI AND F<sub>y</sub>=92 KSI) AND ANCHOR BOLTS TO ASTMA A500 GRADE B. (C) STEEL PLATES TO ASTMA A36. (E) CONNECTION BOLTS TO ASTMA A325 OR ASTMA A449 (F<sub>y</sub>=120 KSI AND F<sub>y</sub>=92 KSI) AND ANCHOR BOLTS TO ASTMA A500 GRADE B/C WITH 50MSI MIN. YIELD STRENGTH.

5. BASE REACTIONS PER T1A-222-0 FOR 95 MPH BASIC WIND SPEED WITH NO ICE (REACTIONS INCLUDE T1A-222-0 LOAD FACTORS): TOTAL WEIGHT = 131.0 KIPL. MAXIMUM COMPRESSION = 742.0 KIPL PER LEG. MOMENT = 19969.0 KIP-FT. MAXIMUM UPLIFT = 647.0 KIPL PER LEG. MAXIMUM SHEAR = 112.0 KIPL TOTAL. MAXIMUM TORSION = 2108.0 KIP-FT. MAXIMUM SHEAR = 11.0 KIPL TOTAL.

6. FINISH ALL BOLTS AND ADVANCEMENT IN ACCORDANCE WITH ASTMA123 (NOT DIPPED) OR ASTMA B895 CLASS 50 (MECHANICAL). ALL OTHER STRUCTURAL MATERIALS ARE GALVANIZED IN ACCORDANCE WITH ASTMA123.

7. ANTEENAS: 300'-135 SO. FT. AREA WITH 3.000# WITH ICE/115 SO. FT. AREA WITH 2.000# NO ICE AND (18) 1-5/8" LINES. 290'-135 SO. FT. AREA WITH 3.000# WITH ICE/115 SO. FT. AREA WITH 2.000# NO ICE AND (18) 1-5/8" LINES. 280'-135 SO. FT. AREA WITH 3.000# WITH ICE/115 SO. FT. AREA WITH 2.000# NO ICE AND (18) 1-5/8" LINES. 270'-135 SO. FT. AREA WITH 3.000# WITH ICE/115 SO. FT. AREA WITH 2.000# NO ICE AND (18) 1-5/8" LINES. 260'-135 SO. FT. AREA WITH 3.000# WITH ICE/115 SO. FT. AREA WITH 2.000# NO ICE AND (18) 1-5/8" LINES. NOTE: (V) ELEVATIONS ARE TO THE BOTTOM OF THE ANTEENAS EXCEPT FOR MICROWAVE DISKS, WHICH ARE TO THE CENTERLINE. (B) ALL TRANSMISSION LINES MUST BE PLACED ON P1000 SUPPLIED LINE BRACKETS.

8. REMOVE FOUNDATION TEMPLATE PRIOR TO ERECTING TOWER. INSTALL BASE SECTION WITH MINIMUM OF 2" CLEARANCE ABOVE CONCRETE. SEE BASE SECTION PLACEMENT PAGE FOR MORE INFORMATION. PACK NON-SHRINK STRUCTURAL GROUT UNDER BASE SECTION AFTER LEVELING TOWER.

9. WELD 5/16" UNLESS OTHERWISE SPECIFIED. ALL WELDING TO CONFORM TO AWS D1.1 SPECIFICATIONS.

10. THIS DRAWING DOES NOT INDICATE THE METHOD OF CONSTRUCTION. THE CONTRACTOR SHALL SUPERVISE AND DIRECT THE WORK AND BE SOLELY RESPONSIBLE FOR ALL CONSTRUCTION MEANS, SEQUENCES AND PROCEDURES.

11. ALL BOLTS AND NUTS MUST BE IN PLACE BEFORE THE ADJOINING SECTIONS ARE INSTALLED.

12. ALL STRUCTURAL BOLTS ARE TO BE TIGHTENED TO A SAWS TIGHT CONDITION AS DEFINED BY AISC SPECIFICATION UNLESS OTHERWISE NOTED.

13. ATTENTION TOWER ERECTOR: COAT ALL BOLT ASSEMBLIES THAT USE PIN LOCK NUTS WITH ZINC RICH COLD GALVANIZING COMPOUND AFTER FINAL TIGHTENING.

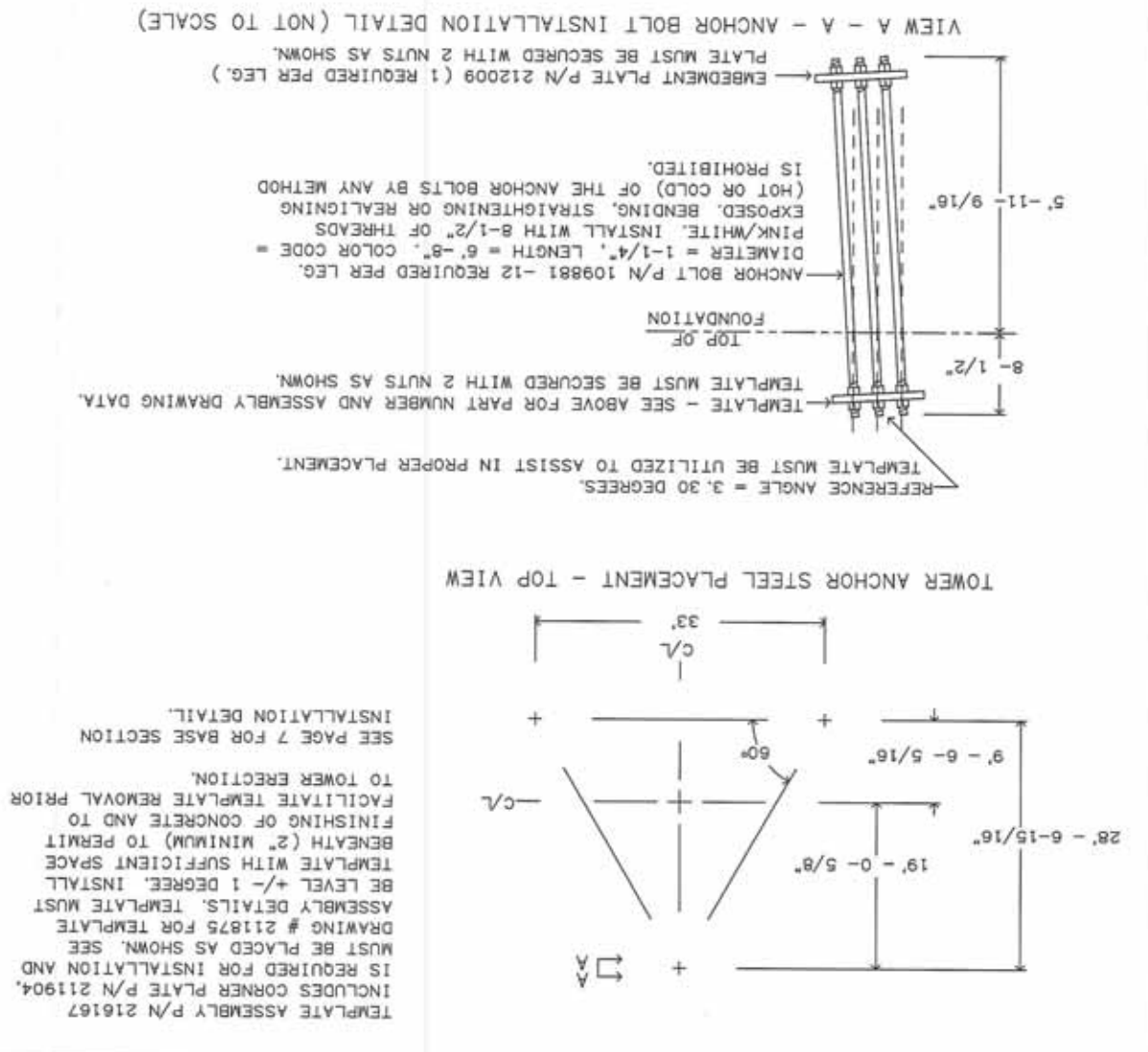
14. T1A-222-0 GROUNDING FOR TOWER.

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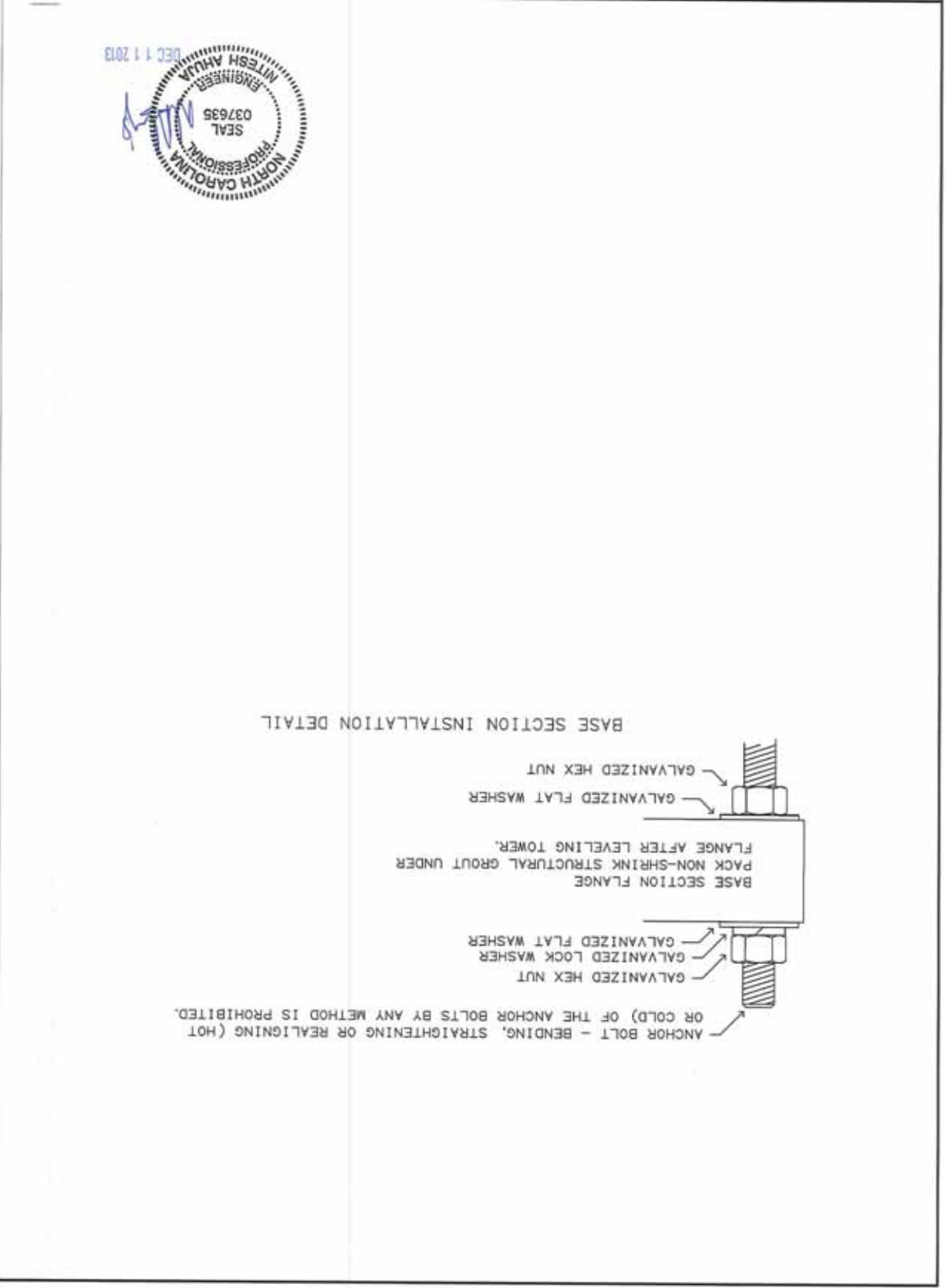
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#280868 TAYLOR GUM, NC  
V-33.0 X 300



ATTENTION CONTRACTOR INSTALLING THE ANCHOR BOLTS!  
1-1/4" DIAMETER ANCHOR BOLTS FOR TAPERED TOWER.  
VERIFY THE PART NUMBERS AND SIZES FOR ALL COMPONENTS ON THIS PAGE AND PAGE 7.  
IF THERE ARE ANY DISCREPANCIES, PLEASE NOTIFY PIROD, INC. PRIOR TO INSTALLATION!



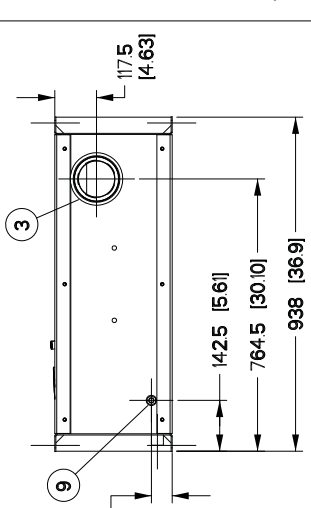
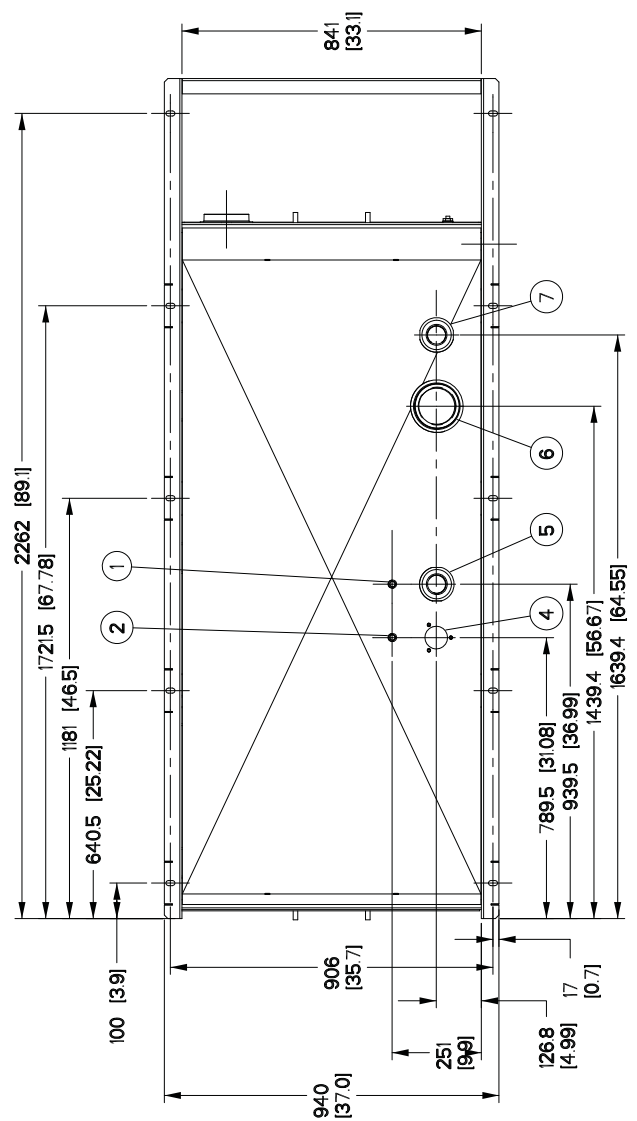
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ITEM #	TANK FITTING	FUNCTION
1	3/8" NPT COUPLING	FUEL SUPPLY
2	3/8" NPT COUPLING	FUEL RETURN
3	4" NPT WELD FLANGE	EMERGENCY VENT (OUTER)
4		FUEL LEVEL
5	2" NPT WELD FLANGE	FUEL FILL
6	4" NPT WELD FLANGE	EMERGENCY VENT (INNER)
7	2" NPT WELD FLANGE	VENT
8	3/4" NPT COUPLING	DRAIN
9	Ø22 HOLE	LEAK DETECTOR

TANK P/N	0H48080ST03	0H48090ST03	0H48100ST03
DIM "A"	330 [13]	635 [25]	940 [37]
TOTAL TANK CAPACITY	318 [84]	734 [94]	1154 [305]
USABLE TANK CAPACITY	299 [79]	716 [89]	1134 [300]
DRY WEIGHT (EST)	237 [522]	344 [758]	445 [982]

NOTES:  
 1) ALL DIMENSIONS ARE:  
 LENGTH: mm (inch)  
 WEIGHT: kg (lbs)  
 CAPACITY: L (gal)  
 2) UL #142 LISTED



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**GENERAC**

TITLE: B-GROUP, DW TYPE 2 TANKS

ISSUE DATE: 10/02/09

SIZE	CAGE NO	DWG NO	REV
B		0H4610A	D

SCALE: 0.075 WT-KG --- SHEET 1 of 1

DRAWING CREATED FROM PRO/ENGINEER 3D FILE. ECO MODIFICATION TO BE APPLIED TO SOLID MODEL ONLY.

# INSTALLATION DRAWING

DESIGN CRITERIA: <input type="checkbox"/> Non Fire-rated <input type="checkbox"/> 1 Hour Fire-rated <input checked="" type="checkbox"/> 2 Hour Fire-rated		
2012/2009/2006/2003/2000 IBC		
Road Live Load (RL)	= IRL psf	
Floor Live Load (FL)	= IFL psf	
Basic Wind Speed (3-second Gust) (V)	= 115 mph	Wind Exposure = 1-EXP
Wind Importance Factor (I <sub>w</sub> )	= 1.15	
Building Category	= I	
Seismic Category	= D	
Seismic Importance Factor (I <sub>s</sub> )	= 1.25	
Spectral Response Coefficient (S <sub>s</sub> /(S <sub>1</sub> ))	= 0.60	
Basic Seismic-Force-Resisting System	=	
Analysis Procedure	= Equivalent Lateral-Force Procedure	
Ground Snow Load (P <sub>g</sub> )	= 80 psf	
Snow Exposure Factor (E <sub>s</sub> )	= 1.1	
Snow Load (P <sub>s</sub> )	= 1.0	
Flat Roof Snow Load (P <sub>f</sub> )	= 87.8 psf	

**FOR ARCHITECT USE ONLY**

2012/2009/2006/2003/2000 IBC

Roof Live Load (RL) = IRL psf  
 Floor Live Load (FL) = IFL psf  
 Basic Wind Speed (3-second Gust) (V) = 115 mph  
 Wind Importance Factor (I<sub>w</sub>) = 1.15  
 Building Category = I  
 Seismic Category = D  
 Seismic Importance Factor (I<sub>s</sub>) = 1.25  
 Spectral Response Coefficient (S<sub>s</sub>/(S<sub>1</sub>)) = 0.60  
 Basic Seismic-Force-Resisting System =  
 Analysis Procedure = Equivalent Lateral-Force Procedure  
 Ground Snow Load (P<sub>g</sub>) = 80 psf  
 Snow Exposure Factor (E<sub>s</sub>) = 1.1  
 Snow Load (P<sub>s</sub>) = 1.0  
 Flat Roof Snow Load (P<sub>f</sub>) = 87.8 psf

**FOR ENGINEER USE ONLY**

**FOR THIRD PARTY USE ONLY**

PSI, Inc.  
 1748 33rd Street  
 Orlando, Florida  
 407-301-9360

PFS  
 1507 Mail Pass  
 College Grove, WI 53527  
 800-839-1013

**THIRD PARTY AGENCIES**

Concrete Unit Weight=115pcf

Rev. 01-31-13

1300 DAVENPORT DRIVE, MINDEN, LA 71055  
 ph: (800) 624-2614 www.fibrebond.com

**FIBRE BOND**

11'-5" X 16'-0" EQUIPMENT SHELTER  
 AT&T MOBILITY  
 MANUFACTURED BUILDING  
 DATA SHEET

DATE: 12/16/09  
 DATE: 12/21/09  
 DATE: 12/21/09  
 DATE: 12/21/09

**NOTE**  
**STRUCTURAL DESIGN BY RALEY AND ASSOCIATES, INC.**  
**TX F594**

**GENERAL DESIGN NOTES**

1. This unit is approved for placement in this only.  
 2. Shelter is to be installed on a concrete pad.  
 3. The provisions of IRC are applicable to this unit, or (2) a violation from the provisions of IRC has been observed by the manufacturer.  
 4. All items noted on "FIELDWORK" shall be installed and tested at the factory then removed for reuse.  
 5. Wood may be built on "nurse roads".  
 6. Door swing and ramp location may change due to site requirements.  
 7. Ramp shall be placed on a foundation approved by others.  
 8. Bulking not designed for installation in a flood prone area.

9. This unit is approved for placement in this only. The provisions of IRC are applicable to this unit, or (2) a violation from the provisions of IRC has been observed by the manufacturer. The manufacturer shall be responsible for ensuring that the unit meets or exceeds the requirements of the local building officials' copy of these standards.  
 10. The manufacturer shall be responsible for ensuring that the unit meets or exceeds the requirements of the local building officials' copy of these standards.  
 11. The manufacturer shall be responsible for ensuring that the unit meets or exceeds the requirements of the local building officials' copy of these standards.  
 12. The manufacturer shall be responsible for ensuring that the unit meets or exceeds the requirements of the local building officials' copy of these standards.  
 13. The manufacturer shall be responsible for ensuring that the unit meets or exceeds the requirements of the local building officials' copy of these standards.

**BUILDING CODE SCHEDULE**

MODEL CODE	OCCUPANCY USE GROUP	CONST. TYPE	EDITION	DESCRIPTION	MODEL CODE	OCCUPANCY USE GROUP	CONST. TYPE	EDITION	DESCRIPTION
UBC	S-2	V	1997		IBC	S-2	V	2000	
	S-2	V	1994			S-2	V	2009	
	S-2	V	1994			S-2	V	2009	
BOCA	B	3C	1998		IBC	S-2	V	2009	
	B	3C	1999			S-2	V	2009	
	B	3C	2000			S-2	V	2009	
BOCA	B	3C	1999		IBC	S-2	V	2009	
	B	3C	2000			S-2	V	2009	
BOCA	B	3C	1999		IBC	S-2	V	2009	
	B	3C	2000			S-2	V	2009	
BOCA	B	3C	1999		IBC	S-2	V	2009	
	B	3C	2000			S-2	V	2009	
BOCA	B	3C	1999		IBC	S-2	V	2009	
	B	3C	2000			S-2	V	2009	
BOCA	B	3C	1999		IBC	S-2	V	2009	
	B	3C	2000			S-2	V	2009	
BOCA	B	3C	1999		IBC	S-2	V	2009	
	B	3C	2000			S-2	V	2009	
BOCA	B	3C	1999		IBC	S-2	V	2009	
	B	3C	2000			S-2	V	2009	
BOCA	B	3C	1999		IBC	S-2	V	2009	
	B	3C	2000			S-2	V	2009	
BOCA	B	3C	1999		IBC	S-2	V	2009	
	B	3C	2000			S-2	V	2009	
BOCA	B	3C	1999		IBC	S-2	V	2009	
	B	3C	2000			S-2	V	2009	

**REVISED REVIEWS**

REV.	BY	DATE	REVISION
25	JSK	02/09/13	UPDATED REV LVL 1-0, 2-2, & 3; UPDATED W&G5 INFO
24	RL	02/29/12	UPDATED REVISION LEVELS 1-0, 1-1, 4, 53, 54, 55, 56 & 37
23	LW	05/27/11	UPDATED W&G5 INFO, UPDATED REV LEVEL 1-0, 2-1
22	LW	12/19/11	UPDATED W&G5 INFO, UPDATED REV LEVEL 1-0
21	SV	06/19/11	UPDATED W&G5 INFO, UPDATED REV LEVEL 1-0
20	SV	07/19/11	UPDATED REVISION LEVELS
19	SV	07/19/11	UPDATED REVISION LEVELS
18	SV	05/04/11	UPDATED REVISION LEVELS
17	LW	07/11/11	UPDATED REVISION LEVELS
16	LW	02/02/11	UPDATED REVISION LEVELS

**INDEX OF SHEETS**

SHEET NO.	REV.	SHEET DESCRIPTION
0-0	1	GENERAL NOTES
1-1	1	BUILDING OPERATIONS SHEET
1-1	2	MANUFACTURED BUILDING DATA SHEET
1-2	1	FLOOR PLAN
1-2	2	FRONT ELEVATION - 'A' & 'B'
1-2	3	REAR ELEVATION - 'C' & 'D'
1-2	4	SECTION FAN
1-2	5	SECTION G
1-2	6	SECTION H
1-2	7	SECTION I
1-2	8	SECTION J
1-2	9	SECTION K
1-2	10	SECTION L
1-2	11	SECTION M
1-2	12	SECTION N
1-2	13	SECTION O
1-2	14	SECTION P
1-2	15	SECTION Q
1-2	16	SECTION R
1-2	17	SECTION S
1-2	18	SECTION T
1-2	19	SECTION U
1-2	20	SECTION V
1-2	21	SECTION W
1-2	22	SECTION X
1-2	23	SECTION Y
1-2	24	SECTION Z

**REFERENCED STANDARD SHEETS**

SHEET NO.	REV.	SHEET DESCRIPTION
ELEC-001	6	BOND W/COB BENEATH EXTERIORS
MECH-005	4	STANDARD ONCE INOX MAINTENANCE DETAILS

**REVISED REVIEWS**

REV.	BY	DATE	REVISION
25	JSK	02/09/13	UPDATED REV LVL 1-0, 2-2, & 3; UPDATED W&G5 INFO
24	RL	02/29/12	UPDATED REVISION LEVELS 1-0, 1-1, 4, 53, 54, 55, 56 & 37
23	LW	05/27/11	UPDATED W&G5 INFO, UPDATED REV LEVEL 1-0, 2-1
22	LW	12/19/11	UPDATED W&G5 INFO, UPDATED REV LEVEL 1-0
21	SV	06/19/11	UPDATED W&G5 INFO, UPDATED REV LEVEL 1-0
20	SV	07/19/11	UPDATED REVISION LEVELS
19	SV	07/19/11	UPDATED REVISION LEVELS
18	SV	05/04/11	UPDATED REVISION LEVELS
17	LW	07/11/11	UPDATED REVISION LEVELS
16	LW	02/02/11	UPDATED REVISION LEVELS

**FOR ARCHITECT USE ONLY**

2012/2009/2006/2003/2000 IBC

Roof Live Load (RL) = IRL psf  
 Floor Live Load (FL) = IFL psf  
 Basic Wind Speed (3-second Gust) (V) = 115 mph  
 Wind Importance Factor (I<sub>w</sub>) = 1.15  
 Building Category = I  
 Seismic Category = D  
 Seismic Importance Factor (I<sub>s</sub>) = 1.25  
 Spectral Response Coefficient (S<sub>s</sub>/(S<sub>1</sub>)) = 0.60  
 Basic Seismic-Force-Resisting System =  
 Analysis Procedure = Equivalent Lateral-Force Procedure  
 Ground Snow Load (P<sub>g</sub>) = 80 psf  
 Snow Exposure Factor (E<sub>s</sub>) = 1.1  
 Snow Load (P<sub>s</sub>) = 1.0  
 Flat Roof Snow Load (P<sub>f</sub>) = 87.8 psf

**FOR ENGINEER USE ONLY**

**FOR THIRD PARTY USE ONLY**

PSI, Inc.  
 1748 33rd Street  
 Orlando, Florida  
 407-301-9360

PFS  
 1507 Mail Pass  
 College Grove, WI 53527  
 800-839-1013

**THIRD PARTY AGENCIES**

Concrete Unit Weight=115pcf

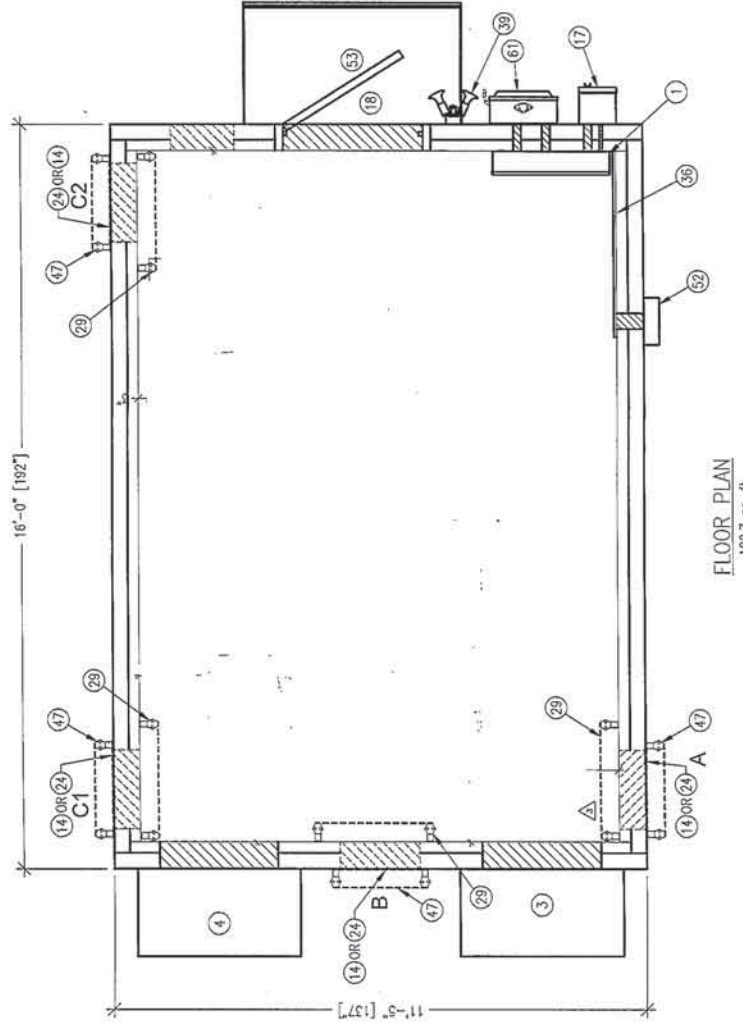
Rev. 01-31-13

1300 DAVENPORT DRIVE, MINDEN, LA 71055  
 ph: (800) 624-2614 www.fibrebond.com

**FIBRE BOND**

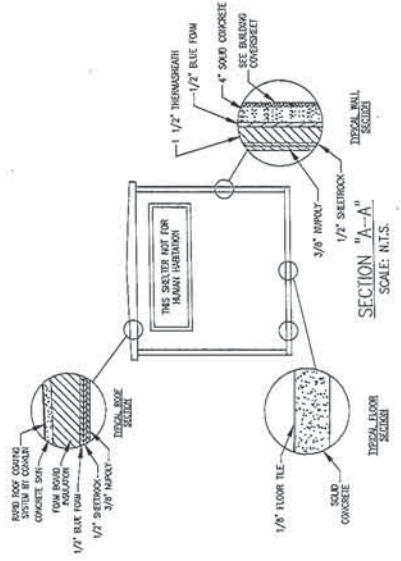
11'-5" X 16'-0" EQUIPMENT SHELTER  
 AT&T MOBILITY  
 MANUFACTURED BUILDING  
 DATA SHEET

DATE: 12/16/09  
 DATE: 12/21/09  
 DATE: 12/21/09  
 DATE: 12/21/09

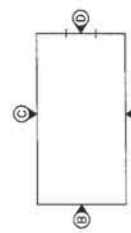


FLOOR PLAN  
182.7 sq. ft.

- NOTE:
- ALL ITEMS MARKED BELDWORK SHALL BE INSTALLED, TESTED, REMOVED & PACKED IN BUILDING PRIOR TO SHIPMENT.
  - ITEM 24 & 47 ARE SHOWN IN ALL OPTIONAL LOCATIONS. SEE BUILDING COVER SHEET FOR SELECTED LOCATIONS.
  - SECURE WITH LOCKNUTS AND REDUCING WASHER, CAP OFF PENETRATION. DO NOT GLUE.
  - CONNECT #2 SOLID TINNED WITH TWO-BOLT HOLE NON-COMPRESSION 1 SET SCREW TYPE LUG. PULL TO GROUND AND COIL 8"-0" SPARE.
  - CONNECT #2 SOLID TINNED WITH TWO-BOLT HOLE NON-COMPRESSION 1 SET SCREW TYPE LUG. TO DOOR FRAME AND CANNOPY.
  - SEE HALO GROUND DETAIL SHEET FOR DETAILS.
  - 2" PENETRATION FOR EMERGENCY POWER #2 CONNECTION.
  - SEE MISC. INTERIOR DETAILS SHEET FOR EXTERIOR GROUND BAR MOUNTING HARDWARE AND DETAIL.



SECTION "A-A"  
SCALE: N.T.S.



ELEVATION KEY

REV.	BY	DATE	APP.	DATE	REV.	DATE
1	PL	10/25/12				
1	LW	12/29/10				
1	LW	12/29/10	REVISED SECTION "A-A" - (WAS 1 1/2" TERZASO INSULATION)			
1	LW	12/29/10	ADDED ITEM 24, CALLOUT			
					REVISION	

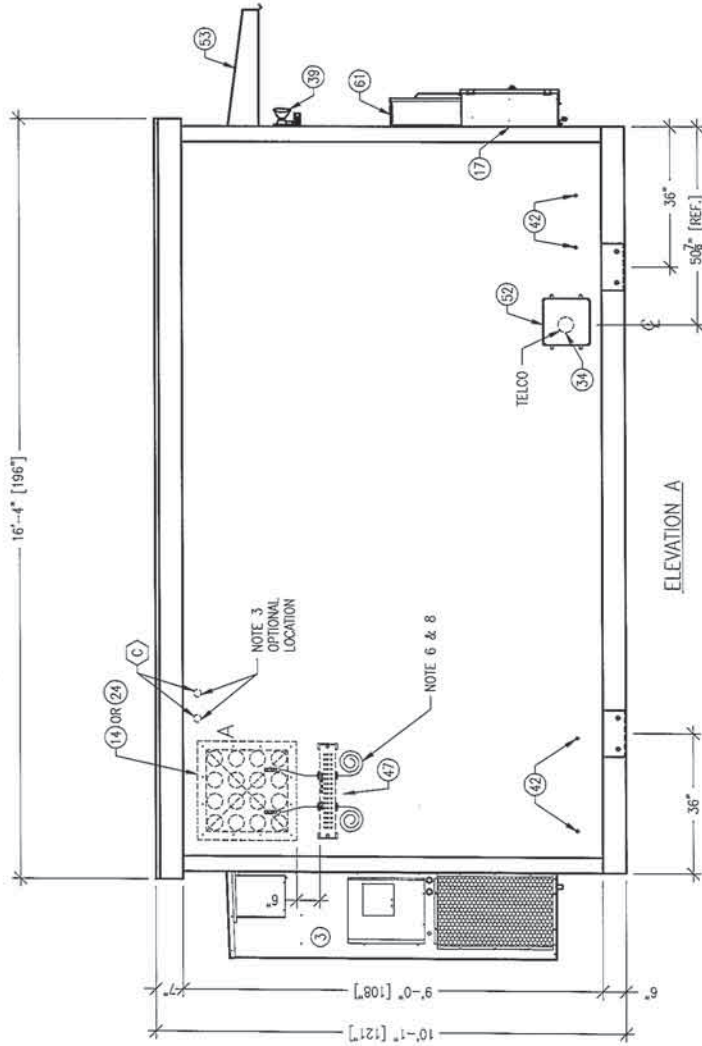
1500 DAVENPORT DRIVE MINDEN, LA, 70655  
 PH: (800) 894-8814 www.fibribond.com

FIBREBOND  
 AT&T MOBILITY  
 11'-5" X 16'-0" EQUIPMENT SHELTER  
 FLOOR PLAN

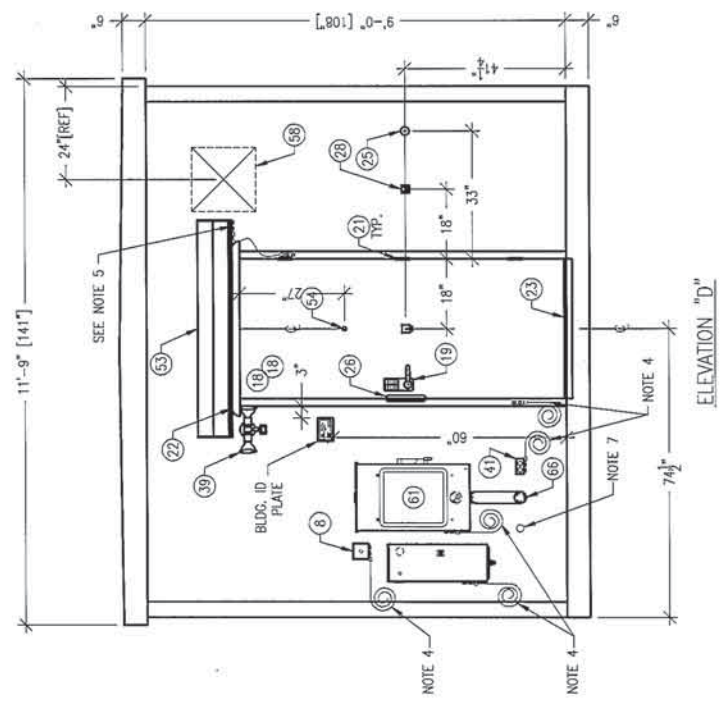
SCALE: 3/8" = 1'-0"  
 SHEET NO.: B-1-1  
 DWG NO.: D-8478

DATE: 12/21/09  
 DATE: 12/16/09  
 DATE: 12/22/09

THESE PLANS ARE THE PROPERTY AND CONFIDENTIAL INFORMATION OF FIBREBOND. FIBREBOND SHALL BE FORWARDED TO THE ADDRESSEE ONLY. FIBREBOND SHALL BE FORWARDED TO THE ADDRESSEE ONLY. FIBREBOND SHALL BE FORWARDED TO THE ADDRESSEE ONLY.

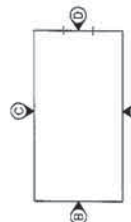


ELEVATION A




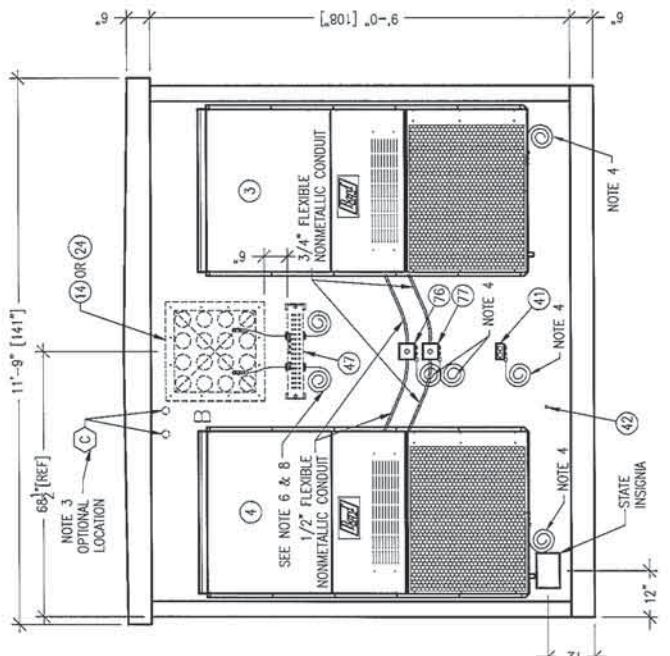
ELEVATION "D"

NOTE:  
SEE FLOOR PLAN SHEET FOR NOTES.

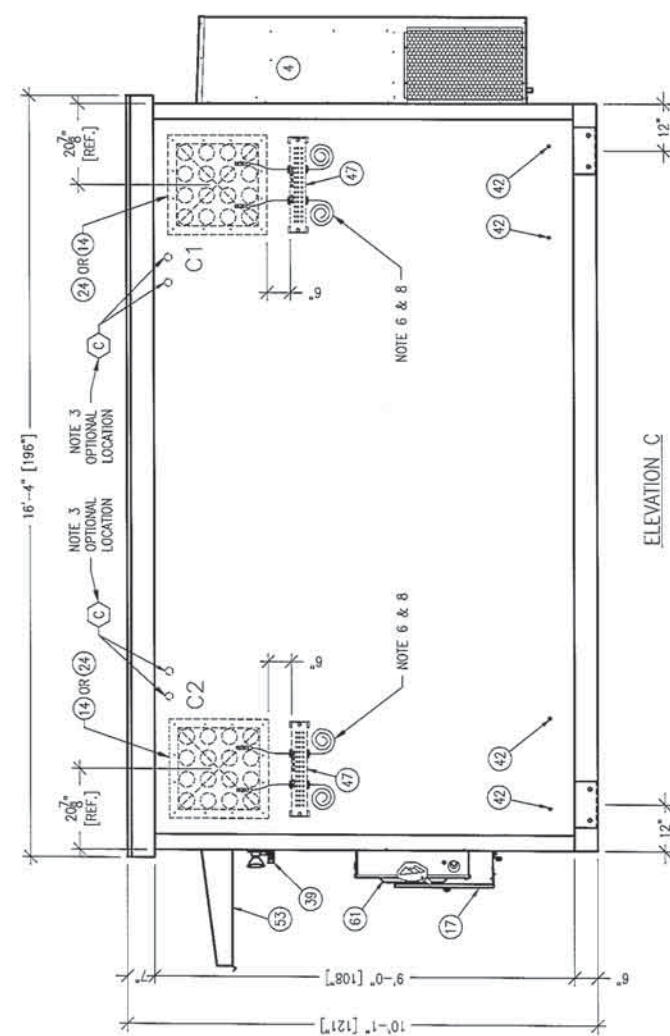


ELEVATION KEY

 <b>FIBREBOND</b> 1300 DAVENPORT DRIVE, MINDEN, LA. 71055 PH: (504) 824-2614 www.fibrebond.com	
<b>AT&amp;T MOBILITY</b> <b>EXTERIOR ELEVATIONS A &amp; D</b>	
SCALE: 3/8"=1'-0" SHEET NO.: 1-2 PROJ. NO.: B D-8478	DATE: 12/19/09 APP: LW DATE: 12/21/09 DATE: 12/22/09
THESE PLANS ARE THE CONFIDENTIAL PROPERTY AND TRADE SECRETS OF FIBREBOND CORPORATION. ANY REPRODUCTION OF THESE DRAWINGS OR THE INFORMATION CONTAINED HEREIN FOR ANY REASON OTHER THAN THAT AUTHORIZED BY FIBREBOND CORPORATION IS STRICTLY PROHIBITED. THESE DRAWINGS AND ANY INFORMATION HEREON ARE TO BE KEPT STRICTLY CONFIDENTIAL AND NOT TO BE DISSEMINATED TO ANY OTHER PARTY WITHOUT THE WRITTEN CONSENT OF FIBREBOND CORPORATION.	DATE: 12/29/09 APP: LW DATE: 07/12/08 APP: LW DATE: 07/17/08 APP: LW DATE: 12/29/09 APP: LW DATE: 07/12/08 APP: LW DATE: 07/17/08 APP: LW DATE: 12/29/09 APP: LW DATE: 07/12/08 APP: LW DATE: 07/17/08 APP: LW
2 LW 12/29/09 ADDED ITEM 24 TO ELEVATION "A" 1 LW 07/17/08 ADDED ITEM 41 TO ELEV "D"	REVISION



ELEVATION "B"



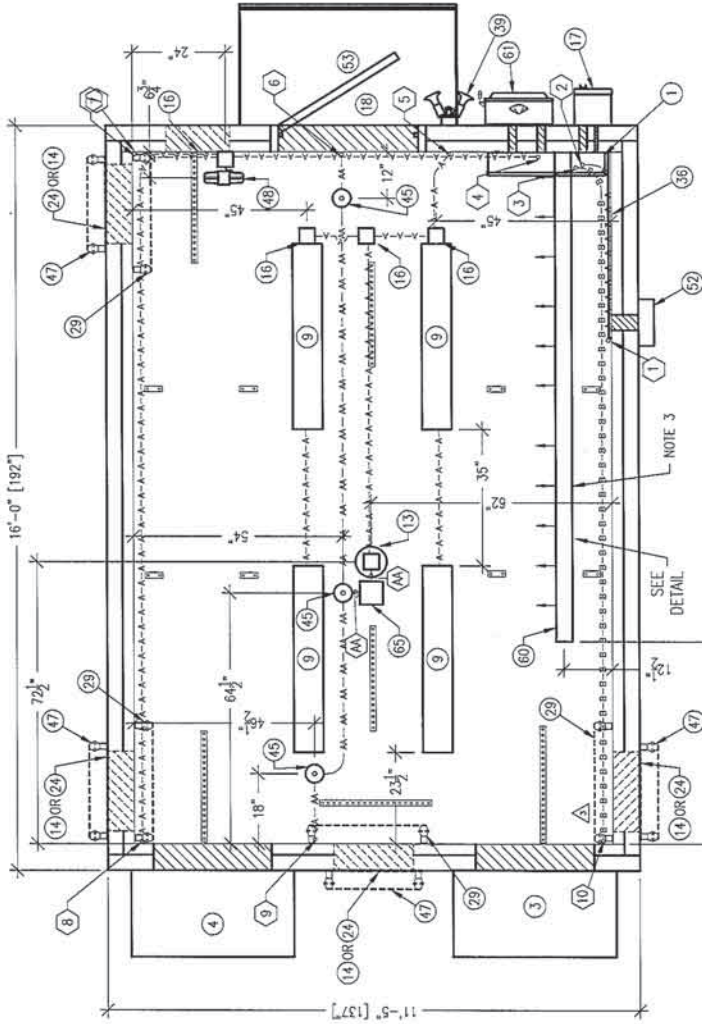
ELEVATION "C"

NOTE: SEE FLOOR PLAN SHEET FOR NOTES.

