



F E A R R I N G T O N
village

REQUEST FOR
PRELIMINARY PLAT REVIEW

FEARRINGTON P.U.D.
SECTION X AREA A

The Village of Fearrington
Williams Township
Chatham County, North Carolina 27312

September 6, 2013

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A BRIEF HISTORY OF THE FEARRINGTON P.U.D.

SEPTEMBER 6, 2013

At the Planning Department's suggestion we are pleased to provide an overview of the history of the evolution of the Fearington P.U.D. to accompany our request for Preliminary Plat Approval for Section X Area A of the Fearington P.U.D.

OVERVIEW

As Chatham County's first Planned Unit Development, and one that remains active in development today, it is understandable that some may be unaware of how this community has evolved in partnership with the County's Planning Department and elected officials. The community is generally known as Fearington Village and lies eight miles north of Pittsboro on US 15-501. It was conceived as a rural village by R.B. and Jenny Fitch back in the early 1970's when Jesse Fearington retired from dairy farming on land that had been in his family since the late 1700's. The Fearington Farm was a part of the Jones Grove Plantation. The Fitches purchased this land from the Fearington family in 1975-1976.

The Fitches' concept for this farm was to maintain the rural Chatham County character of this 639 acres by preserving both farmlands and woods, and setting the stage for the farm center to slowly grow into the Village Center surrounded by country communities or neighborhoods. The farm house was converted into the Fearington House Restaurant, the dairy barn into shops, the Granary became a café, the blacksmith shed was replaced by a bookstore. The silo and big barn remained. Belted Galloway cattle are raised. Slowly the Village began to grow into the destination it is today thirty-eight years later with shops, services, cafés, a bank, gardens and Inn and Spa. Fearington Village is grouped with the largest employers in Chatham County. There are about 2400 residents and about 1400 residences.

The residential neighborhoods also grew steadily paced at 20 to 35 homes a year, following the P.U.D. Master Plan but adjusting as the market and times evolved. This perfectly fit the Fitches' concept. Fearington Village has grown at a pace similar to how villages have grown historically with minor variations over time to the architecture and the neighborhood land plans. The benefits of this measured steady growth are that neighbors got to know each other and a cohesiveness developed about their community identity. That spirit flourishes today and is reflected in public service efforts and community projects by the residents of Fearington Village.

HISTORY

The original Fearington P.U.D. was approved in 1976 for 1333 dwellings, a commercial village, open space and utilities. In the initial years there were several minor Modification Approvals while the County and the Owner, Fitch Creations, ironed out procedural matters concerning how phasing would be administered and to clarify the land uses and their locations. See Attachment "A" for that plan. Fearington was the first Planned Unit Development in Chatham County.

Sections I, II, III and IV, single-family homes, were approved and constructed over the next ±10 years on the lands north of Villageway (S.R. 1718).

In 1981 the Stutts' land was added to the P.U.D. with an additional 77 units allowed. In 1983 the remainder of the land in that area was added to the P.U.D. with an addition of 32 dwellings. By this time most residential areas were clustered designs saving more open space by using a tighter land plan arrangement for the dwellings.

Fearington Utilities Wastewater Treatment Plant came on line in 1981-1982. Clustering was furthered thus leaving more undisturbed open space land.

Section VI Weathersfield (Townhouses) was approved in 1988. Section VII Camden Park, one of the earliest neo-traditional land plans in the U.S. was approved and construction began in 1991. It was designed surrounding a 15-acre central park with two ponds and 209 single-family dwellings on compact lots. It is directly south of the Village Center. The last Camden Park home was constructed and sold in 2008 (a 17-year build out period).

In the late 1980s Mr. R.B. Moore proposed that Fitch Creations purchase land he owned adjacent to and east of Fearington. With a goal of clustering and setting aside open space, Fitch Creations proposed that a major portion of the Moore lands be approved as an addition to the Fearington P.U.D. The request was approved by the County in 1991 as Section VIII and 160 dwellings were added to the P.U.D. Total Approved P.U.D. dwelling count was then (and is still) 1602. This new area, generally known as Bush Creek, includes both single-family lots, clustered dwellings and attached townhouses in distinct neighborhoods called Langdon Place and Bradford Place.

Concurrent with this portion of the Moore Lands coming into the P.U.D., a subdivision called Fearington Woods on the remaining Bland Moore and James Gust lands was brought before the County and obtained Subdivision Approval in 1989 for 100 single-family 40,000 sq.ft. home sites in two phases. In 2003 there was an addition of the Whitakers' land-locked property with 12 lots. Fearington Woods is not a part of the P.U.D.

The Approved 1991 P.U.D. Plan (See Attachment "B") further defined several other land uses within the original undeveloped lands of the Village. There was: 1) A Life Care Retirement Community (known today as "continuing care residential communities") sited south of Camden Park East; 2) A "Town Square"

commercial center at 15-501 in the southeast corner of the P.U.D.; 3) A small lot community (the Knolls today); 4) Several clusters of townhomes; and 5) A large area with two traditional neighborhoods of small single-family lots with alleys similar to Camden Park.

Since 1991 Section VIII has been almost completely constructed. During this time Fitch became more convinced that there was a need for a continuing care community. Mr. Fitch began exploring that concept for both Fearington residents and residents of the community at large. Several healthcare providers and CCRC developers showed interest. Mr. Fitch also realized that the need for a CCRC was greater than the need for another shopping area and proposed that the commercial Town Center land become the retirement community site. On the land formerly shown as retirement community Fitch proposed single-family, traditional neighborhoods.

A national continuing care developer, CRSA, expressed an interest in Fearington Village. Duke University Medical Services also had an interest in creating a Wellness Center in conjunction with the CCRC for the residents of Fearington Village, and for the community at large. This was viewed as a major benefit to the County and Fearington Village, and studies for a CCRC and Wellness Center began.

In April of 1999 a request for Sketch Plan was submitted to the County and was approved for Section IX, Galloway Ridge. The neighborhoods for the remaining lands and those under or in development included: Section IX Galloway Ridge; Section X, Camden styled Single Family; Section XI, now the Knolls; Section XII, townhomes; Section XIV, Camden Park styled neighborhood; and Section XV, clustered cottages now called Millcroft. Section X remained as a neo-traditional land plan but was adjusted at the Galloway lands and the lot sizes matched those of Camden Park.

The next year, 2000, at the request of Galloway's partner, Duke Community Medical Services, another request for the Sketch Plan for Galloway Ridge was submitted to the County and was approved. It consisted of internal layout changes and a dwelling number adjustment. All other areas of the P.U.D. except the land where Galloway Ridge was to occupy remained unchanged in that request. Fearington's overall dwelling unit count remained unchanged. See Attachment "C".

NOTE: All dwelling units in Galloway are a part of, or come out of the overall Approved Dwelling count of the Fearington P.U.D. No new additional dwellings were requested beyond the 1602 units approved in 1991.

In 2008 Galloway Ridge made a third Sketch Plan submission to allow expanded health care facilities, auditorium, and the other phase of independent living units per the Master Plan. This request was approved by the County in 2008. Dwelling count of 1602 remained as Fearington's approved number of dwellings. Construction of Phase Two of Galloway Ridge is near completion at this time.

Concurrent with Fearrington P.U.D.'s normal growth of 20 to 35 homes a year, Wade Barber in 2005 requested that Fitch Creations consider allowing him access to his land-locked parcel south of Fearrington's southeastern property corner. Access to the south had been a condition of the 1991 P.U.D. Approval but the exact location had not been determined. A route from South Langdon Street was created. Mr. Barber's development plan was for a single-family subdivision with one-acre lots. It would be served with sanitary sewer by Fearrington Utility and County water from the system within Fearrington. This new subdivision, named Henderson Place, now has Preliminary Plat Approval from the County and will start construction when the housing market improves. Henderson Place is not a part of the Fearrington P.U.D. Fitch Creations has no ownership in Henderson Place.

Today the undeveloped portions of Fearrington P.U.D. (Sections X) lie largely along the southern property line between Galloway Ridge on the west and the Knolls to the east. Weathersfield and East Camden and Millcroft Streets make the north and northeast boundary of this ±124 acre tract. Fearrington has 226 dwellings left to build of the 1602 allowed. This Sketch Plan Revision Request of February 10, 2012 calls for 226 dwellings as allowed in the P.U.D. Approval and is for all remaining dwellings allowed.



September 6, 2013

Members of the Chatham County Planning Board and Planning Staff
Chatham County Planning Department
P.O. Box 54
Pittsboro, North Carolina 27312

Re: Preliminary Plat Subdivision, Section X, Area A
Ferrington P.U.D., Williams Township, Chatham County

Dear Members of the Chatham County Planning Board and Planning Staff:

The Village of Ferrington is pleased to submit this Application for Preliminary Plat Approval which would allow the construction of twelve (12) single-family homes in Area A of Section X. Please note:

1. The Ferrington P.U.D. uses the former submission phases of Sketch Design, Preliminary Plat and Final Plat. Ferrington is reviewed under the pre-2008 subdivision regulations.
2. Section X has approval for 226 dwellings. The Sketch Design Plan (which is the P.U.D. plan) shows a one street subdivision that lies south of Millcroft in the southern portion of the P.U.D.
3. All approvals required from State Agencies have been submitted, reviewed, and posted. See letters and permits from engineer Alan Keith, contained within this submission.
4. Area A will be served by Chatham County Water, Ferrington Utilities wastewater collection and treatment. Burke Place, the street for these twelve (12) lots is served by Millcroft, S.R. 1817. This drive serving the units is a public street.
5. Dwellings will be served by the Chatham County Fire Department and Rescue Services and both have reviewed the plan.
6. Century Link Telephone, Progress Energy and PSNC Energy will serve these residences.
7. The architecture will be in a "cottage" style in keeping with the homes in Ferrington
8. The site parallels a creek with a 100' wide voluntary riparian buffer. (50' is the requirement.)

9. Note that the governing Storm Water Regulations at Farrington are the 2004 Regulations. Current Sedimentation and Erosion Control Regulations and Jordan Lake Buffer Rules are also employed.
10. We ask that you note in your records that County Approval runs for the life of the P.U.D. There is no deadline for construction completion on Area A.

In your review of the plan we think you will find this neighborhood to be in keeping with the Village and that it meets all the requirements of the County's P.U.D. Revision Approval of March of 2012.

The Village of Farrington and R.B. Fitch of Fitch Creations, Inc., asks that you approve this submittal. Thank you for your consideration.

Sincerely,

SEARS DESIGN GROUP, P.A.



Dan C.L. Sears, ASLA

cc: R.B. Fitch

DIEHL & PHILLIPS, P.A.

CONSULTING ENGINEERS
219 East Chatham Street
Cary, North Carolina 27511
Telephone (919) 467-9972 – Fax (919) 467-5327

WILLIAM C. DIEHL, P.E.
JOHN F. PHILLIPS, P.E.
ALAN R. KEITH, P.E.

September 4, 2013

Ms. Lynn Richardson
Chatham County Planning Department
P.O. Box 54
Pittsboro, NC 27312

Re: Water Supply and Wastewater Treatment Capacity for Section X Area A
Farrington P.U.D

Dear Ms. Richardson:

Water supply for Section X Area A is available from the Chatham County water system through existing water agreements between the County and Fitch Creations, Inc.

The current situation at the Farrington WWTP can be summarized as follows:

WWTP Average Daily Flow	0.162 mgd *
Permitted Flow not yet Tributary**	<u>0.088 mgd</u>
Total Current Permitted Flow	0.250 mgd

Total flow for Section X Area A(12 units)*** 0.003 mgd

Current Permitted Flow including Section X Area A 0.250 mgd****

Total Constructed WWTP Capacity	0.270 mgd
Total Permit Capacity	0.500 mgd

The Farrington WWTP currently has capacity to serve Section X Area A at Farrington (3,000 gallons per day). The existing collection system has capacity to serve the proposed project. Fitch Creations, Inc. has Authorization to Construct an expansion to the wastewater treatment plant from the North Carolina Division of Water Quality.

* mgd = million gallons per day.

** The permit flow was reconciled May 3,2007

***Area A was permitted in 2011 and is included in Flow not yet Tributary

****The State has granted a flow reduction to Fitch Creations at 250 gallons per day/unit



Cc: R.B. Fitch
Greg Fitch
Dan Sears
John Phillips

Sincerely,

Diehl & Phillips, P.A.