1300 DAVENPORT DRIVE MINDEN, LA. 71055 ph. (801) 824-2614 www.fibrebond.com	
<b>AT&amp;T MOBILITY</b> <b>11'-5" X 16'-0" EQUIPMENT SHELTER</b> <b>EXTERIOR ELEVATION C &amp; B</b>	
SCALE: $3/8" = 1'-0"$	SHEET NO.: <b>B</b>
PROJ. NO.: <b>1-3</b>	DATE: <b>12/21/09</b>
DESIGNED BY: <b>SL</b>	CHECKED BY: <b>SL</b>
APP. LW	DATE: 12/16/09
APP. LW	DATE: 12/21/09
REV. BY DATE	APP. DATE BOM DATE
1 LW 12/29/10 ADDED CALLOUT FOR ITEM 24, ADDED OPTIONAL TOWER LIGHT PERMEATIONS @ "C2" & "B" REVISION	LW 12/29/10

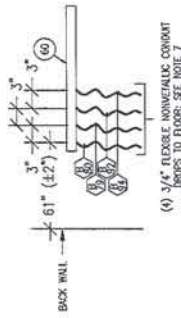
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CONDUIT KEY		PVC
A.C.	LOW VOLTAGE	
A = 1/2"	AA = 1/2"	XA = 1/2"
B = 3/4"	BB = 3/4"	XB = 3/4"
C = 1"	CC = 1"	XC = 1"
D = 1 1/4"	DD = 1 1/4"	XD = 1 1/4"
E = 1 1/2"	EE = 1 1/2"	XE = 1 1/2"
F = 2"	FF = 2"	XF = 2"
G = 2 1/2"	GG = 2 1/2"	YG = 2 1/2"
H = 3"	HH = 3"	XH = 3"
I = 3 1/2"	II = 3 1/2"	XI = 3 1/2"
J = 4"	JJ = 4"	XJ = 4"

**CEILING VIEW**



- NOTES:**
- ALL MEASUREMENTS SHOWN ARE ACCURATE WITHIN  $\pm 1/4"$ . ALL ADJACENT BOXES SHALL BE THE SAME DIMENSION.
  - THE LOCATIONS OF 4" X 4" AND 4 11/16" X 4 11/16" JUNCTION BOXES AND SMALLER ITEMS CAN BE ADJUSTED  $\pm 3"$  AS REQUIRED TO PREVENT INTERFERENCE WITH TRIM PIECES. INTERFERENCE WITH OTHER COMPONENTS WILL REQUIRE TRIM TO BE CUT. MOUNT ON UNSTRUCT.
  - CONDUIT SHOULD BE INSTALLED AS SHOWN IF POSSIBLE. ANY CHANGES TO 90° BENDS, OFFSETS AND SADDLES MAY BE DONE WHEN NEEDED AND SHOULD BE UNDER THE GUIDANCE OF A QUALIFIED SENIOR CREW LEADER. ANY CHANGE MUST BE WITHIN THE GUIDELINES OF S.O.P.
  - ALL CONDUIT TO HAVE A MINIMUM OF 3/4" BETWEEN THEM.
  - ALL CONDUIT TO BE 1/2" UNLESS OTHERWISE NOTED.
  - PULL FLEXIBLE NONMETALLIC CONDUIT 8-FT EACH. CONNECT TO ITEM (60) WITH 45° CONNECTOR. TYWRAP A 90° CONNECTOR TO EACH FLEXIBLE NONMETALLIC CONDUIT.
  - ITEMS 14, 29, 37 & 59 ARE SHOWN IN ALL OPTIONAL LOCATIONS. SEE BUILDING COVERSHEET FOR SELECTED LOCATIONS.

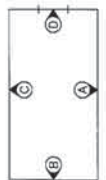
1300 DAVENPORT DRIVE MINDEN, LA. 71055  
 PH: (504) 884-2614 WWW.FIBREBOND.COM

AT&T MOBILITY  
 11'-5" X 16'-0" EQUIPMENT SHELTER  
 INTERIOR CEILING SHEET

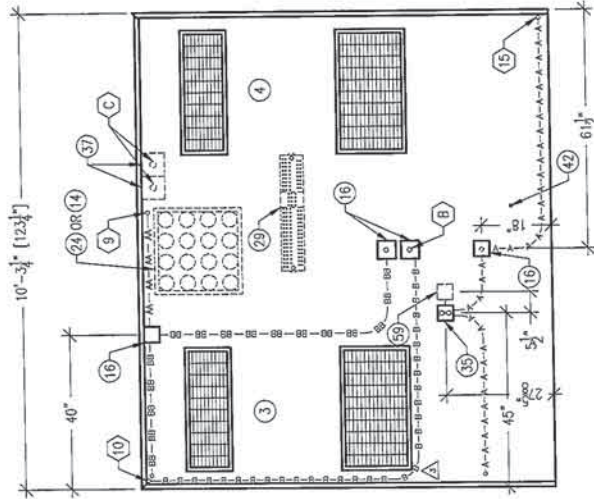
DATE: 12/18/09  
 APP: LW  
 DATE: 12/21/09  
 DATE: 12/22/09

REV.	BY	DATE	APP.	DATE	DESCRIPTION
4	LW	06/23/10	LW	06/23/10	REVISED ITEM 9 WAS (831-14026)
3	LW	02/11/11	LW	02/11/11	REMOVED (1) ITEM 16
2	MF	01/17/11	LW	01/19/11	UPDATED RECIPIER DROP DETAIL AND NOTES. ITEM 60 WAS 55" OFF OFF BACK WALL
1	LW	12/29/10	LW	12/29/10	ADDED CALLOUT FOR ITEM 24

THESE PLANS ARE THE PROPERTY OF FIBREBOND. NO PARTS OF THESE PLANS ARE TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM. FOR ANY REASON OTHER THAN THE ORIGINAL CONTRACTOR'S NEGLIGENCE, FIBREBOND CORPORATION IS NOT RESPONSIBLE FOR ANY ERRORS OR OMISSIONS IN THESE PLANS. ANYONE READING OR USING THESE PLANS SHALL BE DEEMED TO HAVE BEEN ADVISED OF THE ABOVE. FIBREBOND CORPORATION WILL BE LIQUIDATED AND ALL RIGHTS WILL BE TRANSFERRED TO THE COMPANY'S SUCCESSORS. THESE PLANS ARE THE PROPERTY OF FIBREBOND.

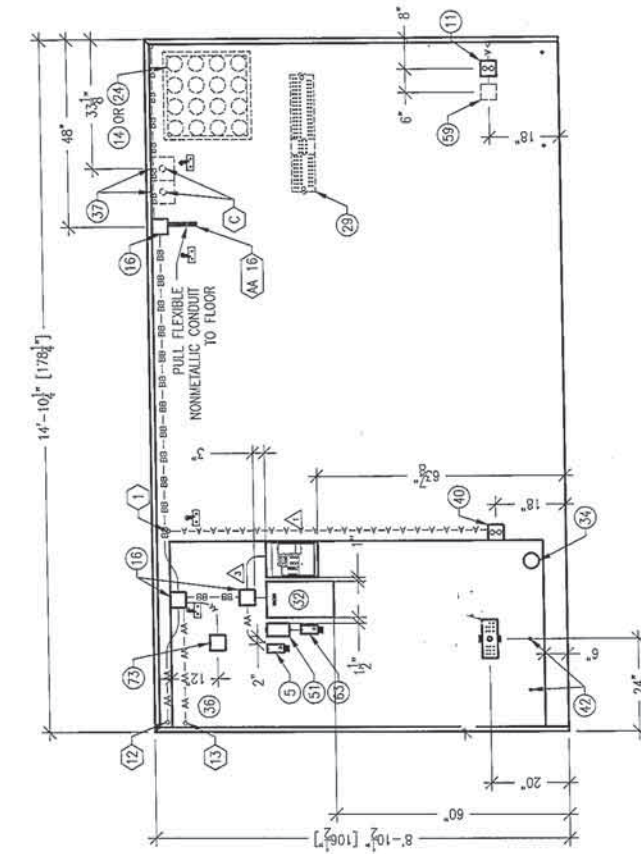


**ELEVATION KEY**

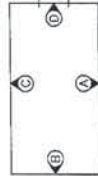


ELEVATION "A"

NOTE:  
SEE INTERIOR CEILING VIEW SHEET FOR NOTES.



ELEVATION "B"



ELEVATION KEY

1300 DAVENPORT DRIVE MINDEN, LA. 71055  
PH: (800) 864-2814 www.firebond.com



FIBRE BOND

SCALE: 3/8" = 1'-0"  
SHEET NO: 2-2  
JOB NO: D-8478

AT&T MOBILITY  
11'-5" X 16'-0" EQUIPMENT SHELTER

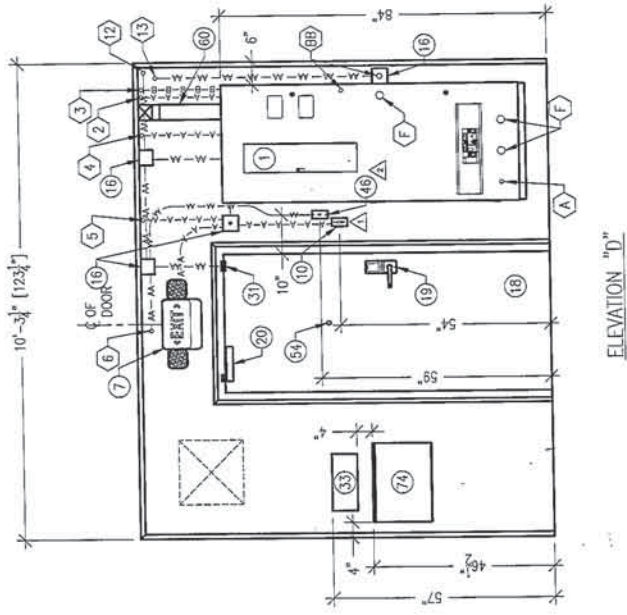
INTERIOR ELEVATIONS A & B

REV.	BY	DATE	APP.	DATE
4	JSK	02/08/13	LW	02/08/13
3	LW	07/11/11	LW	02/11/11
2	LW	12/20/10	LW	12/20/10
1	LW	07/12/10	LW	07/12/10

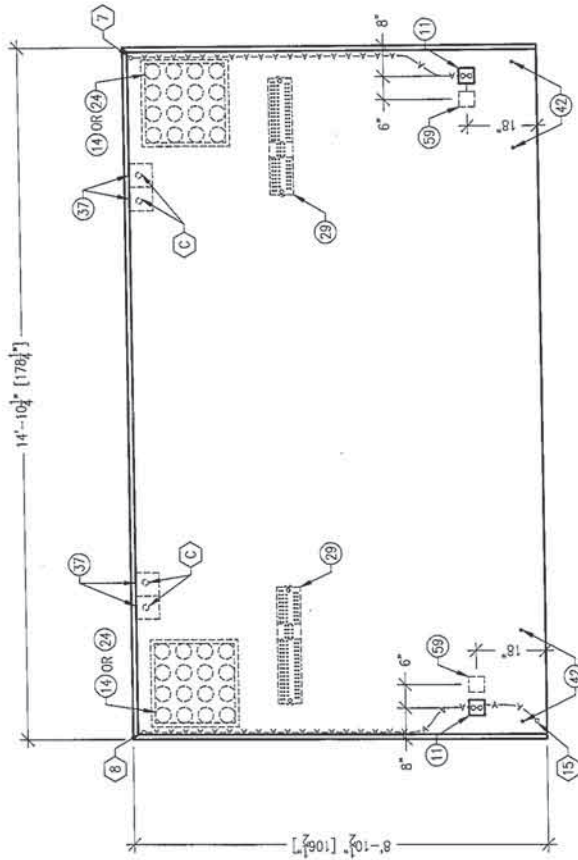
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REV.	BY	DATE	APP.	DATE
4	JSK	02/08/13	LW	02/08/13
3	LW	07/11/11	LW	02/11/11
2	LW	12/20/10	LW	12/20/10
1	LW	07/12/10	LW	07/12/10

REVISION

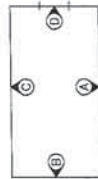


ELEVATION "D"



ELEVATION "C"

NOTES:  
SEE INTERIOR CEILING VIEW SHEET FOR NOTES.



ELEVATION KEY

1500 DAVENPORT DRIVE MINDEN, LA 71055  
PH: (800) 804-2814 www.fibrebond.com



FIBREBOND

SHEET NO: 2-3  
TITLE: NONE  
DATE: 12/21/09  
REV: B  
DATE: 12/22/09

AT&T MOBILITY

11'-5" X 16'-0" EQUIPMENT SHELTER  
INTERIOR ELEVATIONS C & D

THESE PLANS ARE THE PROPERTY OF FIBREBOND AND ARE TO BE USED ONLY FOR THE PROJECT AND LOCATION SPECIFICALLY IDENTIFIED HEREIN. NO PART OF THESE PLANS MAY BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF FIBREBOND CORPORATION. THIS PERMISSION IS NOT TO BE USED FOR ANY OTHER PROJECT OR LOCATION. FIBREBOND CORPORATION IS NOT RESPONSIBLE FOR ANY DAMAGE TO PERSONS OR PROPERTY ARISING FROM THE USE OF THESE PLANS. THE USER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND FOR THEIR CORRECT AND MAINTENANCE.

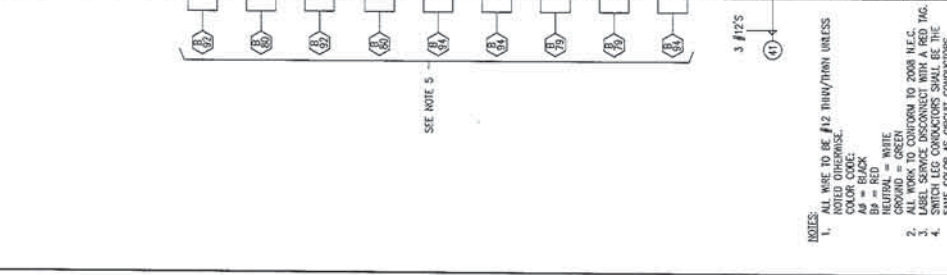
REV.	BY	DATE	DESCRIPTION
4	LW	02/11/11	REVISED CONDUIT RUN 13 WAS 8" B
3	LW	12/20/10	ADDED ITEM 24 CALLING; ADDED ITEM 37 AND PDS TO "C", LOCATION
2	CSP	5/20/10	REVISED ITEM #46 AND VCS
1	LW	01/13/10	REVISED ITEM 49 AND UPDATED JOB TO 2x4

APP.	DATE	FROM	DATE
LW	07/11/11	OS	5/20/10
LW	12/29/10	OS	5/20/10
LW	07/13/10	WJ	11/13/10

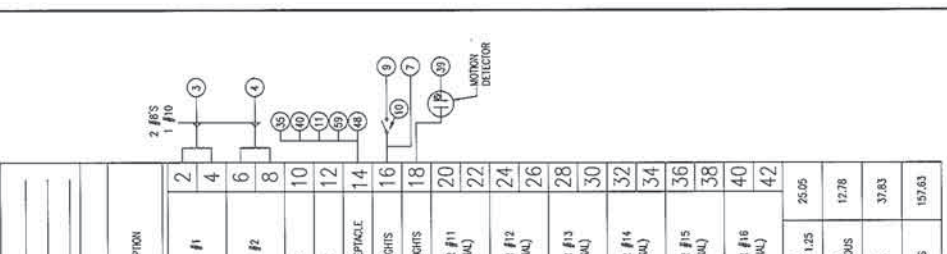
SEE ELECTRICAL SCHEMATIC #2 SHEET

PANEL CIRCUIT AND LOAD SCHEDULE

DESCRIPTION	UNIT VA.	LOAD PER PHASE (VA)			WIRE TYPE	A.L.C.	WIRE SIZE	POLES	TRIP	LOADS CONTINUOUS	LOADS NON-CONTINUOUS	LOAD PER PHASE (VA)			
		A	B	C								A	B	C	
		PHASE										PHASE			
RECIPER #1	1	1000	1000	1000	THHN	10,000	30	2	10	X	X	1000	1000	1000	
RECIPER #2	1	1000	1000	1000	THHN	10,000	30	2	10	X	X	1000	1000	1000	
RECIPER #3	1	1000	1000	1000	THHN	10,000	30	2	10	X	X	1000	1000	1000	
RECIPER #4	1	1000	1000	1000	THHN	10,000	30	2	10	X	X	1000	1000	1000	
RECIPER #5	1	1000	1000	1000	THHN	10,000	30	2	10	X	X	1000	1000	1000	
RECIPER #6	1	1000	1000	1000	THHN	10,000	30	2	10	X	X	1000	1000	1000	
RECIPER #7	1	1000	1000	1000	THHN	10,000	30	2	10	X	X	1000	1000	1000	
RECIPER #8	1	1000	1000	1000	THHN	10,000	30	2	10	X	X	1000	1000	1000	
RECIPER #9	1	1000	1000	1000	THHN	10,000	30	2	10	X	X	1000	1000	1000	
RECIPER #10 (OPTIONAL)	1	1000	1000	1000	THHN	10,000	30	2	10	X	X	1000	1000	1000	
EXTERIOR RECEPTACLE	2	180	360		THHN	10,000	20	1	12	X					
SUBTOTAL CONTINUOUS NON-CONTINUOUS		9360		9000											
VOLTAGE 120/240		CYCLE: 60													
MAIN BREAKER: 200 AMP FRAME		AC: 10,000													
MAIN LUGS: AMP		MAIN COPPER BUS: 400 AMPS													
WIRING: TOP <input checked="" type="checkbox"/> BOTTOM <input type="checkbox"/>															



DESCRIPTION	UNIT VA.	LOAD PER PHASE (VA)			WIRE TYPE	A.L.C.	WIRE SIZE	POLES	TRIP	LOADS CONTINUOUS	LOADS NON-CONTINUOUS	LOAD PER PHASE (VA)			
		A	B	C								A	B	C	
		PHASE										PHASE			
HMC #1	1	3196			THHN	10,000	6	2	50	X		3196			
HMC #2	1	3196			THHN	10,000	6	2	50	X		3196			
SPACE	1	3196			THHN	10,000	6	2	50	X		3196			
SPACE	1	3196			THHN	10,000	6	2	50	X		3196			
INTERIOR RECEPTACLE	7	180			THHN	10,000	12	1	20	X					
INTERIOR LIGHTS	4/1	64/15			THHN	10,000	12	1	20	X					
EXTERIOR LIGHTS	1	150			THHN	10,000	12	1	20	X					
RECIPER #11 (OPTIONAL)					THHN	10,000									
RECIPER #12 (OPTIONAL)					THHN	10,000									
RECIPER #13 (OPTIONAL)					THHN	10,000									
RECIPER #14 (OPTIONAL)					THHN	10,000									
RECIPER #15 (OPTIONAL)					THHN	10,000									
RECIPER #16 (OPTIONAL)					THHN	10,000									
SUBTOTAL CONTINUOUS NON-CONTINUOUS		1410		271											
VOLTAGE 120/240		CYCLE: 60													
MAIN BREAKER: 200 AMP FRAME		AC: 10,000													
MAIN LUGS: AMP		MAIN COPPER BUS: 400 AMPS													
WIRING: TOP <input checked="" type="checkbox"/> BOTTOM <input type="checkbox"/>															



SERVICE: 120/240 VAC  
 DESIGNATION: N/A  
 LOCATION: N/A

MANUFACTURER: INTERSECT  
 TYPE AND CATALOG NUMBER: FB 82-0023 AN120081-3S  
 NO. EQUAL:  APPROVED EQUAL:   
 MOUNTING: SURFACE  FLUSH

REV.	BY	DATE	REVISION
3	LW	06/03/11	UPDATED HMC VAS AND PANEL CALCS
2	MF	01/17/11	UPDATED RECIPER CALLOUTS AND NOTES
1	LW	12/29/09	REVISED RECIPER #2, 3, CONDUIT CALLOUTS

MANUFACTURER: INTERSECT  
 TYPE AND CATALOG NUMBER: FB 82-0023 AN120081-3S  
 NO. EQUAL:  APPROVED EQUAL:   
 MOUNTING: SURFACE  FLUSH

REV.	BY	DATE	REVISION
3	LW	06/03/11	UPDATED HMC VAS AND PANEL CALCS
2	MF	01/17/11	UPDATED RECIPER CALLOUTS AND NOTES
1	LW	12/29/09	REVISED RECIPER #2, 3, CONDUIT CALLOUTS

MANUFACTURER: INTERSECT  
 TYPE AND CATALOG NUMBER: FB 82-0023 AN120081-3S  
 NO. EQUAL:  APPROVED EQUAL:   
 MOUNTING: SURFACE  FLUSH

REV.	BY	DATE	REVISION
3	LW	06/03/11	UPDATED HMC VAS AND PANEL CALCS
2	MF	01/17/11	UPDATED RECIPER CALLOUTS AND NOTES
1	LW	12/29/09	REVISED RECIPER #2, 3, CONDUIT CALLOUTS

MANUFACTURER: INTERSECT  
 TYPE AND CATALOG NUMBER: FB 82-0023 AN120081-3S  
 NO. EQUAL:  APPROVED EQUAL:   
 MOUNTING: SURFACE  FLUSH

NOTES:  
 1. ALL WIRE TO BE #12 THHN/THN UNLESS OTHERWISE SPECIFIED.  
 2. ALL WORK TO CONFORM TO 2008 N.E.C.  
 3. LABEL SERVICE DISCONNECT WITH A RED TAG.  
 4. SWITCH LEG CONDUCTORS SHALL BE THE SAME SIZE AS THE MAIN LUGS.  
 5. NONMETALLIC CONDUIT, CUL 3"-0" AT END OF FIBREBOND CONDUIT & TAG.  
 6. FIBREBOND CONDUIT SHALL BE USED FOR ALL OTHER CIRCUITS PULL A SEPARATE GROUND CONDUCTOR.

FIBREBOND  
 1300 DAVENPORT DRIVE MINDEN, LA. 71055  
 PH. (800) 624-2614 WWW.FIBREBOND.COM

AT&T MOBILITY  
 11'-5" X 16'-0" EQUIPMENT SHELTER  
 ELECTRICAL SCHEMATIC #1  
 200 AMP SERVICE

DATE: 12/21/09  
 DATE: 12/21/09  
 DATE: 12/21/09

DATE: 12/21/09  
 DATE: 12/21/09  
 DATE: 12/21/09

DATE: 12/21/09  
 DATE: 12/21/09  
 DATE: 12/21/09

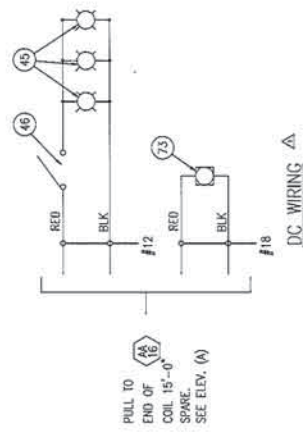
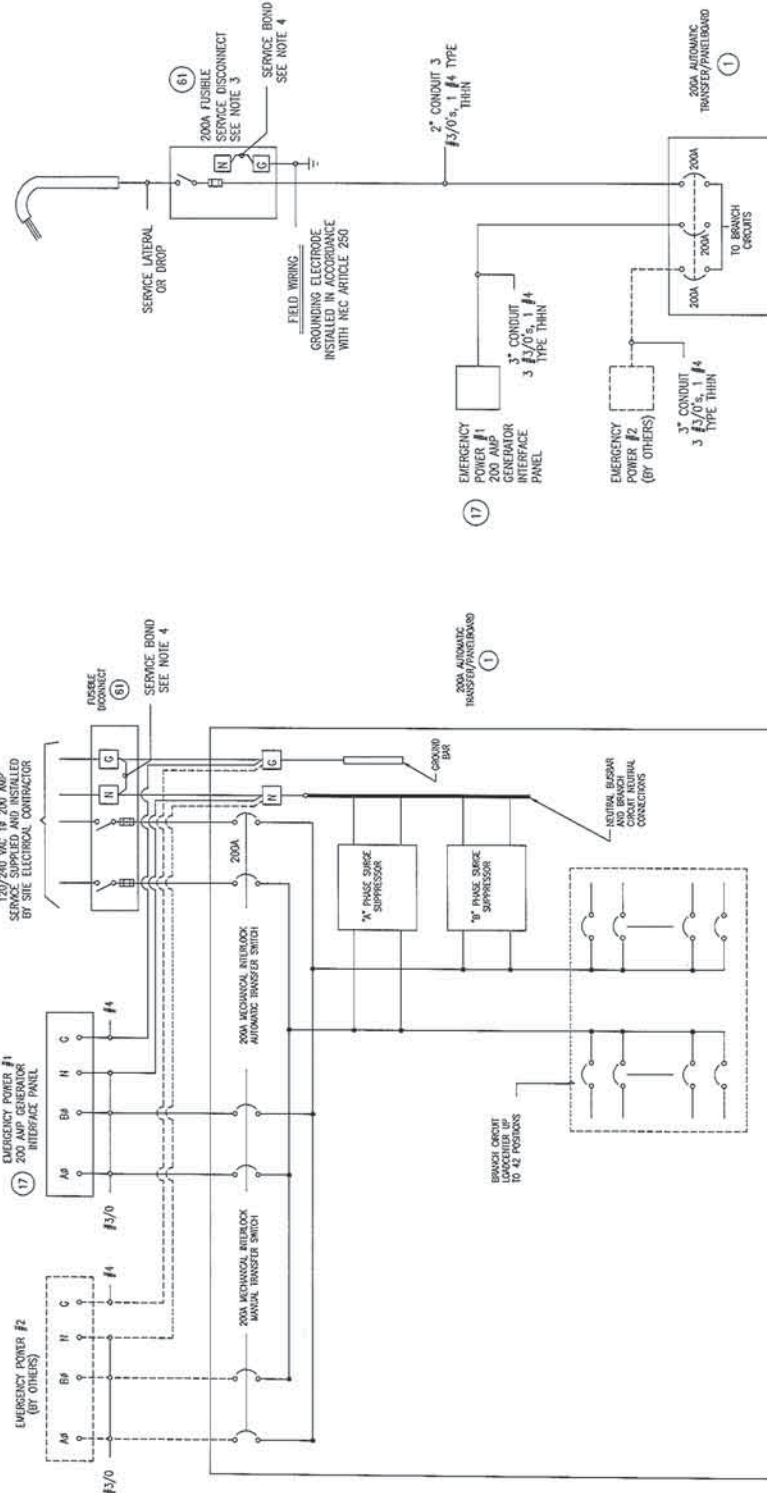
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DATE: 12/21/09  
 DATE: 12/21/09  
 DATE: 12/21/09

DATE: 12/21/09  
 DATE: 12/21/09  
 DATE: 12/21/09

**NOTES:**

1. DASHED LINES DENOTE FIELD WORK
2. BUILDING ELECTRICAL SYSTEM IS RATED AT 10,000 A.I.C. IF HIGHER RATINGS ARE REQUIRED, IT IS THE RESPONSIBILITY OF SITE CONTRACTOR/ENGINEER TO MEET SUCH REQUIREMENTS.
3. SERVICE BOND IS TO BE MADE BY DEVICES (STRAPS, SCREWS, ETC.) SUPPLIED BY EQUIPMENT MANUFACTURER. IF NO SUCH DEVICE IS SUPPLIED, BOND IS TO BE MADE IN ACCORDANCE WITH NEC ARTICLE 250.
4. WHEN SERVICE OVERCURRENT DISCONNECT IS FIELD INSTALLED AND HAS A NEUTRAL TO GROUND CONNECTION ESTABLISHED, REMOVE NEUTRAL TO GROUND CONNECTION IN TRANSFER SWITCH.
5. CONDUCTOR OVERCURRENT PROTECTION DEVICES ARE SELECTED IN ACCORDANCE WITH NEC (ARTICLE 240.3).
6. CONDUCTOR SIZING IS SELECTED FROM NEC (ARTICLE 215.2).
7. ALL LUGS THAT HOLD MORE THAN ONE WIRE SHALL BE LISTED FOR MULTI-BARRELL CONNECTIONS.
8. ALL CONDUCTORS SHALL BE COPPER.
9. LABEL SERVICE DISCONNECT WITH A RED TAG.
10. ALL CONDUIT SHALL BE EMT UNLESS OTHERWISE NOTED.
11. ALL CONDUIT THROUGH A WALL SHALL BE RIGID UNLESS OTHERWISE NOTED.



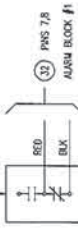
1300 DAVENPORT DRIVE MINDEN, LA. 71055 ph: (800) 604-2614 www.fibrebond.com	
AT&T MOBILITY	
11'-5" X 16'-0" EQUIPMENT SHIELTER ELECTRICAL SCHEMATIC #2 200 AMP SERVICE	
DATE: NONE	SCALE: 3-2
REV. NO. B	REV. NO. D-8478
REV. 1	DATE 12/18/09
REV. 2	DATE 12/21/09
REV. 3	DATE 12/22/09

REV. BY	DATE	APP.	DATE	DATE
1	12/18/09	LW	12/21/09	CS
REVISION				
REVISED DC LIGHT WIRING DETAIL TO ADD ITEM 73				

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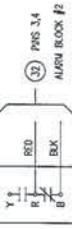
**MAGNETIC DOOR ALARM**  
EQUIPMENT ROOM

THE MAGNETIC DOOR ALARMS ARE WIRED NORMALLY OPEN. CONTACTS CLOSE UPON CONTACTS OPEN SENDING AN ALARM.



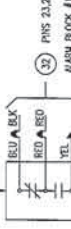
**HIGH TEMPERATURE ALARM**

CONTACTS OPEN UPON TEMPERATURE INCREASE (OR BSD) ABOVE THE SET POINT SENDING AN ALARM.



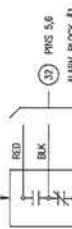
**HIGH HUMIDITY ALARM**

CONTACTS OPEN UPON HUMIDITY INCREASE (OR BSS) ABOVE THE SET POINT SENDING AN ALARM.



**COMMERCIAL POWER FAIL**

THE COMMERCIAL POWER FAIL RELAY IS NORMALLY CLOSED. THE RELAY IS NORMALLY OPEN. COMMERCIAL POWER IS THE POWER SUPPLIED BY THE UTILITY COMPANY. THE NORMALLY OPEN CONTACTS CLOSE UPON POWER UP OF THE COMMERCIAL POWER. THE NORMALLY CLOSED CONTACTS OPEN UPON POWER UP OF THE COMMERCIAL POWER SENDING AN ALARM. (THIS ALARM MUST NOT BE CONNECTED TO THE SYSTEM SUCH THAT IT RECEIVES POWER FROM A GENERATOR, UPS SYSTEM, OR ANY OTHER EMERGENCY POWER SOURCE).



**SURGE ARRESTOR ALARM**

FOR SURGE ARRESTOR ALARM, CONNECT TO THE ALARM CONTACT TERMINAL BLOCK, WIRE TO NORMALLY CLOSED CONTACTS. CONTACTS ARE NORMALLY OPEN IF A.C. POWER ELIGIBLES ARE BLOWN OR IF A.C. POWER FAILS SENDING AN ALARM.



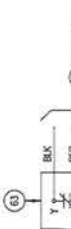
**SMOKE DETECTOR**

THE SMOKE ALARM CONTACTS ARE NORMALLY CLOSED UNDER A "NO SMOKE" CONDITION. WHEN SMOKE IS DETECTED THESE CONTACTS OPEN SENDING AN ALARM.

SEE HVAC SHUTDOWN DIAGRAM

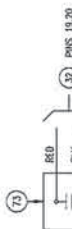
**LOW TEMPERATURE ALARM**

CONTACTS OPEN UPON TEMPERATURE DECREASE (OR FALL) BELOW THE SET POINT SENDING AN ALARM.



**HYDROGEN GAS DETECTOR**

THE GAS DETECTOR IS SET AT 1% BY VOLUME OR 10,000 PPM. IF HYDROGEN GAS IS DETECTED OVER 1% BY VOLUME CONTACTS CLOSE SENDING AN ALARM.

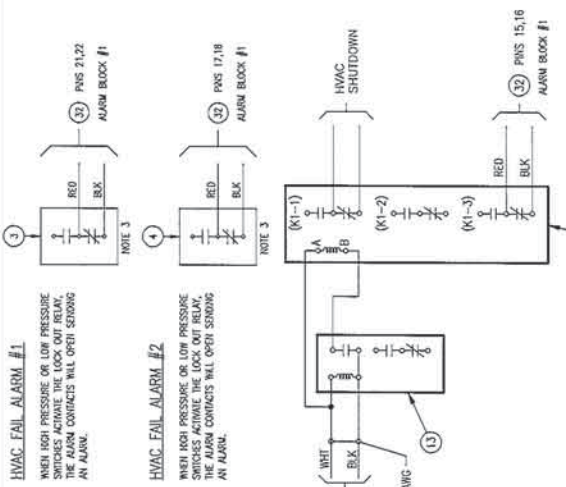


**NOTES:**

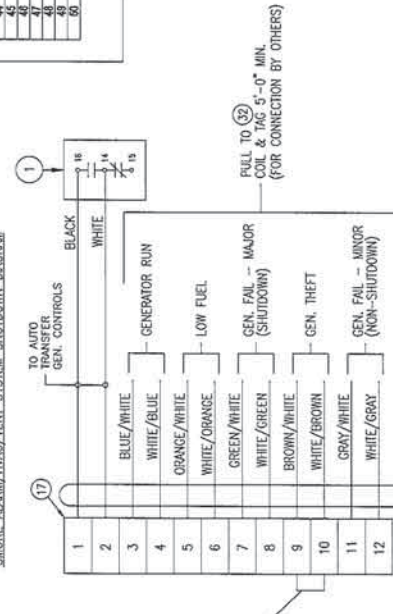
1. ALL ALARMS OPEN ON ALARM UNLESS OTHERWISE NOTED.
2. ALARM WIRES TO BE 22/2 WIRE UNLESS OTHERWISE SPECIFIED.
  - N.C.=BLK
  - C.=RED
3. SEE LEAD LAG WIRING FOR SPECIFIC TERMINAL LOCATIONS.
4. FOR AC, USE WHIT & BLK; FOR DC, USE BLK & RED.

**ALARM TERMINAL BLOCK (32)**

ALARM BLOCK #1		ALARM BLOCK #2	
1	COMMERCIAL POWER FAIL	1	HVAC FAIL #1 ALARM
2	DOOR ALARM	2	HIGH TEMPERATURE ALARM
3	GEN. RUN ALARM	3	GEN. LOW FUEL ALARM
4	GEN. LOW FUEL ALARM	4	GEN. THIEF ALARM
5	GEN. THIEF ALARM	5	GEN. SHUTDOWN ALARM
6	GEN. SHUTDOWN ALARM	6	GEN. MAJOR ALARM
7	GEN. MAJOR ALARM	7	
8		8	
9		9	
10		10	
11		11	
12		12	
13		13	
14		14	
15		15	
16		16	
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46		46	
47		47	
48		48	
49		49	
50		50	



**SMOKE ALARM/HVAC/VENT SYSTEM SHUTDOWN DIAGRAM**



REFERENCE DRAWINGS REQUIRED TO COMPLETE THIS SHEET

DRAWING NO.	DESCRIPTION
ELEC-0001	IBRD MC3000 WITHOUT ECONOMIZERS

**FIBREBOND**

SCALE: NONE SHEET NO.: 4

DATE: 12/21/09

REV: S. DATE: 12/22/09

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AT&T MOBILITY

11'-5" X 16'-0" EQUIPMENT SHELTER

ALARM WIRING #1

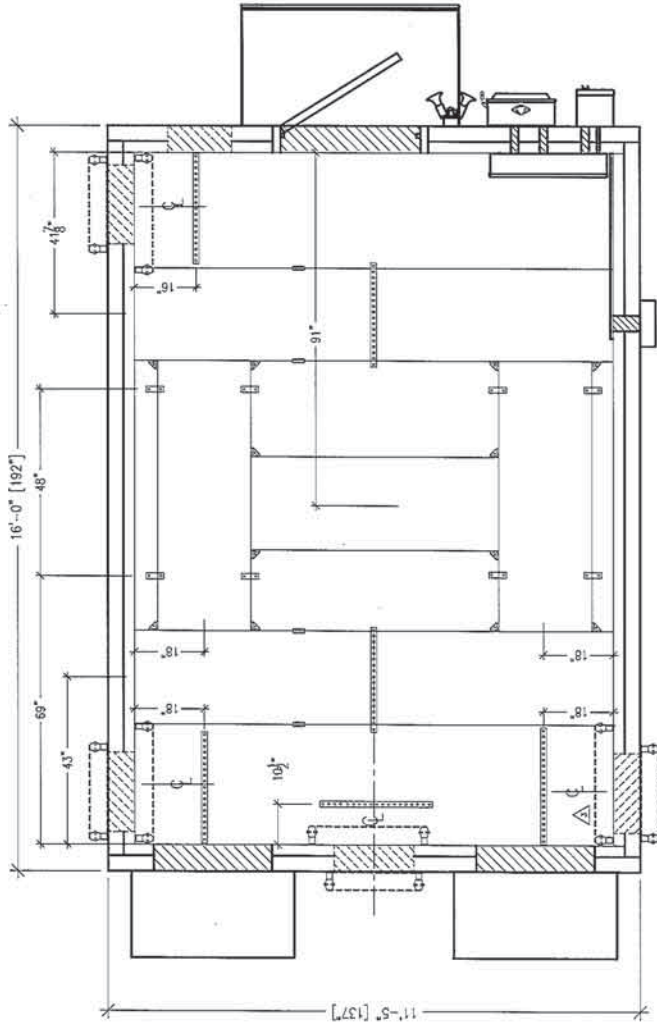
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DATE: 12/10/09	REV. LW	DATE: 12/21/09
DATE: 12/10/09	REV. LW	DATE: 12/21/09
DATE: 12/10/09	REV. LW	DATE: 12/21/09

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REV.	BY	DATE	REVISION
2	RL	10/29/12	REVISED ALARM TERMINAL BLOCK
1	JF	03/15/10	ADDED COMMERCIAL POWER FAIL IN PANEL
	LW	10/29/10	CS
	LW	03/15/10	CS





CEILING VIEW

- NOTES:
1. 24" CABLE RACK TO BE MOUNTED 96" A.F.F.
  2. ALL MEASUREMENTS SHOWN ARE ACCURATE WITHIN ±1/4".

REFERENCE DRAWINGS REQUIRED  
TO COMPLETE THIS SHEET

DRAWING NO.	DESCRIPTION
MECH-0005	STANDARD CABLE RACK MOUNTING DETAILS



ELEVATION KEY

REV.	BY	DATE	APP.	DATE	REV.	DATE	APP.	DATE

1900 DAVENPORT DRIVE MINDEN, LA. 71055  
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AT&T MOBILITY

11'-5" X 16'-0" EQUIPMENT SHELTER

CABLE RACK CEILING VIEW

SCALE: 3/8"=1'-0"

DATE: 12/16/09  
 DATE: 12/21/09  
 DATE: 12/22/09

FIBREBOND

SCALE: 3/8"=1'-0"

DATE: 12/16/09

DATE: 12/21/09

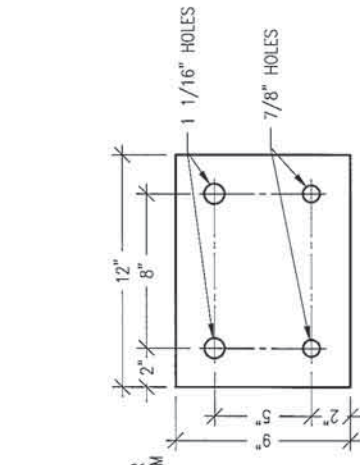
DATE: 12/22/09

REV. NO. 6

REV. NO. D-8478

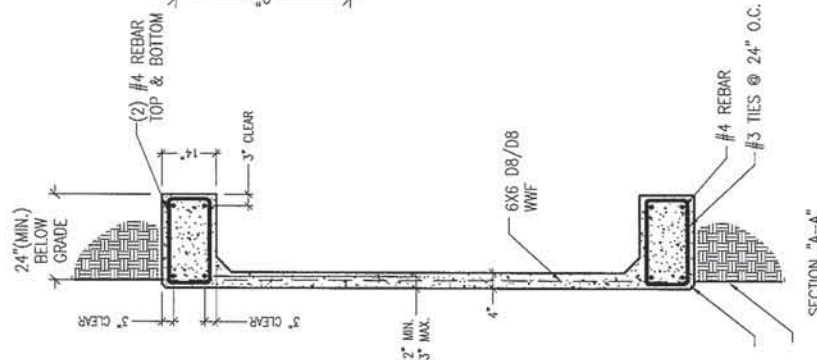
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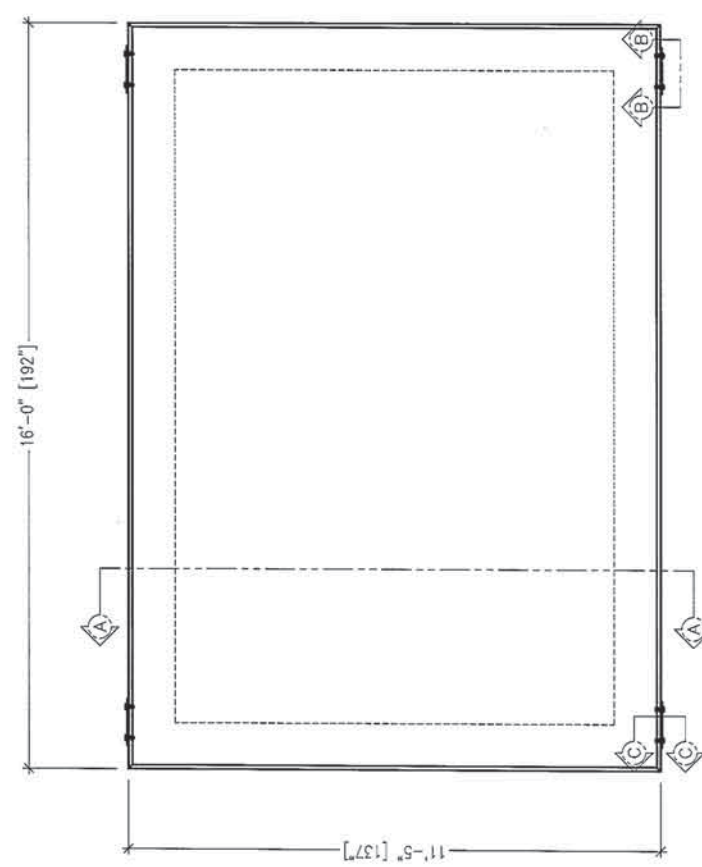


197786 TIE DOWN PLATE  
RAW MATERIAL 3/8" PLATE  
N.T.S.

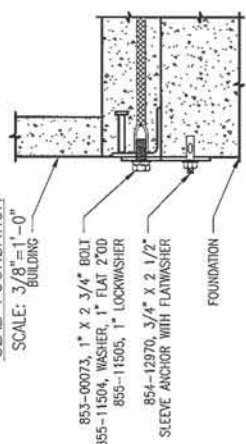
- NOTES:
1. SLAB TO BE LEVEL  $\pm 1/4"$ .
  2. FOOTING TO EXTEND A MINIMUM OF 36" BELOW UNDISTURBED SOIL AND FROST LINE.
  3. FINAL SITE DESIGN IS THE RESPONSIBILITY OF THE SITE CONTRACTOR.
  4. SLAB FOUNDATION DESIGNED ASSUMING ALLOWABLE SOIL BEARING PRESSURE OF 2000 PSF.
  5. SLAB FOUNDATION DESIGNED ASSUMING MAXIMUM SOIL PLASTICITY INDEX OF 27.
  6. CONCRETE STRENGTH SHALL BE A MINIMUM OF 3000 PSI.