Alan R. Keith
Alan R. Keith, P.E.
9/4/13

**CHATHAM COUNTY
MAJOR SUBDIVISION
REVIEW CHECKLIST**

Subdivision Name Fearrington – Section X, Area “A” – Burke Place

Review For: Sketch Prelim Final

Attach all supporting documentation regarding these approvals. If approvals are still pending, attach applications for approval.

SKETCH DESIGN REVIEW	APPROVAL DATE
<input type="checkbox"/> 25 Copies of Plat with topo along with one (1) 8-1/2 x 11 copy	-----
<input type="checkbox"/> Application w/Complete Adjacent Owner Addresses	-----
<input type="checkbox"/> Soil Scientist Report and soil map	-----
<input type="checkbox"/> Confirmation from Chatham County Historical Association/Jane Pyle/542-3603	
<input type="checkbox"/> 1 electronic copy of all items above (see Digital Document Requirements)	
PRELIMINARY PLAT REVIEW	
<input checked="" type="checkbox"/> 25 Copies of Plat along with one (1) 8-1/2 x 11 copy
<input checked="" type="checkbox"/> Application w/ Complete Adjacent Owner Addresses
<input type="checkbox"/> Detailed Soils Map and Letter of explanation or D.E.M. approval {see Requirements for soil scientist report}	___/___/___
<input checked="" type="checkbox"/> NCDOT Approval (if public roads)	8/15/2013
<input checked="" type="checkbox"/> DOT Comm. Driveway Permit	8/14/2013
<input checked="" type="checkbox"/> Erosion Control Plan Approval (if new roads or one acre disturbed)	7/24/2013
<input type="checkbox"/> U.S. Army Corps of Engineers Permit (if appl)	___/___/___
<input checked="" type="checkbox"/> Road Name Request Form BURKE PLACE - previously approved	2012
<input checked="" type="checkbox"/> County Public Water Approval (if applicable) Engineer's Letter – Water Supply and Wastewater Treatment Capacity	9/4/2013
<input checked="" type="checkbox"/> State Public Water Approval (if applicable)	8/23/2013
<input checked="" type="checkbox"/> Chatham Co. Schools' Road Comments (if new roads) NCDOT Encroachment Agreeem	9/3/2013
<input type="checkbox"/> Stormwater Management Plan Approval (if appl)	
<input type="checkbox"/> Economic & Environmental Impact Study (if appl)	___/___/___
<input checked="" type="checkbox"/> Water / Sewer Impact Statement (if appl) – Sewer Ext Approval from NC DWQ	4/4/2011
<input checked="" type="checkbox"/> 1 electronic copy of all items above (see Digital Document Requirements)	
FINAL PLAT REVIEW	
<input type="checkbox"/> 25 Copies of Plat	-----
<input type="checkbox"/> Application
<input checked="" type="checkbox"/> 1 electronic copy of all items above (see Digital Document Requirements)	___/___/___
<input type="checkbox"/> Chatham County Environmental Health Division septic improvement permits or NCDWQ septic permits for each lot.	___/___/___
<input type="checkbox"/> Road Completion Certificate or Financial Guarantee	___/___/___
<input type="checkbox"/> Utilities Completion Cert. or Financial Guarantee	___/___/___

Comment _____

Chatham County Planning Department

P.O. Box 54
Pittsboro, NC 27312
Tel: (919) 542-8204
Fax: (919) 542-2698

Type of Review

- Sketch
- Preliminary
- Final

MAJOR SUBDIVISION APPLICATION

Name of Subdivision: Ferrington P.U.D. - Section X, Area "A": Burke Place
Subdivision Applicant: _____ **Subdivision Owner:** _____

Name: Sears Design Group, P.A.

Name: Fitch Creations, Inc.

Address: 625 West Jones Street
Raleigh, North Carolina 27603

Address: 2000 Ferrington Village Center
Pittsboro, North Carolina 27312

Phone: (W) (919) 832-7000

Phone: (W) (919) 542-4000

Phone: (H) _____ **Fax:** (919) 832-8140

Phone: (H) _____ **Fax:** (919) 542-4020

E-Mail searsdesign@searsdesigngroup.com

E-Mail rb@ferrington.com

Township: Williams **Zoning:** CUP RA-40

P.I.N.# 9774-27-3144

Flood Map# 3710977400J **Zoning:** X

Parcel # 18998

Watershed: WS-IV PA

Existing Access Road: S.R. # 1817

S.R. road name Millcroft

Total Acreage: 12.38

Total # of Lots: 12

Min. Lot Size: .40 ac

Ph. I Acreage: 12.38

Ph. I # of lots 12

Max. Lot Size: .52 ac

Ph. II Acreage: none

Ph. II # of lots none

Avg. Lot Size: .46 ac

Name and date of contact with Chatham County Historical Association: 2005; June 30, 2010 and
Jan. 30, 2012 - Jane Pyle; Feb. 1, 2012 Bev Wiggins

Type of new road: Private/ Length _____ Public/ Length 612.00'

Road Surface:

- paved to State of N.C. construction
- gravel standards

Water System:

- individual wells
- community wells
- public system

name Chatham County

Sewer System:

- septic systems
- community system
- public system

name Ferrington Utilities

List other facilities: commercial, recreation, etc., and the approximate acreage or square footage:
None in this request

Dan C. Sears Date 9/6/13
Signature of Applicant

Roy Date 9/6/13
Signature of Owner

For Office Use Only:

Notes: _____

Approved by County Commissioners: Sketch _____
Preliminary _____
Final _____

Payment: Date 1/1/1 Amount: \$ _____

ADJACENT LAND OWNERS (Property owners across a road, easement, or waterway are considered adjacent land owners):

Legal notices are mailed to these owners, please **type or write neatly**, and include zip codes.

FEARRINGTON P.U.D. SECTION X, AREA "A": BURKE PLACE

1. Julian M. Pleasants	11. Stephen and Donna Stewart
4051 Fearington Post	4076 Fearington Post
Pittsboro, North Carolina 27312	Pittsboro, North Carolina 27312
2. Francis C. Boyle	12. Fitch Creations, Inc.
4060 Fearington Post	2000 Fearington Village Center
Pittsboro, North Carolina 27312	Pittsboro, North Carolina 27312
3. Millcroft Homeowners Association	13. Marilyn and Edmund Rogers
P.O. Box 52395	4077 Fearington Post
Durham, North Carolina 27717	Pittsboro, North Carolina 27312
4. Anne Corrigan	14. Leonard Zeller and Margaret Duffy
4052 Fearington Post	4078 Fearington Post
Pittsboro, North Carolina 27312	Pittsboro, North Carolina 27312
5. Edward and Margaret Barry	15. Martha K. Juel
1 Woodland Drive #A	4080 Fearington Post
Orange City, FL 32673	Pittsboro, North Carolina 27312
6. Lynne DeSherbinin	16. Charles and Sandra Reul
4718 Alderbrook Lane	4081 Fearington Post
Durham, North Carolina 27713	Pittsboro, North Carolina 27312
7. Bryan McQuoid and Helen Chisholm	17. Allie M. and Sara W. Smith
4062 Fearington Post	4108 Fearington Post
Pittsboro, North Carolina 27312	Pittsboro, North Carolina 27312
8. Weston and Sherry Harris	18. Margaret A. Friedrich Trustee
4063 Fearington Post	4114 Fearington Post
Pittsboro, North Carolina 27312	Pittsboro, North Carolina 27312
9. Gordon and Beverly Barq Trustees	19. Francis and Virginia Buckmire
4069 Fearington Post	4118 Fearington Post
Pittsboro, North Carolina 27312	Pittsboro, North Carolina 27312
10. Loretta Ebel and Louise Kuechel Trustees	20. Donald and Patricia Novak
4070 Fearington Post	4120 Fearington Post
Pittsboro, North Carolina 27312	Pittsboro, North Carolina 27312

ADJACENT LAND OWNERS (Property owners across a road, easement, or waterway are considered adjacent land owners):

Legal notices are mailed to these owners, please **type or write neatly**, and include zip codes.

FEARRINGTON P.U.D. SECTION X, AREA "A": BURKE PLACE

21. Matthew and Phyllis Alexander	31.
4122 Fearington Post	
Pittsboro, North Carolina 27312	
22. R.B. Fitch	32.
2000 Fearington Village Center	
Pittsboro, North Carolina 27312	
23. Wade Barber, Jr.	33.
803 Greenwood Road	
Chapel Hill, North Carolina 27514	
24. Theodore H. Lingerfeldt, Jr. and Christina C. Lingerfeldt	34.
106 Windrock Lane	
Cary, North Carolina 27518	
25. Sears Design Group, P.A.	35.
625 West Jones Street	
Raleigh, North Carolina 27603	
26. Gail Mazzocco, President FHA c/o The FHA	36.
599 Fearington Post	
Pittsboro, North Carolina 27312	
27.	37.
28.	38.
29.	39.
30.	40.



STATE OF NORTH CAROLINA
DEPARTMENT OF TRANSPORTATION

PATRICK L. MCCRORY
GOVERNOR

ANTHONY J. TATA
SECRETARY

January 26, 2009

RECEIVED AUG 15 2013

Chatham County

Subject: Subdivision – Ferrington Section X Area A, Ferrington P.U.D.

Mr. Robert Flynn
Fitch Creations, Inc.
2000 Ferrington Village Center
Ferrington Village, NC 27312

Dear Mr. Flynn:

The N. C. Department of Transportation, Division of Highways has reviewed the construction plans signed and sealed by Alan Keith, PE on August 5, 2013 as submitted to this office and approval is granted subject to the following stipulations and recommendations:

1. All Construction is to be in accordance with the details as shown on the plans, as well as conform to the most recent edition of the *Standard Specifications for Roads and Structures*.
2. A Driveway Permit #19.917 has been previously issued with this package.
3. The entire 45' right of way is to be cleared and grubbed throughout the whole phase of the project. Please be aware that the areas within the sight distance quadrants are to be treated as right of way.
4. All soil areas within the proposed right of way and any other soil areas disturbed during construction shall be seeded and mulched immediately upon completion of roadway construction. The seeding shall be done as outlined in the seeding specification attachment.
5. The crossline drainage is approved as proposed on the construction plans. If, however field conditions dictate any changes, these shall be made upon approval by NCDOT. If any of the property owners desire to pipe their ditches within the proposed NCDOT right of way, please advise them that this work should conform to NCDOT specifications for this type of work (see attached). If any ditches are piped and not satisfactorily completed to NCDOT specifications, this could result in the road not being accepted for addition to the state maintained system of roads. Any ditches piped or other encroachment prior to addition to the state maintained system are subject to an encroachment agreement, as are utility companies, when the road is added.

P.O. BOX 1164, ASHEBORO, NORTH CAROLINA 27204
PHONE (336) 318-4000 FAX (336) 318-4010

Subdivision Plan Approval Fearington Section X Area A


6. The typicals as shown in the plans, are approved.
7. The Division of Highways will only allow mailboxes, with non-rigid type post, such as 4" x 4" wooden or small diameter metal type on new additions. Brick columns or mailboxes on rigid stands such as block, stone or any other type deemed to be a traffic hazard will not be allowed within the right of way. This policy applies to all roads being considered for addition to the State Maintained System.
8. An erosion control plan shall require approval from Chatham County. The developer should forward this plan to Mr. Jim Willis, Erosion and Sediment Control Officer, 80 East, P.O. Box 130, Pittsboro, N.C. 27312, phone (919) 545-8343 for his review and approval.
9. As this subdivision is proposed to be public and is likely to be requested to be added to the state maintained system of roads, the developer will be responsible for providing a PE Certification, (See Attached) and testing results for base and asphalt density stating that the streets have been built in accordance with the most current "Subdivision Roads: Minimum Construction Standards" manual and with the attached approved plans. Please be advised that this PE Certification does not approve the road for addition to the State Highway System for maintenance. When the proper home density is achieved and roads have been satisfactorily maintained, the developer or property owners must submit Form SR-1, Petition for Road Addition (copy attached to this correspondence), and four (4) copies of the recorded plat to request that the road or roads be added to the State Highway system. Any maintenance problems found when the road is requested to be added must be repaired by the developer prior to the road becoming state maintained. As stated in GS 136-102.6, final acceptance by the Division of Highways of the public streets and placing them on the State highway system for maintenance shall be conclusive proof that the streets have been constructed according to the minimum standards of the Board of Transportation.
10. The developer shall comply with all applicable local, state, and federal environmental regulations, and shall obtain all necessary local, state, and federal environmental permits, including, but not limited to, those related to sediment control, stormwater, wetlands, streams, endangered species, and historical sites.
11. A properly completed Verification of Compliance with the Department of Environment and Natural Resources (DENR)(page 35, attached) must be submitted prior to the road(s) being considered for addition to the NCDOT System.
12. In preparing the final plat for certification by this office and subsequent recording, the following information will be incorporated:
 - A. The sight distance quadrants at the intersections shall be shown either as a public easement or as the property line.
 - B. Public easements for drainage throughout the development.
 - C. All roads shall be shown as public and the right of way width shown

Subdivision Plan Approval Fearington Section X Area A

13. If the plans of this subdivision change in a way that would cause a change in the classification of these roads from Local Residential to Residential Collector the developer will be responsible for upgrading roads to meet Residential Collector standards prior to addition the state maintenance system.
14. This approval does not approve the utilities within this subdivision. Any utilities shall be submitted for approval to this office via a properly executed Encroachment Agreement to be approved at the time the roads within the subdivision are petitioned to be added to the state system for maintenance. Please note that water valves should be located a minimum of 6' from edge of pavement, fire hydrants should be behind the right of way line and all service taps should be installed prior to paving.

If you have any further questions regarding this matter, please do not hesitate to call this office at (336) 629-1423.

Yours truly,


Jeff Loflin, PE
District Engineer

Attachments

cc: Richard W. Hancock, P.E., Division Engineer
Justin Bullock, P.E., County Maintenance Engineer
Lynn Richardson, Chatham County Planning
Alan Keith, P.E., Diehl & Phillips, P.A.
File



STATE OF NORTH CAROLINA
DEPARTMENT OF TRANSPORTATION

BEVERLY EAVES PERDUE
GOVERNOR

DIVISION OF HIGHWAYS

EUGENE A. CONTI, JR.
SECRETARY

**PROFESSIONAL ENGINEER CERTIFICATION
SUBDIVISIONS AND COMMERCIAL DRIVEWAYS
DIVISION 8, DISTRICT 1**

DATE: _____

COUNTY: _____

SUBDIVISION NAME: _____

STREET NAMES From Sta. No. To Sta. No.

This is to certify that the above listed roads have been constructed in accordance with the approved plans and all aspects of the most current Subdivision Roads: Minimum Construction Standards manual.

NAME: _____
SIGNATURE: _____
NC PE LICENSE #: _____

Professional Engineer Seal

**North Carolina Department of Transportation
Division of Highways
Petition for Road Addition**

ROADWAY INFORMATION: (Please Print/Type)

County: _____ Road Name: _____
(Please list additional street names and lengths on the back of this form.)

Subdivision Name: _____ Length (miles): _____

Number of occupied homes having street frontage: _____ Located (miles): _____

miles N S E W of the intersection of Route _____ and Route _____
(Check one) (SR, NC, US) (SR, NC, US)

We, the undersigned, being property owners and/or developers of _____ in _____ County, do hereby request the Division of Highways to add the above described road.

CONTACT PERSON: Name and Address of First Petitioner. (Please Print/Type)

Name: _____ Phone Number: _____

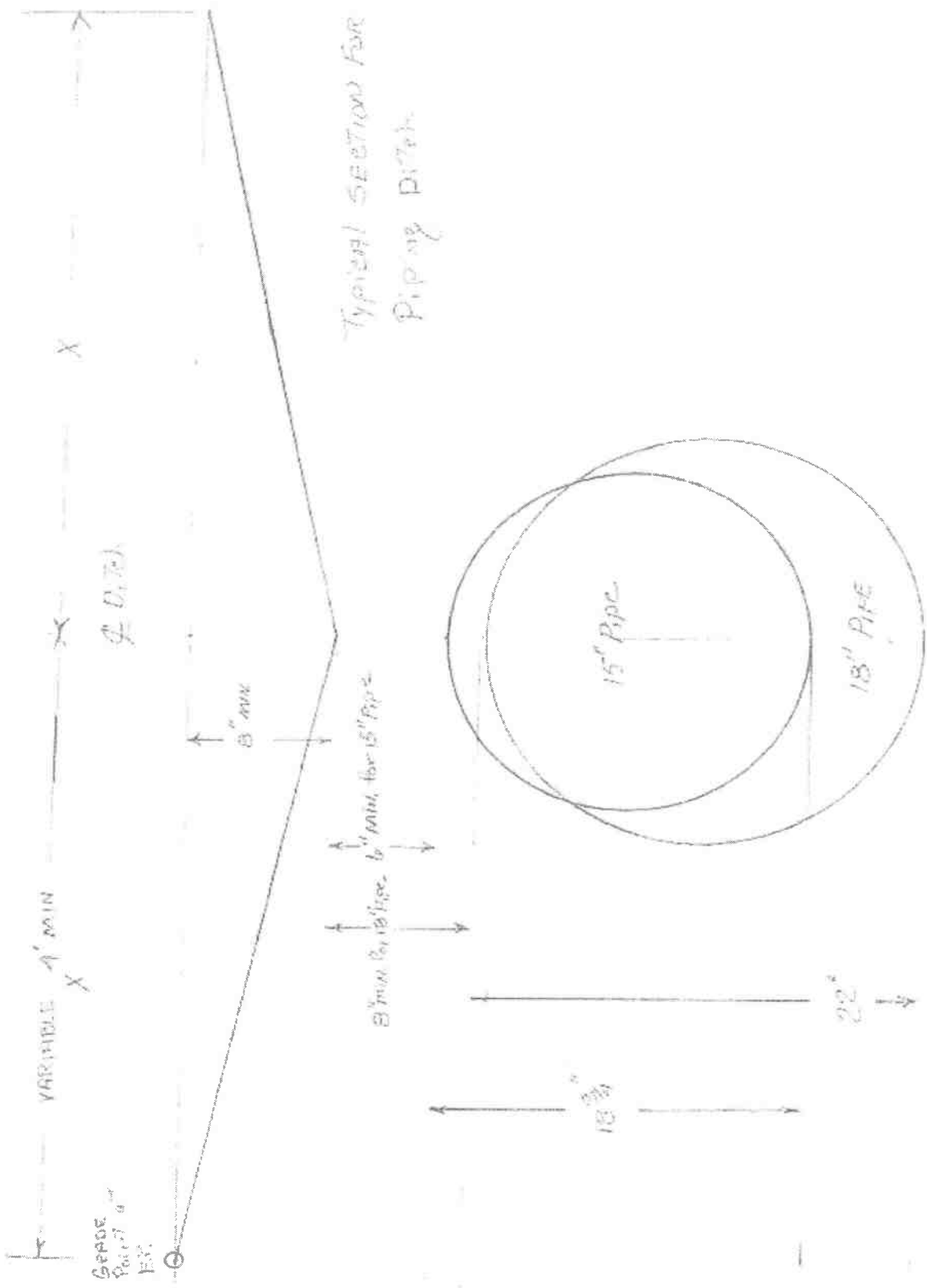
Street Address: _____

Mailing Address: _____

PROPERTY OWNERS

<u>Name</u>	<u>Mailing Address</u>	<u>Telephone</u>
-------------	------------------------	------------------

_____	_____	_____
_____	_____	_____
_____	_____	_____
_____	_____	_____
_____	_____	_____
_____	_____	_____
_____	_____	_____
_____	_____	_____



POSSIBLE SUPPLIERS FOR
GRATES AND FRAMES

SOUTHERN FOUNDRY
P.O. BOX 186
APEX, N.C. 27502
(919) 362-7744

NORFOLK CAST, INC.
P.O. BOX 328
NORFOLK, VA. 23501

VULCAN FOUNDRY CORP.
P.O. BOX 905
DENHAM SPRINGS, LA.
1(800)626-4653

US FOUNDRY
8351 N. W. 93RD ST
MEDLEY, FLA. 33166
(305)885-0301 FAX (305) 844-3253

SUPER CAST, INC.
1104 US HWY. 117 BYPASS, S.
GOLDSBORO, N.C. 27530
(919)736-9010 FAX (919)736-0290

BUNCH PATTERN WORKS, INC.
P.O. BOX 267 HWY 308 N.
LEWISTON-WOODVILLE, N.C. 27849

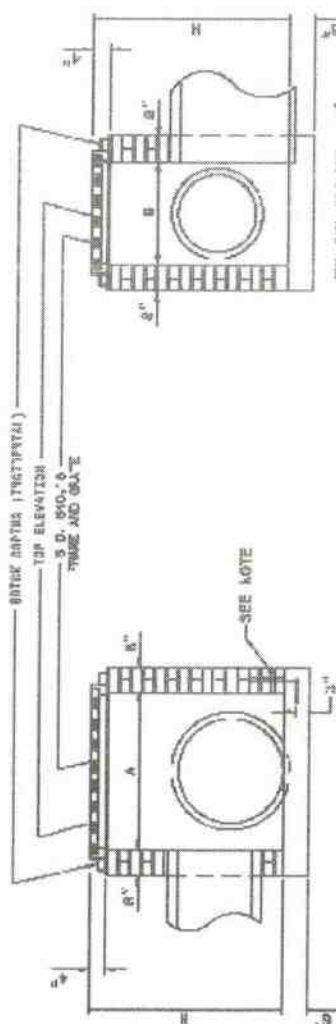
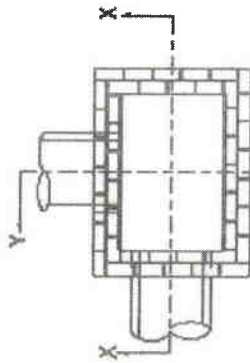
CAPITAL FOUNDRY OF VIRGINIA, INC.
P.O. BOX 2212
VIRGINIA BEACH, VIRGINIA 23450

EMPORIA FOUNDRY, INC.
620 REESE STREET
EMPORIA, VIRGINIA 23847

ENNIS ENTERPRISES
P.O. BOX 931
WILMINGTON, N.C. 28402
(910) 371-9323

GENERAL NOTES:

- MORTAR JOINTS $\frac{1}{8}$ " +/- $\frac{1}{16}$ " THICK.
- USE CLASS "B" CONCRETE THROUGHOUT.
- LINE FORMS FOR CONSTRUCTION OF THE BOTTOM SLAB.
- USE #4 BAR COPIES AT 12" ONTENTR.
- DEDUCT FOR PIPE(S) FROM TOTAL CU. YDS. OF BRICK MASONRY.
- PROVIDE ALL CATCH BASINS OVER 3'-6" IN DEPTH WITH STEPS 12" ON CENTER. USE STEPS WHICH COMPLY WITH STD. DRAWING 840.66.
- USE BRICK OF CONCRETE BLOCK WHICH COMPLIES WITH THE REQUIREMENTS OF SECTION 840 OF THE STANDARD SPECIFICATIONS.
- IF REINFORCED CONCRETE PIPE IS SET IN BOTTOM SLAB OF BOX, ADD TO SLAB AS SHOWN ON STD. NO. 840.00.
- FOR 0'-0" IN HEIGHT OR LESS, USE 8" WALL. OVER 6'-0" IN HEIGHT, USE 12" WALL TO 6'-0" FROM TOP OF WALL AND 8" WALL FOR THE REMAINING 6'-0" HEIGHTS TO BE ADJUSTED ACCORDINGLY.
- CONSTRUCT WITH PIPE DRUMS MATCHING.
- SEE STANDARD DRAWING 840.25 FOR ATTACHMENT OF FRAMES AND BRACES.
- DO NOT USE BRICK MASONRY DROP INLET IN LOCATIONS SUBJECT TO TRAFFIC.
- CHAMFER ALL EXPOSED CORNERS 1".
- DRAWING NOT TO SCALE.



DIMENSIONS OF BOX & PIPE		CUBIC YARDS CONCRETE		CUBIC YARDS BRICK MASONRY		DEDUCTIONS FOR ONE PIPE	
PIPE	SPAN	WIDTH	MIN. H.C.-GRT	SLAB	WALL PER FOOT HT.	TOTAL GRADE MASONRY AND BRICK, M ³	R.C.
12"	3'-0"	2'-0"	2'-0"	0.268	0.313	3.620	0.032
18"	3'-0"	2'-0"	2'-0"	0.280	0.313	3.600	0.047
24"	3'-0"	2'-0"	3'-0"	0.253	0.313	5.885	0.113
30"	3'-0"	2'-0"	3'-6"	0.265	0.313	6.991	0.170

VERIFICATION OF COMPLIANCE WITH ENVIRONMENTAL REGULATIONS

(Check Appropriate Box)

- Permits from the N.C. Department of Environment and Natural Resources and the U.S. Army Corp of Engineers are not required for this project. However, all applicable federal and state regulations have been followed.
- The required permits from the N.C. Department of Environment and Natural Resources and the U.S. Army Corp of Engineers have been obtained for this project. Copies of permits and Completion Certificates are attached.
- All applicable NPDES Stormwater Permit requirements have been met for this project. (The applicant should contact the N.C. Division of Water Quality in Raleigh to determine if a stormwater permit is required.)
- The project is in compliance with all applicable sedimentation and erosion control laws and regulations.