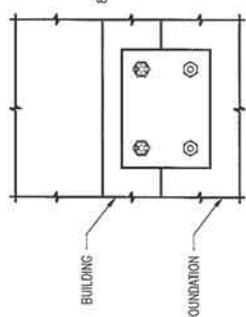
SECTION "A-A"  
N.T.S.



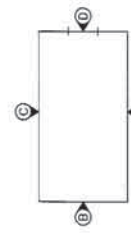
SLAB FOUNDATION  
SCALE: 3/8"=1'-0"  
N.T.S.



SECTION "C-C"  
N.T.S.



SECTION "B-B"  
N.T.S.



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AT&T MOBILITY
FOUNDATION PLAN
SCALE: 1/4"=1'-0"
DATE: 12/18/09
DATE: 12/21/09
DATE: 12/22/09

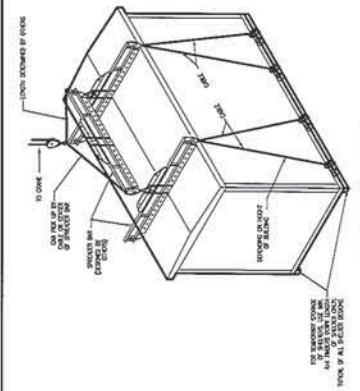
FIBREBOND

NOTED: 8

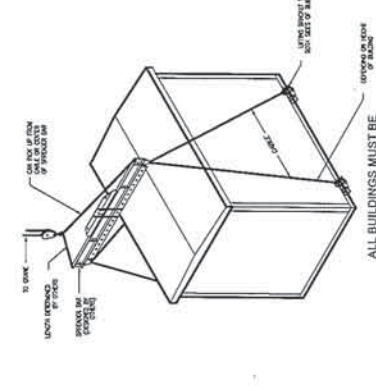
REV: B

NO. D-8478

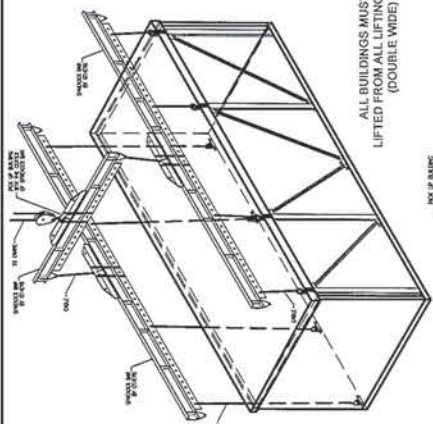
REV.	BY	DATE	DESCRIPTION
3	WF	10/17/11	UPDATED TIE DOWN PLATES AND DETAILS
			REVISION



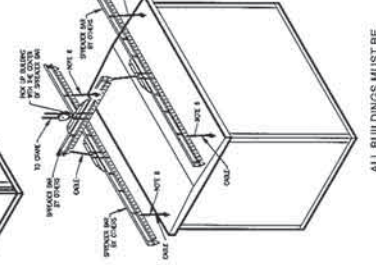
ALL BUILDINGS MUST BE LIFTED FROM ALL LIFTING POINTS



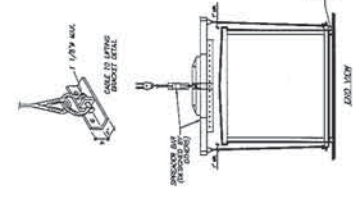
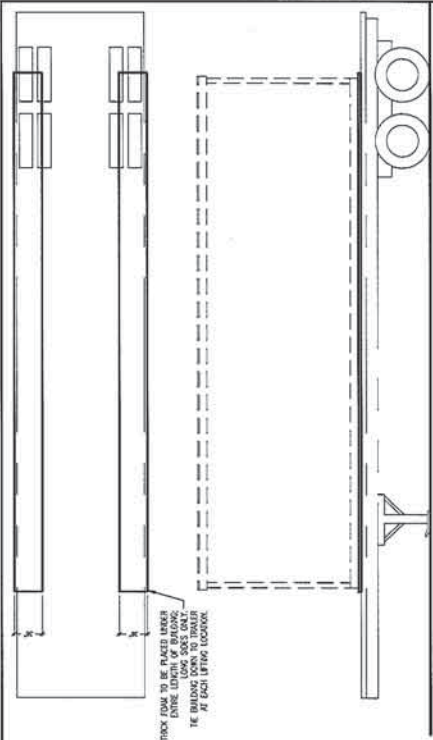
ALL BUILDINGS MUST BE LIFTED FROM ALL LIFTING POINTS



ALL BUILDINGS MUST BE LIFTED FROM ALL LIFTING POINTS (DOUBLE WIDE)



ALL BUILDINGS MUST BE LIFTED FROM ALL LIFTING POINTS (ROOF LIFT)



ALL BUILDINGS MUST BE LIFTED FROM ALL LIFTING POINTS

**SINGLE BUILDING SET UP PROCEDURE:**

1. INSPECT BUILDING UPON DELIVERY FOR DAMAGE DURING TRANSPORTATION.
2. REMOVE BRACKETS FROM SHELTER, EXTERIOR LIGHT, CANOPY, ETC.
3. CALK AND GROUT BUILDING.
4. ATTACH THE DOWN BRACKETS TO SHELTER AND FOUNDATION USING ANCHOR BOLTS.
5. INSTALL AND CALK ALL ACCESSORIES (EXTERIOR LIGHT, CANOPY, ICE SHELD, VENT HOODS, GROUND BARS, ETC).
6. INSPECT ROOF, FLASHING AND CAULK. CLEAN INTERIOR AND COMPLETE ANY TOUCH UP PAINTING AS NEEDED.
7. INSTALL FLASHING ON ALL INTERIOR MOD. LINES.
8. CHECK DOOR ALARM FOR PROPER OPERATION. FOR PROPER OPERATION.
9. CHECK LIGHTING AND AIR CONDITIONING FOR PROPER OPERATION.
10. INSPECT COMPLETE BUILDING FOR COSMETICS.

**MULTI-WIDE BUILDING SET UP PROCEDURE:**

1. INSPECT BUILDING UPON DELIVERY FOR DAMAGE DURING TRANSPORTATION.
2. REMOVE BRACKETS FROM SHELTER, EXTERIOR LIGHT, CANOPY, ETC.
3. ATTACH THE DOWN BRACKETS TO SHELTER AND FOUNDATION USING ANCHOR BOLTS.
4. INSTALL AND CALK ALL ACCESSORIES (EXTERIOR LIGHT, CANOPY, ICE SHELD, VENT HOODS, GROUND BARS, ETC).
5. INSPECT ROOF, FLASHING AND CAULK. CLEAN INTERIOR AND COMPLETE ANY TOUCH UP PAINTING AS NEEDED.
6. INSPECT ROOF, FLASHING AND CAULK. CLEAN INTERIOR AND COMPLETE ANY TOUCH UP PAINTING AS NEEDED.
7. INSTALL FLASHING ON ALL INTERIOR MOD. LINES.
8. MAKE ALL CONDUIT AND CABLE TRAY CROSSOVERS.
9. CLEAN INTERIOR AND COMPLETE ANY TOUCH UP PAINTING AS NEEDED.

**CHECK DOOR ALARM FOR PROPER OPERATION.**

10. CHECK DOOR ALARM FOR PROPER OPERATION.
11. CHECK LIGHTING AND AIR CONDITIONING FOR PROPER OPERATION.
12. INSPECT COMPLETE BUILDING FOR COSMETICS.

**OFFLOAD NOTES:**

1. BUILDING SHALL BE OFFLOADED LEVEL.
2. ALL CABLES, SHACKLING, SPREADER BARS, AND BRACKETS TO BE SUPPLIED BY OTHERS.
3. ALL LIFTING POINTS SHALL BE USED.
4. 1 1/8\"/>

REV.	BY	DATE	APP.	DATE	BY	DATE

REV.	BY	DATE	APP.	DATE	BY	DATE

REV.	BY	DATE	APP.	DATE	BY	DATE

REV.	BY	DATE	APP.	DATE	BY	DATE

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AT&T MOBILITY

11'-5" X 16'-0" EQUIPMENT SHELTER LIFTING, STORAGE AND TRANSPORTATION DIAGRAM

SCALE	ONE NONE	REV. NO.	9-2
DATE	12/18/09	APP.	LW
DATE	12/21/09	APP.	LW
DATE	12/22/09	APP.	SL

FIG NO. D-8478

IMPACT ANALYSIS OF  
A PROPOSED TELECOMMUNICATIONS TOWER

LOCATED ON

WHITE SMITH ROAD  
CHATHAM COUNTY, NORTH CAROLINA

AS OF

MARCH 26, 2014

FOR

KAREN KEMERAIT  
STYERS, KEMERAIT & MITCHELL, PLLC  
1101 HAYNES STREET, SUITE 101-C  
RALEIGH, NC 27604

BY

DAVID A SMITH, MAI, SRA  
POST OFFICE BOX 51597  
DURHAM, NORTH CAROLINA 27717-1597

**PART ONE - INTRODUCTION**



## DAVID A. SMITH, MAI, SRA

P.O. BOX 51597  
DURHAM, NORTH CAROLINA 27717-1597  
PHONE (919) 493-1534  
[smithappraiser@verizon.net](mailto:smithappraiser@verizon.net)



March 26, 2014

Karen Kemerait  
Styers, Kemerait & Mitchell, PLLC  
1101 Haynes Street, Suite 101-C  
Raleigh, NC 27604

Ms. Kemerait:

As requested, I have inspected the site of a proposed telecommunications tower and properties in the surrounding and adjoining districts that may be affected by the tower. The proposed tower will be located at 1296 White Smith Road in Chatham County, North Carolina.

The purpose of this assignment is to develop an opinion as to whether or not the proposed tower will impair the integrity or character of the surrounding or adjoining districts. The intended use of this assignment is to assist the approving body in approving or disapproving a conditional use permit to allow for the proposed tower. The intended users of this report are officers and employees of Styers, Kemerait & Mitchell, PLLC and anyone they designate.

This is not an appraisal, but is a consulting assignment. This report assumes that the proposed tower has been constructed.

The properties were inspected on March 26, 2014 which is the effective date of this report and analysis. I made all necessary investigations and analyses. Based on a set of plans of the proposed tower, an inspection of the proposed tower and properties in the surrounding and adjoining districts that may be affected by the tower, an analysis of data gathered and facts and conclusions as contained in the following report of 20 pages, and subject to the assumptions and limiting conditions as stated, it is my opinion that the proposed tower will not impair the integrity or character of the surrounding or adjoining districts.

I certify that I have personally inspected the site of the proposed tower and those properties that surround or adjoin it. I further certify that I have no interest either present or contemplated in the property and that neither the employment to make this analysis nor the compensation is contingent upon the result of the analysis.

Respectfully submitted,

*David A. Smith*

David A. Smith, MAI, SRA  
NC State-Certified General Real Estate Appraiser #A281



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CERTIFICATION

I certify that, to the best of my knowledge and belief,...

The statements of fact contained in this report are true and correct.

The reported analyses, opinions, and conclusions are limited only by the reported assumptions and limiting conditions, and are my personal, impartial, and unbiased professional analyses, opinions, and conclusions.

I have no present or prospective interest in the property that is the subject of this report, and no personal interest with respect to the parties involved.

I have no bias with respect to the property that is the subject of this report or to the parties involved with this assignment.

My engagement in this assignment was not contingent upon developing or reporting predetermined results.

My compensation for completing this assignment is not contingent upon the development or reporting of a predetermined value or direction in value that favors the cause of the client, the amount of the value opinion, the attainment of a stipulated result, or the occurrence of a subsequent event directly related to the intended use of this report.

My analyses, opinions, and conclusions were developed, and this report has been prepared, in conformity with the *Uniform Standards of Professional Appraisal Practice*.

I have made a personal inspection of the property that is the subject of this report.

No one provided significant real property appraisal assistance to the person signing this certification.

The reported analysis, opinions, and conclusions were developed, and this report has been prepared, in conformity with the requirements of the Code of Professional Ethics and the Standards of Professional Appraisal Practice of the Appraisal Institute.

The use of this report is subject to the requirements of the Appraisal Institute relating to review by its duly authorized representatives.

As of the date of the report, I have completed the requirements of the continuing education program of the Appraisal Institute.

This assignment was not made, nor was the report rendered on the basis of a requested minimum valuation, specific valuation, or an amount, which would result in approval of a credit transaction.

Unless otherwise stated in this report, I have not performed any services regarding the subject property within the three year period immediately preceding acceptance of this assignment as an appraiser or in any other capacity.

I have not performed any service regarding this property for the prior three years.

*David A. Smith*

---

David A. Smith, MAI, SRA

**PART TWO – PREMISES OF THE REPORT**



### **STATEMENT OF COMPETENCE**

I have completed all of the requirements to become a state certified general appraiser for the State of North Carolina and all of the requirements for the MAI designation. In addition I have successfully completed USPAP courses and continuing education seminars for over thirty years as well as preparing real estate appraisal reports over the same period. More detailed information about the courses and seminars are in the qualifications section of this report. I have prepared similar analyses and feel competent to perform this analysis.

### **EXTRAORDINARY ASSUMPTIONS AND HYPOTHETICAL CONDITIONS**

An extraordinary assumption is an assumption, directly related to a specific assignment, which if found to be false, could alter the appraiser's opinions or conclusions. A hypothetical condition is something that is contrary to what exists but is supposed for the purpose of the analysis. This analysis assumes that the proposed tower has been constructed.

No other extraordinary assumptions or hypothetical conditions are made.

### **GENERAL ASSUMPTIONS AND LIMITING CONDITIONS**

The report has been made with the following general assumptions:

1. Possession of this report, or a copy thereof, does not carry with it the right of publication.
2. The appraiser by reason of this report is not required to give further consultation or testimony or to be in attendance in court with reference to the property in question unless arrangements have been previously made.
3. Neither all nor any part of the contents of this report (especially any conclusions, the identity of the appraiser, or the firm with which the appraiser is connected) shall be disseminated to the

public through advertising, public relations, news, sales or other media without the prior written consent and approval of the appraiser.

4. Definitions used in this report have been taken from *The Dictionary of Real Estate Appraisal*, 4th ed., published by the Appraisal Institute, copyright 2002, unless otherwise stated.

5. I relied on a set of plans entitled “American Tower Corporation, AT&T Site #: 368-512, ATC#: 282296, ATC Site Name: Gum Spring, NC, White Smith Road, Pittsboro, NC 27312,” prepared by Tower Engineering Professionals and last revised March 13, 2014. For purposes of this report, this information is assumed to be correct. Copies of pages from these plans are in the addenda.

6. I relied on public records from the Chatham and Durham County Tax Offices, the Chatham and Durham County Register of Deeds and the Triangle Multiple Listing Service for information regarding properties analyzed in this report. For purposes of this report, this information is assumed to be correct.

## PURPOSE, INTENDED USE AND USERS OF THE REPORT

The purpose of this assignment is to develop an opinion as to whether or not the proposed tower will impair the integrity or character of the surrounding or adjoining districts. The intended use of this assignment is to assist the approving body in approving or disapproving a conditional use permit to allow for the proposed tower. The intended users of this report are officers and employees of Styers, Kemerait & Mitchell, PLLC and anyone they designate.

## DEFINITION OF VALUE

The opinions of value in this analysis are the market values. The definition of market value is that used by federally regulated financial institutions. I found this definition on page A-105 of the *2014-2015 Uniform Standards of Professional Appraisal Practice* (USPAP). This definition is as follows:

The most probable price which a property should bring in a competitive and open market under all conditions requisite to a fair sale, the buyer and seller each acting prudently and knowledgeably, and assuming the price is not affected by undue stimulus. Implicit in this definition is the consummation of a sale as of a specified date and the passing of title from seller to buyer under conditions whereby:

1. buyer and seller are typically motivated;
2. both parties are well informed or well advised, and acting in what they consider their best interests;
3. a reasonable time is allowed for exposure in the open market;
4. payment is made in terms of cash in United States dollars or in terms of financial arrangements comparable thereto; and

5. the price represents the normal consideration for the property sold unaffected by special or creative financing or sales concessions granted by anyone associated with the sale.

#### **DATE OF ANALYSIS AND DATE OF REPORT**

The effective date of the analysis is March 26, 2014. The date of the report is also March 26, 2014.

#### **PROPERTY RIGHTS**

The ownership interest considered in this analysis is the fee simple interest. The properties may be leased or have other property rights transferred, but the effect is for the fee simple value of the properties. The definition of fee simple as used in this report is:

Absolute ownership unencumbered by any other interest or estate, subject only to the limitations imposed by the governmental powers of taxation, eminent domain, police power, and escheat.

#### **SCOPE OF WORK**

The scope of the report involves collection and confirmation of data relative to the property with the proposed tower. I made an inspection of the proposed tower site and referred to a set of plans for the tower. I have inspected properties in the surrounding and adjoining districts that may be affected by the tower from the street right-of-way. County and MLS records were researched to judge the effect of the proposed tower.

**PART THREE – PRESENTATION OF DATA**

### NEIGHBORHOOD DESCRIPTION

The proposed tower is located in northwest Chatham County, North Carolina about nine miles northeast of Siler City and nine miles northwest of Pittsboro. This area is mostly rural in nature with a mixture of woodland, agricultural, and scattered residential uses. There are a few non-residential uses primarily churches, auto repair and country stores. The nearest highways are NC 87 and US 64. NC 87 is about 3.5 miles to the west and leads southward to Pittsboro and northward to Graham. US 64 is about four miles to the south and leads westward to Siler City and eastward to Pittsboro. A location map for the subject is on the following page.

### DESCRIPTION OF PROPOSED TOWER SITE

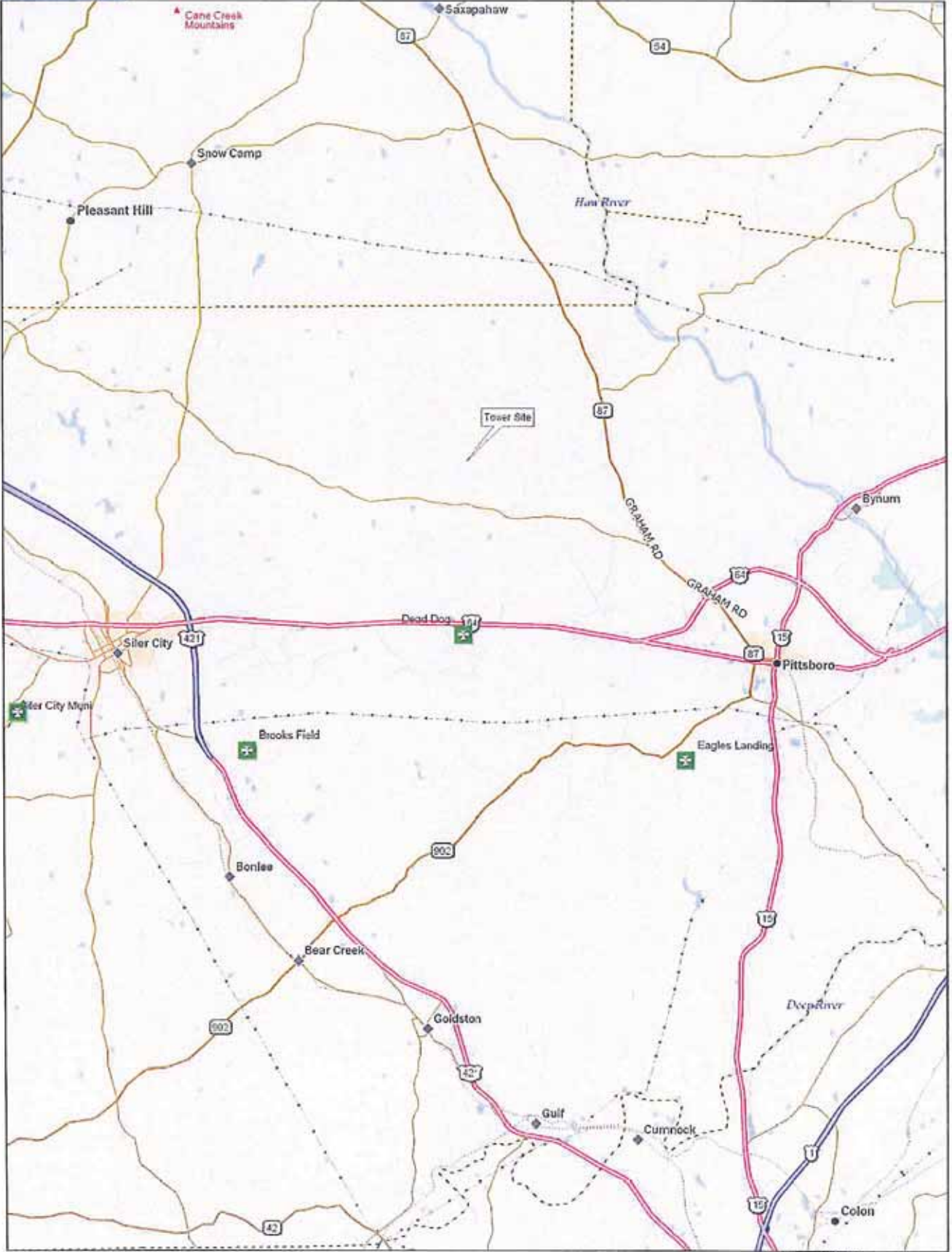
Since the purpose of this report is to estimate the effect of the proposed tower on properties in the surrounding and adjoining districts and not the tower site itself only a brief description of the tower site is given.

The land where the tower will be located is owned by Harold L. Rogers and Rita L. Rogers. The Chatham County tax office identifies it with a parcel number of 10519. According to tax records, the land area is 43.72 acres and the site is unimproved. The site is partially cleared and partially wooded.

### DESCRIPTION OF THE PROPOSED TOWER

The tower and related equipment will be located on a 100' x 100' leased area roughly in the center of the western portion of the tract. A 60' x 80' area will be enclosed with eight foot high chain link fence with three strand barbed wire that will contain the equipment. Outside the fenced area will be a gravel parking area for two vehicles. The fenced area and the gravel parking will be buffered with shrubs.

The tower will be of self-support design 300 feet in height and illuminated as required by the FAA. There will be an equipment shed 11'5" x 12' and 9' 6" in height and a generator on a 5' x 10' concrete pad. There



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Scale 1 : 200,000



1" = 3.16 mi

Data Zoom 10-0

will also be an ice bridge between the equipment shed and the tower about 10' 6" in height. Space is available for three additional equipment buildings for co-location on the tower. The tower will be accessed by a 12 foot wide gravel drive about 232 feet long from White Smith Road.

The tower will be about 259 feet from the western boundary, 955 feet from the eastern boundary, about 496 feet from the northern boundary and about 638 feet from the southern boundary. This area of the site is wooded and the area directly to the north, south and west is wooded. To the east the area will be cleared.

#### PROPERTIES THAT MAY BE AFFECTED BY THE PROPOSED TOWER

The subject district and the surrounding and adjoining districts are quite large and most of the properties would not be affected by the tower. The properties most likely to be affected are those that are the closest to the proposed tower site. A chart with information about those properties that are adjacent to the tower site or directly across the street follows. The properties are all agricultural or residential uses.

Owner	Land Size	Building Size	Year Built	Land Value	Building Value	Total Value
Michael B. and Dana R. Teague	5.432	2,495	1998	\$79,880	\$190,955	\$270,835
Harold L. and Rita L. Rogers	18.952	3,825	1925	\$47,895	\$256,754	\$304,649
Fernando & Meredith J. Cardenas	59.939	0		\$24,675	\$0	\$24,675
Harold L. & Rita L. Rogers	0.582	0		\$785	\$0	\$785
David & Valerie Proffitt	7.25	0		\$42,525	\$0	\$42,525
David & Valerie Proffitt	61.077	0		\$26,018	\$0	\$26,018
Jennifer C. & David J. Semrad	15	0		\$98,224	\$0	\$98,224
Stephen T. and Barbara M. Fisher	10	1,253	1990	128,200	\$110,000	\$238,200



**PART FOUR – ANALYSIS OF DATA AND CONCLUSION**

**EFFECT OF THE PROPOSED TELECOMMUNICATIONS TOWER**

The potential adverse affects from any proposed improvement are environmental hazards, noise, odor, lighting, traffic and visual impact. Based on the plans of the proposed tower and conversations with those associated with it, there will be no environmental hazards associated with the proposed use. Also after construction there should be no significant adverse noise since the site is unmanned and none of the proposed items produce any significant noise. The improvement should not produce any adverse odors and traffic should not cause any significant adverse impact since the facility requires only periodic maintenance. The tower would be visible and this has the potential to cause adverse impacts on the adjoining properties.

To estimate the effect of a cell tower on adjoining or abutting properties, I located the sale of a single family dwelling south of Pittsboro with a tower located directly behind it. Single family residences are the most sensitive to external influences and would show the greatest effect. This tower is 250 feet high and was constructed in 1992. The parcel where the tower is located has an address of 307 Jack Wolfe Road and it is located roughly in the east central portion of the tract.

The property adjacent to the tower is located at 924 Old Sanford Road and sold on August 8, 2012. To determine the effect of the tower on this property I considered sales of similar properties. I researched the Triangle Multiple Listing Service for sales of dwellings built within 10 years of the Sanford Road dwelling, within 100 square feet of its size and sold within two years of its sale date. I considered only those sales that were in the Pittsboro elementary school district and were tradition (not manufactured home) construction. I located seven dwelling that sold with this criteria.

I deducted the value of the land from the sales prices to arrive at the value of the improvements. Adjustments were then made for differences such as year built, decks, porches, decks, garages, carports, storage buildings, fireplaces, quality and condition. The resulting adjusted improvement value was then divided by the living area of the dwelling to arrive at a selling price per square foot. The property located adjacent to the tower gave a per square foot value of the dwelling of \$76.19. The seven other properties gave per square foot values of \$72.31, \$74.50, \$66.07, \$83.79, \$63.52, \$76.54 and \$80.44 with an average of \$73.88. Four of the seven properties sold for less per square foot than the property near the tower and the per square foot price of the property is higher than the

*DAVID A. SMITH, MAI, SRA*

average. This indicates that the property had no adverse effect on the property adjacent to the tower. A chart showing this analysis is on the following page.

Address	924 Old Sanford	258 Rocky Hills	107 Dogwood	40 Cotten	174 Hanks	115 Hillcrest	377 Old Graham	285 Oakwood
Sales Date	8/8/2012	2/26/2013	9/30/2010	10/15/2010	9/23/2013	11/25/2013	11/30/2010	3/19/2013
Sales Price	\$177,500	\$145,000	\$175,000	\$128,900	\$176,000	\$100,000	\$160,000	\$113,000
Land Size	4.6	1.1	1.713	0.3	0.647	0.55	0.68	1.33
Land Value	60,542	37,260	52,987	30,000	40,000	30,000	37,250	25,500
Improvement Value	116,958	107,740	122,013	98,900	136,000	70,000	122,750	87,500
Year Built	1983	1991	1974	1975	1991	1979	1992	1974
# Rooms	5	6	6	8	7	7	6	6
Bedrooms	3	3	3	3	3	3	3	3
Baths	2	2	2	2	2	1.5	2	2
Deck	3,633	6,861	3,875		2,076	2,214	2,491	
Porch	3,685	2,828	4,356	5,515	1,379		2,382	
Screen Porch	6,318			7,722				
Storage/Util	1,384	923	28,690	7,565		2,952		
Fireplace		3,400	3,400		3,400			3,400
Garage	8,375							
Carport	8,303		5,716	3,791		2,888		2,888
Quality			6,689	6,664				
Net Adjustment	31,698	14,012	52,725	31,256	6,855	8,054	4,873	6,288
Adjustment Dep	21,872	10,789	31,635	19,066	5,278	5,235	3,801	3,773
Adjusted Price	95,086	96,951	90,378	79,834	130,722	64,765	118,949	83,727
Cost New	93,600	92,850	100,050	99,675	98,250	96,150	95,625	91,425
Age	-	(7,428)	9,005	7,974	(7,860)	3,846	(8,606)	8,228
Condition					(13,100)	12,820	(12,750)	6,095
Final Adjustment	95,086	89,523	99,382	87,808	109,762	81,431	97,593	98,050
Living Area	1248	1238	1334	1329	1310	1282	1275	1219
Price Per SF	\$76.19	\$72.31	\$74.50	\$66.07	\$83.79	\$63.52	\$76.54	\$80.44

I also considered sales of residential lots in two subdivisions in northern Durham County, River's Edge and Eno Forest.

**River's Edge**, has two towers on adjacent properties. There is a 470 foot lighted lattice tower located directly to the west of the subdivision and a 192 foot unlighted tower located directly to the south. This subdivision has about 50 residential lots and the tax values of the houses range from \$255,866 to \$639,290 with an average of about \$456,677. Forty-two lots sold in the subdivision between August of 2003 and March of 2009. The subdivision has a fifty foot buffer surrounding it so the towers do not directly abut any lots, but they do abut the subdivision. An aerial photograph of this subdivision is in the addenda.

**Eno Forest** is located in the same area as River's Edge, but no towers are visible. This subdivision has about 45 lots and the tax values of the houses range from \$366,470 to \$566,281 with an average of about \$460,266. Twenty-two lots in the subdivision sold between November of 2004 to June of 2007. An aerial photograph of this subdivision is in the addenda.

The two subdivisions are similar in most respects. They are in northern Durham, have similar house values and are located in close proximity to the Eno River. Both have areas set aside for open space. The lots in Eno Forest are larger, but developers and builders generally think in terms of number of lots instead of sizes of lots and this should not have a significant effect.

The sales of the lots in the two subdivisions were compared. Lots were used because they are easier to compare than houses since houses can have many more differences. The only adjustments made on the lots were for market conditions (time). Lots sold before January 1, 2008 were adjusted to January 1, 2008 based on the annual CPI (2.5%). Lots sold since that time were adjusted upwards by an annual rate of 5% to reflect the downturn in the real estate market. This date was chosen because it represents the housing peak. Charts for each of the neighborhood lot sales are on the following pages. Those lots located closest to the towers are marked with asterisks.

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ANALYSIS OF LOT SALES – RIVER'S EDGE SUBDIVISION					
Lot	Date	Stamps	Price	Market Condition Adjustment	Adjusted for Market Conditions
1	8/21/2003	\$126	\$63,000	10.00%	\$69,300
37	8/21/2003	\$126	\$63,000	10.00%	\$69,300
35	8/27/2003	\$126	\$63,000	10.00%	\$69,300
39	8/27/2003	\$126	\$63,000	10.00%	\$69,300
11	9/4/2003	\$130	\$65,000	10.00%	\$71,500
41	9/4/2003	\$130	\$65,000	10.00%	\$71,500
7	9/11/2003	\$130	\$65,000	10.00%	\$71,500
43	9/11/2003	\$130	\$65,000	10.00%	\$71,500
12	4/8/2004	\$138	\$69,000	10.00%	\$75,900
40	5/13/2004	\$132	\$66,000	10.00%	\$72,600
42	5/19/2004	\$132	\$66,000	10.00%	\$72,600
*5*	6/29/2004	\$142	\$71,000	10.00%	\$78,100
*3*	7/23/2004	\$134	\$67,000	7.50%	\$72,025
9	7/23/2004	\$142	\$71,000	7.50%	\$76,325
6	8/3/2004	\$142	\$71,000	7.50%	\$76,325
36	8/3/2004	\$134	\$67,000	7.50%	\$72,025
*2*	8/12/2004	\$134	\$67,000	7.50%	\$72,025
38	8/20/2004	\$126	\$63,000	7.50%	\$67,725
8	11/4/2004	\$144	\$72,000	7.50%	\$77,400
*4*	11/22/2004	\$144	\$72,000	7.50%	\$77,400
10	2/17/2005	\$146	\$73,000	7.50%	\$78,475
13	3/8/2005	\$174	\$87,000	7.50%	\$93,525
14	3/9/2005	\$174	\$87,000	7.50%	\$93,525
15	6/30/2005	\$174	\$87,000	7.50%	\$93,525
22	7/11/2005	\$164	\$82,000	5.00%	\$86,100
17	7/27/2005	\$163	\$90,500	5.00%	\$95,025
26	7/27/2005	\$163	\$72,500	5.00%	\$76,125
34	1/11/2006	\$140	\$70,000	5.00%	\$73,500
16	1/12/2006	\$174	\$87,000	5.00%	\$91,350
27	2/3/2006	\$152	\$76,000	5.00%	\$79,800
23	2/15/2006	\$160	\$80,000	5.00%	\$84,000
44	4/20/2006	\$136	\$68,000	5.00%	\$71,400
25	4/26/2006	\$152	\$76,000	5.00%	\$79,800
18	5/3/2006	\$170	\$85,000	5.00%	\$89,250
47	5/3/2006	\$136	\$68,000	5.00%	\$71,400
48	6/14/2006	\$135	\$67,500	5.00%	\$70,875
*29*	2/9/2007	\$159	\$79,500	2.50%	\$81,488
49	2/13/2007	\$147	\$73,500	2.50%	\$75,338
21	3/12/2007	\$167	\$83,500	2.50%	\$85,588
20	8/7/2007	\$152	\$76,000	0.00%	\$76,000
*31*	10/31/2008	\$136	\$68,000	5.00%	\$71,400
*33*	3/13/2009	\$149	\$74,500	5.00%	\$78,225
			\$72,512		\$77,366

DAVID A. SMITH, MAI, SRA

ANALYSIS OF LOT SALES - ENO FOREST SUBDIVISION					
Lot #	Date Sold	Stamps	Sales Price	Market Condition Adjustment	Adjusted for Market Conditions
8	11/30/2004	\$ 154.50	\$ 77,250	7.50%	\$ 83,044
9	11/30/2004	\$ 154.50	\$ 77,250	7.50%	\$ 83,044
12	11/30/2004	\$ 154.50	\$ 77,250	7.50%	\$ 83,044
13	11/30/2004	\$ 154.50	\$ 77,250	7.50%	\$ 83,044
2	11/30/2004	\$ 152.33	\$ 76,167	7.50%	\$ 81,879
10	11/30/2004	\$ 152.33	\$ 76,167	7.50%	\$ 81,879
11	11/30/2004	\$ 152.33	\$ 76,167	7.50%	\$ 81,879
1	12/1/2004	\$ 158.40	\$ 79,200	7.50%	\$ 85,140
3	12/1/2004	\$ 158.40	\$ 79,200	7.50%	\$ 85,140
6	12/1/2004	\$ 158.40	\$ 79,200	7.50%	\$ 85,140
7	12/1/2004	\$ 158.40	\$ 79,200	7.50%	\$ 85,140
14	12/1/2004	\$ 158.40	\$ 79,200	7.50%	\$ 85,140
15	7/27/2005	\$ 152.00	\$ 76,000	5.00%	\$ 79,800
32	6/2/2006	\$ 160.00	\$ 80,000	5.00%	\$ 84,000
33	11/16/2006	\$ 136.00	\$ 68,000	2.50%	\$ 69,700
34	11/16/2006	\$ 136.00	\$ 68,000	2.50%	\$ 69,700
30	12/15/2006	\$ 124.25	\$ 62,125	2.50%	\$ 63,678
35	12/15/2006	\$ 124.25	\$ 62,125	2.50%	\$ 63,678
44	12/15/2006	\$ 124.25	\$ 62,125	2.50%	\$ 63,678
45	12/15/2006	\$ 124.25	\$ 62,125	2.50%	\$ 63,678
21	2/20/2007	\$ 142.00	\$ 71,000	2.50%	\$ 72,775
22	6/25/2007	\$ 136.00	\$ 68,000	2.50%	\$ 69,700
Average			\$ 73,318		\$ 77,450

While the lots vary in sales price, the averages both before and after adjusting for market conditions give very close indications. Based on this, it appears that the two telecommunications towers have no significant effect on values of adjoining or abutting properties and their construction will maintain or enhance the value of contiguous property.

**CONCLUSION**

Cellular telephones have become a necessary and desired item in today's world. Many potential buyers of real estate expect cellular communications just as they expect electric service and lack of this service could adversely affect value. In order to meet this need, telecommunications towers have become a common part of the landscape in much the same way that power and telephone lines and other utilities have. Like these utilities, telecommunications towers are needed in locations throughout the country. As such they are in harmony with the area in the same way that other utilities are.

Based on a set of plans of the proposed tower, an inspection of the properties that are closest to the proposed tower site, an analysis of data gathered and facts and conclusions as contained in this report, and subject to the assumptions and limiting conditions as stated, it is my opinion that the proposed tower will not impair the integrity or character of the surrounding or adjoining districts.



## DAVID A. SMITH, MAI, SRA

P.O. BOX 51597  
DURHAM, NORTH CAROLINA 27717-1597  
PHONE (919) 493-1534  
[smithappraiser@verizon.net](mailto:smithappraiser@verizon.net)



### QUALIFICATIONS OF DAVID A. SMITH, MAI, SRA

The appraiser, David A. Smith, has been involved in the appraisal of real estate for over thirty years. He worked with his father, Charles W. Smith, from 1976 to 2003. After the retirement of Charles W. Smith in 2003 he formed Smith & Whitfield, Inc. and later David A. Smith & Associates. In 1988 he was awarded the RM designation. With the merger of the American Institute of Real Estate Appraisers and the Society of Real Estate Appraisers in January of 1991, the RM designation was changed to the SRA designation. In 1991 he was awarded the MAI designation of the Appraisal Institute. He became a state-certified real estate appraiser in 1991 the year the state first began licensing real estate appraisers and his certification number is A281.

He has also trained and supervised several appraisers and has prepared all types of appraisal reports. His primary focus is Durham County and the adjoining counties of Orange, Person, Granville and Chatham.

EDUCATION: Graduate Episcopal High School, Alexandria, VA, 1976  
A.B., Duke University, Durham, NC, 1981

#### APPRAISAL INSTITUTE COURSES:

Real Estate Appraisal Principles (Exam IA-1/8-1), University of North Carolina, 1981  
Residential Valuation (Exam 8-2), University of North Carolina, 1981  
Basic Valuation Procedures (Exam IA-2), University of North Carolina, 1983  
Standards of Professional Practice (Exam SPP), University of North Carolina, 1983  
Capitalization Theory & Techniques, A (Exam 1B-A), University of Colorado, 1984  
Capitalization Theory & Techniques, B (Exam 1B-B), University of Colorado, 1984  
Valuation Analysis and Report Writing (Exam 2-2), University of North Carolina, 1987  
Case Studies in Real Estate Valuation (Exam 2-1), University of North Carolina, 1987  
Advanced Sales Comparison & Cost Approaches, Atlanta, Georgia, 2002  
General Appraiser Market Analysis and Highest and Best Use, Atlanta, Georgia, 2007  
Online Business Practices and Ethics, Chicago, Illinois, 2007  
Appraisal Curriculum Overview, 2009  
Condemnation Appraising: Principles & Applications, Greensborough, NC, 2011

#### APPRAISAL INSTITUTE SEMINARS:

Highest and Best Use, 1988  
Industrial Valuation, 1988  
Rates, Ratios and Reasonableness, 1988  
Valuation of Leased Fee Interests, 1989



Current Problems in Industrial Valuation, 1989  
Methods of Subdivision Analysis, 1989  
Expert Witness in Litigation, 1989  
Discounted Cash Flow, 1990  
RTC Appraisal Standards, 1990  
Preparation and Use of the UCIAR Form, 1990  
Standards of Professional Practice Update, 1990  
Commercial Construction Overview, 1991  
Appraising Troubled Properties, 1991  
Appraisal Regulations of the Federal Banking Agency, 1992  
Real Estate Law for Appraisals, 1992  
Appraising Apartments, 1993  
Discounted Cash Flow Analysis, 1994  
Appraiser's Legal Liabilities, 1994  
Understanding Limited Appraisals, 1994  
Analysis Operating Expenses, 1995  
Future of Appraisals, 1996  
Highest and Best Use Applications, 1996  
Standards of Professional Practice, Parts A & B, 1997  
Litigation Skills for the Appraiser, 1997  
Eminent Domain & Condemnation Appraising, 1998  
Matched Pairs/Highest & Best Use/Revisiting Report Options, 1998  
Valuation of Detrimental Conditions, 1998  
Appraisal of Nonconforming Uses, 2000  
How GIS Can Help Appraisers Keep Pace with Changes in R E Industry, 2001  
Feasibility Analysis, Market Value and Investment Timing, 2002  
Analyzing Commercial Lease Clauses, 2002  
Standards of Professional Appraisal Practice, 2002  
Effective Appraisal Writing, 2003  
Supporting Capitalization Rates, 2004  
National USPAP Update, 2004  
Rates and Ratios: Making Sense of GIMs, OARs, and DCFs, 2005  
The Road Less Traveled: Special Purpose Properties, 2005  
National USPAP Update, 2006  
Appraisal Consulting: A Solutions Approach for Professionals, 2006  
What Clients Would Like Their Appraisers to Know, 2007  
Valuation of Detrimental Conditions, 2007  
Business Practice and Ethics, 2007  
Office Building Valuation: A Contemporary Perspective, 2008  
Subdivision Valuation, 2008  
National USPAP Update, 2009  
Effective Appraisal Writing, 2009  
Appraisal Curriculum Overview, 2009  
Discounted Cash Flow Model: Concepts, Issues and Apps., 2010  
National USPAP Update, 2010  
Rates and Ratios: Making sense of GIMs, OARs and DCFs, 2011  
National USPAP Update, 2012  
Business Practices and Ethics, 2012  
Marketability Studies: Advanced Considerations & Applications, 2013  
Real Estate Valuation Conference, 2013  
National USPAP Update, 2014

OTHER SEMINARS:

Commercial Segregated Cost Seminar, Marshall & Swift, 1988  
Appraisal Guide and Legal Principles, Department of Transportation, 1993  
The Grammar Game, Career Track, 1994

MEMBERSHIPS:

Appraisal Institute, MAI #09090  
Appraisal Institute, SRA/RM #2248  
Durham Board of Realtors  
North Carolina Association of Realtors  
National Association of Realtors

CERTIFICATION:

State Certified General Real Estate Appraiser for North Carolina, #A281

OTHER:

NC Property Tax Commission, 2013 – Present  
Durham Civilian Police Review Board, 2009 - Present, Past Chair  
Durham County Board of Equalization and Review, 2013 – Present  
Durham Public Schools Budget Advisory Committee, 2013 - Present  
City of Durham Audit Oversight Committee, 2002 – 2006  
Durham Board of Adjustment, 1994 - 2002  
Durham City/County Zoning Commission, 1990 – 1995  
John Avery Boys and Girls Club, 1994-2002  
Historical Preservation Society, 1992 - 1995  
Vice President of the Candidates, 1989, NC Chapter 40  
President of the Candidates, 1990, NC Chapter 40  
Candidate of the Year, 1990, NC Chapter 40

RECENT CLIENTS (within the past five years):

LENDING INSTITUTIONS  
American National Bank & Trust Company  
AMEX Financial  
BB&T  
Citizens National Bank  
CommunityOne Bank NA  
Fidelity Bank  
First South Bank  
Harrington Bank  
KeySource Commercial Bank  
Live Oak Banking Company  
Mechanics & Farmers Bank  
Pacific International Bank

PNC Bank  
RBC Bank  
Self-Help  
State Farm Bank  
SunTrust Bank  
Wells Fargo Bank

#### MUNICIPALITIES AND OTHER GOVERNMENT AGENCIES

Chapel Hill Transit  
City of Durham  
NC Department of Administration  
Durham County  
Durham Public Schools  
Durham Technical Community College  
Housing Authority of the City of Durham  
NCDOT  
Orange County  
Orange Water and Sewer Authority  
Person County  
Town of Chapel Hill

#### OTHER

Allenton Management  
AND Associates  
Barcosnic  
Builders of Hope  
BCG Properties  
Blanchard, Miller, Lewis & Styers Attorneys at Law  
Blue Cross & Blue Shield of NC  
Boulevard Proeprties  
Bugg & Wolf Attorneys at Law  
Carolina Land Acquisitions  
CRC Health Corporation  
Development Ventures Inc.  
Duke Energy  
Durham Academy  
Durham Rescue Mission  
Durham Technical Community College  
Edward Jones Trust Company  
Farrington Road Baptist Church  
Forest History Society  
GBS Properties of Durham, LLC  
Hayden Stanziale  
Georgia Towers, LLC  
Hawthorne Retail Partners  
Integral  
Investors Title Insurance  
IUKA Development  
Joelepa Associates LP

John and Mary Hebrank  
LCFCU Financial Partners  
Manor Associates  
McDonald's USA  
Mt. Gilead Baptist Church  
Northgate Realty, LLC  
Property Advisory Services, Inc.  
Rand Enterprises  
Research Triangle Foundation  
Sehed Development Corporation  
Simba Management  
Southwest Durham Partners, LLC  
Stirling Bridge Group, LLC  
Styers, Kemerait & Mitchell, PLLC  
Talbert & Bright Attorneys at Law  
Teer Associates  
Thalle Construction  
The Bogey Group  
TKTK Accountants  
Treyburn Corporate Park, LLC  
Trinity Properties  
UNC Hospitals  
Voyager Academy  
Wilhekan Associates

In addition, Mr. Smith has made appraisals for other lending institutions, municipalities, individuals, corporations, estates and attorneys. Appraisal assignments have been made throughout the Triangle, North Carolina, and South Carolina.