Project Name: _____

Township: _____

County: _____

Project Engineer: _____

Phone No.: _____

Project Contact: _____

Applicants Name: _____

P.E. SEAL

Date Submitted: _____

(Reference Page 11, Item 10)

11/07/2003

ATTACHMENT "A"

Seeding and mulching shall be in accordance with Section 800 of the North Carolina Standard Specifications for Roads and Structures, except that Articles 800-810) shall not apply. Final determination of soil type shall be made by the Engineer. The following rates in pounds per acre shall apply:

<u>SANDY SOIL</u>	<u>CLAY SOIL</u>
50# - KY 31 Tall Fescue or Alta Tall Fescue	100# - KY 31 Tall Fescue or Alta Tall Fescue
5# - Centipede	15# - Kenblue Bluegrass
50# - Pensacola Bahiagrass	500# - Fertilizer
500# - Fertilizer	4000# - Limestone
4000# - Limestone	

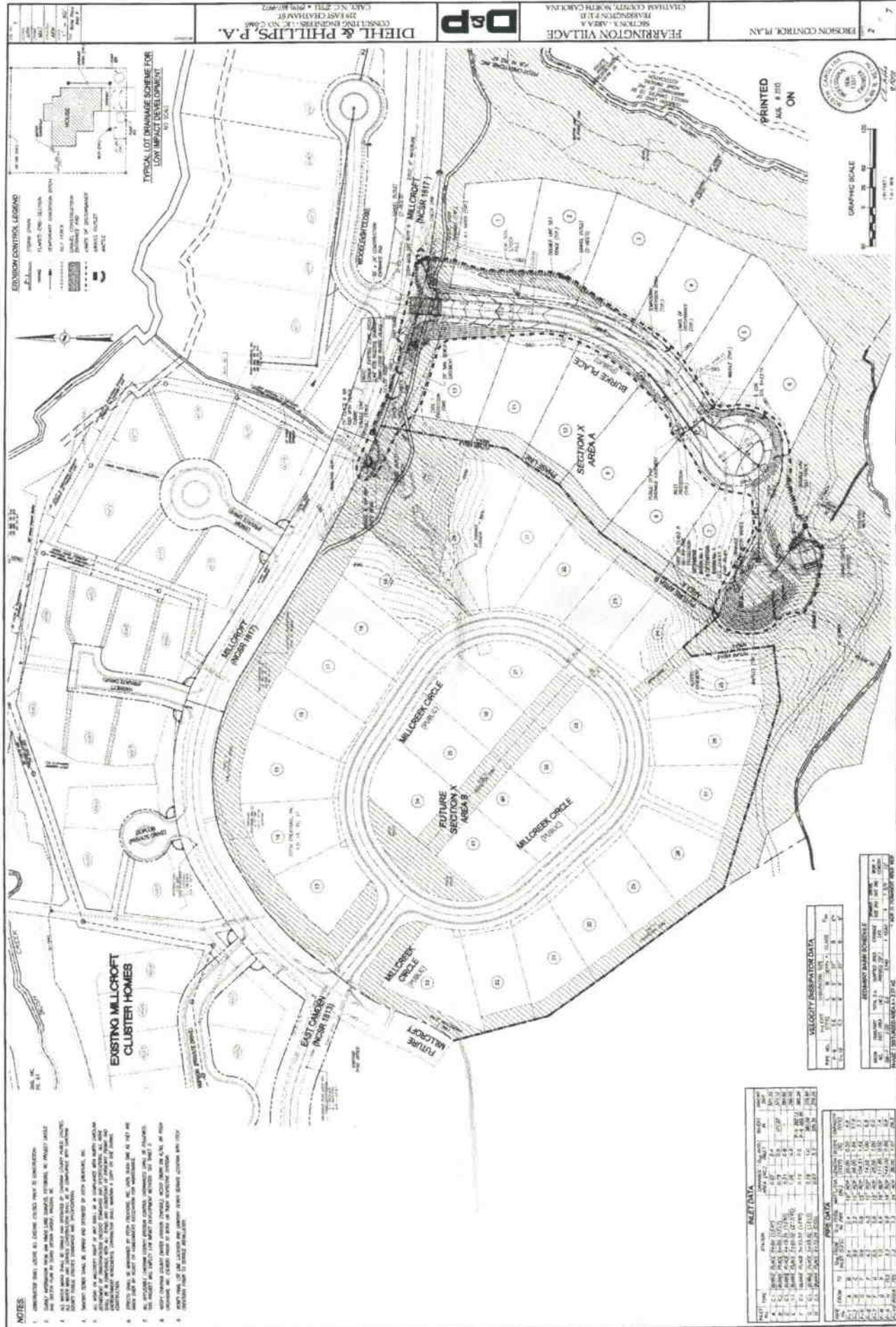
Add 10# Kobe or Korean Lespedeza and 10# Millet to the above mixture from May 1 to August 31.

On cut and fill slopes 2:1 or steeper, add 30# Sericea Lespedeza from January 1 to December 31.

Fertilizer shall be 10-20-20 analysis. Upon written approval of the Engineer, a different analysis of fertilizer may be used provided the 1-2-2 ratio is maintained and the rate of application adjusted to provide the same amount of plant food as a 10-20-20 analysis.



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 JAN. 8, 2010
 ON



REVISION CONTROL LOG

NO.	DATE	DESCRIPTION
1	01/08/10	ISSUED FOR PERMITS
2	01/08/10	ISSUED FOR PERMITS
3	01/08/10	ISSUED FOR PERMITS
4	01/08/10	ISSUED FOR PERMITS
5	01/08/10	ISSUED FOR PERMITS
6	01/08/10	ISSUED FOR PERMITS
7	01/08/10	ISSUED FOR PERMITS
8	01/08/10	ISSUED FOR PERMITS
9	01/08/10	ISSUED FOR PERMITS
10	01/08/10	ISSUED FOR PERMITS



EXISTING MILCROFT CLUSTER HOMES

EXISTING MILCROFT CLUSTER HOMES ARE SHOWN WITH DOTTED LINES AND CIRCLES. THESE HOMES ARE BEING REDEVELOPED WITH NEW HOMES AND DRIVeways. THE EXISTING DRIVEWAYS ARE TO BE MAINTAINED AND IMPROVED WHERE NECESSARY. THE NEW HOMES WILL BE CONSTRUCTED WITH IMPROVED DRAINAGE SYSTEMS TO REDUCE RUNOFF AND IMPROVE WATER QUALITY. THE EXISTING DRIVEWAYS ARE TO BE MAINTAINED AND IMPROVED WHERE NECESSARY. THE NEW HOMES WILL BE CONSTRUCTED WITH IMPROVED DRAINAGE SYSTEMS TO REDUCE RUNOFF AND IMPROVE WATER QUALITY.

- NOTES**
1. ALL DIMENSIONS ARE IN FEET AND INCHES UNLESS OTHERWISE NOTED.
 2. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
 3. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
 4. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
 5. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
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 8. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
 9. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
 10. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.

VELOCITY INSERVATION DATA

NO.	DATE	TIME	VELOCITY (FPS)	DEPTH (FT)	WIND (FPS)
1	01/08/10	08:00	1.2	1.0	5.0
2	01/08/10	08:15	1.5	1.0	5.0
3	01/08/10	08:30	1.8	1.0	5.0
4	01/08/10	08:45	2.1	1.0	5.0
5	01/08/10	09:00	2.4	1.0	5.0
6	01/08/10	09:15	2.7	1.0	5.0
7	01/08/10	09:30	3.0	1.0	5.0
8	01/08/10	09:45	3.3	1.0	5.0
9	01/08/10	10:00	3.6	1.0	5.0
10	01/08/10	10:15	3.9	1.0	5.0

PERMITS DATA

NO.	DATE	TYPE	STATUS
1	01/08/10	PERMIT	ISSUED
2	01/08/10	PERMIT	ISSUED
3	01/08/10	PERMIT	ISSUED
4	01/08/10	PERMIT	ISSUED
5	01/08/10	PERMIT	ISSUED
6	01/08/10	PERMIT	ISSUED
7	01/08/10	PERMIT	ISSUED
8	01/08/10	PERMIT	ISSUED
9	01/08/10	PERMIT	ISSUED
10	01/08/10	PERMIT	ISSUED

REVISION DATA

NO.	DATE	DESCRIPTION
1	01/08/10	ISSUED FOR PERMITS
2	01/08/10	ISSUED FOR PERMITS
3	01/08/10	ISSUED FOR PERMITS
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5	01/08/10	ISSUED FOR PERMITS
6	01/08/10	ISSUED FOR PERMITS
7	01/08/10	ISSUED FOR PERMITS
8	01/08/10	ISSUED FOR PERMITS
9	01/08/10	ISSUED FOR PERMITS
10	01/08/10	ISSUED FOR PERMITS

DATE	DESCRIPTION
11/11/11	ISSUED FOR PERMITTING
11/11/11	ISSUED FOR CONSTRUCTION
11/11/11	ISSUED FOR AS-BUILT
11/11/11	ISSUED FOR RECORD
11/11/11	ISSUED FOR FINAL

DIEHL & PHILLIPS, P.A.
 CONSULTING ENGINEERS, L.P. AND CORP.
 29 EIGHT CLIFTON BLVD.
 CARY, N.C. 27513 • (919) 882-9973

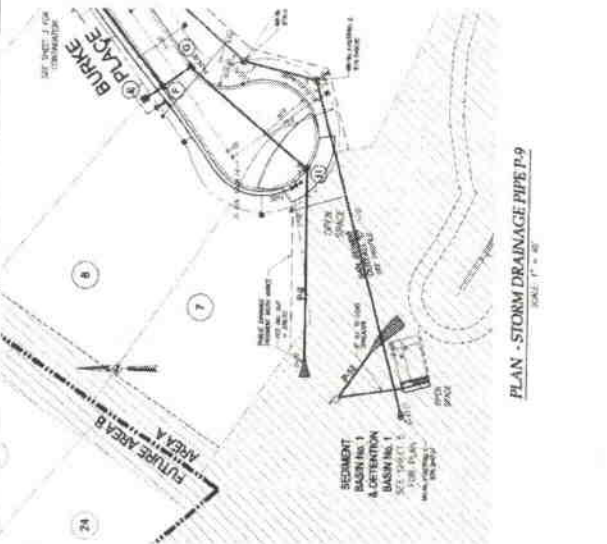


FEARRINGTON VILLAGE
 SECTION 4, AREA A
 HAYSTACK P.L.D.
 CHATHAM COUNTY, NORTH CAROLINA

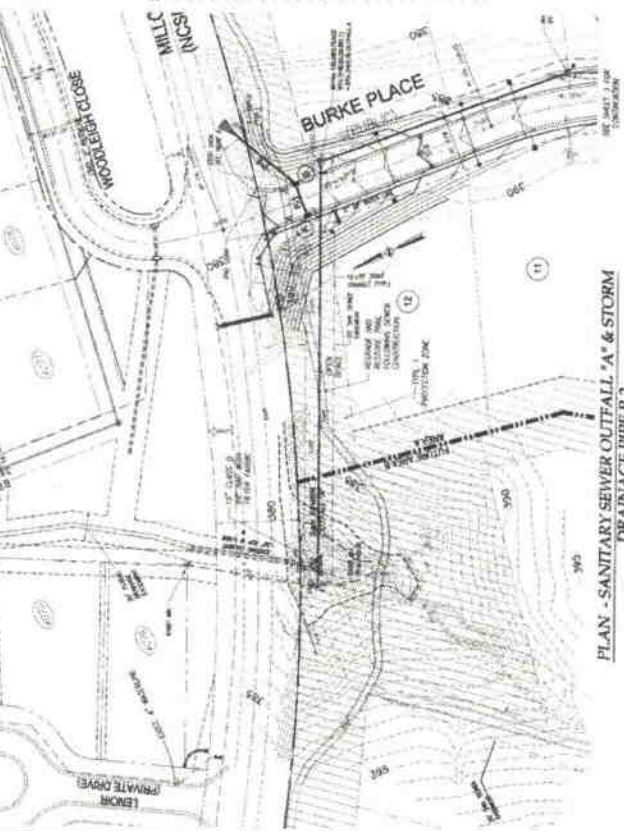
PLAN AND PROFILE
 SANITARY SEWER OUTFALL
 P2 AND P9