Properties appraised include all types of single family residential, multi-family residential, office, retail, commercial, industrial, churches, schools and other specialty type uses, vacant and improved, existing and proposed.

Appraisal assignments were for a variety of purposes including: mortgage loans, estate planning, condemnation, bankruptcy and equitable distribution.

**ADDENDA**

PHOTOGRAPHS OF 1960 IVY CREEK



Street Scene Along White Smith Road



Street Scene Along White Smith Road

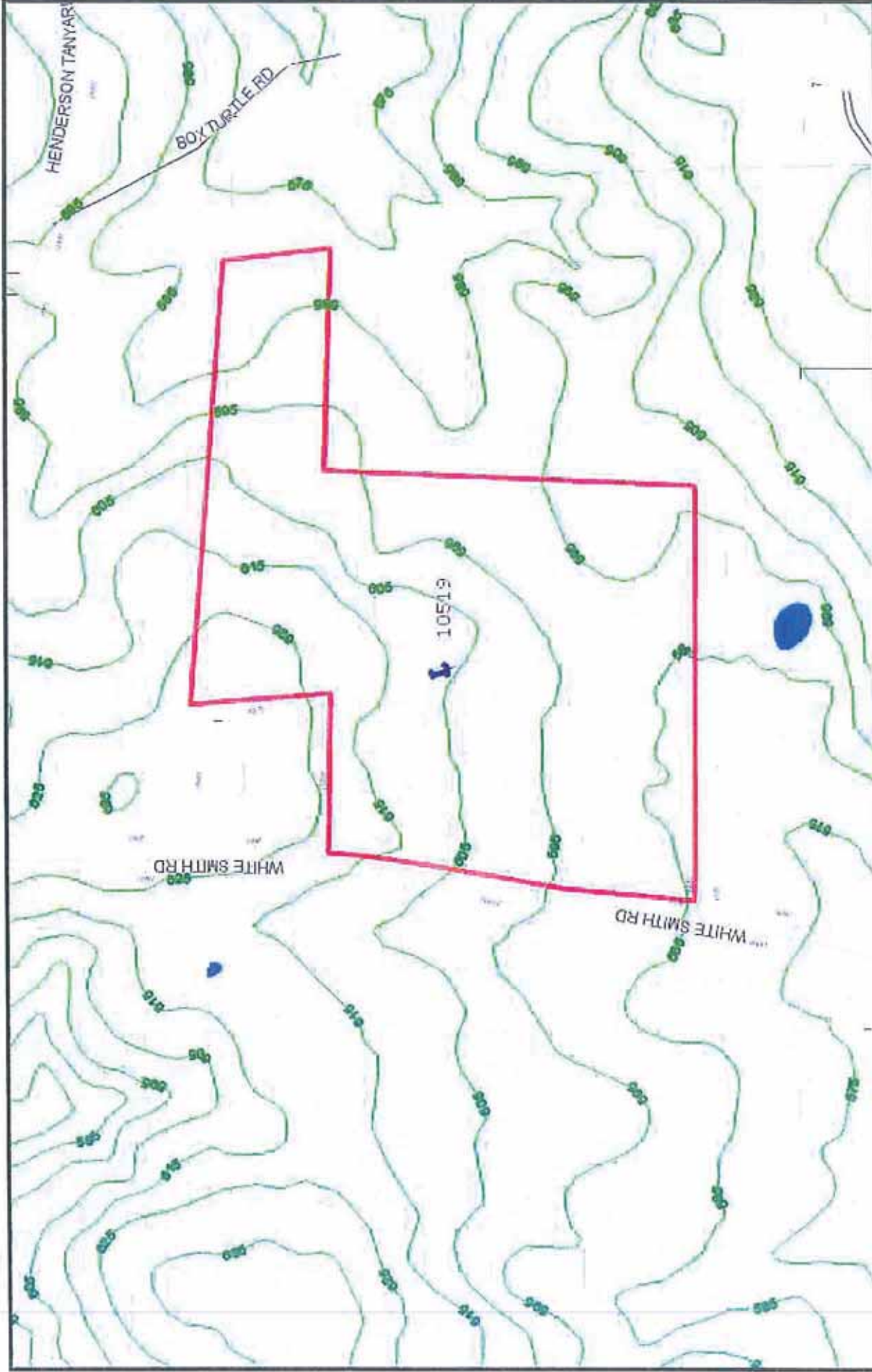


Street Scene Along White Smith Road



Street Scene Along White Smith Road





Parcel Number: 10519  
 Map Number: 8704-72-9780  
 Owner Name: ROGERS HAROLD L & RITA L  
 Owner Address: 1298 WHITE SMITH RD  
 Owner City: PITTSBORO  
 Owner State: NC  
 Owner Zip: 27312  
 Tax Year: 2014  
 Description: G3-52A

Dead Book: 407  
 Deed Page: 0847  
 Plat Book: 22  
 Plat Page: 0009  
 Deed Area: 43.72  
 Physical Address: WHITE SMITH RD  
 Improvement Value: 0  
 Land Value: 287650  
 Fire District: 109  
 Township Code: 7

**CHATHAM COUNTY, NC**  
**Flood Topo Map**  
 Legend:  
 The data produced on this map are prepared for the purpose of real property taxes within Chatham County, NC and are compiled from various public, private, and other public records and data. This data is for informational purposes only and should not be substituted for a true title search, property appraisal, survey, or for zoning verification.



One Inch = 400 Feet



**CHATHAM COUNTY, NC.**

**Aerial Map**



Disclaimer:  
The data provided on this map was prepared for the purpose of real property tax in Chatham County, NC and are compiled from various public records and data. This data is for informational purposes only and should not be relied upon for a legal case, property appraisal, survey, or for zoning verification.

Parcel Number: 10519  
 Map Number: 8704-72-8780  
 Owner Name: ROGERS HAROLD L & RITA L  
 Owner Address: 1288 WHITE SMITH RD  
 Owner City: PITTSBORO  
 Owner State: NC  
 Owner Zip: 27312  
 Tax Year: 2014  
 Description: 69-32A

Dead Book: 407  
 Deed Page: 0847  
 Plat Book: 22  
 Plat Page: 0005  
 Deed Acres: 43.72  
 Physical Address: WHITE SMITH RD  
 Improvement Value: 0  
 Land Value: 287090  
 Fire District: 108  
 Township Code: 7



One Inch = 400 Feet.



# CHATHAM COUNTY

PROPERTY REPORT - PRINT

<b>Property Owner</b> ROGERS HAROLD L. ROGERS RITA L.	<b>Owner's Mailing Address</b> 1208 WHITE SMITH RD PITTSBORO, NC 27312	<b>Property Location Address</b> WHITE SMITH RD						
<b>Administrative Data</b> Parcel ID No. 0010010 PIN 0704 00 72 7300 Owner ID 22020 Tax District 100 - HOPE FIRE DISTRICT  Land Use Code Land Use Desc  Neighborhood 0714	<b>Administrative Data</b> Legal Desc G2-32A Deed Year BkPg 1998 - 407 / 0047 Plat BkPg 22 / 0000 <b>Sales Information</b> Grantor  Sold Date 1998-12-31 Sold Amount \$ 0	<b>Valuation Information</b>  Market Value \$ 207,550  Market Value - Land and all permanent improvements, if any, effective January 1, 2008, date of County's most recent General Reappraisal  Assessed Value \$17,435  If Assessed Value not equal Market Value then subject parcel designated as a special class - agricultural, horticultural, or forestland and thereby eligible for taxation on basis of Present-Use.						
<b>Improvement Detail</b> <i>(Not Major Improvement on Subject Parcel)</i> Year Built: 0 Built Use/Style Current Use / % Percent Complete 0 Heated Area (S/F) 0 Fireplace (Y/N) N Basement (Y/N) N Attached Garage (Y/N) N *** Multiple Improvements 500  * Note - As of January 1 ** Note - Bedroom(s), Bathroom(s), shown for description only *** Note - If multiple improvements equal "MLT" then parcel includes additional major improvements								
<b>Land Supplemental</b> Map Acres 43.72 Tax District Note 100 - HOPE FIRE DISTRICT Present-Use Info								
<b>Improvement Valuation (Not Major Improvement on Subject Parcel)</b> <table style="width:100%; border:none;"> <tr> <td style="text-align:center;">* Improvement Market Value \$</td> <td style="text-align:center;">0</td> <td style="text-align:center;">** Improvement Assessed Value \$</td> <td style="text-align:center;">0</td> </tr> </table> * Note - Market Value effective Date equal January 1, 2008, date of County's most recent General Reappraisal ** Note - If Assessed Value not equal Market Value then subject parcel designated as a special class			* Improvement Market Value \$	0	** Improvement Assessed Value \$	0		
* Improvement Market Value \$	0	** Improvement Assessed Value \$	0					
<b>Land Value Detail (Effective Date January 1, 2008, date of County's most recent General Reappraisal)</b> <table style="width:100%; border:none;"> <tr> <td style="text-align:center;">Land Full Value (LFV) \$</td> <td style="text-align:center;">Land Present-Use Value (PUV) \$ **</td> <td style="text-align:center;">Land Total Assessed Value \$</td> </tr> <tr> <td style="text-align:center;">207,550</td> <td style="text-align:center;">17,435</td> <td style="text-align:center;">17,435</td> </tr> </table> ** Note - If PUV is not equal to LFV then parcel is land of present use value and is subject to rollback taxes, if applicable.			Land Full Value (LFV) \$	Land Present-Use Value (PUV) \$ **	Land Total Assessed Value \$	207,550	17,435	17,435
Land Full Value (LFV) \$	Land Present-Use Value (PUV) \$ **	Land Total Assessed Value \$						
207,550	17,435	17,435						

Building Sketch

No Sketch Available

Building Photo

No Photo Available for 0010519



Book 407 Page 647

Excise Tax \$11.50 Revenue

Recording Time, Book and Page 11:10

Tax Lot No. \_\_\_\_\_ Parcel Identifier No. \_\_\_\_\_  
 Verified by \_\_\_\_\_ County on the \_\_\_\_\_ day of \_\_\_\_\_, 19\_\_\_\_  
 by \_\_\_\_\_

Mail after recording to William G. Harriss, Esquire, P.O. Box 994, Durham, North Carolina 27702

This instrument was prepared by William G. Harriss, Esquire Mail - GRANTEE

Brief description for the Index

### NORTH CAROLINA GENERAL WARRANTY DEED

THIS DEED made this 21st day of October, 1977, by and between

GRANTOR

GRANTEE

Wilson W. Lindley  
and wife,  
Mabel P. Lindley

Harold L. Rogers  
and wife,  
Rita L. Rogers  
*203 Crestview Drive  
Durham N.C.  
27712*

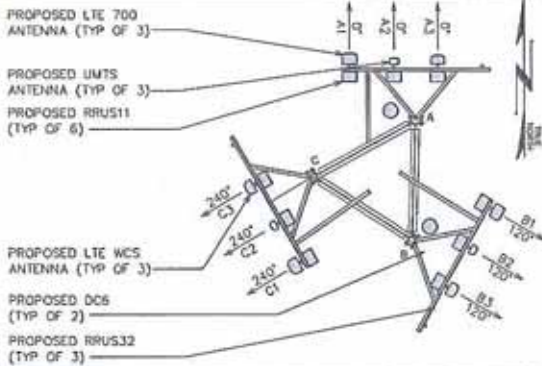
Enter in appropriate block for each party: name, address, and, if appropriate, character of entity, e.g. corporation or partnership.

The designation Grantor and Grantee as used herein shall include said parties, their heirs, successors, and assigns, and shall include singular, plural, masculine, feminine or neuter as required by context.

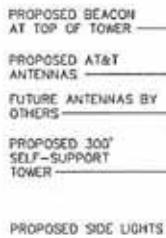
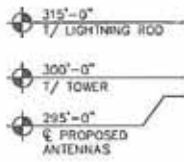
WITNESSETH, that the Grantor, for a valuable consideration paid by the Grantee, the receipt of which is hereby acknowledged, has and by these presents does grant, bargain, sell and convey unto the Grantee in fee simple, all that certain lot or parcel of land situated in the City of Hadley Township, Chatham County, North Carolina and more particularly described as follows:

BEGINNING at an iron stake in the center line of an old road which is now part of State Road 1506 (to reach the point of beginning start at an iron stake in the intersection of the center line of State Road 1557 and State Road 1506 and run thence South 1° 59' West 211.69 feet to a stake in the center line of the old road; thence South 0° 36' West 115 feet to a stake; thence South 7° 30' West 185 feet to the stake at the point of beginning); run thence a new south line with Wilson and Mabel P. Lindley as shown on the map hereinafter referred to, South 79° 37' East 28.32 feet to a stake in the eastern right of way of State Road 1506; thence continuing with a new south line of Wilson and Mabel P. Lindley, South 79° 37' East 1809.03 feet to an iron stake; thence with a western property line of Harry Perry, South 0° 55' East 310.78 feet to an old flintstone and iron stake; thence with the north property line of Collie Austin, North 84° 18' West 658.42 feet to an old stone; thence with a west property line of Collie Austin, South 6° 13' West 1154.41 feet to an old stone and pointers; thence with a north property line of Shaw and Johnson, North 84° 0' West 1265.62 feet to an old iron stake (this old iron stake is located South 84° East 63.81' from an iron stake in the center line of State Road 1506 where it intersects with the northern property line of Shaw and Johnson); thence North 8° 46' East 795.82 feet to an iron stake in State Road 1506 thence within the right of way of State Road 1506, North 8° 46' East 141.65 feet to a stake; thence continuing within the right of way for State Road 1506, North 6° 27' East 377.6 feet to a stake; thence continuing within the right of way of State Road 1506, North 7° 30' East 293.8 feet to the stake at the point and place of BEGINNING, and being Tract A labeled Harold L. and Rita L.

SEE REVERSE SIDE FOR CONTINUATION OF DESCRIPTION



**ANTENNA PLAN**  
SCALE: N.T.S.



**NOTES:**

1. PROPOSED FIBER TO BE MOUNTED TO WAVEGUIDE LADDER (PROVIDED BY TOWER MANUFACTURER) USING SNAP STAK HANGERS.
2. LIGHTNING ROD, TOWER LIGHTS, AND CLIMBING LADDER TO BE PROVIDED BY TOWER MANUFACTURER.
3. TOWER SHALL BE ILLUMINATED ONLY AS REQUIRED BY THE FEDERAL COMMUNICATIONS COMMISSION (FCC), THE FEDERAL AVIATION ADMINISTRATION (FAA), OR OTHER STATE OR FEDERAL AGENCY OF COMPETENT JURISDICTION.
4. TOWER SHALL BE CONSTRUCTED OF GALVANIZED STEEL OR PAINTED PER APPLICABLE STANDARDS OF THE FAA OR OTHER APPLICABLE FEDERAL OR STATE AGENCY.
5. A SINGLE SIGN, 2 FEET SQUARE, IN A VISIBLE LOCATION SHALL BE REQUIRED WITH NAME AND EMERGENCY TELEPHONE NUMBER OF THE TOWER OWNER AND ALL COMPANIES OPERATING ON THE TOWER. NO ADVERTISING SHALL BE ATTACHED TO THE TOWER.

**TOWER ELEVATION**

SCALE: 1" = 40'



**PROPOSED ANTENNA/CABLE SCHEDULE**

ANT. SECTOR	TECH.	MANUFACTURER (MODEL #)	AZIMUTH*	MOUNTING HEIGHT	ELEC. D-TILT	MECH. D-TILT	RRU MODEL	JUMPER SIZE	JUMPER LENGTH (FROM RRU)	DC6 MODEL	CABLE RUN	CABLE LENGTH
A1	ALPHA	ERICSSON HRC11804B-1	0°	€ 0 295'-0"	3°	0°	RRU511 (TOP)	5mm JUMPER	5'±			
B1	BETA	ERICSSON HRC11804B-1	120°	€ 0 295'-0"	3°	0°	RRU511 (TOP)	5mm JUMPER	5'±			
C1	GAMMA	ERICSSON HRC11804B-1	240°	€ 0 295'-0"	3°	0°	RRU511 (TOP)	5mm JUMPER	5'±			
A2	ALPHA	CELLUMX CMA_B_6521_E06_A3	0°	€ 0 295'-0"	2°	0°	RRU532 B30 (TOP)	5mm JUMPER	5'±			
B2	BETA	CELLUMX CMA_B_6521_E06_A3	120°	€ 0 295'-0"	2°	0°	RRU532 B30 (TOP)	5mm JUMPER	5'±			
C2	GAMMA	CELLUMX CMA_B_6521_E06_A3	240°	€ 0 295'-0"	2°	0°	RRU532 B30 (TOP)	5mm JUMPER	5'±			
A3	ALPHA	ANDREW S5944-1055C	0°	€ 0 295'-0"	1°	0°	RRU532 B30 (TOP)	5mm JUMPER	5'±			
B3	BETA	ANDREW S5944-1055C	120°	€ 0 295'-0"	1°	0°	RRU532 B30 (TOP)	5mm JUMPER	5'±			
C3	GAMMA	ANDREW S5944-1055C	240°	€ 0 295'-0"	1°	0°	RRU532 B30 (TOP)	5mm JUMPER	5'±			
										DC6-48-50-18-8P (2) DC POWER	(2) PBR	135'±

\* - AZIMUTHS BASED ON TRUE NORTH  
\* - ANTENNA MODEL AND AZIMUTH INFORMATION IS ASSURED AND MAY NOT REPRESENT FINAL CONFIGURATION.

**PRELIMINARY**  
DO NOT USE FOR CONSTRUCTION

SEAL: \_\_\_\_\_

TOWER ENGINEERING PROFESSIONALS  
3100 JUNCTION BOULEVARD  
RALEIGH, NC 27603-5203  
OFFICE: (919) 861-6151  
www.teppro.com

N.C. LICENSE # C-1714

PROJECT INFORMATION:  
3500 REGENCY PARKWAY, SUITE 100  
CARY, NC 27511

AMERICAN TOWER CORPORATION  
PROJECT INFORMATION:  
AT&T SITE #: 368-512  
ATC SITE #: 282296  
GUM SPRING NC  
WHITE SWATH ROAD  
PITTSBORO, NC 27312  
(CHATHAM COUNTY)

PLANS PREPARED BY:

SHEET NUMBER: **C-3** REVISION: 0  
DATE: 03.13.14  
DRAWN BY: TIL CHECKED BY: GAA

SHEET TITLE:  
**TOWER ELEVATION**



242298  
 GUM SPRING NC  
 UNLICENSED WIRELESS  
 TELECOMMUNICATIONS  
 FACILITY  
 300' SELF SUPPORT  
 517' EXHAUSTION  
 WHITE SMITH ROAD  
 PITTSBORO, NC 27312  
 (CHANDLER COUNTY)  
 CHATHAM COUNTY

18 831 S. 301 ST.  
 PLS. 218.1.8  
 AGRICULTURAL  
 UNLICENSED  
 18818

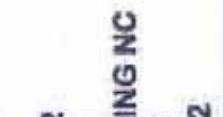
**PROJECT INFORMATION**

LATITUDE: N 33° 47' 11.04" (MAC 27)  
 LONGITUDE: W 79° 18' 43.75" (MAC 31)  
 LATITUDE: N 33° 47' 21.24" (MAC 30)  
 LONGITUDE: W 79° 18' 43.85" (MAC 31)  
 GROUND CLEV. (ASBL) = 991.2' GRAVD 76'

**1-A. CERTIFICATION**

STATE LICENSE #1-1794

**AMERICAN TOWER CORPORATION**  
**SITE PLAN**  
 AT&T SITE #: 368-512  
 ATC SITE #: 282296  
 ATC SITE NAME: GUM SPRING NC  
 WHITE SMITH ROAD  
 PITTSBORO, NC 27312



**DRIVING DIRECTIONS**

DRIVING DIRECTIONS: FROM I-85, TAKE EXIT 106A (SR 130) WEST ON SR 130 FOR APPROXIMATELY 1.5 MILES TO THE RIGHT TURN LEFT ON TO STATE STREET AND TURN RIGHT ON TO WHITE SMITH ROAD TO THE PROJECT SITE.

**LOCATION MAP**

THE LOCATION MAP SHOWS THE PROJECT SITE IN RELATION TO THE SURROUNDING AREA. THE PROJECT SITE IS LOCATED ON WHITE SMITH ROAD, APPROXIMATELY 1.5 MILES WEST OF I-85.

**INDEX OF SHEETS**

SHEET	DESCRIPTION
1	SITE PLAN
2	FOUNDATION
3	STRUCTURAL
4	MECHANICAL
5	ELECTRICAL
6	PLUMBING
7	LANDSCAPE
8	ENVIRONMENTAL
9	TRAILING
10	PERMITTING
11	CONTRACTS
12	AS-BUILT
13	PHOTOGRAPHS
14	GENERAL NOTES

**CONTACT INFORMATION**

<b>SITE PROJECT MANAGER:</b> AMERICAN TOWER LLC 300 BROADWAY, SUITE 100 PITTSBORO, NC 27312 PHONE: (919) 433-4500	<b>UTILITIES:</b> POWER COMPANY GAS COMPANY WATER & SEWER TELEPHONE COMPANY
<b>BITE APPLICANT:</b> AMERICAN TOWER LLC 300 BROADWAY, SUITE 100 PITTSBORO, NC 27312 CONTACT: (919) 433-4500	<b>PROFESSIONAL ENGINEER:</b> TOWER ENGINEERS PROFESSIONALS 2100 LANTANA BOULEVARD FAYETTEVILLE, NC 27803 CONTACT: (919) 871-4001
<b>SURVEYOR:</b> TOWER ENGINEERS PROFESSIONALS 2100 LANTANA BOULEVARD FAYETTEVILLE, NC 27803 CONTACT: (919) 871-4001	<b>PROPERTY OWNER:</b> WHITE SMITH ROAD CHATHAM COUNTY CONTACT: (919) 218-1100

**CODE COMPLIANCE**

1. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE NORTH CAROLINA BUILDING CODE, 2009 EDITION, AS AMENDED.

2. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE NORTH CAROLINA ELECTRICAL CODE, 2009 EDITION, AS AMENDED.

3. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE NORTH CAROLINA MECHANICAL CODE, 2009 EDITION, AS AMENDED.

4. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE NORTH CAROLINA PLUMBING CODE, 2009 EDITION, AS AMENDED.

STATE LICENSE #1-1794

**PRELIMINARY**

**PRELIMINARY**

**PRELIMINARY**

**PRELIMINARY**

**PRELIMINARY**

**PRELIMINARY**

PLANS PREPARED FOR:  
**AMERICAN TOWER CORPORATION**  
 3000 REGENCY PARKWAY, SUITE 100  
 CARY, NC 27511

PROJECT INFORMATION:  
**AT&T SITE #:** 368-512  
**AT&T SITE #:** 282296  
**GUM SPRING NC**  
 WHITE SMITH ROAD  
 PITTSPORO, NC 27312  
 (CHATHAM COUNTY)

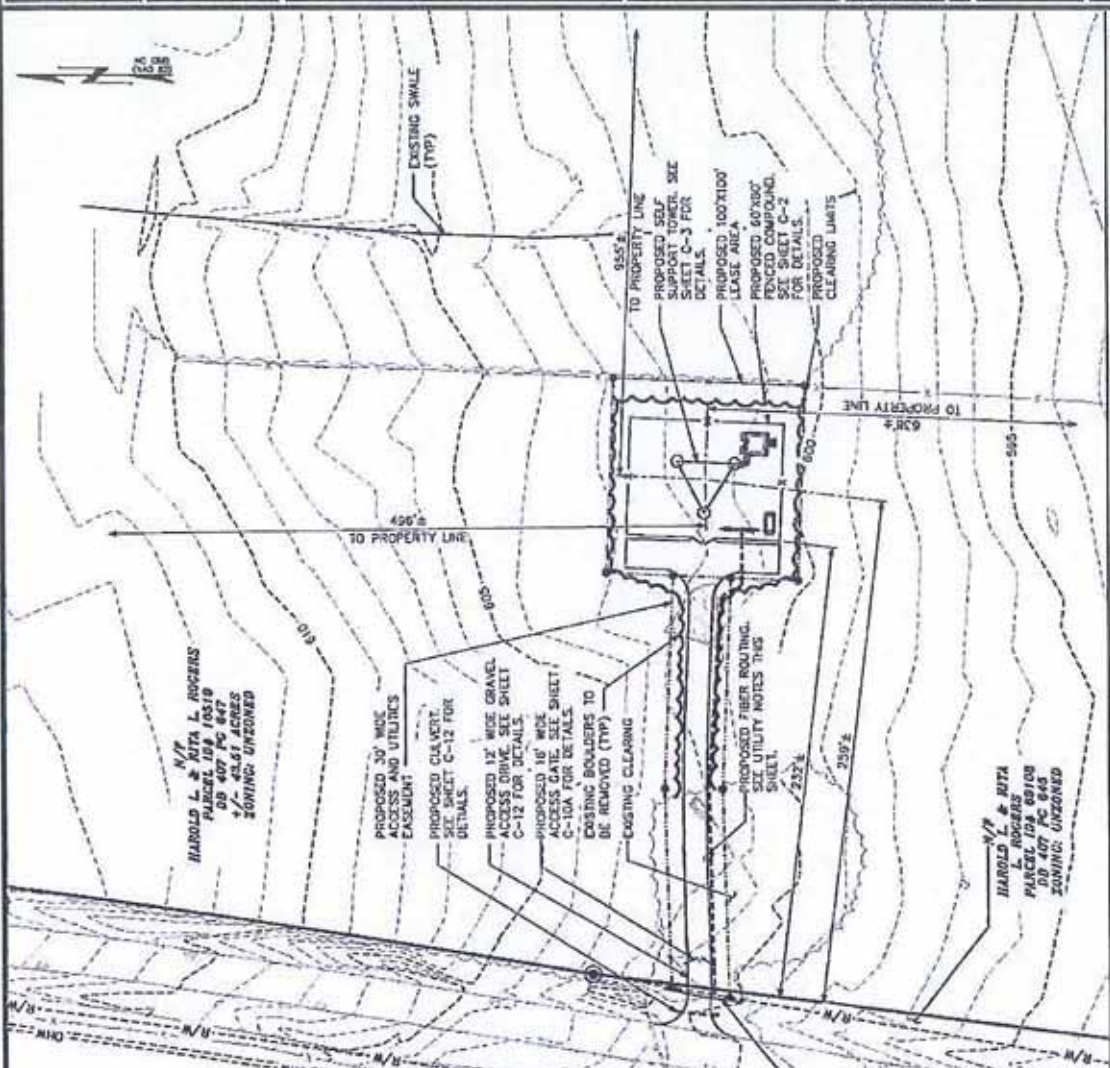
PLANS PREPARED BY:  
  
**TURNER ENGINEERING PROFESSIONALS**  
 3700 JUNCTION BOULEVARD  
 RALEIGH, NC 27603-5263  
 OFFICE: (919) 861-6861  
 www.tegroup.net  
 N.C. LICENSE # C-1794

SCALE:  
  
**PRELIMINARY**  
 DO NOT USE FOR CONSTRUCTION

DESIGNED BY:	D	03-13-14	PRELIMINARY
REV. DATE:	ISSUED FOR:		
DRAWN BY:	SCB	CHECKED BY:	JAS

SHEET TITLE:  
**SITE LAYOUT**

SHEET NUMBER: **C-1A**  
 REVISION: 0  
 TPD # 32 (A)



**NOTES:**  
 1. THE BASES OF THE MERRIDIAN AND COORDINATES FOR THIS PLAN IS THE NORTH CAROLINA STATE PLANK COORDINATE SYSTEM NORTH AMERICAN DATUM 1983 (NAD 83), BASED ON DIFFERENTIAL GPS OBSERVATIONS PERFORMED ON FEBRUARY 5, 2014.  
 2. VERTICAL INFORMATION SHOWN, BASED ON THE NORTH AMERICAN VERTICAL DATUM OF MARCH 1988 IN FEET.  
 3. ALL DISTANCES ARE GROUND UNLESS OTHERWISE NOTED.  
 4. THE TOWER IS LOCATED IN ZONE "A" AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN ACCORDING TO FEMA COMMUNITY PANEL #2710970A00J DATED FEBRUARY 2, 2007.

**UTILITY NOTES:**  
 1. FIBER LENGTH FROM R.O.W. 245'S.  
 2. 12" SEPARATION REQUIRED BETWEEN POWER AND FIBER CONDUITS IF LOCATED IN THE SAME TRENCH.  
 3. ATC TO INSTALL (1) 4" CONDUIT WITH PULL STRING FROM PROPOSED FIBER HANGHOLE AT COMPOUND ALONG ACCESS & UTILITY EASEMENT TO BE STUBBED UP 10' FROM R.O.W.  
 4. FIBER HANGHOLE TO BE PLACED EVERY 600' OR THIRD 90° TURN AS NEEDED.  
 5. LOCAL FIBER UTILITY TO INSTALL 4" CONDUIT FROM R.O.W. TO BE STUBBED UP 10' FROM R.O.W.

**LEGEND**

---	EXIST. PROPERTY LINE
⊙	EXIST. UTILITY POLE
⊠	EXIST. TELCO PEDESTAL
⊙	PROPERTY CORNER
---20---	EXIST. CONTOUR LINE
---	EDGE OF PAVEMENT
---O/N---	OVERHEAD WIRE
---R/W---	RIGHT-OF-WAY
---	CHAIN LINK FENCE
---	EXISTING TREE LINE

**SITE LAYOUT**  
 SCALE: 1" = 60'

SCALE IN FEET  
 0 60 120



PLANS PREPARED FOR  
**AMERICAN TOWER CORPORATION**  
 3500 RECORDS CENTER, SUITE 100  
 CARY, NC 27511

PROJECT INFORMATION  
**AT&T SITE #:** 368-512  
**ATC SITE #:** 282296  
**GUM SPRING NC**  
 WHITE SMITH ROAD  
 PITTSBORO, NC 27312  
 (CHATHAM COUNTY)

PLANS PREPARED BY  
**TOWER ENGINEERING PROFESSIONALS**  
 3703 LANTANA BOULEVARD  
 RALEIGH, NC 27603-5803  
 OFFICE: (919) 861-6381  
 www.towereng.net

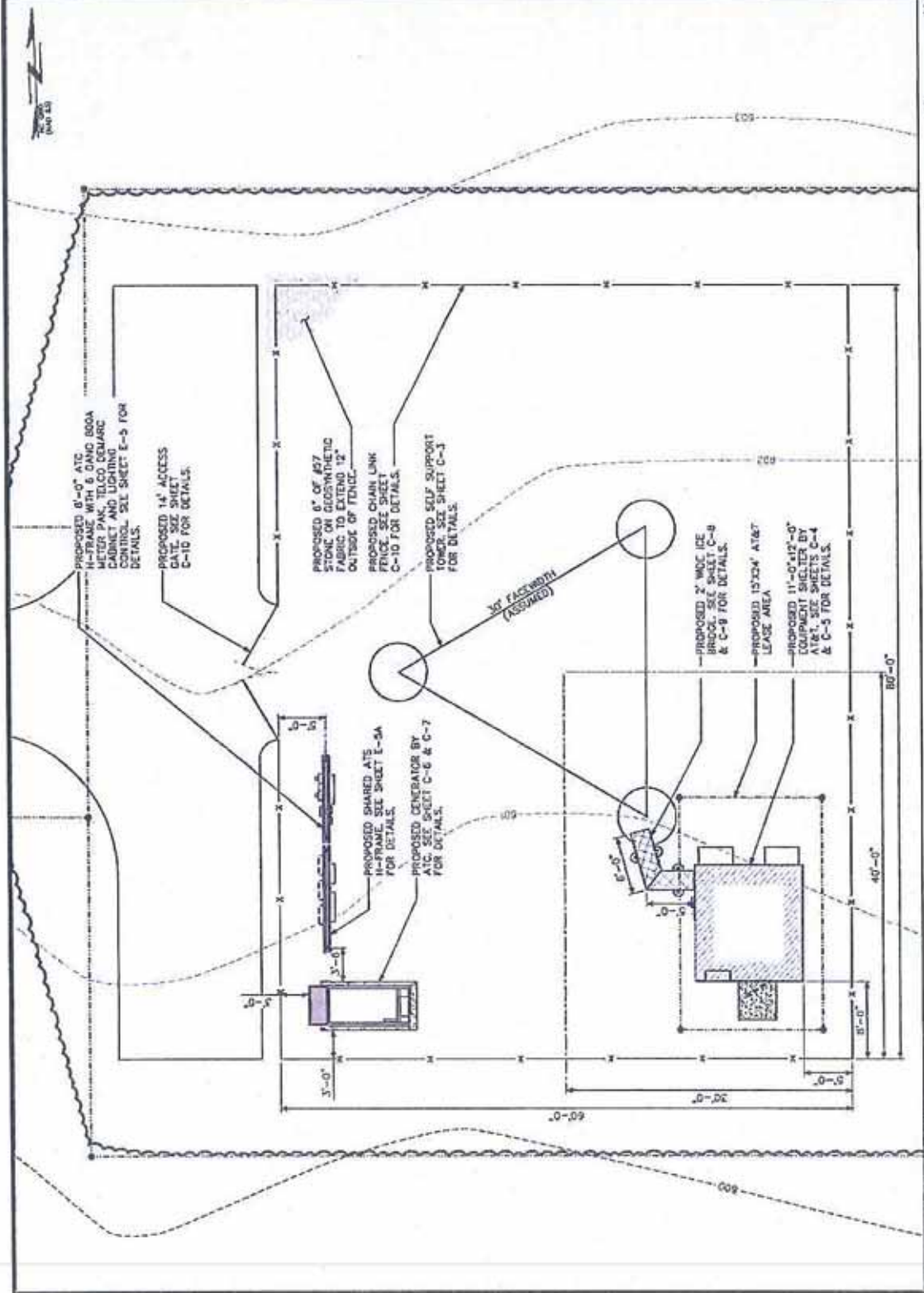
N.C. LICENSE EC-1794

SCALE:  
**PRELIMINARY**  
 DO NOT USE FOR CONSTRUCTION

REV	DATE	ISSUED FOR
0	03-13-14	PRELIMINARY

DRAWN BY: JCD | CHECKED BY: JMS  
 SHEET TITLE:  
**COMPOUND DETAIL**

SHEET NUMBER: **C-2**  
 REVISION: **0**  
 TOP F: 3/1/01



SCALE IN FEET  
 0 10 20

**COMPOUND DETAIL**  
 SCALE: 1" = 10'

See offer details

**Only the best for your business.**  
*The new Mobile Share® Value Plans.*

Learn more



 Registered Tower Detail - Tower (2)



• Ownership Info

Rep	Company: Spire Telecom, LP Contact: Robert B Gray Phone: (972)658-6197 Email: <a href="mailto:rgray@integer.us">rgray@integer.us</a>	Address: 8235 Douglas Avenue Dallas, TX, 75225
Owner	Company: Spire Telecom, LP Contact: Not Recorded Phone: (469)366-4043 Email: <a href="mailto:rgray@integer.us">rgray@integer.us</a>	Address: 8235 Douglas Avenue Dallas, TX, 75225

• Tower Characteristics

Registration #:	1006630	Ground Elev:	532.8 feet
Latitude:	35.8781	Height Of Structure:	250.0 feet
Longitude:	-79.1885	Overall Height:	802.9 feet
Structure Type:	Tower	Structure Address:	307 Jack Wolfe Rd, 2.8 MI S PITTSBORO, NC
Status:	Constructed		
Date Constructed:	08/03/1992		

• History

Purpose	Status	Date	Admnt Info
New Reg	Granted	01/24/1997	---
Adm Update	Granted	04/06/2001	---
Adm Update	Granted	04/06/2001	---
Adm Update	Granted	04/23/2001	---
Adm Update	Granted	01/13/2003	---
Owner Change	Granted	03/26/2003	Rep: MCI WORLDCOM Network Services, Inc (debtor-in-possession) Assignor: Spire Telecom, LP Owner: MCI WORLDCOM Network Services, Inc (debtor-in-possession)
Owner Change	Granted	06/15/2004	Rep: MCI, Inc. Owner: MCI WorldCom Network Services, Inc.
Owner Change	Granted	01/25/2005	Assignor: Spire Telecom, LP Owner: Spire Telecom, LP Rep: Spire Telecom, LP Assignor: Spire Telecom, LP
Modification	Granted	11/28/2006	---
Constructed	Granted	07/11/2007	---



**CHATHAM COUNTY, NC**



**Property Map**

Disclaimer:  
The data provided on this map are prepared for the inventory of real property found within Chatham County, NC and are compiled from recorded plats, deeds, and other public records and data. This data is for informational purposes only and should not be substituted for a true title search, property appraisal, survey, or for zoning verification.

Parcel Number: 6934  
 Map Number: 9740-41-7846.000  
 Owner Name: MARTIN KELLI S ETUX JASON K  
 Owner Address: 924 OLD SANFORD RD  
 Owner City: MONCURE  
 Owner State: NC  
 Owner Zip: 27559  
 Tax Year: 2014  
 Description: K7-2

Deed Book: 1634  
 Deed Page: 0709  
 Plat Book: 33  
 Plat Page: 0064  
 Deed Acres: 4.919  
 Physical Address: 924 OLD SANFORD RD  
 Improvement Value: 118549  
 Land Value: 60542  
 Fire District: 106  
 Township Code: 5



One Inch = 100 Feet

1843039      Closed      Residential      LP: \$ 184,500



**924 Old Sanford Road**

Monroe, NC 27559  
 Media: 18    VT: No    Yr Bilt: 1983    Area/Sub: 305/H  
 Subdivision: Not in a Subdivision    Nbrhd:    List Type: ER  
 Seller's Name: Krajnak, Jerome M.    SP: \$ 177,500  
 Closed Dt: 08/08/2012

**School Information**

Elementary 1: Chatham - Pittsboro    Elementary 2:  
 Middle 1: Chatham - Horton    Middle 2:  
 High 1: Chatham - Northwood    High 2:  
 Directions: From Pittsboro Ctse. take 15-501 south toward Sanford, go 1 mi. past city limit & rt. Old Sanford Rd, go almost 1 mi. property on rt.

Remarks: Over 1/3 ac pond w/brim, bass&catfish, hilltop privacy& only 2 mi to Pittsboro. New mini-split HP down&2 up cut elec, bills&give flexibility LR/greatroom w/all south facing windows. Lrge deck & sporch. Wildstove on brick hearth. Detached 1 car garage w/2 car CP could be wkshp or rustic shed w/raised enclosed area & lean-to. Buy early & harvest squash, tomatoes, cukes & peppers. Easy commuting

**Rooms / SqFt Information**

Living Area	Above Grade: 1248	Below Grade: 0	Total: 1248
Other Area	Above Grade: 160	Below Grade: 0	Total: 160
# Rooms: 5	Beds: 3	Full Baths: 2	Half Baths: 0
<b>Living Area-Room Dim/L Levels</b>			
Entry Hall:	Office/Study:	Master BR: 13x15 / Main	Bedroom 5:
Living: 13x19 / Main	Kitchen: 8x8.5 / Main	Bedroom 2: 11x11.5 / Second	Utility: 5x7 / Main
Dining:	Breakfast: 8.5x10 / Main	Bedroom 3: 11.5x9.5 / Second	Bonus:
Family:		Bedroom 4:	
<b>Other Area-Room Dim/L Levels</b>			
Garage: 12x24 / Main	Storage:	Patio:	Scnd Porch: 10x18 / Main
Carport: 24x23/MAIN	Porch: 21x7 / Main	Deck: 10x21 / Main	

**General Information**

Lot Dim: Call LO	Framed:	Let #: 0	Appx Acres: 4.60	Foundation: Crawl	Zoning:
New Construction: No		Est Fin Date:		Restrictive Covenants: N	
Builders Name:				HUD Compliant Senior Housing:	Primary Residence:
HOA Mgmt:		HOA Fees 1: \$0		Ownership:	
		HOA Fees 2: \$0			

**Financing and Taxes**

Tax Value: \$177,051	Tax Rate: 0.7220	TMBK/PAR/LT or Deed Page: Par ID 6934
Financial Comments: \$4,000 toward buyer costs. Bring pre-approval letter w/offer		
Legal Desc: DB 792/679; PS33/84	Pin #: 974000416719	

**Features**

Design: 2 Story, One Story	Exterior: Deck, Gutters, Horses Allowed, Out Building, Pier, Screen Porch, Storage
Property Type: Detached	Features: Shed, See Remarks
Construction Type: Site built (Stick)	
Acres: 3-5.9 Acres	
Exterior: Vinyl	
Finish:	
Roof: Shingle, Roof Age 6-10 Years	Style: Contemporary
A/C: A/C Age 0-3 Years, Heat Pump	Basement
Fuel-Heat: Electric	Desc:
Fireplace: Wood Stove	Flooring: Hardwood, Carpet, Vinyl
Desc:	Heating: Heat Pump, Heat Age 0-3 Yrs
Lot Desc:	Water Heater: Electric, Water Htr Age 3-6 Yrs
	Water/Sewer: Septic Tank, Well
Fees: None	Parking: 2 Carport, 1 Garage
Include:	Financing: New Needed
	Dining: Breakfast Room
Assumption: No Assumption	Washer/Dryer: 1st Floor, Utility Room
Other:	Loc:
Rooms:	Interior: Garage Shop
	Features:

Equip / Electric Range, Elec. Dryer HU, Range Hood, Refrigerator, Washer, Dryer

**Accessibility:**

Green  
 Green Certs:  
 Green Building HERS Rating:      High Perform. Home:

**Showing Instructions**

Show Instruct: Appointment Only, Notice Required, Occupied	Agent Phone: 919-545-4545	Agent Appt Ph: 919-565-8889
List Agent: CANDEL/ Elizabeth Anderson	Office Phone: 919-542-0209	
List Office: 72227 / Howard Perry & Walston	CoList Agent Ph:	CoList Appt Ph:
Co List Agent:	Comm to Sub Agt: 2.5 / % / N	LADOM: 7      CDOM: 7
Comm to Buy Agt: 2.5 / % / N	Possession: ATC	PE: No
List Type: ER-Exclusive Right		

1843823      Closed      Residential      LP: \$ 151,000



**258 Rocky Hills Road**

Pittsboro, NC 27312 (City limits of: Pittsboro)  
 Media: 25    VT: No  
 Subdivision: Rocky Hill Acres  
 Seller's Name:

Yr Blt: 1991  
 Nbrhd:

Area/Sub: 305/I  
 List Type: ER  
 SP: \$ 145,000  
 Closed Dt: 02/26/2013

**School Information**

Elementary 1: Chatham - Pittsboro      Elementary 2:  
 Middle 1: Chatham - Horton      Middle 2:  
 High 1: Chatham - Northwood      High 2:

Directions: From PBO circle-west on old 64, left on 87, right on 902 appx. 1.9 miles to right on Rocky Hills Road.

Remarks: Move-in ready! You'll love the setting of this home - allows for privacy with beautiful front and back yards. Enjoy sitting on either your front rocking porch or back deck to take in the peace and quiet. The vaulted living room ceiling opens up the living room with fireplace. Spacious breakfast nook comfortably fits a dining room table. Ideal location close to Pittsboro.

**Rooms / SqFt Information**

Living Area	Above Grade: 1238	Below Grade: 0	Total: 1238
Other Area	Above Grade: 0	Below Grade: 0	Total: 0
# Rooms: 6	Beds: 3	Full Baths: 2	Half Baths: 0

**Living Area-Room Dim/Levels**

Entry Hall:	Office/Study:	Master BR: 12.6x14.1 / Main	Bedroom 5:
Living: 16.1x18.1 / Main	Kitchen: 12.1x11.8 / Main	Bedroom 2: 11.1x11.2 / Main	Utility:
Dining:	Breakfast: 6x11.8 / Main	Bedroom 3: 11.1x10.1 / Main	Bonus:
Family:		Bedroom 4:	

**Other Area-Room Dim/Levels**

Garage:	Storage: 4x5 / Main	Patio:	Scnd Porch:
Carport:	Porch: 18.8x6 / Main	Deck: 29.6x13.4 / Main	

**General Information**

Lot Dim: see plat	Framed:	Lot #: 9	Appx Acres: 1.10	Foundation: craf	Zoning: .92
New Construction: No		Est Fin Date:		Restrictive Covenants: Y	
Builders Name:				HUD Compliant Senior Housing:	
HOA Mgmt:		HOA Fees 1: \$100 Annually - Req: Y		Ownership:	Primary Residence:
HOA Mgmt 2:TBD		HOA Fees 2: \$0			

**Financing and Taxes**

Tax Value: \$155,433	Tax Rate: 0.9200	TMBK/PAR/LT or Deed Page:
Financial Comments:		
Legal Desc: J6-24-9		Pin #: 9730-48-8898-000

**Features**

Design: One Story	Exterior Deck, Garden Area, Landscaped, Porch
Property Type: Detached	Features:
Construction Type: Site built (Stick)	
Acres: 1-2.9 Acres	
Exterior: Fiber Cement	
Finish:	
Roof: Shingle	Style: Transitional, Ranch
A/C: Heat Pump	Basement
Fuel-Heat: Electric	Desc:
Fireplace: Masonry	Flooring: Carpet, Vinyl
Desc:	Heating: Forced Air
Lot Desc: Cul-De-Sac, Hardwood Trees, Partial Clr, Prv Rd Mnt Ag, Road Frontage, Secluded	Water Heater: Electric
Fees See Remarks	Water/Sewer:Septic Tank, Well
Include:	Parking: DVA/Gravel
	Financing: Cash, Conventional, FHA, New Needed
	Dining: Breakfast Room
Assumption: No Assumption	Washer/Dryer 1st Floor, Closet
Other 1st Floor Bedroom, 1st Floor Master Bedroom	Loc:
Rooms:	Interior 10Ft+ Ceiling, Ceiling Fan
	Features:

Equip / Electric Range, Dishwasher, Microwave

Accessibility:

Green

Green Certs:

Green Building HERS Rating:      High Perform. Home:

**Showing Instructions**

Show Instruct: , Occupied	Agent Phone: 919-946-3486	Agent Appt Ph: 919-595-8889
List Agent:R72671/ Lisa Skumpija	Office Phone: 919-545-9911	
List Office:1929 / Realty World Carolina Props.	CoList Agent Ph:	CoList Appt Ph:
Co List Agent:	Comm to Sub Agt: 0/ %/ N	LADOM: 198    CDOM: 198
Comm to Buy Agt: 3/ %/ N	Possession: ATC	PE: No
List Type: ER-Exclusive Right		

1701823      Closed      Residential      LP: \$ 189,000



**107 Dogwood Lane**

Pittsboro, NC 27312  
 Media: 12      VT: Yes      Yr Blt: 1974      Area/Sub: 305/C  
 Subdivision: Not in a Subdivision      Nbrhd:      List Type: ER  
 Seller's Name: Perry      SP: \$ 175,000  
 Closed Dt: 09/30/2010

**School Information**

Elementary 1: Chatham - Pittsboro      Elementary 2:  
 Middle 1: Chatham - Horton      Middle 2:  
 High 1: Chatham - Northwood      High 2:

Directions: From Pittsboro courthouse, 64 W to stoplight, Right on 87N. Immediately bear R on Old 87N. L on Dogwood Lane. Property on left.

Remarks: Charming home on dead end street!! Cozy one level home on 1.71 acres near town! Lots of new upgrades including tiled bathrooms, hardwood floors and new roof. Room to garden with your own potting shed, storage bldg and tractor shed, fenced dog pen and a 2 vehicle carport. Gas logs in family room.

**Rooms / SqFt Information**

Living Area	Above Grade: 1334	Below Grade: 0	Total: 1334
Other Area	Above Grade: 0	Below Grade: 0	Total: 0
# Rooms: 6	Beds: 3	Full Baths: 2	Half Baths: 0
<b>Living Area-Room Dim/Levels</b>			
Entry Hall: 5.7X4.4 / Main	Office/Study:	Master BR: 15.6X11.2 / Main	Bedroom 5:
Living:	Kitchen: 11.1X10.4 / Main	Bedroom 2: 10.4X11.3 / Main	Utility:
Dining: 11.3X11.2 / Main	Breakfast:	Bedroom 3: 12.3X11.8 / Main	Bonus:
Family: 14.3X16.3 / Main		Bedroom 4:	
<b>Other Area-Room Dim/Levels</b>			
Garage:	Storage: 11.6X16.1 / Addition	Patio:	Scndd Porch:
Carport: 19X20/ADDTL	Porcht: 14.6X11.9 / Main	Deck: 14X16 / Main	Potting Sh/Additional Tractor sh : 17x25.6/Additional

**General Information**

Lot Dim: 249x291x52x198x300	Lot #: 0	Appx Acres: 1.71	Foundation: crawl	Zoning:
New Construction: No	Framed:	Est Fin Date:	Restrictive Covenants: N	
Builders Name:			HUD Compliant Senior Housing: Y	
HOA Mgmt:			Ownership:	Primary Residence:
			Total HOA Dues: \$ 0	

**Financing and Taxes**

Tax Value: \$158,940	Tax Rate: 0.6920	TMBK/PAR/LY or Deed Page: bk759, pg147/11,38
Financial Comments: new needed		
Legal Desc: K8-71		Pin #: 006871

**Features**

Design: One Story	Exterior: Deck, Detached Workshop, Garden Area, Gutters, Out Building, Porch	
Property Type: Detached	Features:	
Construction Type: Site built (Stick)		
Acres: 1-2.9 Acres		
Exterior: All Brick Veneer		
Finish:		
Roof: Roof Age 0-5 Years	Style: Ranch, Traditional	
A/C: Central Air, Heat Pump, A/C Age 0-3 Years	Basement	
Fuel-Heat: Electric	Desc:	
Fireplace: Gas Logs, In Family Room, Masonry		
Desc:	Flooring: Carpet, CerBath Flr, Hardwood, Vinyl	
Lot Desc: Hardwood Trees, Partial Cir, Road Frontage	Heating: Forced Air, Heat Pump	
	Water Heater: Electric	
	Water/Sewer: City Water, Septic Tank	
Fees: None	Parking: 2 Carport, DW/Gravel	
Include:	Financing: Cash, Conventional, FHA, New Needed/USDA	
	Dining: Eat-in Kitchen, Separate Dining Room	
Assumption: No Assumption	Washer/Dryer: 1st Floor, Hall	
Other: 1st Floor Bedroom, 1st Floor Master Bedroom	Loc:	
Rooms:	Interior: Attic Pul Down, Cable TV Available, Ceiling Fan, Smoke Alarm	
	Features:	
Equip: Electric Range, Self Clean Oven		
	Accessibility:	
	Green	
	Green Certs:	
	Green Building HERS Rating:	High Perform. Home:

**Showing Instructions**

Show Instruct: Appointment Only, Combo LB, Notice Required, Occupied	Agent Phone: 919-548-4109	Agent Appt Ph: 919-595-8989
List Agent: 290521/ Joni Williams	Office Phone: 919-545-0154	
List Office: 1965 / Straight Up Realty, LLC	CoList Agent Ph:	CoList Appt Ph:
Co List Agent:	Comm to Sub Agt: 0/ %/ N	LADOM: 144      CDOM: 144
Comm to Buy Agt: 2.5/ %/ N	Possession: ATC	PE: No
List Type: ER-Exclusive Right		

1686222 Closed Residential LP: \$ 159,000



40 Cotten Street

Pittsboro, NC 27312  
 Media: 12 VT: Yes Yr Bilt: 1975 Area/Sub: 306/P  
 Subdivision: Not in a Subdivision Nbrhd: List Type: ER  
 Seller's Name: Ferson SP: \$ 129,900  
 Closed Dt: 10/15/2010

School Information

Elementary 1: Chatham - Pittsboro Elementary 2:  
 Middle 1: Chatham - Horton Middle 2:  
 High 1: Chatham - Northwood High 2:  
 Directions: Pittsboro Courthouse, South on 15-501 to Right on Pittsboro School Rd. to Left on Cotten St. House on Right.

Remarks: 3 BR 2 Bth Brick Ranch with acreage in Pittsboro. Walk to School or downtown. Well maintained brick ranch in cozy downtown Pittsboro neighborhood. Walk your kids to Elementary and Middle Schools. Lots of interior wood and tile bathrooms. Play in the back yard. Relax on the large screened porch.

Rooms / SqFt Information

Living Area	Above Grade: 1329	Below Grade: 0	Total: 1329
Other Area	Above Grade: 200	Below Grade: 0	Total: 200
# Rooms: 8	Beds: 3	Full Baths: 2	Half Baths: 0

Living Area-Room Dim/L Levels

Entry Hall: 11x5 / Main	Office/Study:	Master BR: 15x11 / Main	Bedroom 5:
Living: 17x11 / Main	Kitchen: 13x10 / Main	Bedroom 2: 11x10 / Main	Utility: 6x7 / Main
Dining: 12x11 / Main	Breakfast:	Bedroom 3: 14x11 / Main	Bonus:
Family:		Bedroom 4:	

Other Area-Room Dim/Levels

Garage:	Storage: 12x9 / Main	Patio:	Scmd Porch: 22x10 / Main
Carport: 18x14/MAIN	Porch: 22x10 / Main	Deck:	

General Information

Lot Dim: 140x95x140x95	Framed:	Lot #: 0	Appx Acres: 0.30	Foundation: Crawl	Zoning: Res
New Construction: No		Est Fin Date:		Restrictive Covenants: N	
Builders Name:				HUD Compliant Senior Housing:	Primary Residence:
HOA Mgmt:				Ownership:	Total HOA Dues: \$ 0

Financing and Taxes

Tax Value: \$179,963	Tax Rate: 0.0000	TMBK/PAR/LT or Deed Page: DB808 PG561
Financial Comments:		Pin #: 974111650576
Legal Desc: DB808PG561		

Features

Design: One Story  
 Property Type: Detached  
 Construction Type: Site built (Stick)  
 Acres: 26.5 Acres  
 Exterior: All Brick Veneer  
 Finish:  
 Roof: Shingle  
 A/C: Central Air  
 Fuel-Heat: Oil  
 Fireplace: None  
 Desc:  
 Lot Desc: Road Frontage  
 Fees: None Known  
 Include:  
 Assumption: No Assumption  
 Other: Enclosed Porch  
 Rooms:

Exterior: Brick Wall, Garden Area, Patio, Porch, Screen Porch  
 Features:  
 Style: Ranch  
 Basement  
 Desc:  
 Flooring: Carpet  
 Heating: Flr Furnace  
 Water Heater: Electric  
 Water/Sewer: City Water, Septic Tank  
 Parking: 2 Carport  
 Financing: New Needed  
 Dining: Breakfast Room  
 Washer/Dryer: 1st Floor  
 Lot:  
 Interior: Ceiling Fan, Garage Shop, Tub/Shower  
 Features:  
 Equip / Cooktop - Electric, Range Hood, Refrigerator  
 Accessibility: Level Flooring  
 Green  
 Green Certs:  
 Green Building HERS Rating: High Perform. Home:

Showing Instructions

Show Instruct: , Combo LB, Tenants, Notice Required, Occupied, See Remarks	Agent Phone: 919-533-9730	Agent Appt Ph: 919-595-8989
List Agent: R22971	Office Phone: 919-467-5111	
List Office: 2935 / Coldwell Banker Advantage	CoList Agent Ph:	CoList Appt Ph: 919-595-8989
Co List Agent:	Comm to Sub Agt: 3/ %/ N	LADOM: 339 CDOM: 339
Comm to Buy Agt: 3/ %/ N	Possession: ATC	PE: No
List Type: ER-Exclusive Right		

1902733 Closed Residential LP: \$ 175,000

Property Leased: N



**174 Hanks Street**

Pittsboro, NC 27312 (City limits of Pittsboro)  
 Media: 19 VT: No  
 Subdivision: Not in a Subdivision  
 Seller's Name: Zukosky

Yr Bilt: 1991  
 Nbrhd:

Area/Sub: 305/P  
 List Type: ER  
 SP: \$ 175,000  
 Closed Dt: 09/23/2013

**School Information**

Elementary 1: Chatham - Pittsboro  
 Middle 1: Chatham - Horton  
 High 1: Chatham - Northwood

Elementary 2:  
 Middle 2:  
 High 2:

Directions: From Chapel Hill, take 15-501 South approximately 16 miles to Pittsboro. In town, turn right onto Hank Street by the gas station. Cross over stop sign and house will be half a block on your right.

Remarks: Modern, comfortable, recently remodeled 3 bedroom one-story home in the heart of Pittsboro. Rock-maple floors, hand-built concrete counters, new windows throughout. Large lot set back from main road and protected by a grove of old trees. Quiet neighborhood next to downtown. Only 20 minutes to Chapel Hill/Carrboro. Faces the back garden of St. Barts Episcopal Church. Paved drive.

**Rooms / SqFt Information**

Living Area	Above Grade: 1310	Below Grade: 0	Total: 1310
Other Area	Above Grade: 81	Below Grade: 0	Total: 81
# Rooms: 7	Beds: 3	Full Baths: 2	Half Baths: 0

**Living Area-Room Dim/Levels**

Entry Hall:	Office/Study: 9x13 / Main	Master BR: 14x11 / Main	Bedroom 5:
Living: 15x13 / Main	Kitchen: 11x12 / Main	Bedroom 2: 13x10 / Main	Utility:
Dining: 8x12 / Main	Breakfast:	Bedroom 3: 9x10 / Main	Bonus:
Family:		Bedroom 4:	

**Other Area-Room Dim/Levels**

Garage:	Storage:	Patio:	Scnd Porch:
Carport:	Porch: 11x5 / Main	Deck: 12x10 / Main	

**General Information**

Lot Dim: 137x205x137x205	Lot #: 2	Appx Acres: 0.85	Foundation: crawl	Zoning:
New Construction: No	Framed:	Est Fin Date:	Restrictive Covenants: N	
Builder's Name:			HUD Compliant Senior Housing:	
HOA Mgmt:	HOA Fees 1: 50		Ownership: Year	Primary Residence: Y
	HOA Fees 2: 50			

**Financing and Taxes**

Tax Value: \$137,705	Tax Rate: 0.9990	TMBK/PAR/LT or Deed Page: Deed BK 1368 PG 1066
Financial Comments:		
Legal Desc: P1-6-41-2		Pin #: 9741-68-5004

**Features**

Design: One Story	Exterior Features:
Property Type: Detached	
Construction Type: Site built (Stick)	
Acres: .51-.75 Acres	Style: Traditional, Transitional
Exterior HrdBoard/Masonite Finish:	Basement Desc:
Roof: Shingle	
A/C: Central Air	Flooring: Tile, Hardwood
Fuel-Heat: Electric	Heating: Heat Pump
Fireplace: in Living Room, Masonry Desc:	Water Heater: Electric
Lot Desc: Hardwood Trees, Partial Cr, Road Frontage	Water/Sewer: City Water, Septic Tank
	Parking: Entry/Side, DW/Asphalt
Fees None	Financing: New Needed
Include:	Dining: Eat-in Kitchen
	Washer/Dryer: 1st Floor
Assumption: No Assumption	Loc:
Other:	Interior: Bath/Shower, Bookshelves, Solid Surface Counter Tops
Rooms:	Features:

Equip / Refrigerator, Dishwasher, Electric Range, Microwave

**Accessibility:**

Green  
 Green Certs:  
 Green Building HERS Ratings: High Perform. Home:

**Showing Instructions**

Show Instruct: Appointment Only, Combo LB, Occupied	Agent Phone: 919-444-1075	Agent Appt Ph: 919-595-8989
List Agent: PH/IGA/ Gary Phillips	Office Phone: 919-929-5858	
List Office: 3194 / Weaver Street Realty	CoList Agent Ph:	CoList Appt Ph:
Co List Agent:	Comm to Sub Agt: 0/ 1/2 N	LADOM: 24 CDOM: 24
Comm to Buy Agt: 2.5/ 1/2 N	Possession: NEG	PE: No
List Type: ER-Exclusive Right		



1904882      Closed      Residential      LP: \$ 115,000



Property Leased: N

Special Conditions: Estate

115 Hillcrest Drive

Pittsboro, NC 27312 (City limits of Pittsboro)

Media: 8      VT: No

Subdivision: Not in a Subdivision

Seller's Name: Estate of Betty K McKnight

Yr Blt: 1979

Nbrhd:

Area/Sub: 305/P

List Type: ER

SP: \$ 100,000

Closed Dt: 11/25/2013

**School Information**

Elementary 1: Chatham - Pittsboro

Elementary 2:

Middle 1: Chatham - Horton

Middle 2:

High 1: Chatham - Northwood

High 2:

Directions: from the courthouse circle head north on Hillsboro Rd, pass Chatham Marketplace, turn left onto Park to right onto Hillcrest. House on left.

Remarks: sweet easy to maintain one level home just minutes walk to Marketplace, downtown and the library. Terrific lot for gardening HVAC 2005. Priced to sell with no intention to repair by sellers. Flood insurance required by seller's lender as of August 2013. Flood certificate for your use- see docs for explanation. A great value!

**Rooms / SqFt Information**

Living Area	Above Grade: 1282	Below Grade: 0	Total: 1282
Other Area	Above Grade: 0	Below Grade: 0	Total: 0
# Rooms: 7	Beds: 3	Full Baths: 1	Half Baths: 1

Living Area-Room Dim/Levels

Entry Hall:	Office/Study:	Master BR: 13x11 / Main	Bedroom 5:
Living: 19x14 / Main	Kitchen: 13x11 / Main	Bedroom 2: 11x10 / Main	Utility: 6x9 / Main
Dining: 14x11 / Main	Breakfast:	Bedroom 3: 10x10 / Main	Bonus:
Family:		Bedroom 4:	

Other Area-Room Dim/Levels

Garage:	Storage:	Patio:	Scnd Porch:
Carport: 12x16/MAIN	Porch:	Deck: 16x8 / Main	

**General Information**

Lot Dim: 100x235x95x278	Lot #: 1	Appx Acres: 0.55	Foundation: crawl	Zoning:
New Construction: No	Framed:	Est Fin Date:	Restrictive Covenants: N	
Builder's Name:			HUD Compliant Senior Housing:	
HOA Mgmt:	HOA Fees 1: \$0		Ownership: Year	Primary Residence: N
	HOA Fees 2: \$0			

**Financing and Taxes**

Tax Value: \$129,894	Tax Rate: 0.9890	TWPK/PAR/LT or Deed Page: 1125/0541	Are oil/gas rights severed? No Representation
Financial Comments:		Pin #: 9742 19 60 1543	
Legal Desc: Pt-7-13A			

**Features**

Design: One Story	Exterior: Deck, Garden Area, Gutters
Property Type: Detached	Features:
Construction Type: Site built (Stick)	
Acres: .51-.75 Acres	Style: Ranch, Traditional
Exterior: Vinyl	Basement: None
Finish:	Desc:
Roof: Shingle	Flooring: Carpet, Vinyl
A/C: Central Air	Heating: Fir Furnace
Fuel-Heat: Natural Gas	Water Heater: Gas
Fireplace: None	Water/Sewer: City Sewer, City Water
Desc:	Parking: 1 Carport, Attached
Lot Desc: Hardwood Trees, Partial Cir, Road Frontage	Financing: New Needed
Fees: None Known	Dining: Kitchen/Dining Room
Include:	Washer/Dryer: 1st Floor, Utility Room
Assumption: No Assumption	Loc:
Other: Utility Room	Interior: Ceiling Fan
Rooms:	Features:

Equip / Gas Range

Accessibility:

Green

Green Certs:

Green Building HERS Rating:

High Perform. Home:

**Showing Instructions**

Show Instruct: Hours of Notice: 0, Vacant	Agent Phone: 919-923-3220	Agent Appt Ph: 919-595-8989
List Agent: CBARLO/ Louise Bamum	Office Phone: 919-923-5658	
List Office: 3194 / Weaver Street Realty	CoList Agent Ph:	CoList Appt Ph:
Co List Agent:	Comm to Sub Agt: 0/ 1/ N	LADOM: 57      CDOM: 57
Comm to Buy Agt: 3/ 1/ N	Possession: ATC	PE: No
List Type: ER-Exclusive Right		

1750643      Closed      Residential      LP: \$ 169,900



Property Leased: N

Special Conditions: Seller licensed real estate professional

**377 Old Graham Road**

Pittsboro, NC 27312

Media: 14    VT: No

Subdivision: Not in a Subdivision

Seller's Name: Harris

Yr Bilt: 1992

Nbrhd:

Area/Sub: 305C

List Type: ER

SP: \$ 160,000

Closed Dt: 11/30/2010

**School Information**

Elementary 1: Chatham - Pittsboro

Elementary 2:

Middle 1: Chatham - Horton

Middle 2:

High 1: Chatham - Northwood

High 2:

Directions: From Pittsboro Courthouse, take Hwy 64 W one mile, turn R onto Hwy 87 at AL's Diner, in round-about take 2nd exit(almost straight) onto Old Graham Road, first house on left past Community Family Medicine.

Remarks: Charming ranch within walking distance to Central Carolina Comm. College, Library & downtown. Nice open yard w/ area for garden. New flooring,paint (inside & ext),fridge,HVAC unit, DW, range, microwave. Absolutely move-in condition. Spacious LR and separate dining. 12x12 rear deck for grilling and entertaining. Easy access to RTP,Cary and Chapel Hill. Great value & opportunity!

**Rooms / SqFt Information**

Living Area	Above Grade: 1275	Below Grade: 0	Total: 1275
Other Area	Above Grade: 239	Below Grade: 0	Total: 239
# Rooms: 6	Beds: 3	Full Baths: 2	Half Baths: 0

**Living Area-Room Dim/Levels**

Entry Hall:	Office/Study:	Master BR:	Bedroom 5:
Living:	Kitchen: 10x10 / Main	Bedroom 2:	Utility:
Dining: 12x10 / Main	Breakfast:	Bedroom 3:	Bonus:
Family: 13x18 / Main		Bedroom 4:	

**Other Area-Room Dim/Levels**

Garage:	Storage:	Patio:	Scnd Porch:
Carport:	Porch: 5x19 / Main	Deck: 12x12 / Main	

**General Information**

Lot Dim: 141x209    see plat 91-216 Lot 2	Lot #: 2	Appx Acres: 0.68	Foundation: crawl	Zoning: res
New Construction: No    Framed:	Est Fin Date:		Restrictive Covenants: N	
Builders Name:			HUD Compliant Senior Housing:	
HOA Mgmt:			Ownership:	Primary Residence:
			Total HOA Dues: \$ 0	

**Financing and Taxes**

Tax Value: \$147,189	Tax Rate: 0.7220	TW/BK/PAR/LY or Deed Page: 6857
Financial Comments:		
Legal Desc: KB-60		Pin #: 9741-06-49-1149

**Features**

Design: One Story	Exterior: Deck, Gutters, Porch, Landscaped
Property Type: Detached	Features:
Construction Type: Site built (Stick)	
Acres: .51-.75 Acres	
Exterior: Cedar	
Finish:	
Roof: Shingle	Style: Ranch
A/C: Central Air	Basement
Fuel/Heat: Gas LP	Desc:
Fireplace	
Desc:	Flooring: Carpet, Laminate, Vinyl
Lot Desc: Open	Heating: Forced Air
	Water Heater: Electric
Fees: None Known	Water/Sewer: City Water, Septic Tank
Include:	Parking: DW/Gravel
	Financing: New Needed
Assumption: No Assumption	Dining: Separate Dining Room
Other	Washer/Dryer: 1st Floor, Closet
Rooms:	Loc:
	Interior: Attic Pull Down, Bath/Tub, Bath/Shower
	Features:

Equip / Dishwasher, Electric Range, Refrigerator, Microwave, Washer, Dryer

Accessibility:

Green

Green Certs:

Green Building HERS Rating:

High Perform. Home:

**Showing Instructions**

Show Instruct: , Combo LB	Agent Phone: 919-548-0210	Agent Appt Ph: 919-595-8989
List Agent: 27250 / David Harris	Office Phone: 919-542-2667	
List Office: 72115 / Carolina Southern Realty	CoList Agent Ph:	CoList Appt Ph:
Co List Agent:	Comm to Sub Agt: 0 / % / N	LADOM: 25    CDOM: 25
Comm to Buy Agt: 3.00 / % / N	Possession: ATC	PE: No
List Type: ER-Exclusive Right		

1871780 Closed Residential LP: \$ 114,000

Special Conditions: REO/Lender Owned



**265 Oakwood Drive**

Pittsboro, NC 27312 (City limits of: Pittsboro)  
 Media: 10 VT: No  
 Subdivision: Sherwood Forest  
 Seller's Name: Fannie Mae

Yr Bilt: 1974  
 Nbrhd:

Area/Sub: 305/P  
 List Type: ER  
 SP: \$ 113,000  
 Closed Dt: 03/19/2013

**School Information**

Elementary 1: Chatham - Pittsboro Elementary 2:  
 Middle 1: Chatham - Horton Middle 2:  
 High 1: Chatham - Northwood High 2:  
 Directions: From Hwy 15-501, go west on Park Drive, left on Oakwood Avenue, right on Oakwood Drive.

Remarks: 1 and a third acre lot in town. Brick ranch in an established neighborhood near Downtown Pittsboro. Property needs some updating but is priced accordingly. This property is approved for HomePath Renovation Mortgage Financing. Purchase this Fannie Mae HomePath property for as little as 3% down!

**Rooms / SqFt Information**

Living Area	Above Grade: 1219	Below Grade: 0	Total: 1219
Other Area	Above Grade: 0	Below Grade: 0	Total: 0
# Rooms: 6	Beds: 3	Full Baths: 2	Half Baths: 0
<b>Living Area-Room Dim/Levels</b>			
Entry Hall:	Office/Study:	Master BR:	Bedroom 5:
Living:	Kitchen:	Bedroom 2:	Utility:
Dining:	Breakfast:	Bedroom 3:	Bonus:
Family:		Bedroom 4:	
<b>Other Area-Room Dim/Levels</b>			
Garage:	Storage:	Patio:	Scnd Porch:
Carport:	Porch:	Deck:	

**General Information**

Lot Dim: 0	Lot #: 15	Appx Acres: 1.33	Foundation: Crawl	Zoning:
New Construction: No	Framed:	Est Fin Date:	Restrictive Covenants: N	HUD Compliant Senior Housing:
Builder's Name:			Ownership:	Primary Residence:
HOA Mgmt:	HOA Fees 1: \$0	HOA Fees 2: \$0		

**Financing and Taxes**

Tax Value: \$145,977	Tax Rate: 0.0000	TMBK/PAR/LY or Deed Page:
Financial Comments: Prequalification letter or proof of funds required for final acceptance.		
Legal Desc: PI-7-S-15	Pin #: 8087	

**Features**

Design: One Story	Exterior Features:
Property Type: Detached	
Construction Type: Site built (Stick)	
Acres: 1-2.9 Acres	
Exterior: Wood, Partial Brick	Style: Ranch
Finish:	Basement
Roof: Shingle	Desc:
A/C: Central Air	
Fuel-Heat: Electric	Flooring: Hardwood, Carpet, Tile
Fireplace	Heating: Forced Air
Desc:	Water Heater: Electric
Lot Desc:	Water/Sewer: City Sewer, City Water
Fees: None Known	Parking: 1 Carport
Include:	Financing: Cash, Conventional, FHA, VA
	Dining: Living/Dining Room
Assumption: No Assumption	Washer/Dryer: 1st Floor, Closet
Other Rooms:	Loc:
	Interior Features:
Equip /	
	Accessibility:
	Green
	Green Certs:
	Green Building HERS Rating:
	High Perform. Home:

**Showing Instructions**

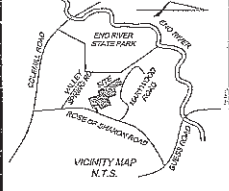
Show Instruct: , Combo LB, Vacant	Agent Phone: 919-313-4545	Agent Appt Ph: 919-595-8989
List Agent: R27746 / Antonio Hernandez	Office Phone: 919-313-4545	
List Office: 3044 / Rockwood Realty Inc.	CoList Agent Ph:	CoList Appt Ph:
Co List Agent:	Comm to Sub Agt: 0 / % / N	LADOM: 7 CDOM: 7
Comm to Buy Agt: 3 / % / N	Possession: ATC	PE: No
List Type: ER-Exclusive Right		

CURVE	RADIUS	ARC	DELTA	CHL BEARING	CHORD BEARING	CHORD	RANGING
C1	225.00	34.99	91.400°	N45°20'11"W	S52°27'12"E	132.72	234.64
C2	225.00	33.90	87.934°	S83°07'01"W	N73°27'11"E	131.77	146.83
C3	225.00	84.92	183.318°	S66°54'53"E	E64°20'15"W	64.20	155.58
C4	225.00	89.89	193.761°	S53°20'17"E	E59°27'30"W	59.27	130.19
C5	225.00	129.84	197.711°	S45°02'32"E	E50°49'27"W	50.49	102.19
C6	225.00	153.81	193.352°	S29°24'26"E	E56.64	50.58	82.23
C7	225.00	89.89	174.450°	S08°29'27"E	E64.52	33.23	66.46
C8	225.00	11.80	1310.98°	S83°56'40"W	N11.80	11.80	11.80
C9	175.00	278.98	81.400°	S44°49'11"E	E201.08	1320.17	1320.17
C10	175.00	39.20	153.328°	N01°19'26"W	S81.13	181.19	181.19
C11	175.00	174.92	150.000°	N33°56'49"W	S87.00	357.00	357.00
C12	175.00	47.67	225.973°	N75°31'50"W	E72.28	34.28	68.56
C13	175.00	108.63	224.533°	N01°16'26"W	S78.87	62.78	125.56
C14	175.00	70.35	200.077°	S03°04'00"W	E70.35	28.35	56.70
C15	175.00	34.69	414.04°	S05°31'06"E	E34.68	17.35	34.70
C16	125.00	116.14	172.403°	S01°07'24"E	E116.14	33.14	66.28
C17	125.00	151.89	133.944°	N02°54'44"W	S16.87	23.87	47.74
C18	125.00	64.25	730.752°	N01°33'24"E	E64.21	25.18	50.36

FILED  
 Plat Book 159 Page 198-202  
 Date 8/15/08 Title 1-D 2002  
 WILLE L. DOURNIN  
 REGISTERED SURVEYOR  
 REWAS COUNTY, NC

N/F R & K REAL ESTATE GROUP, LLC  
 DB 2322 PG 280  
 PB 28, PG 24

N/F THE ASSOCIATION FOR THE PRESERVATION  
 OF THE OLD RIVER VALLEY, INC.  
 DB 2425 PG 547  
 PB 113 PG 78



I, MARY J. CROPALLO, CERTIFY TO ONE OR MORE OF THE FOLLOWING:  
 THAT THIS SURVEY ORIGINATES A SUBDIVISION OF LAND WITHIN THE AREA OF A COUNTY OR MUNICIPALITY THAT HAS AN ORDINANCE THAT REGULATES THE DIVISION OF LAND.  
 I, MARY J. CROPALLO, PLS. NO. 14786, CERTIFY THAT THIS MAP WAS DRAWN FROM AN ACTUAL SURVEY MADE IN ACCORDANCE WITH THE PROVISIONS OF THE DEED DESCRIPTIONS AND PLATS FOR THIS PROPERTY OR MADE UNDER HERETOFORERESTATED REFERENCES THAT THE REFERENCES ARE CORRECTLY INDICATED IN A BROADENED LITIGATION AND ARE DRAWN FROM INFORMATION SOURCES LISTED UNDER REFERENCES THAT THE DATE OF PREPARATION IS CALCULATED TO BE 100% OR GREATER, THAT THIS MAP WAS PREPARED IN ACCORDANCE WITH G.S. 42-18-02 AS AMENDED, WITNESSED BY ORIGINAL SIGNATURE HEREON, WITNESSED BY ME, MARY J. CROPALLO, SURVEYOR, THIS 21ST DAY OF AUGUST, 2008.



MARY J. CROPALLO  
 PROFESSIONAL LAND SURVEYOR NO. 1-4189

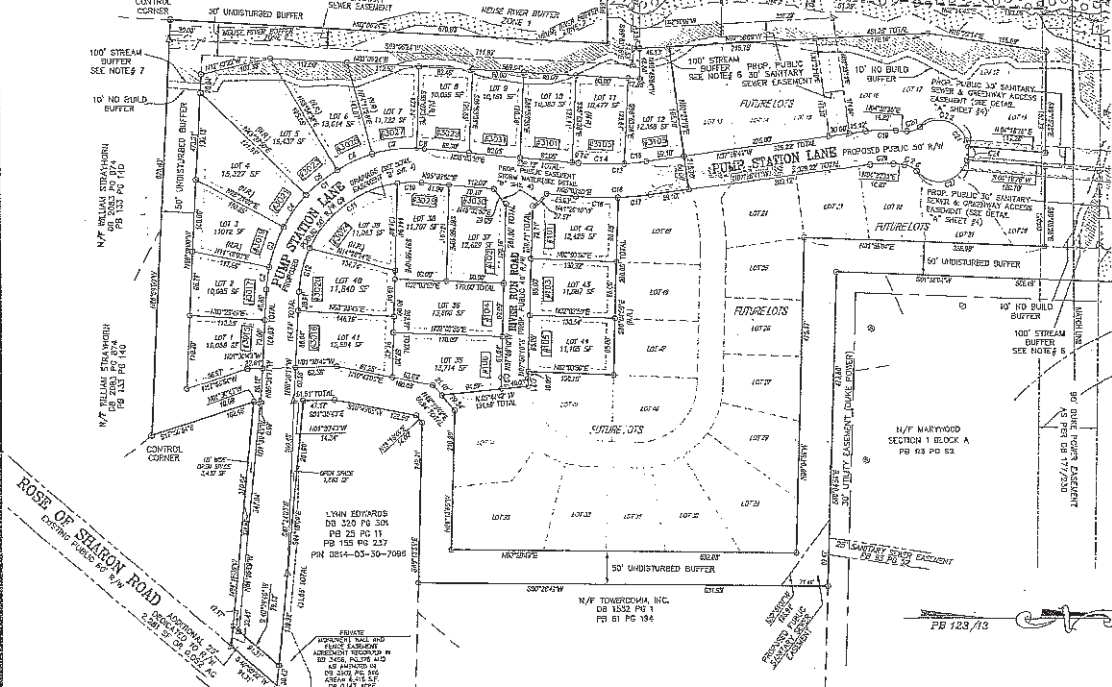
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REFERENCES  
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 DB 2116 PG 219 PB 143 PG 207  
 DB 189 PG 887 PB 94 PG 54  
 DB 2043 PG 817 PB 92 PG 52  
 DB 2043 PG 814 PB 91 PG 189  
 DB 1528 PG 1 PB 52 PG 23

OWNER'S ADDRESS:  
 BRANDYME ROSE, LLC  
 SUITE 207  
 921 MOREENE ROAD,  
 DURHAM, NC 27705

LEGEND:

○	CONTROL CORNER	OLD TAX MAP # 173-21-0038
○	EXISTING RECORD	NEW PARCEL ID # 1717000
○	IRON PIPE SET	PN 0514-03-20-7095
○	MATHEMATICAL POINT	DRWN BY: ES
○	NON-RADIAL	CHECKED BY: OSZ
○	STREET ADDRESS	



CURVE	RADIUS	ARC	DELTA	CHL BEARING	CHORD BEARING	CHORD	RANGING
C19	225.00	42.80	127.010°	N01°33'24"E	E42.81	13.21	26.42
C20	26.00	20.38	64.840°	N17°58'27"W	E18.86	10.74	21.48
C21	48.00	216.51	207.480°	S85°22'28"E	E51.17	26.16	52.32
C22	48.00	38.14	132.310°	N02°01'26"W	E38.14	15.49	30.98
C23	48.00	30.73	381.613°	N88°27'07"W	E30.16	15.08	30.16
C24	48.00	20.18	263.950°	S84°28'11"E	E20.00	10.00	20.00
C25	48.00	21.02	295.654°	N82°02'02"W	E21.33	10.67	21.33
C26	48.00	16.45	582.803°	N82°10'12"W	E16.35	8.18	16.35
C27	48.00	85.72	108.464°	S18°12'32"E	E73.64	31.90	63.80
C28	34.00	20.38	64.840°	S03°07'29"W	E18.86	10.74	21.48
C29	175.00	37.02	123.015°	S04°33'03"E	E36.85	18.58	37.16
C30	135.00	17.72	748.451°	N88°08'34"E	E17.20	8.67	17.34
C31	35.00	11.28	748.451°	N88°08'34"E	E11.28	5.14	10.28

REVISIONS

NO.	DATE	DESCRIPTION
1	8/15/08	FINAL PLAT

PHASE 1  
 RIVER'S EDGE SUBDIVISION

TOWNSHIP	COUNTY	STATE	DATE
DURHAM OUTSIDE	DURHAM	NORTH CAROLINA	8/15, 2008

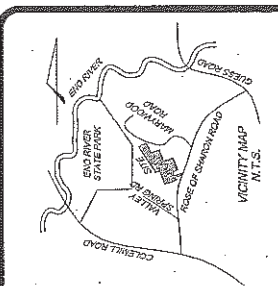
FINAL PLAT

SURVEYED by

MSS LAND CONSULTANTS  
 3540 HONEYEY DRIVE, Phone (919) 510-4454  
 SUITE 101, Fax (919) 510-9108  
 RALEIGH, NC 27619 Email: msc@msland.com  
 "Committed to Total Client Service"

CAD DRAWINGS / 2002-01-01 / RIVEREDGEPLAT.DWG

SHEET 2 OF 4

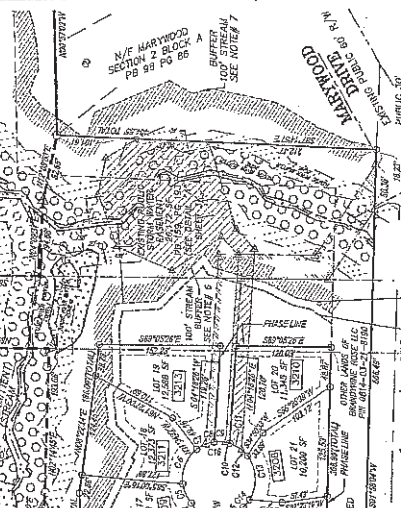
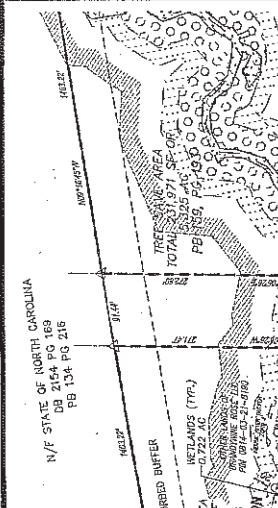


MARKET, CAROLINA PROFESSIONAL LAND SURVEYOR LIC. #11-4188

LEGEND: METLANDS, 30' HORSE RIVER BUFFER, 30' HOUSE RIVER BUFFER, 100' STREAM BUFFER

OWNERS ADDRESS: BRANDYWINE ROSE, LLC SUITE 207 921 MOREENE ROAD, DURHAM, NC. 27705

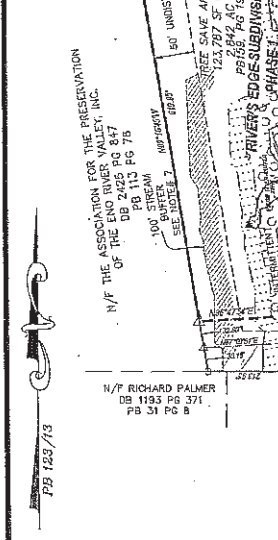
PHASE 2 RIVER'S EDGE SUBDIVISION



LEGEND: METLANDS, 30' HORSE RIVER BUFFER, 30' HOUSE RIVER BUFFER, 100' STREAM BUFFER

CASE # D04-673 FILED Page 1 of 6 Date: 11/12/13

FINAL PLAT PHASE 2 RIVER'S EDGE SUBDIVISION

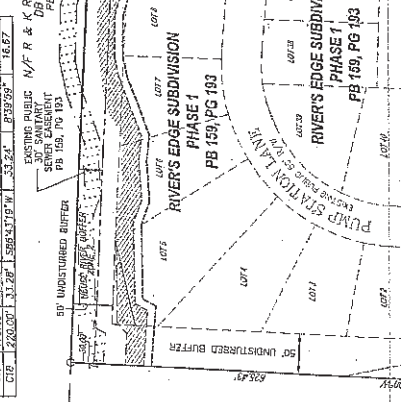


LEGEND: METLANDS, 30' HORSE RIVER BUFFER, 30' HOUSE RIVER BUFFER, 100' STREAM BUFFER

Table with columns: LINE, JUNCTION, LENGTH, AREA. Contains data for various line segments and junctions within the subdivision.