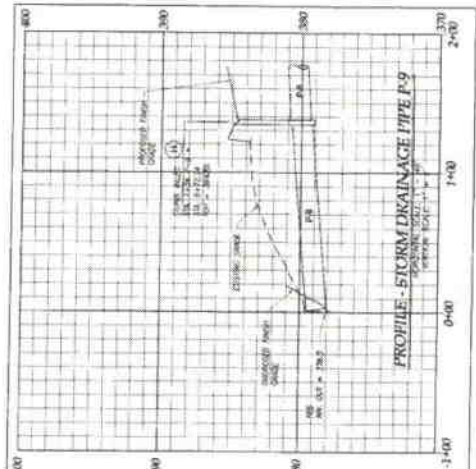
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 AS 8:00
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PLAN - STORM DRAINAGE PIPE P-9
 SCALE: 1" = 40'



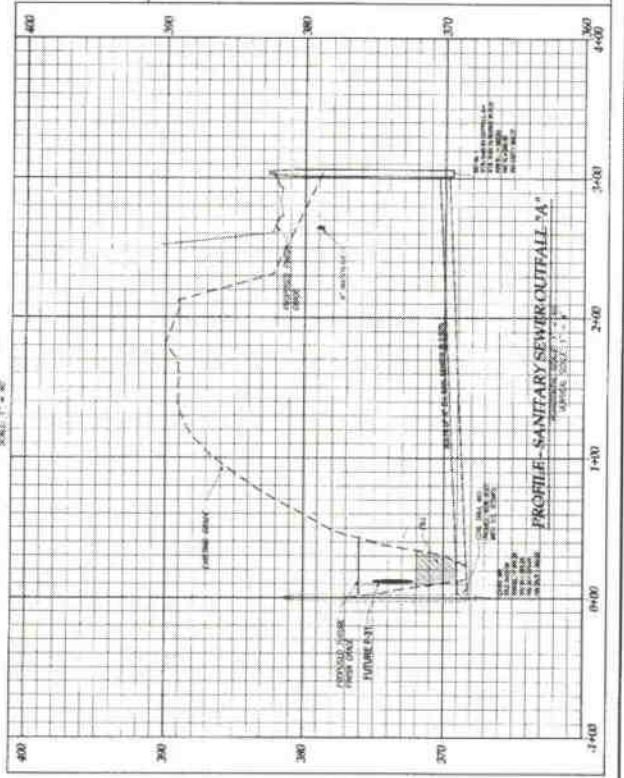
PLAN - SANITARY SEWER OUTFALL 'A' & STORM
 DRAINAGE PIPE P-2
 SCALE: 1" = 40'



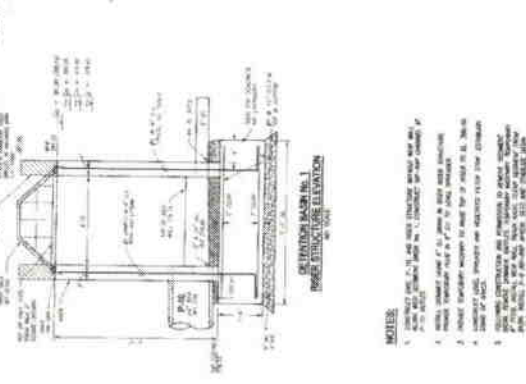
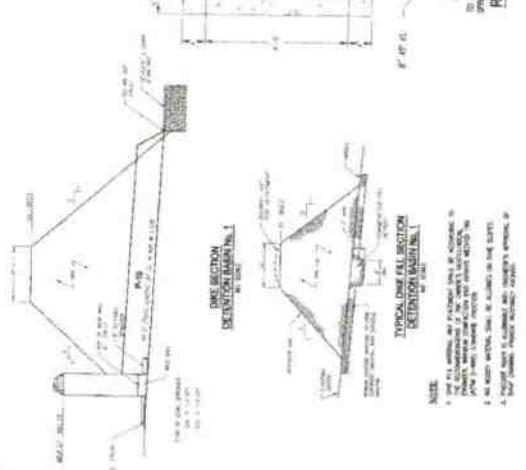
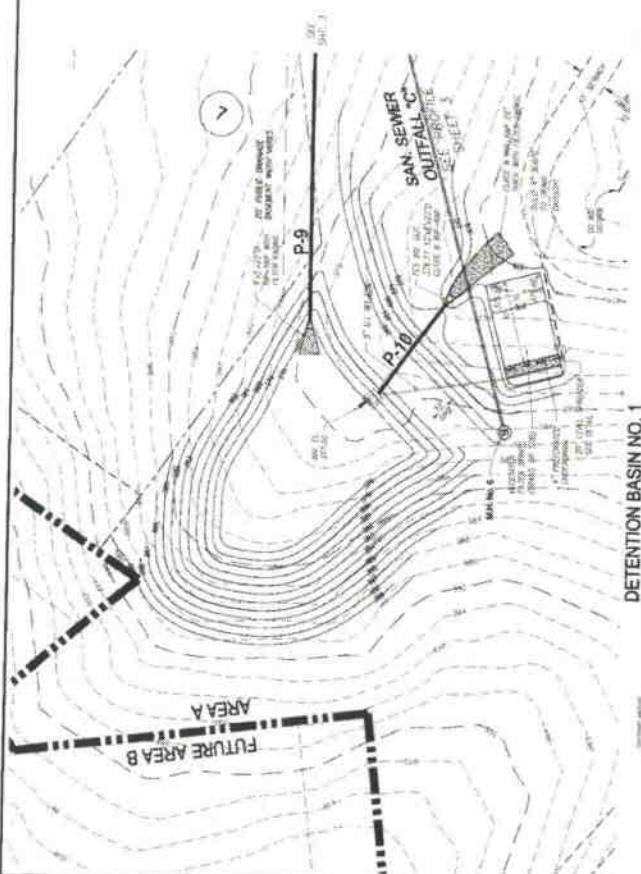
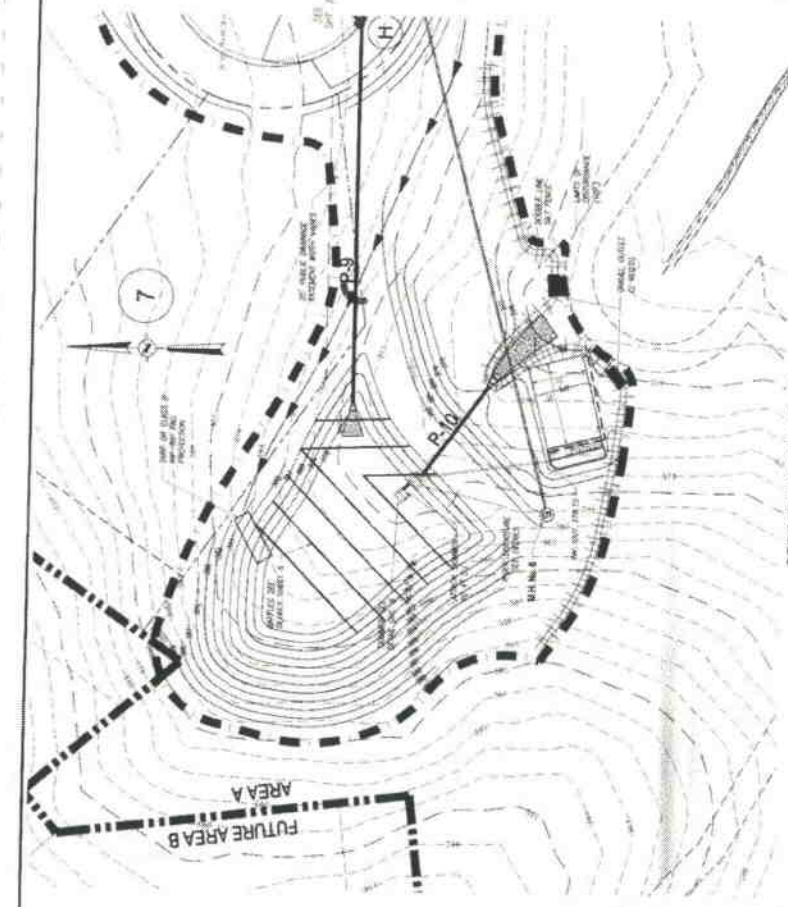
PROFILE - STORM DRAINAGE PIPE P-9



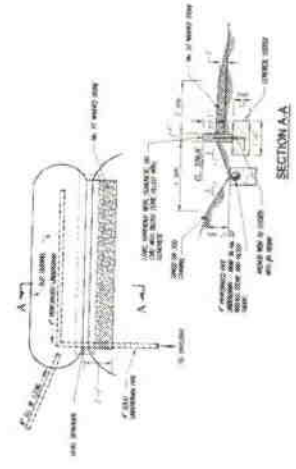
PROFILE - STORM DRAINAGE PIPE P-2



PROFILE - SANITARY SEWER OUTFALL 'A'



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 ON



- NOTES:**
1. CONCRETE SHALL BE 3000 PSI COMPRESSIVE STRENGTH WITH 4% MINIMUM AIR ENTRAINMENT UNLESS OTHERWISE SPECIFIED.
 2. ALL WALLS SHALL BE FINISHED WITH 1/2" THICK TYPE S AND SHALL BE PROTECTED WITH 1/2" THICK TYPE S AND SHALL BE PROTECTED WITH 1/2" THICK TYPE S.
 3. ALL WALLS SHALL BE FINISHED WITH 1/2" THICK TYPE S AND SHALL BE PROTECTED WITH 1/2" THICK TYPE S.
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 9. ALL WALLS SHALL BE FINISHED WITH 1/2" THICK TYPE S AND SHALL BE PROTECTED WITH 1/2" THICK TYPE S.
 10. ALL WALLS SHALL BE FINISHED WITH 1/2" THICK TYPE S AND SHALL BE PROTECTED WITH 1/2" THICK TYPE S.



STATE OF NORTH CAROLINA
DEPARTMENT OF TRANSPORTATION

PAT MCCRORY
GOVERNOR

DIVISION OF HIGHWAYS

ANTHONY J. TATA
SECRETARY

August 14, 2013

Chatham County

**County Driveway Permit File Number 19.917
(Farrington Section X Area A)**

Re: Commercial Driveway Permit Application with Entrance onto SR 1817

Mr. Robert Flynn
Fitch Creations, Inc.
2000 Farrington Village Center
Farrington Village, NC 27312

Dear Mr. Flynn:

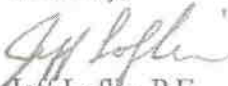
Personnel assigned to this office have conducted a review of the permit application & plans and approval is granted subject to the following stipulations:

1. This approval covers only work associated with the construction of an entrance connection to the NCDOT maintained roadway.
2. The entrance onto SR 1817 is to be constructed in accordance with the attached plan sheets.
3. The entrance onto SR 1817 is to be paved for at least 50' along the centerline of each entrance.
4. The entrance onto SR 1817 shall require radii on each side of the driveway as shown on the attached drawing.
5. No parking or outdoor advertising (signs) shall be allowed inside the right of way of SR 1817.
6. Any areas inside the right of way disturbed during construction shall be seeded and mulched immediately upon completion of construction.
7. Upon completion of construction, final approval by the District Engineer is required prior to opening the access connection for public use (page 9 Driveway Manual).
8. **The Owner/Developer & Engineer is advised that any changes to the approved site plan or construction of any structures which will add additional traffic to the site will require issuance of a new driveway permit and encroachment by NCDOT.**
9. **Any work proposed within existing or proposed NCDOT right of way not covered in the above stipulations shall be constructed in accordance with an NCDOT approved**

Page 2 of 2
Driveway Permit # 19.917
Farrington Section X Area A

Encroachment Agreement. An approved Encroachment Agreement will show all roadway details including, but not limited to, roadway widening, drainage and pavement markings. When construction activities are covered under both an approved NCDOT Driveway Permit and an approved NCDOT Encroachment Agreement, those construction activities shall be considered to be covered under the NCDOT approved Encroachment Agreement.