REVISIONS: 1. 12/17/13

CURVE TABLE with columns: CURVE, RADIUS, ARC, CH, BEARING, CHORD LENGTH, DELTA, TANGENT. Lists curve data for the subdivision.



LEGEND: METLANDS, 30' HORSE RIVER BUFFER, 30' HOUSE RIVER BUFFER, 100' STREAM BUFFER

OWNERS ADDRESS: BRANDYWINE ROSE, LLC SUITE 207 921 MOREENE ROAD, DURHAM, NC. 27705

PHASE 2 RIVER'S EDGE SUBDIVISION

PHOTOGRAPHS OF SUBJECT



River's Edge Subdivision



River's Edge Subdivision

PHOTOGRAPHS OF SUBJECT



River's Edge Subdivision



River's Edge Subdivision

PHOTOGRAPHS OF SUBJECT



River's Edge Subdivision

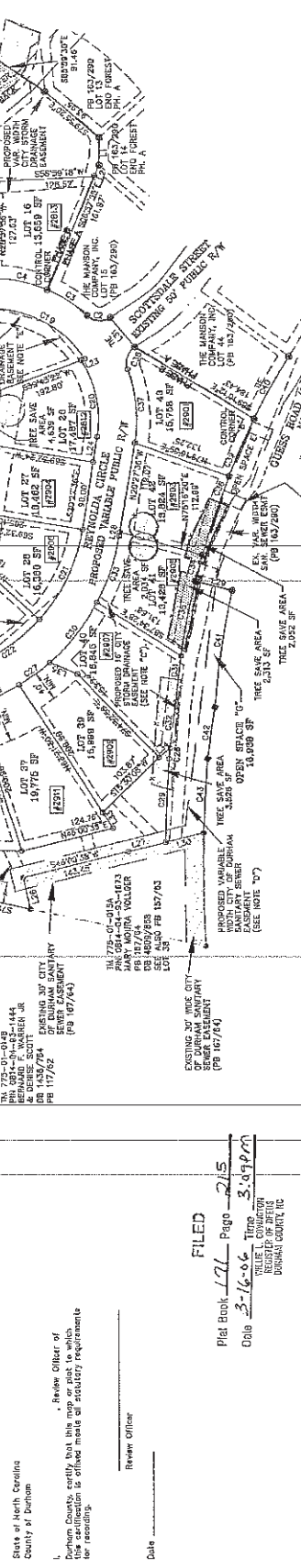


River's Edge Subdivision



LINE	BEARING	LENGTH	CHORD	DELTA	WARRANT
C1	S 88° 00' 00" W	24.00	24.00	0° 00' 00"	19.81
C2	S 88° 00' 00" W	24.00	24.00	0° 00' 00"	19.81
C3	S 88° 00' 00" W	24.00	24.00	0° 00' 00"	19.81
C4	S 88° 00' 00" W	24.00	24.00	0° 00' 00"	19.81
C5	S 88° 00' 00" W	24.00	24.00	0° 00' 00"	19.81
C6	S 88° 00' 00" W	24.00	24.00	0° 00' 00"	19.81
C7	S 88° 00' 00" W	24.00	24.00	0° 00' 00"	19.81
C8	S 88° 00' 00" W	24.00	24.00	0° 00' 00"	19.81
C9	S 88° 00' 00" W	24.00	24.00	0° 00' 00"	19.81
C10	S 88° 00' 00" W	24.00	24.00	0° 00' 00"	19.81
C11	S 88° 00' 00" W	24.00	24.00	0° 00' 00"	19.81
C12	S 88° 00' 00" W	24.00	24.00	0° 00' 00"	19.81
C13	S 88° 00' 00" W	24.00	24.00	0° 00' 00"	19.81
C14	S 88° 00' 00" W	24.00	24.00	0° 00' 00"	19.81
C15	S 88° 00' 00" W	24.00	24.00	0° 00' 00"	19.81
C16	S 88° 00' 00" W	24.00	24.00	0° 00' 00"	19.81
C17	S 88° 00' 00" W	24.00	24.00	0° 00' 00"	19.81
C18	S 88° 00' 00" W	24.00	24.00	0° 00' 00"	19.81
C19	S 88° 00' 00" W	24.00	24.00	0° 00' 00"	19.81
C20	S 88° 00' 00" W	24.00	24.00	0° 00' 00"	19.81
C21	S 88° 00' 00" W	24.00	24.00	0° 00' 00"	19.81
C22	S 88° 00' 00" W	24.00	24.00	0° 00' 00"	19.81
C23	S 88° 00' 00" W	24.00	24.00	0° 00' 00"	19.81
C24	S 88° 00' 00" W	24.00	24.00	0° 00' 00"	19.81
C25	S 88° 00' 00" W	24.00	24.00	0° 00' 00"	19.81
C26	S 88° 00' 00" W	24.00	24.00	0° 00' 00"	19.81
C27	S 88° 00' 00" W	24.00	24.00	0° 00' 00"	19.81
C28	S 88° 00' 00" W	24.00	24.00	0° 00' 00"	19.81
C29	S 88° 00' 00" W	24.00	24.00	0° 00' 00"	19.81
C30	S 88° 00' 00" W	24.00	24.00	0° 00' 00"	19.81
C31	S 88° 00' 00" W	24.00	24.00	0° 00' 00"	19.81
C32	S 88° 00' 00" W	24.00	24.00	0° 00' 00"	19.81
C33	S 88° 00' 00" W	24.00	24.00	0° 00' 00"	19.81
C34	S 88° 00' 00" W	24.00	24.00	0° 00' 00"	19.81
C35	S 88° 00' 00" W	24.00	24.00	0° 00' 00"	19.81
C36	S 88° 00' 00" W	24.00	24.00	0° 00' 00"	19.81
C37	S 88° 00' 00" W	24.00	24.00	0° 00' 00"	19.81
C38	S 88° 00' 00" W	24.00	24.00	0° 00' 00"	19.81
C39	S 88° 00' 00" W	24.00	24.00	0° 00' 00"	19.81
C40	S 88° 00' 00" W	24.00	24.00	0° 00' 00"	19.81
C41	S 88° 00' 00" W	24.00	24.00	0° 00' 00"	19.81
C42	S 88° 00' 00" W	24.00	24.00	0° 00' 00"	19.81
C43	S 88° 00' 00" W	24.00	24.00	0° 00' 00"	19.81
C44	S 88° 00' 00" W	24.00	24.00	0° 00' 00"	19.81
C45	S 88° 00' 00" W	24.00	24.00	0° 00' 00"	19.81
C46	S 88° 00' 00" W	24.00	24.00	0° 00' 00"	19.81
C47	S 88° 00' 00" W	24.00	24.00	0° 00' 00"	19.81
C48	S 88° 00' 00" W	24.00	24.00	0° 00' 00"	19.81
C49	S 88° 00' 00" W	24.00	24.00	0° 00' 00"	19.81
C50	S 88° 00' 00" W	24.00	24.00	0° 00' 00"	19.81

DATE TABLE: 06-20-06  
 DRAWING NAME: 00-200Final.dwg  
 SCALE: 1" = 100'  
 100' 0 100' 200'



**CITYCOUNTY APPROVAL STAMP**  
 CASE NUMBER: D05-873  
**FINAL PLAT**  
 approved by the Durham Development Review Board on: 2/15/06  
 Clerk, Development Review Board  
 approval void if not recorded within 90 days or by: 5/3/06

**SUMMIT**  
 Consulting Engineers  
 1000 Corporate Dr., Suite 101  
 Hillsborough, NC 27776-8251  
 Voice: (919) 732-5883 Fax: (919) 732-6675  
 www.summit-engineer.com  
 SHEET 2 OF 5

**ENO FOREST SUBDIVISION**  
 FINAL PLAT PHASE B  
 DURHAM OUTSIDE TWP., CITY OF DURHAM, DURHAM CO., NC

PROJECT # 00-200  
 DRAWING NAME 00-200Final.dwg  
 SCALE: 1" = 100'  
 100' 0 100' 200'

FILED  
 Plat Book 171 Page 215  
 Date 2-16-06 Time 3:04pm  
 WILLIE L. COMBS  
 COUNTY CLERK  
 DURHAM COUNTY, NC

NC GRID COORDINATES AND B3 CORNER GRID FACTOR 0.99999615  
 COUNTY CORNER "B"  
 N. 84421247  
 N. 85885208  
 E. 20281816  
 E. 2028531443

LEGEND:  
 ○ IRON ROD OR PIPE SET  
 ⊙ EXISTING MONUMENT  
 □ FOUND, IRON ROD OR DESCRIBED  
 △ MATHEMATICAL POINT; NO MONUMENT SET  
 □ UTILITY POLE  
 ■ EX. CONCRETE MONUMENT  
 - - - TREE PROTECTION FENCE

REVIEW OFFICER: \_\_\_\_\_  
 DATE: \_\_\_\_\_

PHOTOGRAPHS OF SUBJECT



Eno Forest



Eno Forest

# River's Edge



**LEGEND**

- Durham\_County
- Streams\_and\_Ditches
- DITCH
- RIVER
- STREAM
- UNKNOWN
- Highways
- Parcels
- Ortho\_2010

Tuesday, April 16 2013



# Eno Forest



**LEGEND**

- Durham\_County
- Streams\_and\_Ditches
  - DITCH
  - RIVER
  - STREAM
  - UNKNOWN
- Highways
- Parcels
- Ortho\_2010

Tuesday, April 16 2013



Site Parcel - 43.72 acres tract

Chatham County Tax Record Application - REAL AND PERSONAL PRO... Page 1

THIS IS A GENERATED TAX BILL, NOT THE ORIGINAL! - FOR DISPLAY PURPOSES ONLY

CHATHAM COUNTY TAX COLLECTOR  
PO BOX 697  
PITTSBORO, NC 27312107

CHATHAM COUNTY - PROPERTY TAX NOTICE  
IMPORTANT - PLEASE READ

- **PROPERTY SOLD** - If you have sold the real property assessed to you please forward this tax notice to the new owner.
- **DUE DATE** - Property taxes are due and payable Sept. 1 and delinquent if not paid by Jan. 5.
- **FAILURE TO PAY** - Delinquent taxes are subject to garnishment of wages, levy on personal property and foreclosure proceeding AFTER Jan. 5.
- **INTEREST** - Accrues at the rate of 2% for January & 3/4 of 1% each following month.
- **INSTALLMENTS** - For your convenience, partial payments will be accepted. Account must be paid in full by Jan. 5.
- **CREDIT CARD PAYMENTS** - VISA, Mastercard and Discover payment accepted by calling 1-866-802-2699 or 919-277-2230. A transaction fee will be charged.
- **ESCROW/ MORTGAGE ACCOUNTS** - The property owner is responsible for ensuring full payment of this obligation. If you have an escrow account with a loan institution, taxes should be paid by them & their tax service agent. You may wish to verify your payment date with your loan institution.

ROGERS HAROLD L  
1296 WHITE SMITH RD  
PITTSBORO, NC 27312

YEAR	ACCOUNT NUMBER	PARCEL ID	BILL NUMBER	DUE DATE
2013	22928	0010519	1867660	1-06-2014

DESCRIPTION OF PROPERTY	ASSESSED	VALUE
WHITE SMITH RD	\$120.37	17,4
Taxable Real Property Value		17,435
Total Taxable Value		17,435

YEAR	ACCOUNT NUMBER	PARCEL ID	BILL NUMBER	DUE DATE	AMOUNT PA
2013	22928	0010519	1867660	1-06-2014	\$ 120.37
<b>TOTAL DUE</b>					<b>\$ 0.00</b>



Print this Bill



Close Window

Access Parcel - Small triangular parcel that access crosses (0.16 acres)

Chatham County Tax Record Application - REAL AND PERSONAL PRO... Page 1

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ROGERS HAROLD L  
1296 WHITE SMITH RD  
PITTSBORO, NC 27312

account with a loan institution. Taxes should be paid by them or the tax service agent. You may wish to verify your payment date with your loan institution.

YEAR	ACCOUNT NUMBER	PARCEL ID	BILL NUMBER	DUE DATE
2013	22928	0069108	1867681	1-06-2014

DESCRIPTION OF PROPERTY	ASSESSED	VALUE
WHITE SMITH RD	\$5.53	800
Taxable Real Property Value		800
Total Taxable Value		800

YEAR	ACCOUNT NUMBER	PARCEL ID	BILL NUMBER	DUE DATE	AMOUNT PAID
2013	22928	0069108	1867681	1-06-2014	\$ 5.53
<b>TOTAL DUE</b>					<b>\$ 0.00</b>

1 of 1



1

2

3

1  
of  
2



135



of 1



## Site Acquisition Request Form (SARF) for AT&T Mobility Carolinas

AT&T Issue Date:	November 01, 2012
AT&T Site Name:	368-512
Oracle Project Number:	2301509987
FA Location Number:	10116311
City:	Pittsboro
County:	Chatham
State:	North Carolina
Zip Code:	27312
Site Type:	Greenfield
Due Date for Candidate Sites:	December 01, 2012

---

### Cell Site Requirements:

Approximate Latitude:	N 35.781915
Approximate Longitude:	W -79.309613
Approximate Ground Elevation:	944 feet AMSL
Approximate Antenna Centerline:	300 feet AGL
Approximate Total Height:	1244 feet AMSL
Search area Radius:	0.3 miles

### Cell Site Objectives

The attached maps represent the search area for cell site, **368-512**. This new coverage site is required to provide connecting coverage into the Greensboro market along Highway 87 north of Pittsboro.

AT&T Classification: Coverage / Densification / Executive Request / Non-overlap / BIC Parity.  
October 2012 PAL4.

For a candidate site to be considered suitable, the total height specification must be able to be met.

### Comments

SARF revision 1.

Jerry O. Jones

David J. LaCava

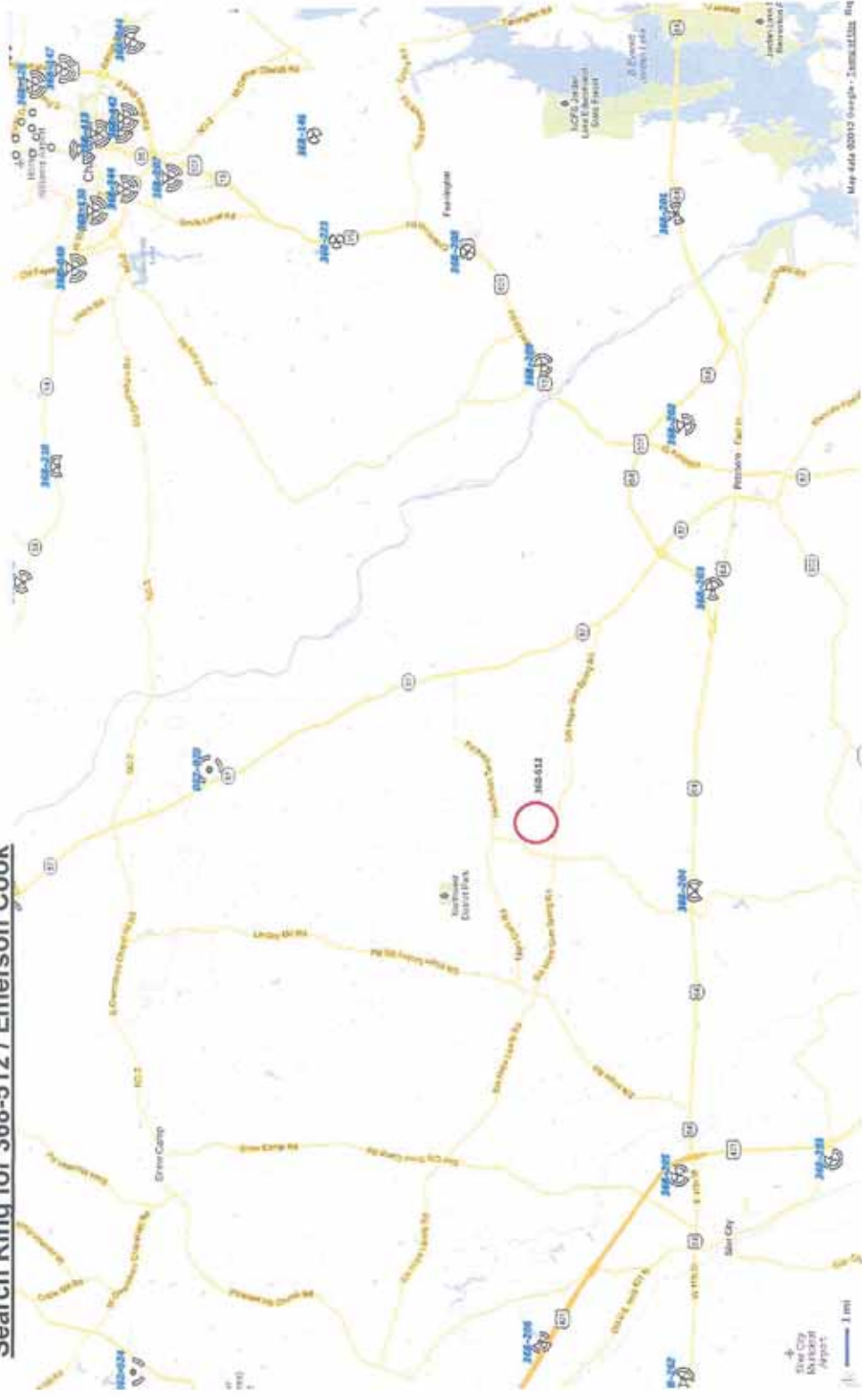
RF Manager: \_\_\_\_\_

RF Engineer: \_\_\_\_\_

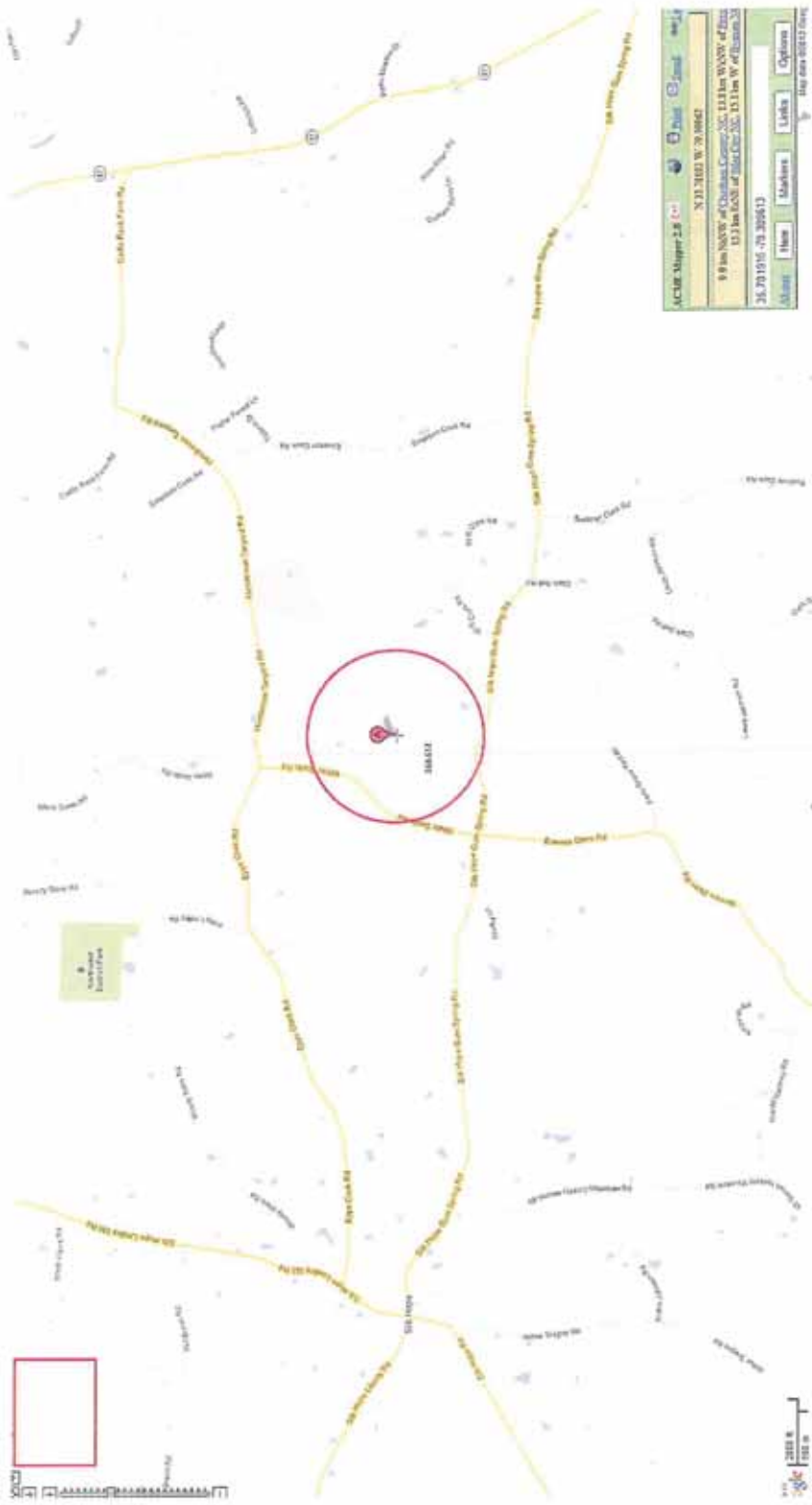
Attachments: (1) Area map with surrounding sites.  
(2) Zoomed street map with search ring.  
(3) Zoomed Satellite view with search ring.



Search Ring for 368-512 / Emerson Cook

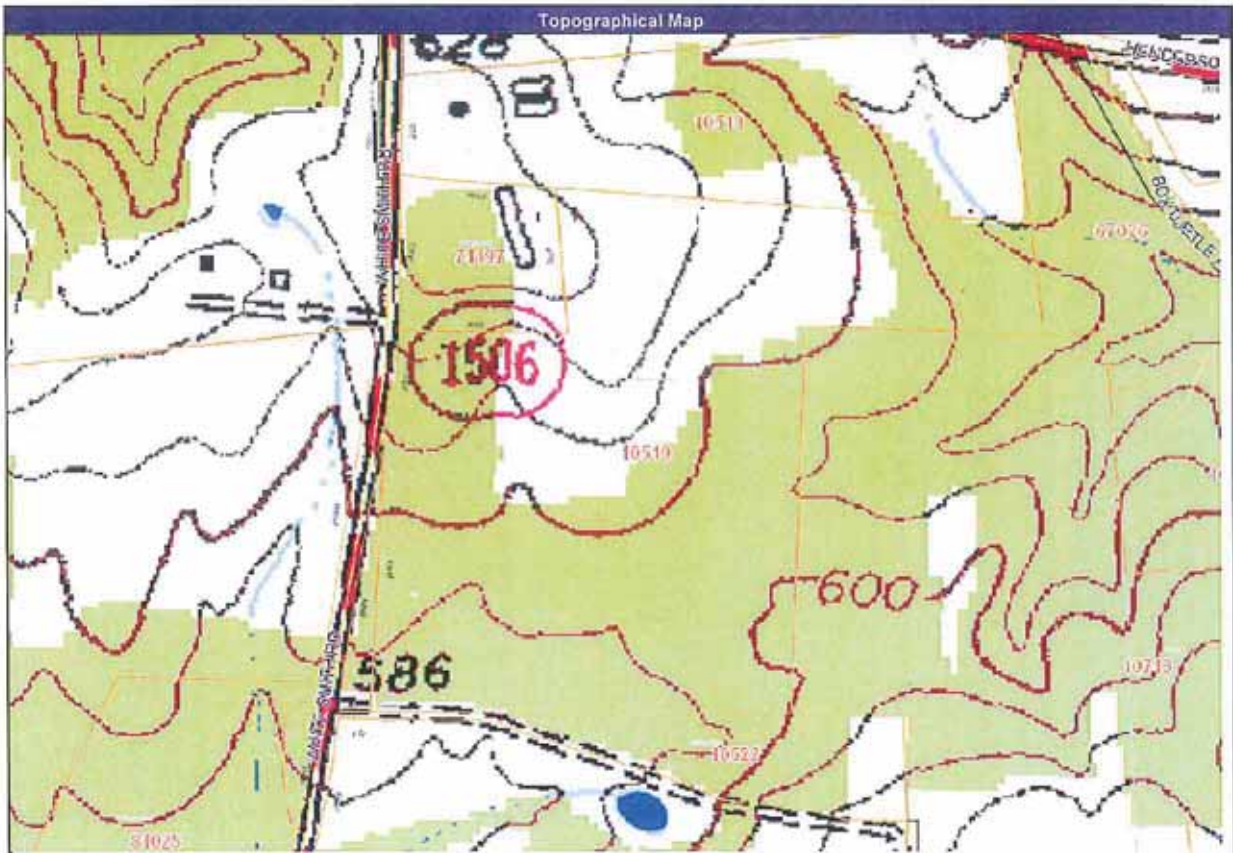


ZOOMED MAP FOR 368-512



ZOOMED SATELLITE MAP FOR 368-512

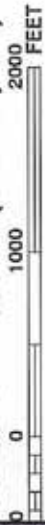






GRID NORTH

SCALE 1" = 1000' (1 : 12,000)



NFIP

PANEL 9704J

# FIRM FLOOD INSURANCE RATE MAP NORTH CAROLINA

PANEL 9704

(SEE LOCATOR DIAGRAM ON MAP INDEX FOR FIRM  
PANEL LAYOUT)

CONTAINS

COMMUNITY

CHATHAM COUNTY

CD No. 37029 PANEL 9704  
SUFFIX J

Note to User: The Map Number shown below should be used  
when placing map orders. The Community Number shown  
above should be used on insurance applications for the subject  
premises.

EFFECTIVE DATE  
FEBRUARY 2, 2007

MAP NUMBER  
3710970400J



State of North Carolina  
Federal Emergency Management Agency

NATIONAL FLOOD INSURANCE PROGRAM

This is an official copy of a portion of the above referenced flood map. It  
was extracted using F-MIT On-Line. This map does not reflect changes  
or amendments which may have been made subsequent to the date on the  
title block. For the latest product information about National Flood Insurance  
Program flood maps check the FEMA Flood Map Store at [www.msc.fema.gov](http://www.msc.fema.gov)

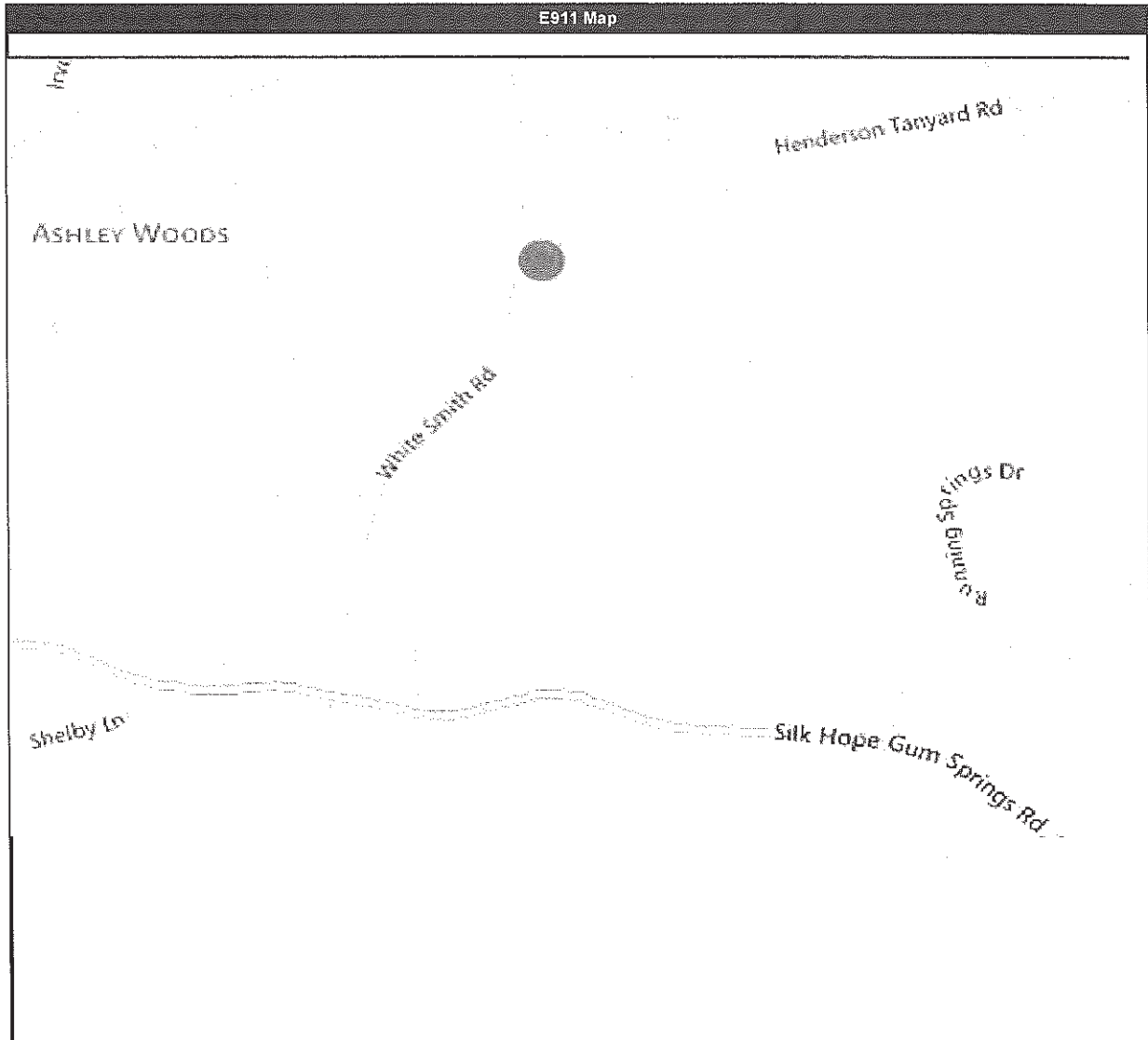


1 905 000 FEET

652 000 M

JOINS PANEL 9702

E911 Map



**Trisha Butler**

---

**From:** Jill House [<mailto:Jill.House@AmericanTower.com>]  
**Sent:** Thursday, April 03, 2014 10:22 AM  
**To:** Trisha Butler  
**Cc:** Karen Kemerait; ROSSATO, TARA; Josh Staab  
**Subject:** RE: Application Requirements for Towers in Chatham County

**Construction Schedule**

Days from approval to grading and clearing (aka our construction start): **14 days from release of the BP**  
Estimated construction duration: **90 days for grading thru tower stack and landscaping/ fencing installation**  
Estimated submit for COO: **90 days from construction start**  
AT&T construction: **start 30 days from ATC COO and runs for 90 days**  
AT&T on air: **120 days from AT&T construction start**

*Jill W. House*  
Project Manager, Site Development Services  
American Tower Corporation  
3500 Regency Parkway, Suite 100  
Cary, NC 27518-7723  
919-466-5163 Desk  
919-349-5647 Mobile  
919-466-5415 Fax  
[jill.house@americantower.com](mailto:jill.house@americantower.com)



Federal Aviation Administration

<< OE/AAA

Form 7460-1 for ASN: 2014-ASO-3476-OE

**For information only.**  
 This proposal has not yet been studied. Study outcomes will be posted at a later date.  
 Public comments are not requested, and will not be considered at this time.

**Overview**

Study (ASN): 2014-ASO-3476-OE  
 Prior Study:  
 Status: Work In Progress

Received Date: 03/12/2014  
 Entered Date: 03/12/2014  
 Map: [View Map](#)

**Construction Info**

Notice Of: CONSTR  
 Duration: PERM (Months: 0 Days: 0)  
 Work Schedule:

**Structure Summary**

Structure Type: Antenna Tower  
 Structure Name: 282296 - Gum Spring NC  
 FCC Number:

**Structure Details**

Latitude (NAD 83): 35° 47' 21.95" N  
 Longitude (NAD 83): 79° 18' 43.83" W  
 Datum: NAD 83  
 City: Pittsboro  
 State: NC  
 Nearest County: Chatham

**Height and Elevation**

Site Elevation:	Proposed 602
Structure Height:	315
Total Height (AMSL):	917

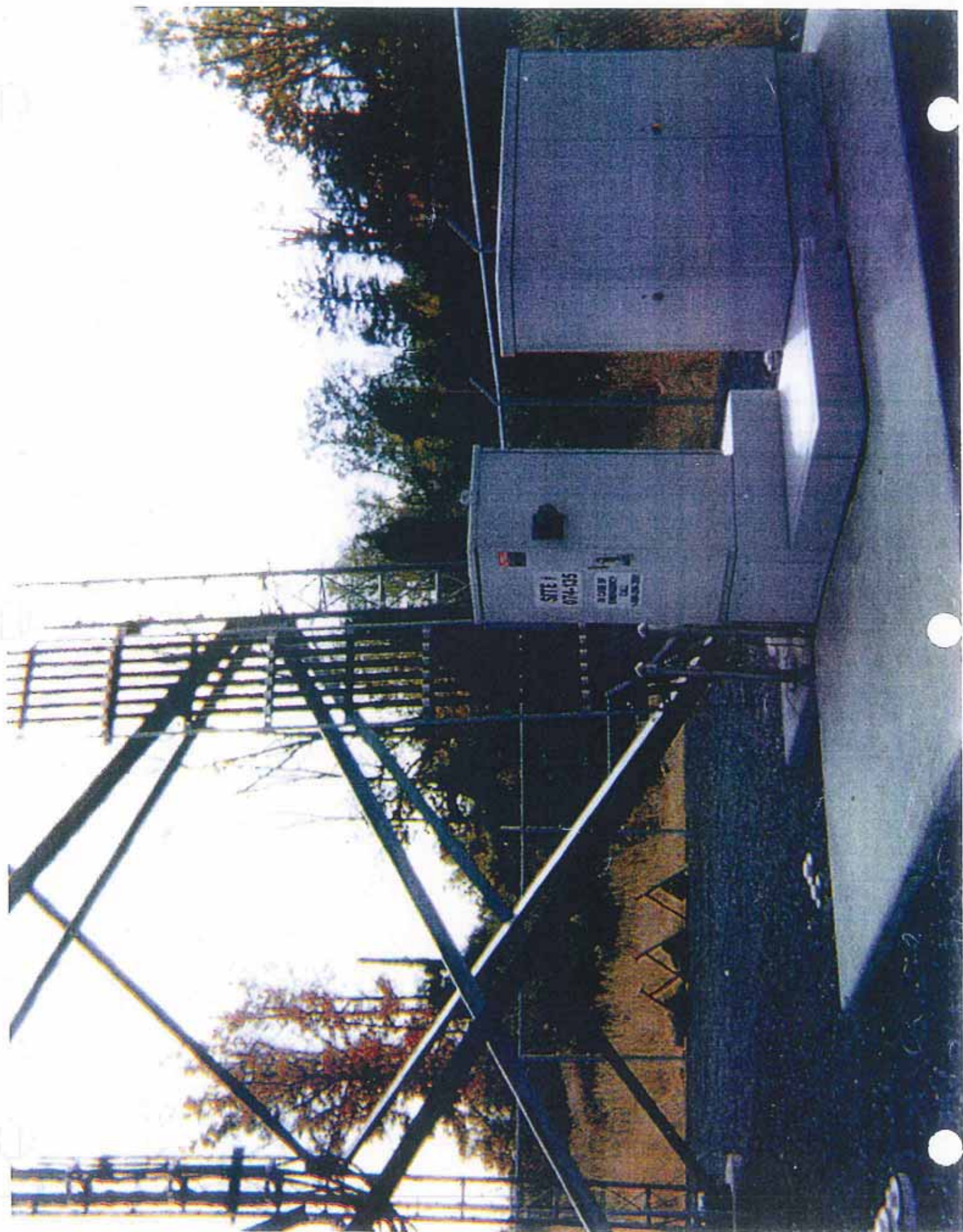
**Frequencies**

Low Freq	High Freq	Unit	ERP	Unit
698	806	MHz	1000	W
806	824	MHz	500	W
824	849	MHz	500	W
851	866	MHz	500	W
869	894	MHz	500	W
896	901	MHz	500	W
901	902	MHz	7	W
930	931	MHz	3500	W
931	932	MHz	3500	W
932	932.5	MHz	17	dBW
935	940	MHz	1000	W
940	941	MHz	3500	W
1850	1910	MHz	1640	W
1930	1990	MHz	1640	W
2305	2310	MHz	2000	W
2345	2360	MHz	2000	W



## Typical Equipment Cabinets

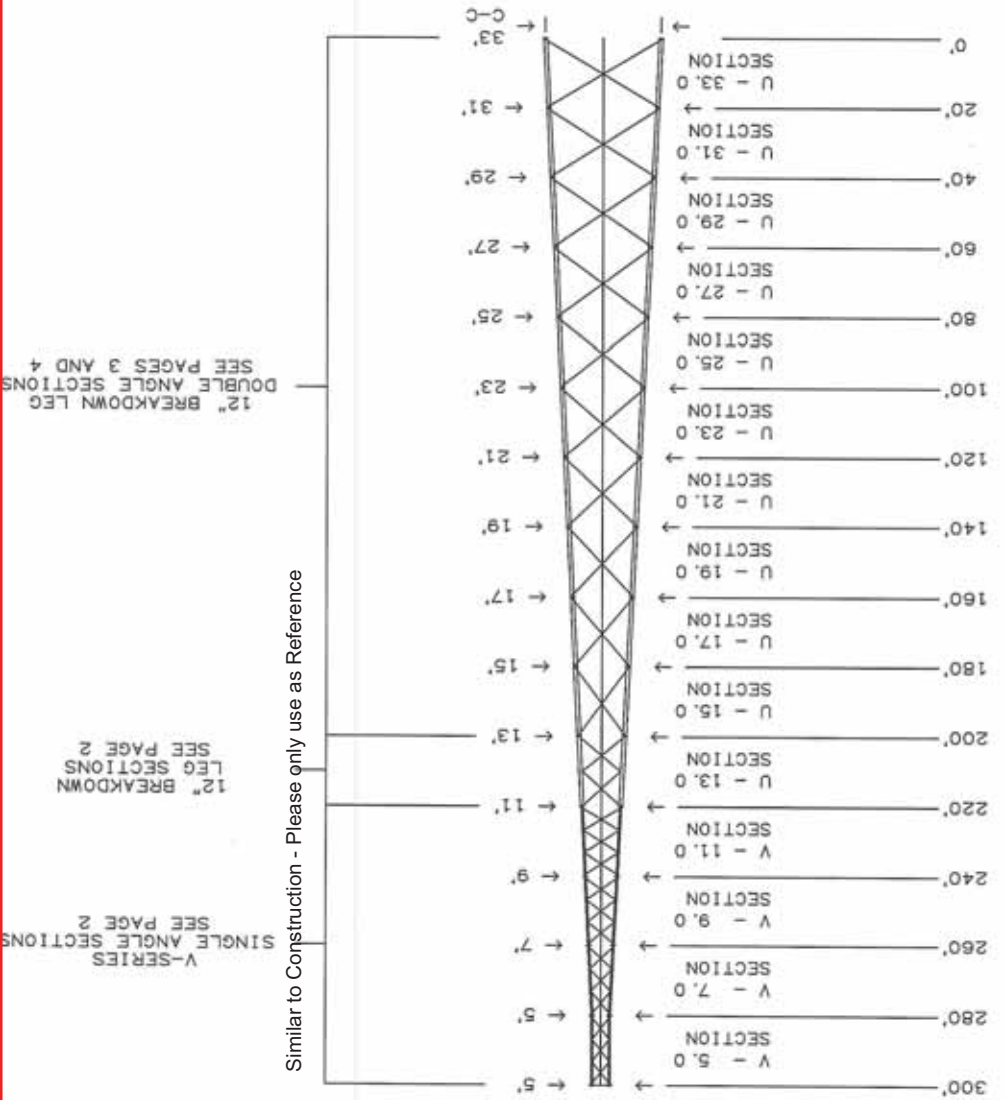




C UPDATE TITLE BLOCK		SKK	12/10/2013	
B DESIGNED CHANGED FROM GUY TOWER		SKK	12/10/2013	
A Changed to Revision BA		MVC	10/16/2013	
REV	DESCRIPTION OF REVISIONS	INI	DATE	APPROVED/FOUND
				N/A
				SKK 12/10/2013
VALMONT STRUCTURES IS A DIVISION OF VALMONT INDUSTRIES, INC.		DRAWN BY SKK		
PROVIDED BY VALMONT INDUSTRIES, INC.		COPYRIGHT 2013		
DRAWING NO. 250764		ENG. FILE NO. A-233278-		
PAGE 1 OF 7		F-1015641 ARCHIVE		

AMERICAN TOWER CORP. #280868 TAYLOR GUM, NC V-33.0 X 300' NORTH CAROLINA C. O. A. F-1022

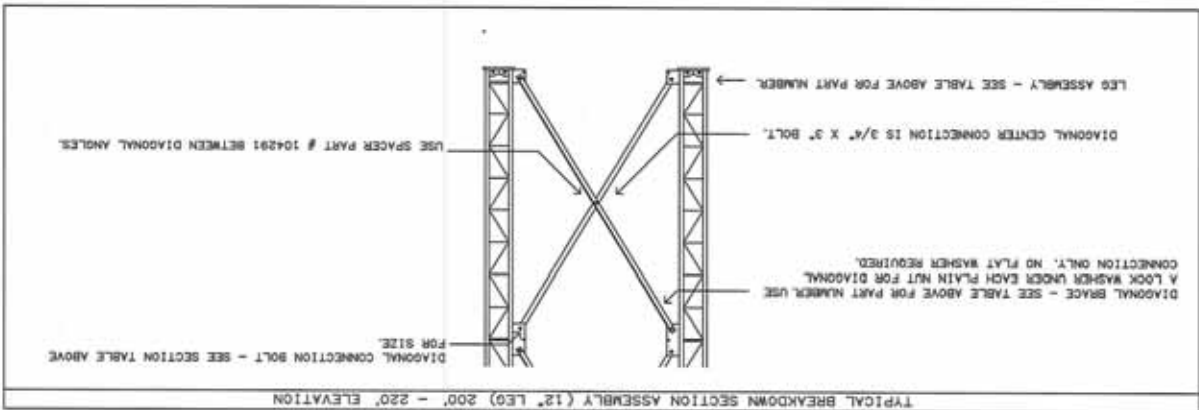
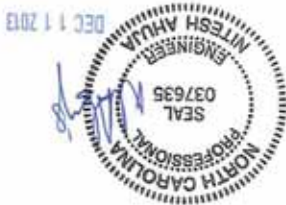
\*\*\*\*\* American Tower Note: This Tower Design will be similar to Construction - Please only use current page and subsequent pages for Reference. \*\*\*\*\*



Similar to Construction - Please only use as Reference

\*\*\*\*\* American Tower Note: This Tower Design will be similar to Construction - Please only use current page and subsequent pages for Reference \*\*\*\*\*

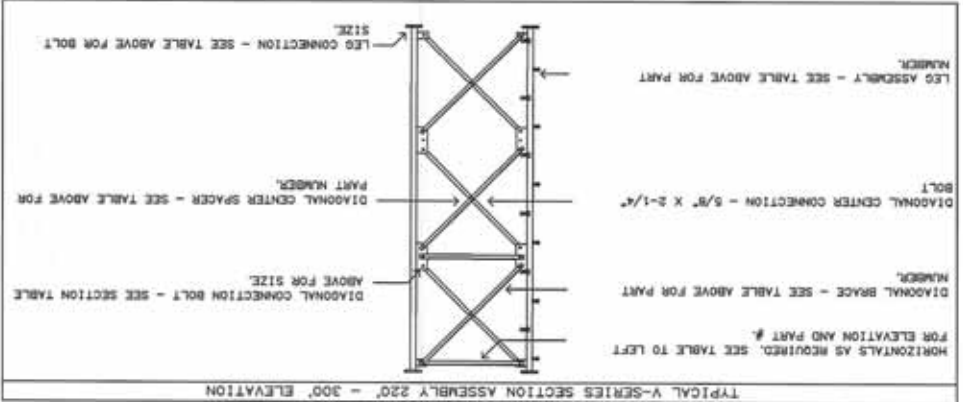
From F1015641.DWG - 12/10/2013 15:03 Provided by VALMONT INDUSTRIES, INC. VALMONT STRUCTURES IS A DIVISION OF VALMONT INDUSTRIES, INC.		ENG. FILE NO. A-233278- F-1015641 ARCHIVE	DRAWING NO. 250764 PAGE 2 OF 7
REV A B C	DESCRIPTION OF REVISIONS Changed to Revision 0A DESIGNED CHANGED FROM GUY TOWER UPDATE TITLE BLOCK	DATE 10/16/2013 12/10/2013 12/10/2013	APPROVED/ENG. SKK SKK SKK
NORTH CAROLINA C. O. A. F-1022 V-33.0 X 300 #280868 TAYLOR GUM, NC AMERICAN TOWER CORP.		APPROVED/FOUND N/A COPY RIGHT 2013 DRAWN BY SKK	



BREAKDOWN SECTION DATA (12' LEG) 200' - 220' ELEVATION

SEC	SECTION LEG	LEG TOP DIAGONAL PART#	DIAGONAL ANGLE	SECTION LEG CONNECT	DIAG CONNECT
U-13.0	20'	1-3/4"	229686	109374	109376
					3/16"
					1"
					2-1/4"

\* THE WEIGHTS LISTED ARE THEORETICAL. THE ACTUAL WEIGHTS WILL VARY. ALL WEIGHTS SHOULD BE CONFIRMED IN THE FIELD PRIOR TO ERECTION.  
 + USE 1 FLAT WASHER UNDER EACH LOCK WASHER FOR LEG CONNECTION ONLY.