Attached to this correspondence please find an approved copy of TEB Form 65-04 (Driveway Permit Application - N. C. Department of Transportation). Upon completion of the driveway entrances construction please notify the Chatham County Maintenance Department (Phone (919)742-3431) so a final inspection of the entrances can be made.

Sincerely,

Jeff Loflin, P.E.
District Engineer

Attachments

cc: Richard W. Hancock, P.E., Division Engineer
Justin Bullock P.E, County Maintenance Engineer
Charlie Horne, Chatham County Manager
Alan Keith P.E., Diehl & Phillips, P.A.
File S:\S_Drive\Dist1\Templates\DRIVEWAYS\LETTERS\DW Approval Letter Example.doc

SIGNATURES OF APPLICANT

PROPERTY OWNER (APPLICANT)			WITNESS		
COMPANY	Fitch Creations, Inc.	NAME	Bobbie Gantney		
SIGNATURE	<i>[Signature]</i>	SIGNATURE	<i>[Signature]</i>		
ADDRESS	2000 Farrington Village Center		ADDRESS	634 E Swannanoa Ave	
	Pittsboro, NC	Phone No. 919 542 4000		Liberty, NC 27298	

AUTHORIZED AGENT			WITNESS		
COMPANY	Fitch Creations, Inc.	NAME	Bobbie Gantney		
SIGNATURE	<i>[Signature]</i>	SIGNATURE	<i>[Signature]</i>		
ADDRESS	2000 Farrington Village Center		ADDRESS	634 E Swannanoa Ave	
	Pittsboro NC 27514	Phone No. 919 542 4000		Liberty, NC 27298	

APPROVALS

APPLICATION RECEIVED BY DISTRICT ENGINEER

[Signature]
SIGNATURE

8/13/13
DATE

APPLICATION APPROVED BY LOCAL GOVERNMENTAL AUTHORITY (when required)

[Signature]
SIGNATURE

[Signature]
TITLE

6/26/13
DATE

APPLICATION APPROVED BY DISTRICT ENGINEER

[Signature]
SIGNATURE

8/13/13
DATE

INSPECTION BY NCDOT

SIGNATURE

TITLE

DATE



STATE OF NORTH CAROLINA
DEPARTMENT OF TRANSPORTATION

PAT MCCRORY
GOVERNOR

DIVISION OF HIGHWAYS

ANTHONY J. TATA
SECRETARY

August 14, 2013

Chatham County

Subject: Form TEB 65-04 - Driveway Permit Fee

County Driveway Permit File Number 19.917

Mr. Mark L. Foster
Chief Financial Officer
N. C. Department of Transportation
Division of Highways
Raleigh, N. C. 27611
CS # 51-31-00

Dear Mr. Foster:

Attached please find your copy of the approved Form TEB 65-04 Driveway Permit and check in the Amount of \$50.00 for the following commercial driveway entrance:

DATE OF APPROVAL: August 14, 2013
APPLICANT: Fitch Creations, Inc.
ROUTE: SR 1817
COUNTY: Chatham
DEPARTMENT: 150358
OBJECTIVE CODE: 47900024
WORK ORDER NO: 8.201911
FUNCTION CODE: 2712

Yours very truly,


Jeff Loffin P.E.
District Engineer

JBL/jtr:

cc: Mr. R. W. Hancock, P.E., Division Engineer
File



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 AUG 6 2010
 ON

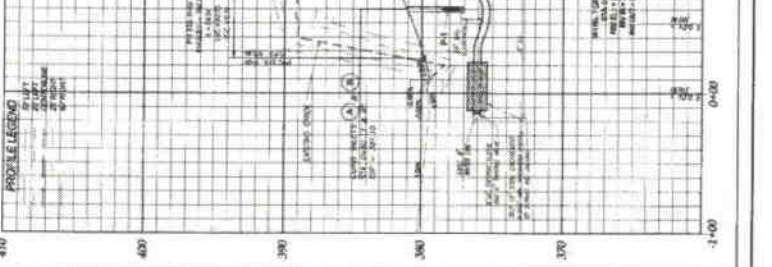
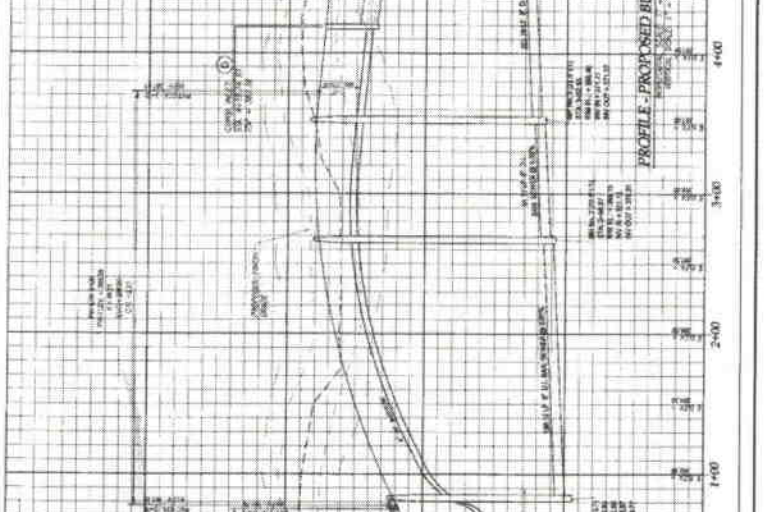
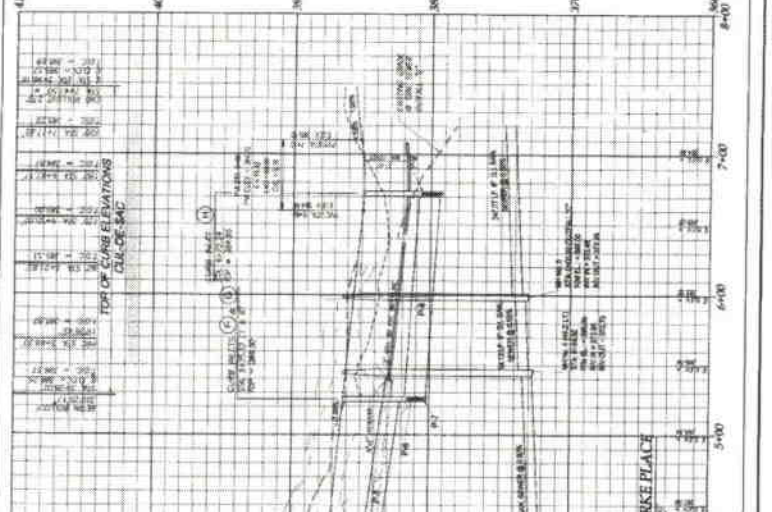
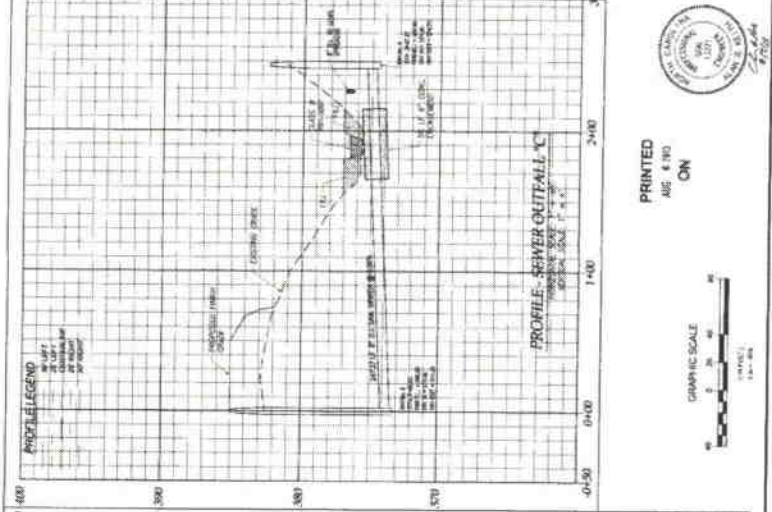


- GENERAL NOTES:**
1. EXISTING AND PROPOSED GRADES ARE SHOWN BY DASHED AND SOLID LINES, RESPECTIVELY.
 2. ALL VERTICAL CURVES SHALL BE IN ACCORDANCE WITH THE NORTH CAROLINA DEPARTMENT OF TRANSPORTATION (NCDOT) DESIGN MANUAL FOR HIGHWAYS AND BRIDGES, LATEST EDITION.
 3. ALL VERTICAL CURVES SHALL BE DESIGNED TO PROVIDE A MINIMUM CLEARANCE OF 15 FEET OVER ALL OBSTACLES.
 4. ALL VERTICAL CURVES SHALL BE DESIGNED TO PROVIDE A MINIMUM CLEARANCE OF 15 FEET OVER ALL OBSTACLES.
 5. ALL VERTICAL CURVES SHALL BE DESIGNED TO PROVIDE A MINIMUM CLEARANCE OF 15 FEET OVER ALL OBSTACLES.
 6. ALL VERTICAL CURVES SHALL BE DESIGNED TO PROVIDE A MINIMUM CLEARANCE OF 15 FEET OVER ALL OBSTACLES.



BURKE PLACE CURVE DATA

Curve #	Stationing	Length (ft)	Grade (%)	Rate (ft)
1	1+00.00	200.00	2.00	100.00
2	3+00.00	200.00	2.00	100.00



PLAN - PROPOSED BURKE PLACE

PROFILE - PROPOSED BURKE PLACE

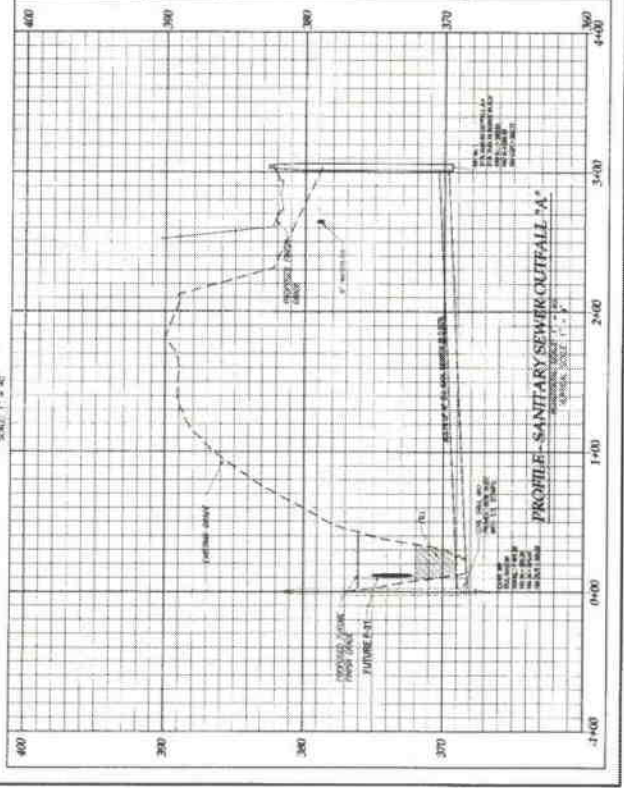
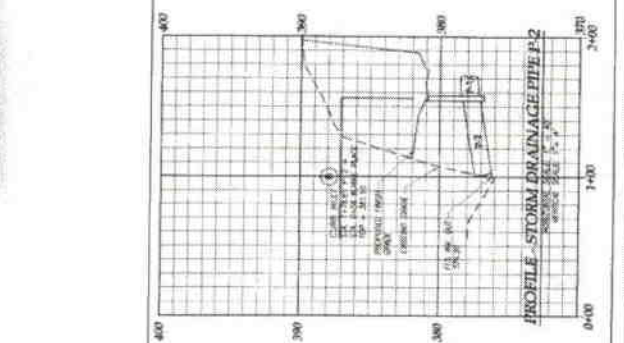
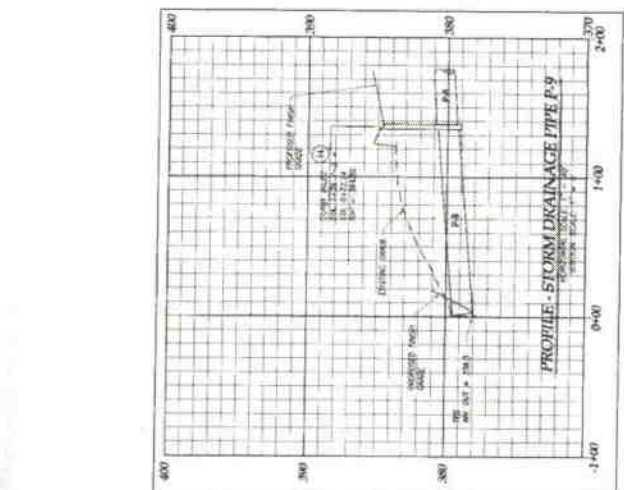
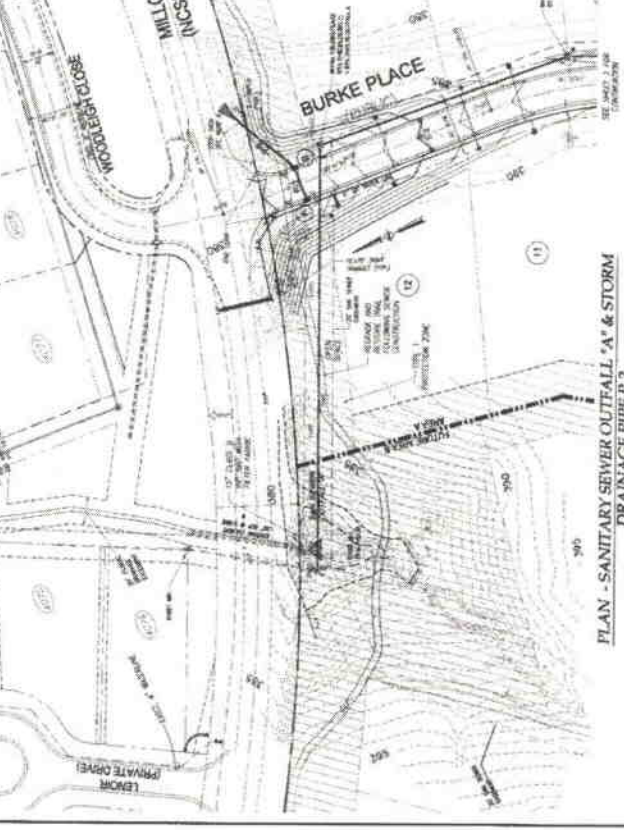
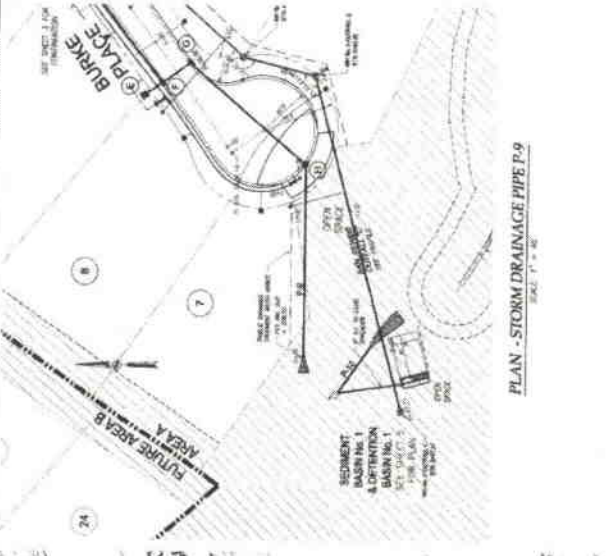
GENERAL NOTES:

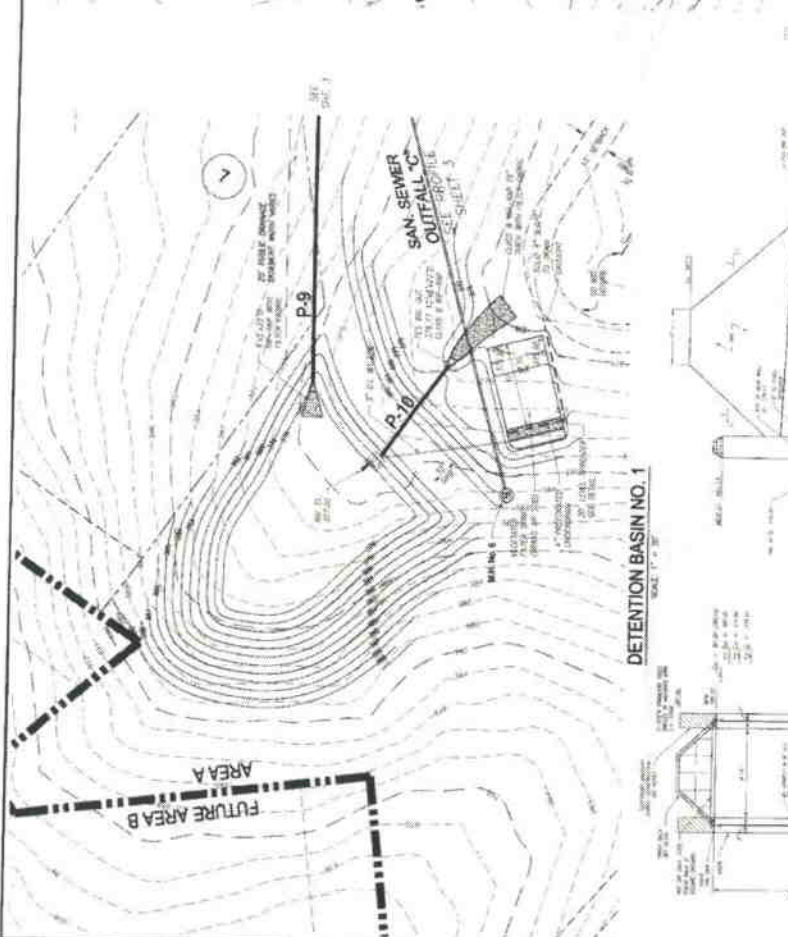
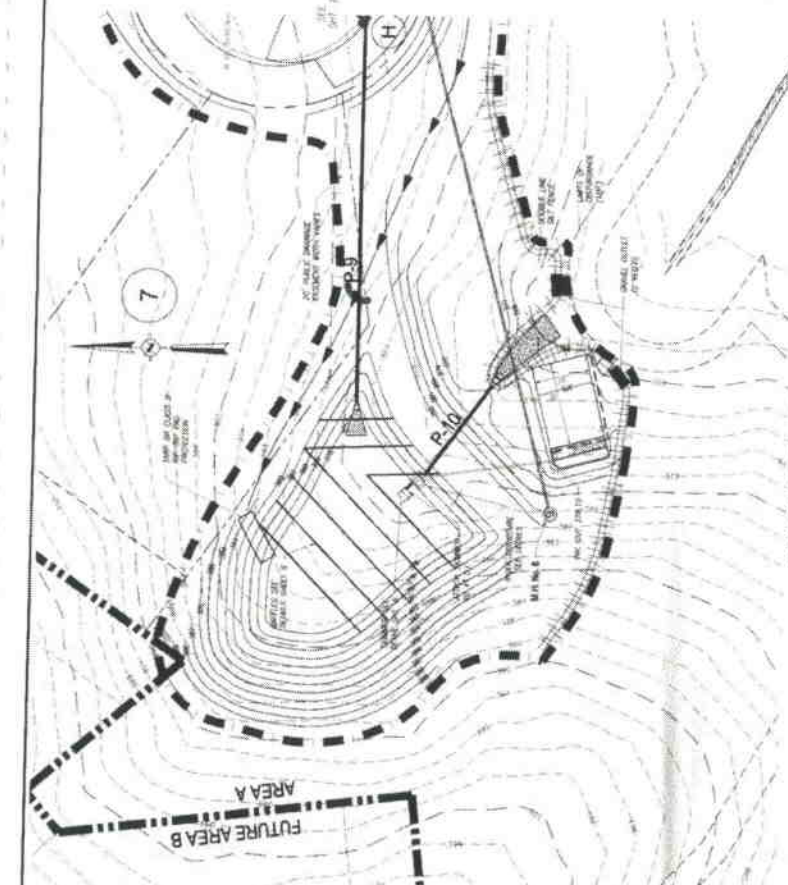
1. VERIFY ALL EXISTING CONDITIONS AND RECORD THEM ACCURATELY.
2. VERIFY ALL EXISTING UTILITY DEPTHS AND RECORD THEM ACCURATELY.
3. VERIFY ALL EXISTING CONCRETE FOUNDATIONS AND RECORD THEM ACCURATELY.
4. VERIFY ALL EXISTING FOUNDATION WALLS AND RECORD THEM ACCURATELY.
5. VERIFY ALL EXISTING FOUNDATION FOOTINGS AND RECORD THEM ACCURATELY.
6. VERIFY ALL EXISTING FOUNDATION BEAMS AND RECORD THEM ACCURATELY.
7. VERIFY ALL EXISTING FOUNDATION SLABS AND RECORD THEM ACCURATELY.
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19. VERIFY ALL EXISTING FOUNDATION SLABS AND RECORD THEM ACCURATELY.
20. VERIFY ALL EXISTING FOUNDATION WALLS AND RECORD THEM ACCURATELY.

DIEHL & PHILLIPS, P.A.
 CONSULTING ENGINEERS, L.L.C. (INC. IN PA)
 100 EAST CLAYMAN ST.
 HARRINGTON, N.C. 27531 • (919) 874-1111

HARRINGTON VILLAGE
 SECTION A - AREA A
 TOWN OF HARRINGTON
 CHATHAM COUNTY, NORTH CAROLINA

PLAN AND PROFILE
 SANITARY SEWER OUTFALL
 P2 AND P-9
 PRINTED
 AUG 8 2013
 ON
 GRAPHIC SCALE
 1" = 40'





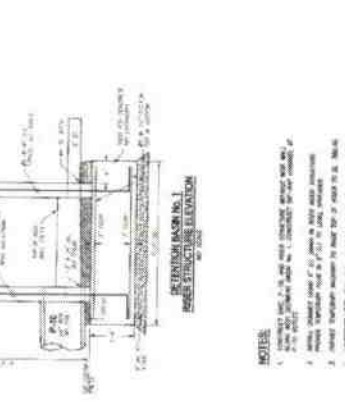
SEDIMENT BASIN NO. 1
SCALE: 1" = 10'



RISE STRUCTURE PLAN
SCALE: 1" = 10'

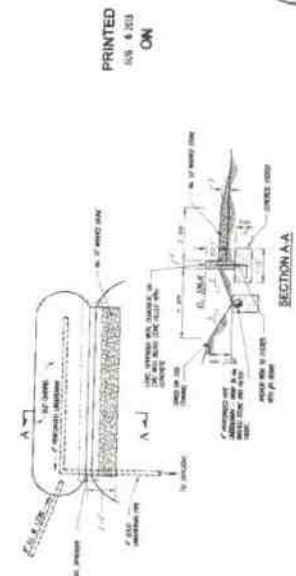


TYPICAL DOWN FALL SECTION
DETENTION BASIN NO. 1
SCALE: 1" = 10'



RISE STRUCTURE ELEVATION
SCALE: 1" = 10'