HORIZONTAL DATA

HORIZ IN	HORIZ PART#	V-5.0	V-5.0 227584
300			

V-SERIES LEG SECTION DATA 220' - 300' ELEVATION

SECTION	#	LENGTH	WEIGHT	SIZE	LEG		DIAGONAL BRACE										
					CLIMBING NON-CLIMB	CONNECT BOLT#	PART NUMBER **	ANGLE									
V-5.0	20'	1206#	4"	0.237	A572-50	1	226184	2	226185	3/4"	3-1/2"	227078	2"	1/8"	3/4"	2-1/4"	116467
V-7.0	20'	1609#	5"	0.258	A572-50	1	226200	2	226201	3/4"	3-1/2"	226190	2"	3/16"	3/4"	2-1/4"	116467
V-9.0	20'	1861#	5"	0.258	A572-50	3	226182			3/4"	3-1/2"	225035	2"	3/16"	3/4"	2-1/4"	116467
V-11.0	20'	2309#	6"	0.260	A572-50	3	229377			1"	4-3/4"	225038	2"	3/16"	3/4"	2-1/4"	116467

\*\* PARTS ARE NUMBERED BEGINNING AT THE TOP OF THE SECTION.  
 \* THE WEIGHTS LISTED ARE THEORETICAL. THE ACTUAL WEIGHTS WILL VARY. ALL WEIGHTS SHOULD BE CONFIRMED IN THE FIELD PRIOR TO ERECTION.  
 + AT BOTTOM OF SECTION

C UPDATE TITLE BLOCK SKK 12/10/2013 NORTH CAROLINA C. O. A. F-1022		B DESIGNED CHANGED FROM GUY TOWER SKK 12/10/2013 APPROVED/ENG. SKK 12/10/2013		VALMONT STRUCTURES IS A DIVISION OF VALMONT INDUSTRIES, INC. PROVIDED BY VALMONT INDUSTRIES, INC.	
REV DESCRIPTION OF REVISIONS DATE INIT		APPROVED/FOUND N/A APPROVED/ENG. SKK 12/10/2013		DRAWN BY SKK COPYRIGHT 2013	
DRAWING NO. 250764 PAGE 3 OF 7		ENG. FILE NO. A-233278- F-1015641 ARCHIVE		From F1015641.DWT - 12/10/2013 15:03 Printed from 250764.d3bc.dwg - 12/10/2013 15:06 @ 12/11/2013 07:30	

AMERICAN TOWER CORP.  
 #280868 TAYLOR GUM, NC  
 V-33.0 X 300



BREAKDOWN SECTION DIAGONAL DATA (12" LEG WITH DOUBLE ANGLES) 0' - 200' ELEVATION

#	MODEL	UPPER	LOWER	LONG	FACE	THICK	DIAM	LENGTH	DIAM	LENGTH	DIA	LENGTH	PART #	PART #
10	U-15.0	215272	215276	215257	3"	3/16"	7/8"	2-1/2"	5/8"	2-1/4"	211833	104291	5	
9	U-17.0	215280	215284	215361	3"	3/16"	7/8"	2-1/2"	5/8"	2-1/4"	211833	104291	6	
8	U-19.0	215288	215292	215364	3"	3/16"	7/8"	2-1/2"	5/8"	2-1/4"	211833	104291	7	
7	U-21.0	215296	215300	215369	3-1/2"	1/4"	7/8"	2-1/2"	5/8"	2-1/4"	211833	104291	8	
6	U-23.0	215304	215308	215373	3-1/2"	1/4"	7/8"	2-1/2"	5/8"	2-1/4"	211833	104291	8	
5	U-25.0	215312	215316	215377	3-1/2"	1/4"	7/8"	2-1/2"	5/8"	2-1/4"	211833	104291	8	
4	U-27.0	215320	215324	215380	3-1/2"	1/4"	7/8"	2-1/2"	5/8"	2-1/4"	211833	104291	8	
3	U-29.0	215327	215330	215383	3-1/2"	1/4"	7/8"	2-1/2"	5/8"	2-1/4"	211833	104291	8	
2	U-31.0	215333	215336	215386	3-1/2"	1/4"	7/8"	2-1/2"	5/8"	2-1/4"	211833	104291	9	
1	U-33.0	215340	215343	215390	4"	1/4"	7/8"	2-1/2"	5/8"	2-1/4"	211833	104291	9	

\* QUANTITY IS PER PANEL PER FACE. USE 1 LOCK WASHER UNDER EACH PLAIN NUT.

BREAKDOWN SECTION LEG DATA (12" LEG WITH DOUBLE ANGLES) 0' - 200' ELEVATION

#	MODEL	LENGTH	WEIGHT*	SIZE	PART #	DIA	LENGTH	#
10	U-15.0	20'	3953#	2	208332	1"	4-3/4"	12
9	U-17.0	20'	4615#	2-1/4"	208334	1"	4-3/4"	12
8	U-19.0	20'	4676#	2-1/4"	208334	1"	4-3/4"	12
7	U-21.0	20'	6016#	2-1/2"	208335	1"	4-3/4"	12
6	U-23.0	20'	6119#	2-1/2"	208335	1"	4-3/4"	12
5	U-25.0	20'	6228#	2-1/2"	208335	1"	4-3/4"	12
4	U-27.0	20'	7120#	2-3/4"	208337	1"	4-3/4"	12
3	U-29.0	20'	7236#	2-3/4"	208337	1"	4-3/4"	12
2	U-31.0	20'	8351#	3	208336	1-1/4"	5"	12
1	U-33.0	20'	8488#	3	208338			

\* THE WEIGHTS LISTED ARE THEORETICAL. THE ACTUAL WEIGHTS WILL VARY. ALL WEIGHTS SHOULD BE CONFIRMED IN THE FIELD PRIOR TO ERECTION.  
 + QTY IS PER LEG. USE 1 LOCK WASHER AND 1 FLAT WASHER UNDER EACH PLAIN NUT.

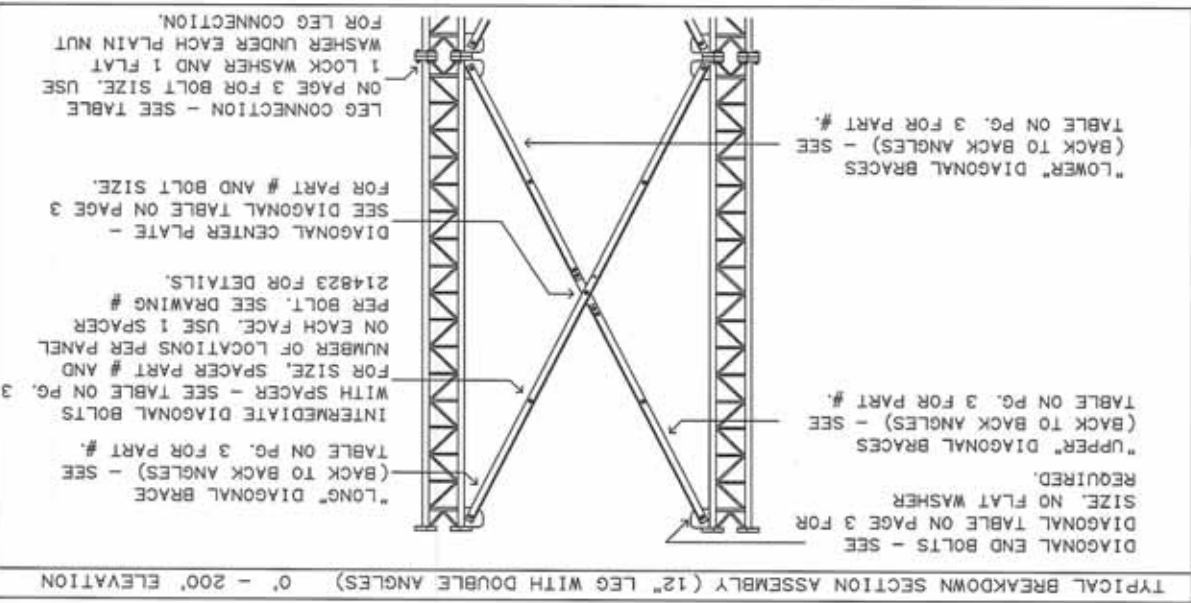
C) UPDATE TITLE BLOCK		SKK	12/10/2013	NORTH CAROLINA C. O. A. F-1022
B) DESIGNED CHANGED FROM GUY TOWER	SKK	12/10/2013	APPROVED/ENG.	12/10/2013
DESCRIPTION OF REVISIONS		INI	DATE	APPROVED/FOUND
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From F1015641.DWT - 12/10/2013 15:03		ENG. FILE NO. A-233278-		
Printed from 250764.dwt - 12/10/2013 15:06 @ 12/11/2013 07:30		ARCHIVE F-1015641		
PAGE		250764		
4 OF 7				

AMERICAN TOWER CORP.  
#280868 TAYLOR GUM, NC  
V-33.0 X 300'

Professional Seal: NITESH AHUJA, ENGINEER, NORTH CAROLINA, SEAL 037635, DEC 11 2013

ATTENTION ERECTOR:

- EXTRA CARE MUST BE TAKEN WHEN STANDING BREAKDOWN LEG SECTIONS FROM A FLAT "ASSEMBLY" POSITION ON THE GROUND TO AN UPRIGHT POSITION FOR STACKING. POOR RIGGING AND/OR LIFTING PROCEDURES MAY DAMAGE THE ANGLE BRACES AND/OR BREAKDOWN LEGS. IT IS THE RESPONSIBILITY OF THE TOWER CONTRACTOR TO ENSURE BREAKDOWN LEGS AND ANGLES ARE NOT DAMAGED DURING THE TOWER ASSEMBLY AND ERECTION.
- WHEN LIFTING ("FLYING"), SINGLE PANEL TOWER SECTIONS TO PLACE THEM ON PREVIOUSLY ERECTED SECTIONS, A MINIMUM OF TWO (2) FULL SECTIONS (TYPICALLY 40') MUST BE ASSEMBLED TOGETHER TO PROVIDE ADEQUATE STABILITY TO THE TOWER LEGS AND ANGLE BRACES. IT IS THE RESPONSIBILITY OF THE TOWER CONTRACTOR TO ENSURE BREAKDOWN LEGS AND ANGLES ARE NOT DAMAGED DURING THE TOWER ASSEMBLY AND ERECTION.



TYPICAL BREAKDOWN SECTION ASSEMBLY (12' LEG WITH DOUBLE ANGLES) 0' - 200' ELEVATION

C UPDATE TITLE BLOCK		SKK	12/10/2013	NORTH CAROLINA C. O. A. F-1022
B	DESIGNED CHANGED FROM DUY TOWER	SKK	12/10/2013	APPROVED/ENG.
REV	DESCRIPTION OF REVISIONS	INI	DATE	APPROVED/FOUND.
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Printed from 250764.dwg - 12/10/2013 15:06 @ 12/11/2013 07:30		ARCHIVE F-1015641		
DRAWING NO. 250764		PAGE 5 OF 7		

AMERICAN TOWER CORP.  
#280868 TAYLOR GUM, NC  
V-33.0 X 300

1. FOUNDATION DESIGN BY OTHERS.

FOUNDATION NOTES



1. TOWER DESIGN CONFORMS TO STANDARD T1A-222-0 UTILIZING AN 95 MPH 3-SEC GUST BASIC WIND SPEED WITH A STRUCTURE CLASS OF II. TOPOGRAPHIC CATEGORY OF I AND EXPOSURE B CRITERIA WITH NO ICE.

2. TOWER DESIGN CONFORMS TO STANDARD T1A-222-0 UTILIZING AN 30 MPH 3-SEC GUST BASIC WIND SPEED WITH A STRUCTURE CLASS OF II. TOPOGRAPHIC CATEGORY OF I AND EXPOSURE B CRITERIA WITH .75" RADIAL ICE.

3. NO TWIST AND SWAY LIMITATIONS SPECIFIED OR USED FOR THIS TOWER.

4. MATERIAL: (A) SOLID ROOF TO ASTMA A572 GRADE 50. (B) ANGLES TO ASTMA A449 (F<sub>y</sub>=120 KSI AND F<sub>y</sub>=92 KSI) AND ANCHOR BOLTS TO ASTMA A500 GRADE B. (C) STEEL PLATES TO ASTMA A36. (E) CONNECTION BOLTS TO ASTMA A325 OR ASTMA A449 (F<sub>y</sub>=120 KSI AND F<sub>y</sub>=92 KSI) AND ANCHOR BOLTS TO ASTMA A500 GRADE B/C WITH 50MSI MIN. YIELD STRENGTH.

5. BASE REACTIONS PER T1A-222-0 FOR 95 MPH BASIC WIND SPEED WITH NO ICE (REACTIONS INCLUDE T1A-222-0 LOAD FACTORS): TOTAL WEIGHT = 131.0 KIPS. MAXIMUM COMPRESSION = 742.0 KIPS PER LEG. MOMENT = 19969.0 KIP-FT. MAXIMUM UPLIFT = 647.0 KIPS PER LEG. MAXIMUM SHEAR = 112.0 KIPS TOTAL. MAXIMUM TENSION = 2108.0 KIP-FT. MAXIMUM SHEAR = 11.0 KIPS TOTAL.

6. FINISH ALL BOLTS AND ADVANCEMENT IN ACCORDANCE WITH ASTMA123 (NOT DIPPED) OR ASTMA B895 CLASS 50 (MECHANICAL). ALL OTHER STRUCTURAL MATERIALS ARE GALVANIZED IN ACCORDANCE WITH ASTMA123.

7. ANTEENAS: 300'-135 SO. FT. AREA WITH 3.000# WITH ICE/115 SO. FT. AREA WITH 2.000# NO ICE AND (18) 1-5/8" LINES. 290'-135 SO. FT. AREA WITH 3.000# WITH ICE/115 SO. FT. AREA WITH 2.000# NO ICE AND (18) 1-5/8" LINES. 280'-135 SO. FT. AREA WITH 3.000# WITH ICE/115 SO. FT. AREA WITH 2.000# NO ICE AND (18) 1-5/8" LINES. 270'-135 SO. FT. AREA WITH 3.000# WITH ICE/115 SO. FT. AREA WITH 2.000# NO ICE AND (18) 1-5/8" LINES. 260'-135 SO. FT. AREA WITH 3.000# WITH ICE/115 SO. FT. AREA WITH 2.000# NO ICE AND (18) 1-5/8" LINES. NOTE: (V) ELEVATIONS ARE TO THE BOTTOM OF THE ANTEENAS EXCEPT FOR MICROWAVE DISKS, WHICH ARE TO THE CENTERLINE. (B) ALL TRANSMISSION LINES MUST BE PLACED ON P100 SUPPLIED LINE BRACKETS.

8. REMOVE FOUNDATION TEMPLATE PRIOR TO ERECTING TOWER. INSTALL BASE SECTION WITH MINIMUM OF 2" CLEARANCE ABOVE CONCRETE. SEE BASE SECTION PLACEMENT PAGE FOR MORE INFORMATION. PACK NON-SHRINK STRUCTURAL GROUT UNDER BASE SECTION AFTER LEVELING TOWER.

9. WIND WELDS 5/16" UNLESS OTHERWISE SPECIFIED. ALL WELDING TO CONFORM TO AWS D1.1 SPECIFICATIONS.

10. THIS DRAWING DOES NOT INDICATE THE METHOD OF CONSTRUCTION. THE CONTRACTOR SHALL SUPERVISE AND DIRECT THE WORK AND HE SHALL BE SOLELY RESPONSIBLE FOR ALL CONSTRUCTION MEANS, SEQUENCES AND PROCEDURES.

11. ALL BOLTS AND NUTS MUST BE IN PLACE BEFORE THE ADJOINING SECTIONS ARE INSTALLED.

12. ALL STRUCTURAL BOLTS ARE TO BE TIGHTENED TO A SAWS TIGHT CONDITION AS DEFINED BY AISC SPECIFICATION UNLESS OTHERWISE NOTED.

13. ATTENTION TOWER ERECTOR: COAT ALL BOLT ASSEMBLIES THAT USE PIN LOCK NUTS WITH ZINC RICH COLD GALVANIZING COMPOUND AFTER FINAL TIGHTENING.

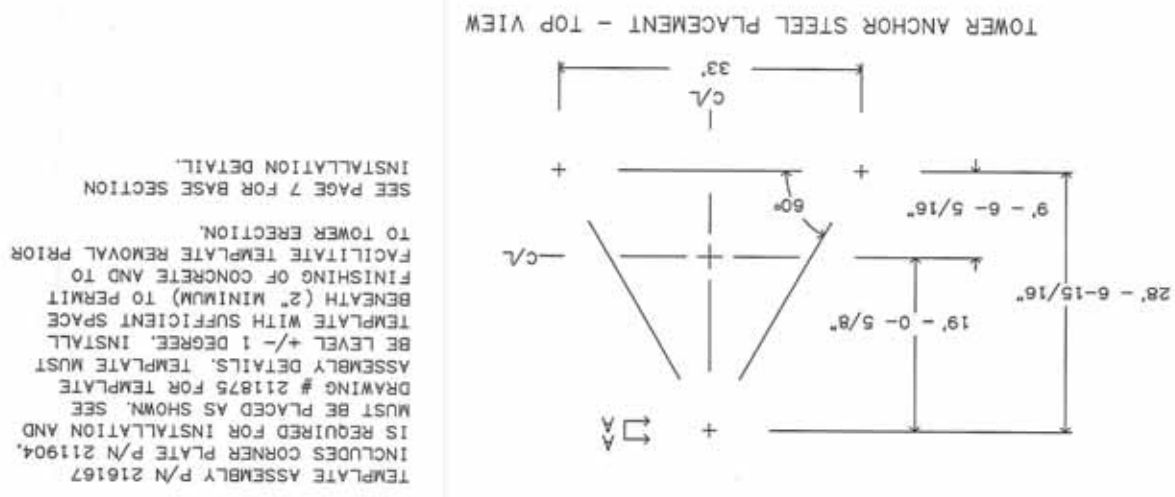
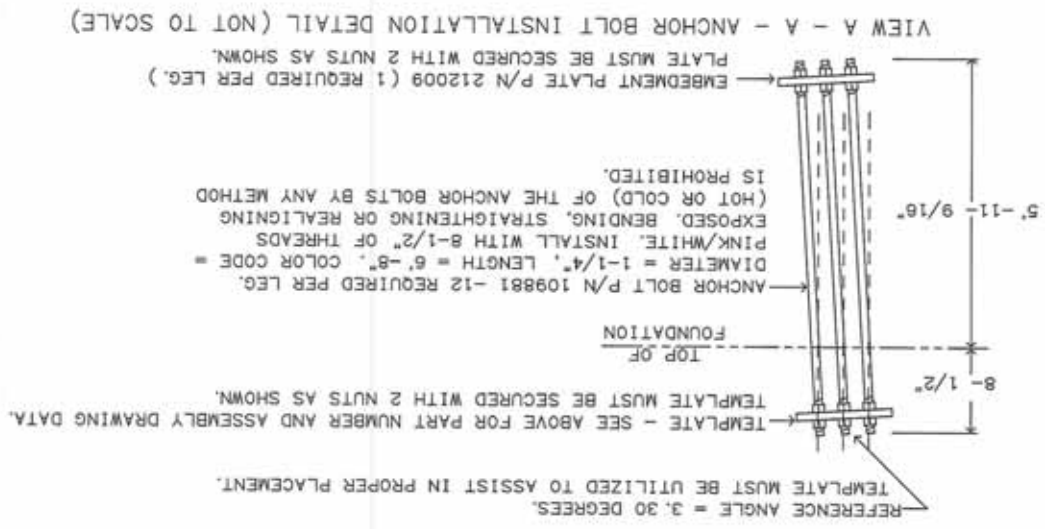
14. T1A-222-0 GROUNDING FOR TOWER.

C UPDATE TITLE BLOCK		SXK	12/10/2013	NORTH CAROLINA C. O. A. F-1022
B	DESIGNED CHANGED FROM GUY TOWER	SXK	12/10/2013	APPROVED/ENG.
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From P1015641.DWT - 12/10/2013 15:03				
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F-1015641				
PAGE 6 OF 7				

AMERICAN TOWER CORP.  
#280868 TAYLOR GUM, NC  
V-33.0 X 300

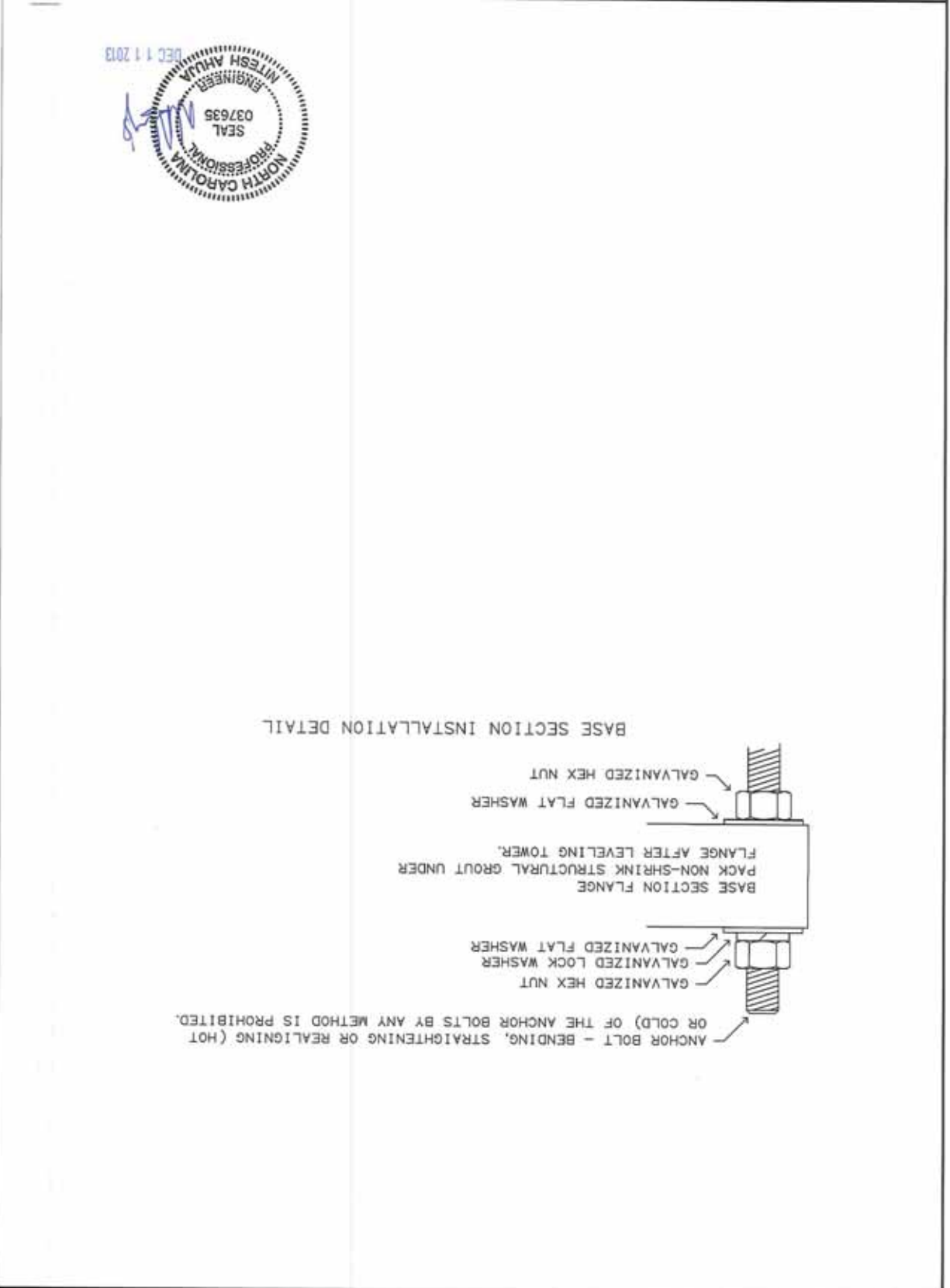


ATTENTION CONTRACTOR INSTALLING THE ANCHOR BOLTS!  
1-1/4" DIAMETER ANCHOR BOLTS FOR TAPERED TOWER.  
VERIFY THE PART NUMBERS AND SIZES FOR ALL COMPONENTS ON THIS PAGE AND PAGE 7.  
IF THERE ARE ANY DISCREPANCIES, PLEASE NOTIFY PIROD, INC. PRIOR TO INSTALLATION!





C UPDATE TITLE BLOCK		SKK	12/10/2013	NORTH CAROLINA C. O. A. F-1022
B DESIGNED CHANGED FROM DRY TOWER	SKK	12/10/2013	APPROVED/ENG.	SKK 12/10/2013
REV	DESCRIPTION OF REVISIONS	INI	DATE	APPROVED/FOUND.
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DRAWN BY SKK				
ENG. FILE NO. A-233278-				
PAGE 7 OF 7				



AMERICAN TOWER CORP.  
#280868 TAYLOR GUM, NC  
V-33.0 X 300

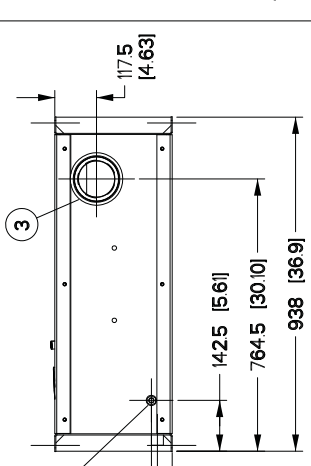
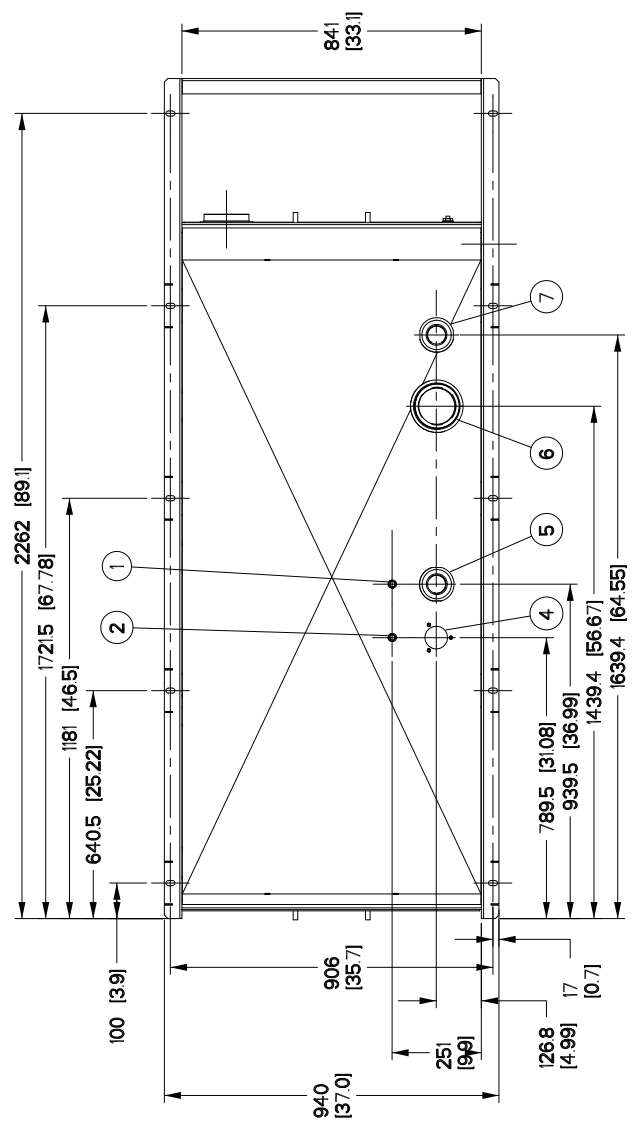


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From F1015641.DFT - 12/10/2013 15:03  
F-1015641

ITEM #	TANK FITTING	FUNCTION
1	3/8" NPT COUPLING	FUEL SUPPLY
2	3/8" NPT COUPLING	FUEL RETURN
3	4" NPT WELD FLANGE	EMERGENCY VENT (OUTER)
4		FUEL LEVEL
5	2" NPT WELD FLANGE	FUEL FILL
6	4" NPT WELD FLANGE	EMERGENCY VENT (INNER)
7	2" NPT WELD FLANGE	VENT
8	3/4" NPT COUPLING	DRAIN
9	Ø22 HOLE	LEAK DETECTOR

TANK P/N	0H48080ST03	0H48090ST03	0H48100ST03
DIM "A"	330 [13]	635 [25]	940 [37]
TOTAL TANK CAPACITY	318 [84]	734 [94]	1154 [305]
USABLE TANK CAPACITY	299 [79]	716 [89]	1134 [300]
DRY WEIGHT (EST)	237 [522]	344 [758]	445 [982]

NOTES:  
 1) ALL DIMENSIONS ARE:  
 LENGTH: mm (inch)  
 WEIGHT: kg (lbs)  
 CAPACITY: L (gal)  
 2) UL #142 LISTED



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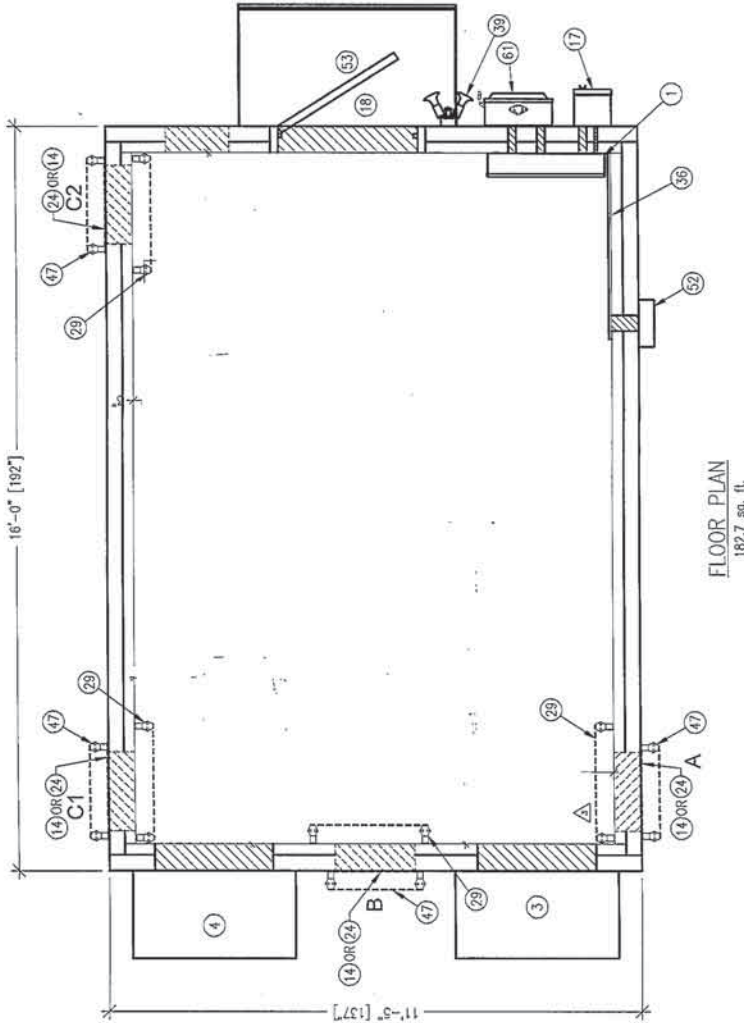
**GENERAC**

TITLE: B-GROUP, DW TYPE 2 TANKS  
 ISSUE DATE: 10/02/09  
 SIZE: B  
 CAGE NO: 0H4610A  
 SCALE: 0.075  
 WT-KG: ---  
 REV: D  
 SHEET: 1 of 1

DRAWING CREATED FROM PRO/ENGINEER 3D FILE. ECO MODIFICATION TO BE APPLIED TO SOLID MODEL ONLY.

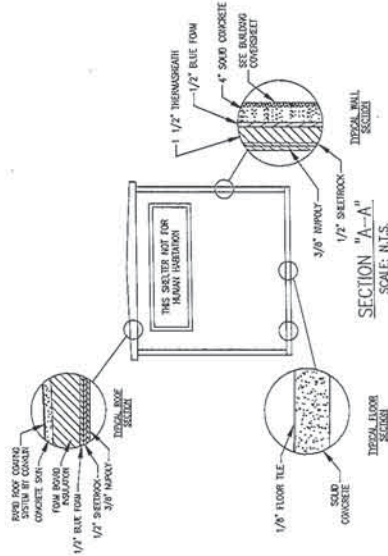
# INSTALLATION DRAWING





FLOOR PLAN  
182.7 sq. ft.

- NOTE:**
1. ALL ITEMS MARKED FIELDWORK SHALL BE INSTALLED, TESTED, REMOVED & PACKED IN BUILDING PRIOR TO SHIPMENT.
  2. ITEM 24 & 47 ARE SHOWN IN ALL OPTIONAL LOCATIONS. SEE BUILDING COVERSHEET FOR SELECTED LOCATIONS.
  3. SECURE WITH LOCKNUTS AND REDUCING WASHER. CAP OFF PENETRATION. DO NOT GLUE.
  4. CONNECT #2 SOLID TINNED WITH TWO-BOLT HOLE NON-COMPRESSION 1 SET SCREW TYPE LUG. PULL TO GROUND AND COIL 8'-0" SPARE.
  5. CONNECT #2 SOLID TINNED WITH TWO-BOLT HOLE NON-COMPRESSION 1 SET SCREW TYPE LUG. TO DOOR FRAME AND CANNOPY.
  6. SEE HALO GROUND DETAIL SHEET FOR DETAILS.
  7. 2" PENETRATION FOR EMERGENCY POWER #2 CONNECTION.
  8. SEE MISC. INTERIOR DETAILS SHEET FOR EXTERIOR GROUND BAR MOUNTING HARDWARE AND DETAIL.



SECTION "A-A"  
SCALE: N.T.S.



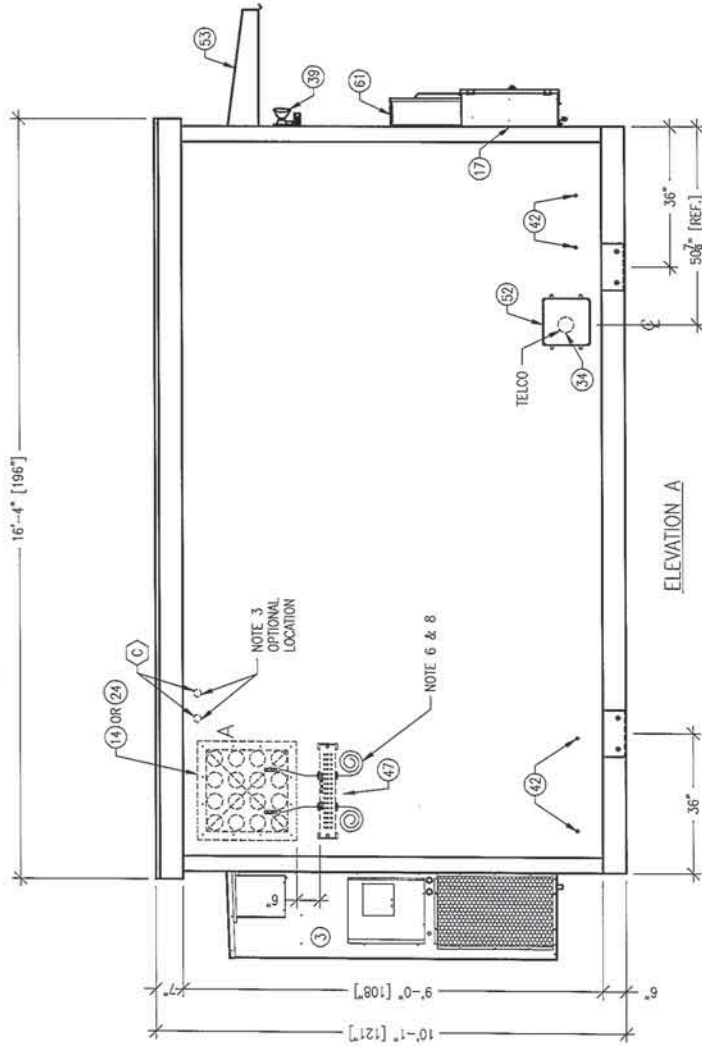
ELEVATION KEY

REV.	BY	DATE	APP.	DATE	REV.	DATE
1	PL	10/25/12	REVISED SECTION "A-A" - (WAS 1 1/2" INSURESO INSULATION)	LW	10/25/10	
1	LW	12/29/10	ADDED ITEM 24 CALLOUT	LW	12/29/10	
			REVISION			

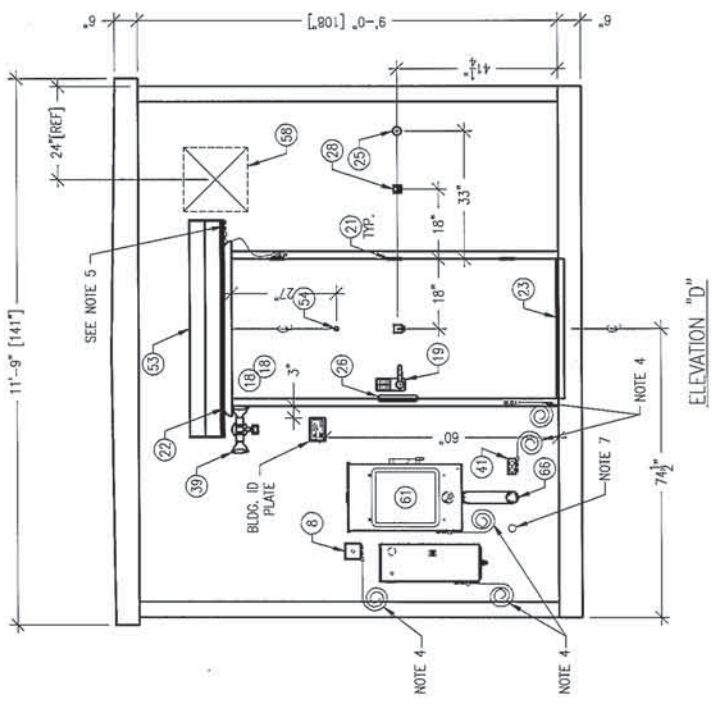
1500 DAVENPORT DRIVE MINDEN, LA. 70655  
 PH: (800) 694-8514 WWW.FIBREBOND.COM

FIBREBOND  
 AT&T MOBILITY  
 11'-5" X 16'-0" EQUIPMENT SHELTER  
 FLOOR PLAN

SCALE: 3/8" = 1'-0"  
 SHEET NO.: B-8478  
 DATE: 12/21/09  
 DATE: 12/22/09

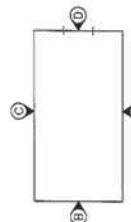


ELEVATION A



ELEVATION "D"

NOTE:  
SEE FLOOR PLAN SHEET FOR NOTES.



ELEVATION KEY

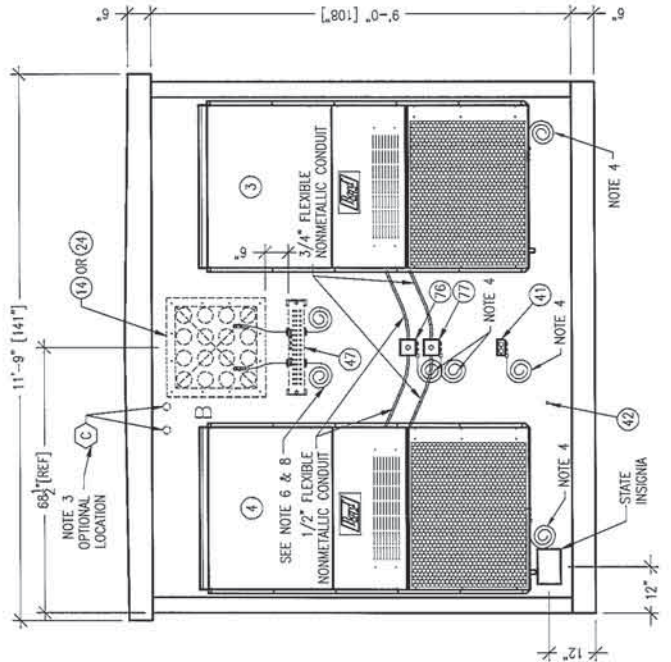
1300 DAVENPORT DRIVE, MINDEN, LA, 71055  
 ph: (800) 864-2614 www.fibrebond.com

AT&T MOBILITY  
 EXTERIOR ELEVATIONS A & D

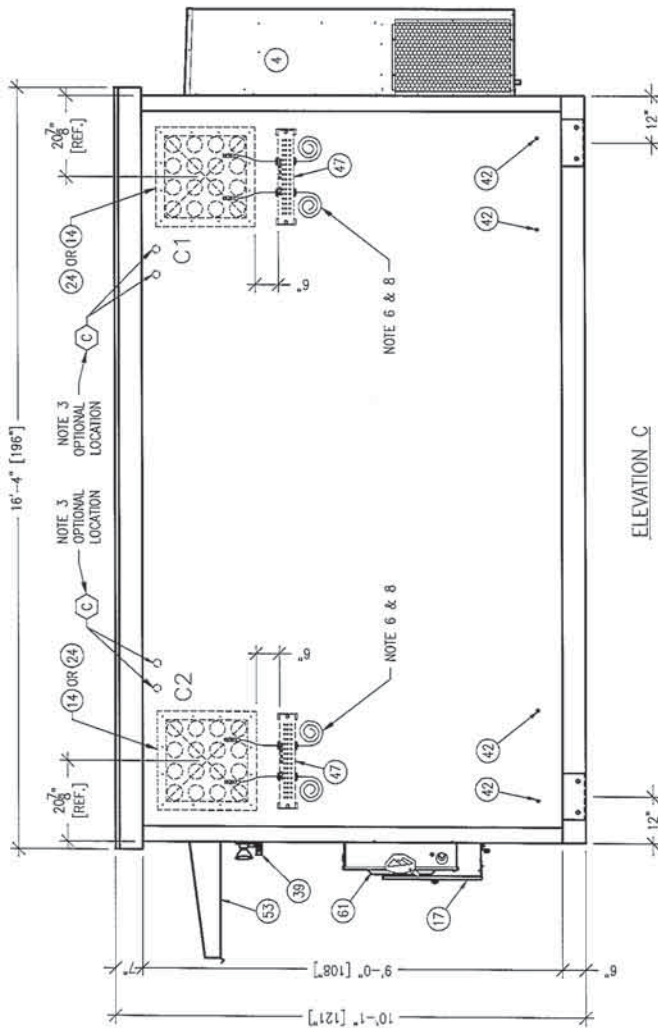
SCALE: 3/8"=1'-0"  
 SHEET NO.: 1-2  
 BNO NO.: D-8478

REV.	BY	DATE	APP.	DATE	REV.	DATE	APP.	DATE
2	LW	12/29/09		12/29/09				
1	LW	07/17/09		07/17/09				

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ELEVATION "B"



ELEVATION "C"

NOTE:  
SEE FLOOR PLAN SHEET FOR NOTES.

1300 DAVENPORT DRIVE MINDEN, LA. 71055  
ph. (801) 824-2614 www.fibrebond.com

**FIBREBOND**

AT&T MOBILITY

11'-5" X 16'-0" EQUIPMENT SHELTER  
EXTERIOR ELEVATION C & B

SCALE: 3/8" = 1'-0"

DATE: 12/21/09

APP. LW DATE: 12/16/09

BY: [Signature] DATE: 12/21/09

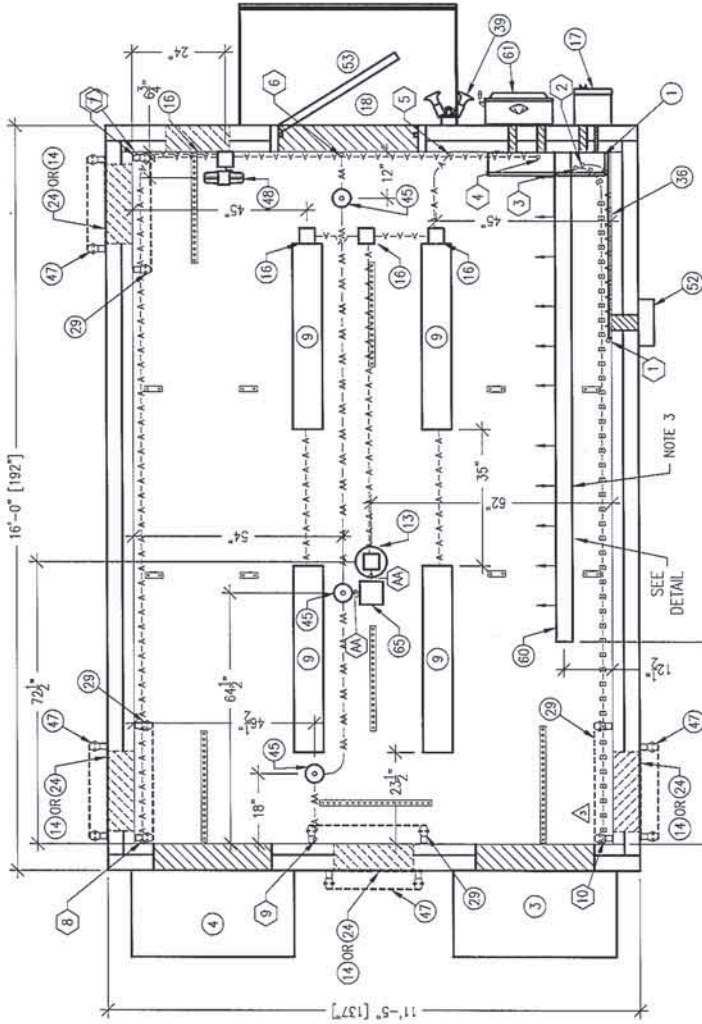
REV. BY DATE APP. DATE BOM DATE

1 LW 12/29/10 ADDED CALLOUT FOR ITEM 24, ADDED OPTIONAL TOWER LIGHT PENETRATIONS @ "C2" & "B" REVISION

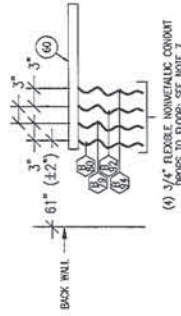
SHEET NO.: 1-3

FIG. NO.: D-8478

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CONDUIT KEY	
A.C.	PVC
A = 1/2"	AA = 1/2"
B = 3/4"	BB = 3/4"
C = 1"	CC = 1"
D = 1 1/4"	DD = 1 1/4"
E = 1 1/2"	EE = 1 1/2"
F = 2"	FF = 2"
G = 2 1/2"	GG = 2 1/2"
H = 3"	HH = 3"
I = 3 1/2"	II = 3 1/2"
J = 4"	JJ = 4"
	KK = 4"



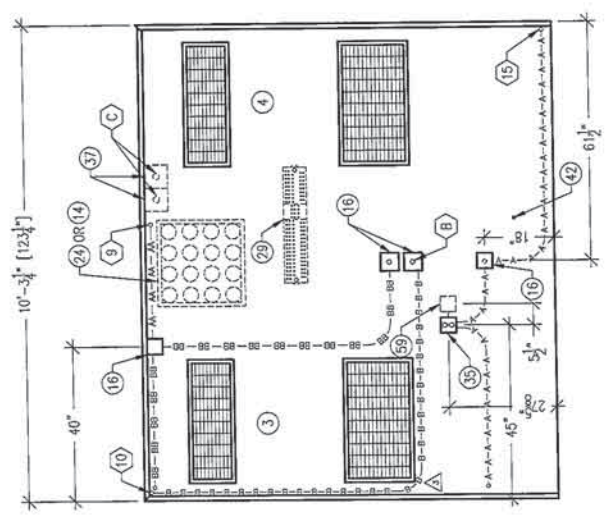
- NOTES:
- ALL MEASUREMENTS SHOWN ARE ACCURATE WITHIN  $\pm 1/4"$ . ALL ADJACENT BOXES SHALL BE THE SAME DIMENSION.
  - THE LOCATIONS OF 4" X 4" AND 4 11/16" X 4 11/16" JUNCTION BOXES AND SMALLER ITEMS CAN BE ADJUSTED  $\pm 3"$  AS REQUIRED TO PREVENT INTERFERENCE WITH TRIM PIECES. INTERFERENCE WITH OTHER COMPONENTS WILL REQUIRE TRIM TO BE CUT. MOUNT ON UNSTRUCT.
  - CONDUIT SHOULD BE INSTALLED AS SHOWN IF POSSIBLE. ANY CHANGES TO 90° BENDS, OFFSETS AND SADDLES MAY BE DONE WHEN NEEDED AND SHOULD BE UNDER THE GUIDANCE OF A QUALIFIED SENIOR CREW LEADER. ANY CHANGE MUST BE WITHIN THE GUIDELINES OF S.O.P.
  - ALL CONDUIT TO HAVE A MINIMUM OF 3/4" BETWEEN THEM.
  - ALL CONDUIT TO BE 1/2" UNLESS OTHERWISE NOTED.
  - PULL FLEXIBLE NONMETALLIC CONDUIT 8-FT EACH. CONNECT TO ITEM (60) WITH 45° CONNECTOR. TYWRAP A 90° CONNECTOR TO EACH FLEXIBLE NONMETALLIC CONDUIT.
  - ITEMS 14, 29, 37 & 59 ARE SHOWN IN ALL OPTIONAL LOCATIONS. SEE BUILDING COVERSHEET FOR SELECTED LOCATIONS.

1300 DAVENPORT DRIVE MINDEN, LA. 71055  
 PH: (504) 884-2614 WWW.FIBREBOND.COM  
**AT&T MOBILITY**  
**11'-5" X 16'-0" EQUIPMENT SHELTER**  
**INTERIOR CEILING SHEET**  
 DATE: 12/18/09  
 APP: LW  
 DATE: 12/21/09  
 DATE: 12/22/09

REV.	BY	DATE	APP.	DATE	DESCRIPTION
4	LW	06/23/10	LW	06/23/10	REVISED ITEM 9 WAS (831-14026)
3	LW	02/11/11	LW	02/11/11	REMOVED (1) ITEM 16
2	MF	01/17/11	LW	01/19/11	UPDATED RECTIFIER DROP DETAIL AND NOTES. ITEM 60 WAS 55" OFF OFF BACK WALL
1	LW	12/29/10	LW	12/29/10	ADDED CALLOUT FOR ITEM 24

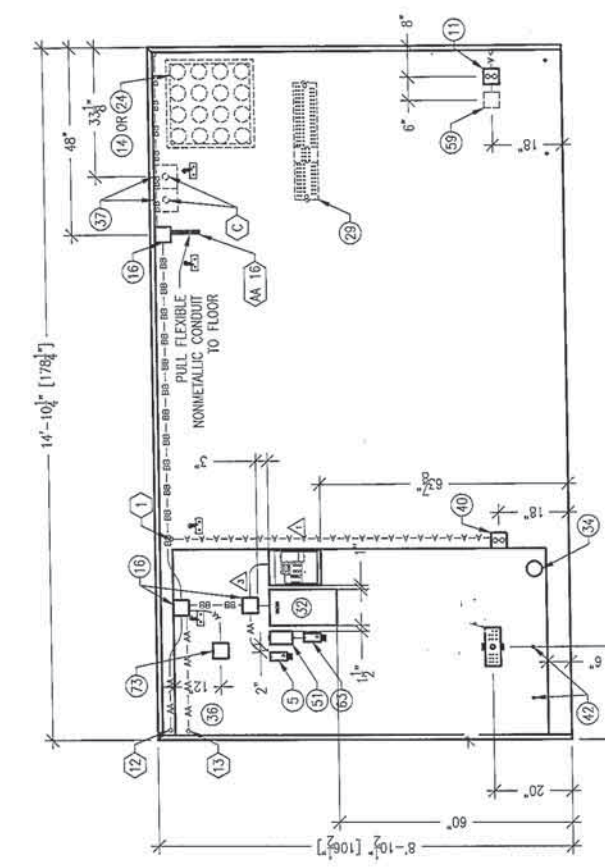


ELEVATION KEY

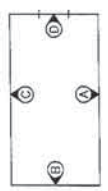


ELEVATION "A"

NOTE:  
SEE INTERIOR CEILING VIEW SHEET FOR NOTES.



ELEVATION "B"



ELEVATION KEY

1300 DAVENPORT DRIVE MINDEN, LA 71055  
PH: (504) 884-2814 www.firebond.com



FIBREBOND

SCALE: 3/8" = 1'-0"  
SHEET NO: 2-2  
REV: B  
NO: D-8478

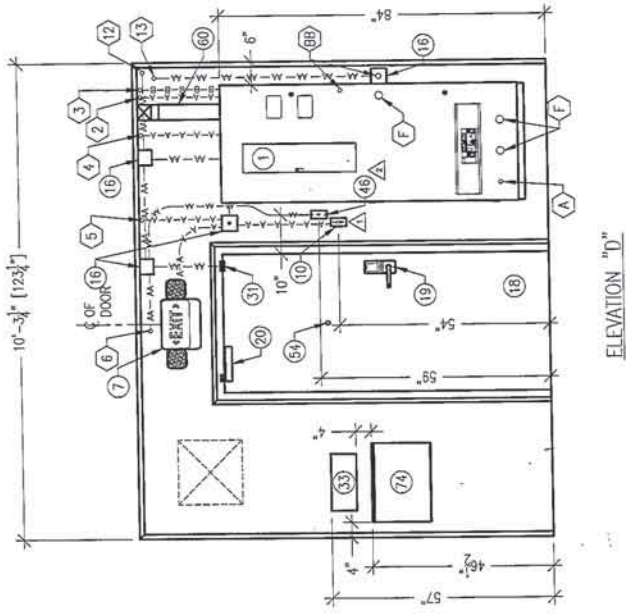
AT&T MOBILITY  
11'-5" X 16'-0" EQUIPMENT SHELTER  
INTERIOR ELEVATIONS A & B

REV.	BY	DATE	APP.	DATE
1	LW	12/18/09	LW	12/21/09
2	SL	12/22/09	SL	12/22/09

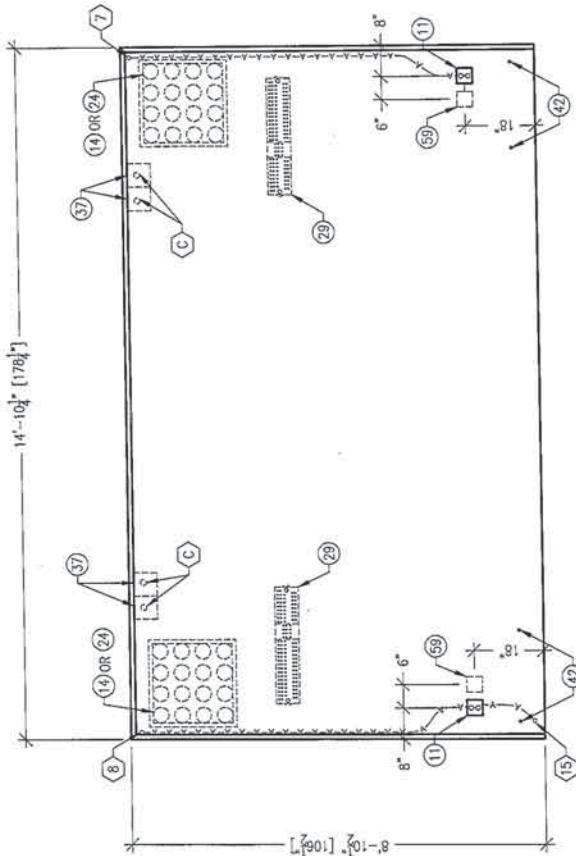
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REV.	BY	DATE	REVISION
4	JSK	02/08/13	REMOVED EYE WASH STATION & FIRST AID KIT.
3	LW	07/11/11	DELETED ITEM 68, ADDED ITEM 16, DELETED ITEM 16 NEAR A/C
2	LW	12/20/10	ADDED ITEM 24, CALLOUTS ADDED ITEM 37 TO ELEVATION "B"
1	LW	07/12/10	REVISED ITEM 2 BLOCK WAS SHOWN AS COMPASIT 3



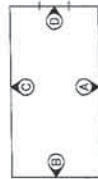


ELEVATION D



ELEVATION C

NOTES:  
SEE INTERIOR CEILING VIEW SHEET FOR NOTES.



ELEVATION KEY

1500 DAVENPORT DRIVE MINDEN, LA 71055  
PH. (800) 804-2814 WWW.FIBREBOND.COM



FIBREBOND

SHEET NO. 2-3  
TITLE NONE  
REV. B  
DATE 12/22/09

AT&T MOBILITY  
11'-5" X 16'-0" EQUIPMENT SHELTER  
INTERIOR ELEVATIONS C & D

REV.	BY	DATE	APP.	DATE	FROM	DATE
4	LW	02/11/11			OS	5/20/10
3	LW	12/20/10			OS	5/20/10
2	CSP	5/20/10			WJ	11/13/10
1	LW	01/13/10				

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REV.	BY	DATE	APP.	DATE	FROM	DATE
4	LW	02/11/11			OS	5/20/10
3	LW	12/20/10			OS	5/20/10
2	CSP	5/20/10			WJ	11/13/10
1	LW	01/13/10				

REVISION

SEE ELECTRICAL SCHEMATIC #2 SHEET

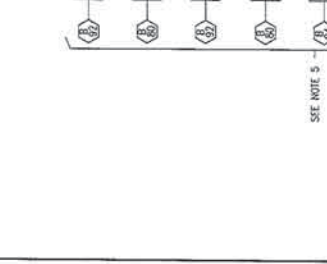
PANEL CIRCUIT AND LOAD SCHEDULE


DESCRIPTION	UNIT VA.	LOAD PER PHASE (VA)			WIRE TYPE	A.L.C.	WIRE SIZE	POLES	TRIP	LOADS CONTINUOUS	LOADS NON-CONTINUOUS
		PHASE									
		A	B	C							
RECIPER #1	1000	1000			THHN	10,000	2	10	30	X	
RECIPER #2	1000	1000	1000		THHN	10,000	2	10	30	X	
RECIPER #3	1000	1000	1000		THHN	10,000	2	10	30	X	
RECIPER #4	1000	1000	1000		THHN	10,000	2	10	30	X	
RECIPER #5	1000	1000	1000		THHN	10,000	2	10	30	X	
RECIPER #6	1000	1000	1000		THHN	10,000	2	10	30	X	
RECIPER #7	1000	1000	1000		THHN	10,000	2	10	30	X	
RECIPER #8	1000	1000	1000		THHN	10,000	2	10	30	X	
RECIPER #9	1000	1000	1000		THHN	10,000	2	10	30	X	
RECIPER #10 (OPTIONAL)	1000	1000	1000		THHN	10,000	2	10	30	X	
EXTERIOR RECEPTACLE	2	180	360		THHN	10,000	2	12	20		X
SUBTOTAL CONTINUOUS NON-CONTINUOUS		9360	9000								
CYCLE: 60		PHASE: 1		WIRE SIZE: 3							
MAY BREAKER: 200 AMP FRAME		A.C. 10,000		TRIP: 200 AMPS							
MAY LUGS: AMP		MAY COPPER BUS: 400 AMPS									
MAY: TOP		BOTTOM									

DESCRIPTION	UNIT VA.	LOAD PER PHASE (VA)			WIRE TYPE	A.L.C.	WIRE SIZE	POLES	TRIP	LOADS CONTINUOUS	LOADS NON-CONTINUOUS
		PHASE									
		A	B	C							
HMC #1	3196	3196			THHN	10,000	6	2	50	X	
HMC #2	3196	3196	3196		THHN	10,000	6	2	50	X	
SPACE	3196	3196	3196		THHN	10,000	6	2	50	X	
SPACE	3196	3196	3196		THHN	10,000	6	2	50	X	
INTERIOR RECEPTACLE	180				THHN	10,000	12	1	20	X	
INTERIOR LIGHTS	64/75	4/1			THHN	10,000	12	1	20	X	
EXTERIOR LIGHTS	150				THHN	10,000	12	1	20	X	
RECIPER #11 (OPTIONAL)					THHN	10,000					
RECIPER #12 (OPTIONAL)					THHN	10,000					
RECIPER #13 (OPTIONAL)					THHN	10,000					
RECIPER #14 (OPTIONAL)					THHN	10,000					
RECIPER #15 (OPTIONAL)					THHN	10,000					
RECIPER #16 (OPTIONAL)					THHN	10,000					
TOTAL KVA CONTINUOUS X 1.25		1410	271								
TOTAL KVA NON-CONTINUOUS		632	632								
TOTAL KVA											
TOTAL AMPS											

MANUFACTURER: INTERSECT  
 TYPE AND CATALOG NUMBER: FB3-00023 AN120081-3S  
 NO. EQUAL:  APPROVED EQUAL:   
 FINISH: SURFACE  FLUSH

NOTES:  
 1. ALL WIRE TO BE #12 THHN/THWN UNLESS OTHERWISE NOTED.  
 2. ALL WORK TO CONFORM TO 2008 N.E.C.  
 3. LABEL SERVICE DISCONNECT WITH A RED TAG.  
 4. SWITCH LEG CONDUCTORS SHALL BE THE SAME SIZE AS THE LINE LEGS.  
 5. NONMETALLIC CONDUIT, CUL 3"-0" AT END OF FIBREBOND CONDUIT & TAG.  
 6. FIBREBOND CONDUIT SHALL BE USED FOR ALL OTHER CIRCUITS PULL A SEPARATE GROUND CONDUCTOR.





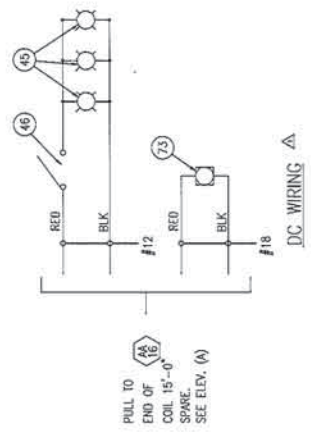
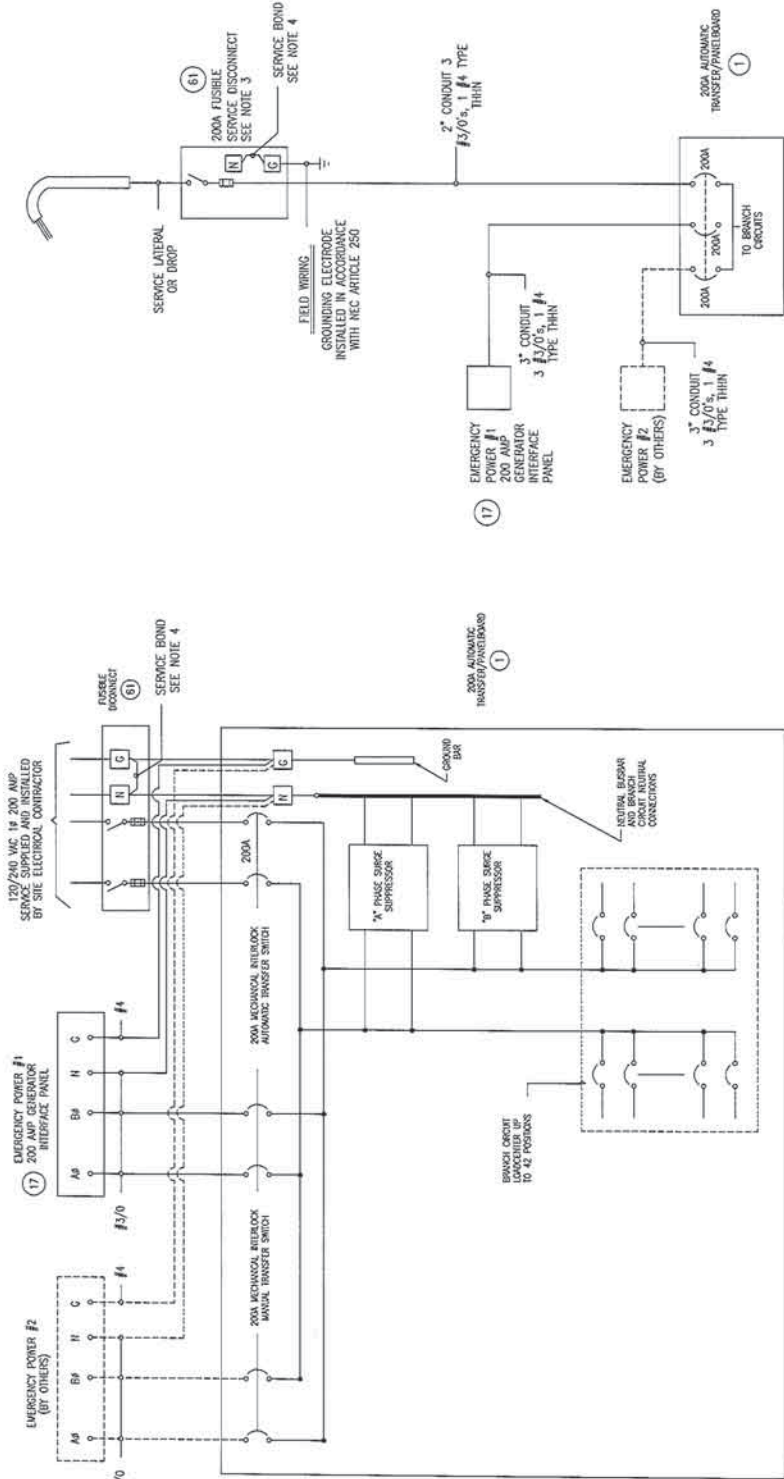
1300 DAVENPORT DRIVE MINDEN, LA. 71055  
 ph: (800) 624-2614 www.fibrebond.com

AT&T MOBILITY	
11'-5" X 16'-0" EQUIPMENT SHELTER ELECTRICAL SCHEMATIC #1 200 AMP SERVICE	
DATE: 12/21/09	DATE: 12/21/09
BY: [Signature]	BY: [Signature]
SCALE: NONE	SCALE: 3-1
PROJECT NO.: D-8478	PROJECT NO.: D-8478

DATE: 06/03/11	DATE: 07/19/11	DATE: 12/29/10
BY: [Signature]	BY: [Signature]	BY: [Signature]
REVISION: 3	REVISION: 2	REVISION: 1

**NOTES:**

1. DASHED LINES DENOTE FIELD WORK
2. BUILDING ELECTRICAL SYSTEM IS RATED AT 10,000 A.I.C. IF HIGHER RATINGS ARE REQUIRED, IT IS THE RESPONSIBILITY OF SITE CONTRACTOR/ENGINEER TO MEET SUCH REQUIREMENTS.
3. SERVICE BOND IS TO BE MADE BY DEVICES (STRAPS, SCREWS, ETC.) SUPPLIED BY EQUIPMENT MANUFACTURER. IF NO SUCH DEVICE IS SUPPLIED, BOND IS TO BE MADE IN ACCORDANCE WITH NEC ARTICLE 250.
4. WHEN SERVICE OVERCURRENT DISCONNECT IS FIELD INSTALLED AND HAS A NEUTRAL TO GROUND CONNECTION ESTABLISHED, REMOVE NEUTRAL TO GROUND CONNECTION IN TRANSFER SWITCH.
5. CONDUCTOR OVERCURRENT PROTECTION DEVICES ARE SELECTED IN ACCORDANCE WITH NEC (ARTICLE 240.3).
6. CONDUCTOR SIZING IS SELECTED FROM NEC (ARTICLE 215.2).
7. ALL LUGS THAT HOLD MORE THAN ONE WIRE SHALL BE LISTED FOR MULTI-BARRELL CONNECTIONS.
8. ALL CONDUCTORS SHALL BE COPPER.
9. LABEL SERVICE DISCONNECT WITH A RED TAG.
10. ALL CONDUIT SHALL BE EMT UNLESS OTHERWISE NOTED.
11. ALL CONDUIT THROUGH A WALL SHALL BE RIGID UNLESS OTHERWISE NOTED.

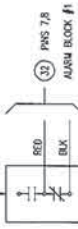


1300 DAVENPORT DRIVE MINDEN, LA. 71055 ph: (800) 604-2614 www.fibrebond.com	
AT&T MOBILITY	
11'-5" X 16'-0" EQUIPMENT SHELTER ELECTRICAL SCHEMATIC #2	
200 AMP SERVICE	
DATE: NONE	SCALE: 3-2
REV. NO. B	REV. NO. D-8478
REV. 1	REV. 1
BY RW	BY LW
DATE 02/07/11	DATE 12/18/09
APP. REVISED DC LIGHT WIRING DETAIL TO DC WIRING TO ADD ITEM 73	APP. NONE
DATE 02/09/11	DATE 12/21/09
CS	SL
BOM	REV. 1
DATE	DATE 12/22/09
REVISION	THEIR CONVENTIONAL NATURE.

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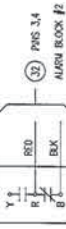
**MAGNETIC DOOR ALARM**  
EQUIPMENT ROOM

THE MAGNETIC DOOR ALARMS ARE WIRED NORMALLY OPEN. CONTACTS CLOSE UPON CONTACTS OPEN SENDING AN ALARM.



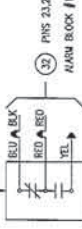
**HIGH TEMPERATURE ALARM**

CONTACTS OPEN UPON TEMPERATURE INCREASE (OR BSD) ABOVE THE SET POINT SENDING AN ALARM.



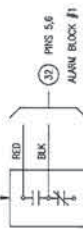
**HIGH HUMIDITY ALARM**

CONTACTS OPEN UPON HUMIDITY INCREASE (OR BSS) ABOVE THE SET POINT SENDING AN ALARM.



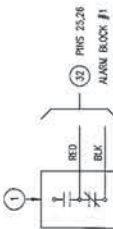
**COMMERCIAL POWER FAIL**

THE COMMERCIAL POWER FAIL RELAY IS NORMALLY CLOSED. THE RELAY IS OPEN ON-BOARD COMMERCIAL POWER. COMMERCIAL POWER IS THE POWER SUPPLIED BY THE UTILITY COMPANY. THE NORMALLY OPEN CONTACTS CLOSE UPON POWER UP OF THE COMMERCIAL POWER. THE NORMALLY CLOSED CONTACTS OPEN UPON POWER UP OF THE COMMERCIAL POWER SENDING AN ALARM. (THIS ALARM MUST NOT BE CONNECTED TO THE SYSTEM SUCH THAT IT RECEIVES POWER FROM A GENERATOR, UPS SYSTEM, OR ANY OTHER EMERGENCY POWER SOURCE).



**SURGE ARRESTOR ALARM**

FOR SURGE ARRESTOR ALARM, CONNECT TO THE ALARM CONTACT TERMINAL BLOCK, WIRE TO NORMALLY CLOSED CONTACTS. CONTACTS ARE OPEN IF A.C. POWER ELIGIBLES ARE BLOWN OR IF A.C. POWER FAILS SENDING AN ALARM.



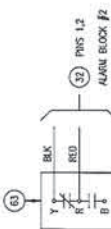
**SMOKE DETECTOR**

THE SMOKE ALARM CONTACTS ARE NORMALLY CLOSED UNDER A "NO SMOKE" CONDITION. WHEN SMOKE IS DETECTED THESE CONTACTS OPEN SENDING AN ALARM.

SEE HVAC SHUTDOWN DIAGRAM

**LOW TEMPERATURE ALARM**

CONTACTS OPEN UPON TEMPERATURE DECREASE (OR FAIL) BELOW THE SET POINT SENDING AN ALARM.



**HYDROGEN GAS DETECTOR**

THE GAS DETECTOR IS SET AT 1% BY VOLUME OR 10,000 PPM. IF HYDROGEN GAS IS DETECTED OVER 1% BY VOLUME CONTACTS CLOSE SENDING AN ALARM.

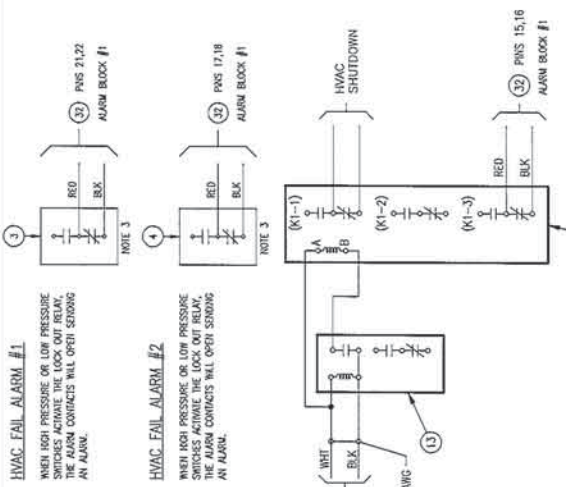


**NOTES:**

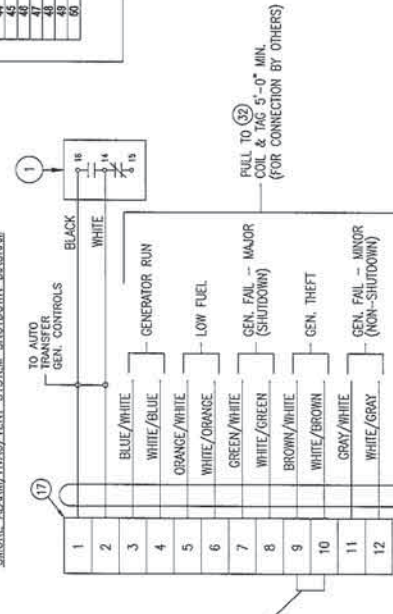
1. ALL ALARMS OPEN ON ALARM UNLESS OTHERWISE NOTED.
2. ALARM WIRES TO BE 22/2 WIRE UNLESS OTHERWISE SPECIFIED.
  - N.C.=BLK
  - C.=RED
3. SEE LEAD LAG WIRING FOR SPECIFIC TERMINAL LOCATIONS.
4. FOR AC, USE WHIT & BLK; FOR DC, USE BLK & RED.

**ALARM TERMINAL BLOCK (32)**

ALARM BLOCK #1		ALARM BLOCK #2	
1	COMMERCIAL POWER FAIL	1	HVAC FAIL #1 ALARM
2	DOOR ALARM	2	HIGH TEMPERATURE ALARM
3	GEN. RUN ALARM	3	GEN. LOW FUEL ALARM
4	GEN. LOW FUEL ALARM	4	GEN. THIEF ALARM
5	GEN. THIEF ALARM	5	GEN. SHUTDOWN ALARM
6	GEN. SHUTDOWN ALARM	6	GEN. MAJOR ALARM
7	GEN. MAJOR ALARM	7	
8		8	
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50		50	



**SMOKE ALARM/HVAC/VENT SYSTEM SHUTDOWN DIAGRAM**



REFERENCE DRAWINGS REQUIRED TO COMPLETE THIS SHEET

DRAWING NO.	DESCRIPTION
ELEC-0001	IBRD MC3000 WITHOUT ECONOMIZERS

**FIBREBOND**

SCALE: NONE SHEET NO.: 4

DATE: 12/21/09

REV: S. DATE: 12/22/09

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1900 DAVENPORT DRIVE MINDEN, LA. 71656  
ph. (800) 624-2614 www.fibrebond.com

AT&T MOBILITY  
ALARM WIRING #1

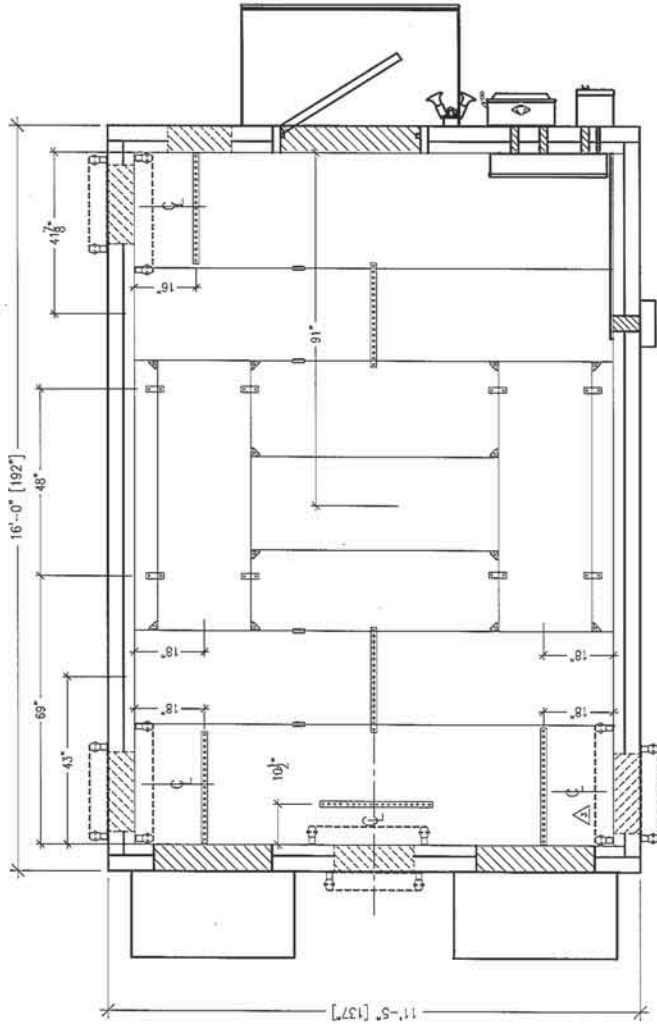
DATE: 12/10/09  
REV: LW  
DATE: 12/21/09  
REV: S.

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REV.	BY	DATE	REVISION
2	RL	10/29/12	REVISED ALARM TERMINAL BLOCK
1	JF	03/15/10	ADDED COMMERCIAL POWER FAIL IN PANEL
	LW	10/29/10	CS
	LW	03/15/10	CS





CEILING VIEW

- NOTES:
1. 24" CABLE RACK TO BE MOUNTED 96" A.F.F.
  2. ALL MEASUREMENTS SHOWN ARE ACCURATE WITHIN ±1/4".

REFERENCE DRAWINGS REQUIRED  
TO COMPLETE THIS SHEET

DRAWING NO.	DESCRIPTION
MECH-0005	STANDARD CABLE RACK MOUNTING DETAILS



ELEVATION KEY

REV.	BY	DATE	APP.	DATE	REVISED	DATE	BY	DATE

1900 DAVENPORT DRIVE MINDEN, LA. 71055  
 PH: (800) 824-2814 WWW.FIBREBOND.COM

AT&T MOBILITY

11'-5" X 16'-0" EQUIPMENT SHELTER

CABLE RACK CEILING VIEW

SCALE: 3/8"=1'-0"

DATE: 12/16/09  
 APP: LW  
 DATE: 12/21/09  
 DATE: 12/22/09

**FIBREBOND**

SCALE: 3/8"=1'-0"

DATE: 12/16/09

APP: LW

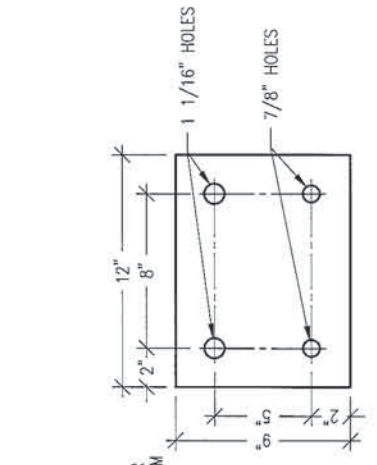
DATE: 12/21/09

DATE: 12/22/09

REV. NO. 6

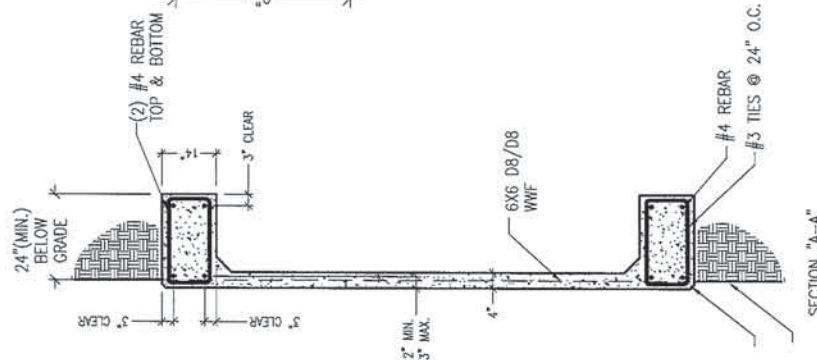
REV. NO. D-8478

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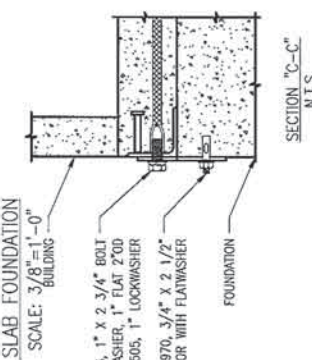
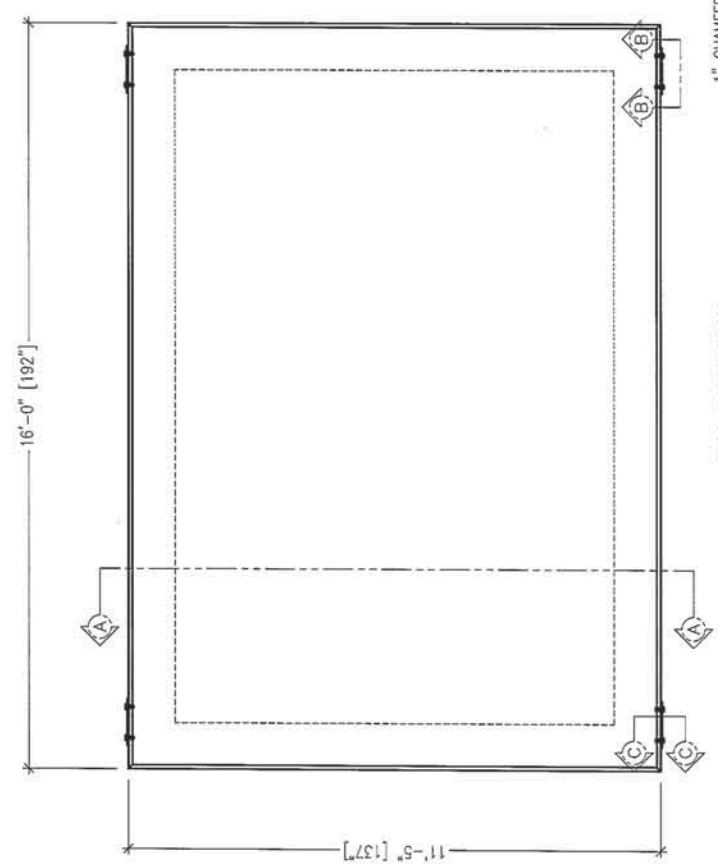


197786 TIE DOWN PLATE  
RAW MATERIAL 3/8" PLATE  
N.T.S.

- NOTES:
1. SLAB TO BE LEVEL  $\pm 1/4"$ .
  2. FOOTING TO EXTEND A MINIMUM OF 36" BELOW UNDISTURBED SOIL AND FROST LINE.
  3. FINAL SITE DESIGN IS THE RESPONSIBILITY OF THE SITE CONTRACTOR.
  4. SLAB FOUNDATION DESIGNED ASSUMING ALLOWABLE SOIL BEARING PRESSURE OF 2000 PSF.
  5. SLAB FOUNDATION DESIGNED ASSUMING MAXIMUM SOIL PLASTICITY INDEX OF 27.
  6. CONCRETE STRENGTH SHALL BE A MINIMUM OF 3000 PSI.



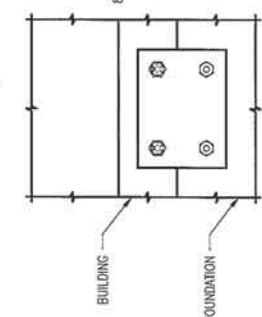
SECTION "A-A"  
N.T.S.



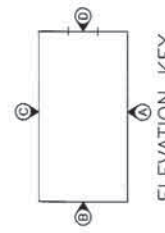
SECTION "C-C"  
N.T.S.

SLAB FOUNDATION  
SCALE: 3/8" = 1'-0"

- 853-00073, 1" X 2 3/4" BOLT
- 855-11504, WASHER, 1" FLAT 2" OD
- 855-11505, 1" LOCKWASHER
- 854-12970, 3/4" X 2 1/2"
- SLEEVE ANCHOR WITH FLATWASHER



SECTION "B-B"  
N.T.S.



ELEVATION KEY

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THEY SHALL BE EXCESSIVE MATERIALS  
AND SHALL BE THE PROPERTY OF  
THEIR RESPECTIVE OWNERS.

REV.	BY	DATE	REVISION	APP.	DATE	APP.	DATE
3	WF	10/17/11	UPDATED TIE-DOWN PLATES AND DETAILS				
	LW	07/19/11					

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PH: (800) 664-2614 www.fibrebond.com



SCALE: NOTED  
SHEET NO.: 8  
DATE: 12/21/09  
DWG. NO.: D-8478

AT&T MOBILITY  
FOUNDATION PLAN