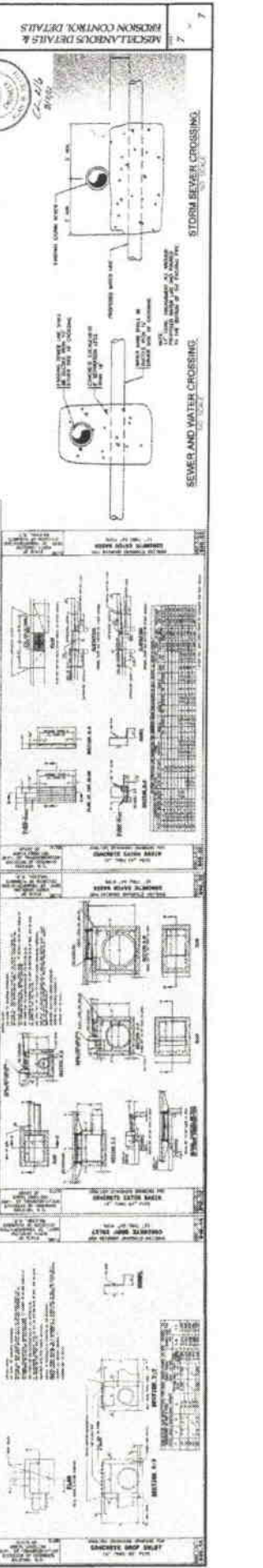
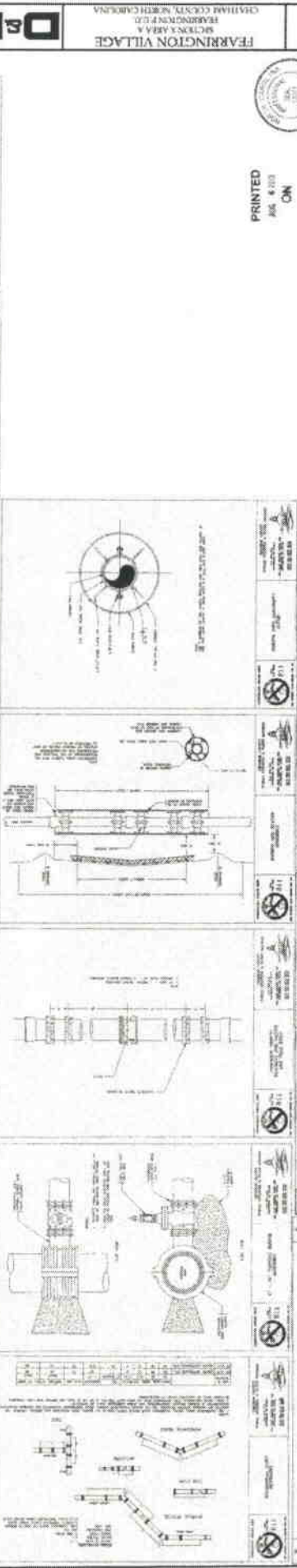
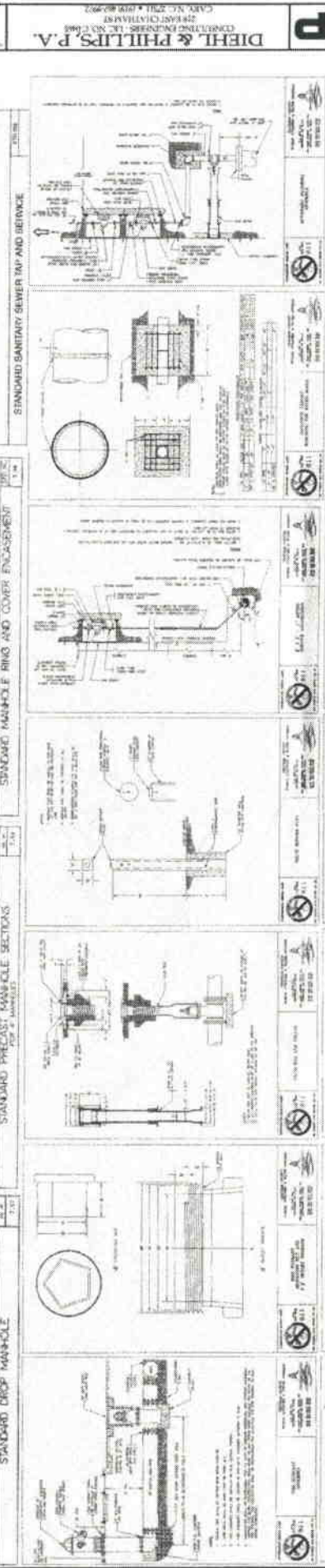
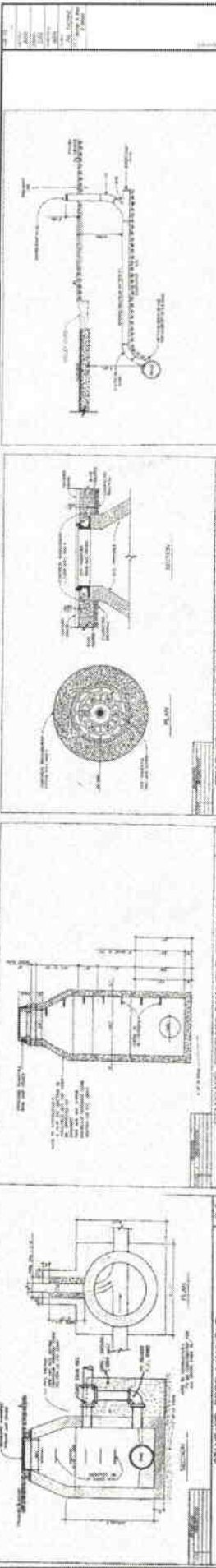
- NOTES:
1. ALL WALLS AND FLOOR SLABS SHALL BE CONCRETE TO THE FINISH SURFACE UNLESS OTHERWISE NOTED.
 2. ALL WALLS SHALL BE FINISHED WITH 1/2\"/>



LEVEL SPREADER DETAIL
SCALE: 1" = 10'

PRINTED
ON 8 1/2 X 11





PRINTED
PAGE 4 OF 10
ON

MECHANICAL DETAILS & REVISION CONTROL DETAILS

FEARRINGTON VILLAGE
REAR PORCH AREA
REAR PORCH P.L.D.
CHATHAM COUNTY, NORTH CAROLINA

D & P
DIEHL & PHILLIPS, P.A.
CONSULTING ENGINEERS, P.L.L.C.
228 EAST CHATHAM ST.
CARY, N.C. 27513 • (919) 487-9972

SEWER AND WATER CROSSING
STORM BEVER CROSSING



LAND & WATER RESOURCES DIVISION
Environmental Quality Department

P.O. Box 548
Pittsboro, NC 27312
PHONE: (919) 545-8343

Fax: (919) 542-2698 • E-mail: rachael.thorn@chathamnc.org • Website: www.chathamnc.org

Soil Erosion and Sedimentation Control

LETTER OF APPROVAL

July 24, 2013

Roy B. Fitch
Fitch Creations, Inc.
2000 Fearington Village Center
Pittsboro, NC 27312

RE:	Project Name:	Fearington PUD Section X Area A
	Project Number:	2013-017
	Acres approved:	2.3
	Total Acres:	216
	Submitted by:	Diehl and Phillips, PA
	Date Received:	July 24, 2013
	Plan Type:	Approved

Dear Mr. Fitch,

This office has reviewed the subject erosion and sedimentation control plan. We find the plan to be acceptable and hereby issue this Letter of Approval. The enclosed Certificate of Approval must be posted at the job site. This plan approval shall expire two (2) years following the date of approval, if no land-disturbing activity has been undertaken.

Section 10 (l) of the Chatham County Sedimentation and Erosion Control Ordinance requires that a copy of the approved erosion control plan be on file at the job site. Also, this letter gives the notice required by G.S. 113A-61.1(a) of our right of periodic inspection to insure compliance with the approved plan.

North Carolina's Sedimentation Pollution Control Act is performance-oriented, requiring protection of existing natural resources and adjoining properties. If, following the commencement of this project, the erosion and sedimentation control plan is inadequate to meet the requirements of the Chatham County Sedimentation and Erosion Control Ordinance, this office may require revisions to the plan and implementation of the revisions to insure compliance with the Act.

Acceptance and approval of this plan is conditioned upon your compliance with Federal and State water quality laws, regulations, and rules. In addition, local city or county ordinances or rules may also apply to this land-disturbing activity. This approval does not supersede any other permit or approval.

Please be aware that your project will be covered by the enclosed NPDES General Stormwater Permit NCGO1000 (Construction Activities). You should first become familiar with all of the requirements for compliance with the enclosed general permit.

Please note that this approval is based in part on the accuracy of the information provided in the Financial Responsibility Form, which you provided. You are requested to file an amended form if there is any change in the information included on the form. Please notify us when you would like to schedule a preconstruction conference. Notification shall be given at least 7 days prior to initiation of activity.

Your cooperation is appreciated.

Sincerely,

A handwritten signature in cursive script that reads "Rachael Thorn".

Rachael Thorn
Lead Sedimentation and Erosion Control Officer
Chatham County Environmental Quality Department

Enclosures: Certificate of Approval
NPDES Permit



North Carolina Department of Environment and Natural Resources
Division of Water Resources

Pat McCrory
Governor

Thomas A. Reeder
Director

John E. Skvarla, III
Secretary

August 23, 2013

Mr. Charlie Horne, County Manager
Chatham County
12 East Street, Courthouse Annex
Pittsboro, North Carolina 27312

Re: Engineering Plans and Specifications Approval
Water Main Extension
Ferrington PUD-Section X, Phases 1 & 2
Chatham County Water System-North
Water System No.: NC0319126, Chatham Co.
Serial No. 13-00675

Dear Mr. Horne:

Enclosed please find one copy of the "Application for Approval..." together with one copy of the referenced engineering plans and specifications bearing the Division of Water Resources stamp of approval for the referenced project. These engineering plans and specifications are approved under Division of Water Resources Serial Number 13-00675, dated August 23, 2013. This project is approved with following conditions:

1. The specifications are approved with redline corrections to "Section 7: Construction Methods-09. Pipe Separation". Separation between water mains and sanitary sewer mains shall comply with Rule .0906 of *The Rules Governing Public Water Systems*.
2. The specifications are approved with redline corrections to "Section 7: Construction Methods-11. Pressure And Leakage Testing". Allowable leakage shall comply with AWWA C600 for ductile iron pipe water mains and AWWA C605 for PVC pipe water mains.

Engineering plans and specifications prepared by Alan R. Keith, P.E. call for the installation of approximately 550 feet of 6-inch ductile iron pipe water main with 35 feet of 16-inch steel encasement pipe, 120 feet of 2-inch PVC pipe water main, 2 fire hydrants, valves and other appurtenances to serve this 12 lot development located off of Millcroft (SR 1817), east of its intersection with East Camden (SR 1813).

Please note that an "Authorization to Construct" requires both this approval of Engineering Plans and Specifications and submittal of a complete Water System Management Plan. No construction shall be undertaken, and no contract for construction, alteration, or installations shall be entered into until the Department issues an Authorization to Construct letter in accordance with 15A NCAC 18C .0305(a).

Please also note that in accordance with 15A NCAC 18C .0309(a), no construction, alteration, or expansion of a water system shall be placed into service or made available for human consumption until the Public Water Supply Section has issued Final Approval. Final Approval will be issued and mailed to the applicant upon receipt of both an Engineer's Certification and an Applicant's Certification submitted in accordance 15 A NCAC 18C .0303 (a) and (c).


Mr. Charlie Horne
Page 2 of 2
August 23, 2013

These plans and specifications in the foregoing application are approved insofar as the protection of public health is concerned as provided in the rules, standards and criteria adopted under the authority of Chapter 130A-317 of the General Statutes. This approval does not constitute a warranty of the design, construction or future operation of the water system.

One copy of the "Application for Approval..." and a copy of the plans and specifications with a seal of approval from the department are enclosed. One copy of the enclosed documents is being forwarded to our Raleigh Regional Office. The third copy is being retained in our permanent files.

If the Public Water Supply Section can be of further service, please call (919) 707-9100.

Sincerely,


for Siraj Chohan, P.E.
Plan Review Team Leader

SMC/RJD

Enclosures: Approval Document

cc: Michael Douglas, P.E., Raleigh Regional Office
Chatham County Health Department
Alan R. Keith, P.E., Diehl & Phillips, P.A.
Leonard McBryde, III, P.E., Chatham County Public Utilities Director



North Carolina Department of Environment and Natural Resources
Division of Water Resources

Pat McCrory
Governor

Thomas A. Reeder
Director

John E. Skvarla III
Secretary

August 23, 2013

CHARLIE HORNE
COUNTY OF CHATHAM
PO BOX 1809
PITTSBORO, NC 27312

Re: **Authorization to Construct**
SECTION X PHASES 1 & 2 FEARRINGTON P.U.D.
CHATHAM CO WATER SYSTEM
CHATHAM COUNTY, NC0319126

Authorization to Construct (This is not a Final Approval)

Dear Applicant:

This letter is to confirm that a complete Engineer's Report and a Water System Management Plan have been received, and that engineering plans and specifications have been approved by the Department for **SECTION X PHASES 1 & 2 FEARRINGTON P.U.D., Serial No. 13-00675.**

The Authorization to Construct is valid for 24 months from the **Issue Date** (refer to next page). Authorization to Construct may be extended if the Rules Governing Public Water Supplies and site conditions have not changed (see Rule .0305). The Authorization to Construct and the engineering plans and specifications approval letter shall be posted at the primary entrance of the job site before and during construction.

Upon completion of the construction or modification, and prior to **placing the new construction or modification into service**, the applicant must submit an Engineer's Certification and Applicant Certification directly to RICHARD DICKIE, P.E. of this office.

- **Engineer Certification:** in accordance with Rule .0303 (a), the applicant shall submit a certification statement signed and sealed by a registered professional engineer stating that construction was completed in accordance with approved engineering plans and specifications, including any provisions stipulated in the Department's engineering plan and specification approval letter.
- **Applicant Certification:** in accordance with Rule .0303 (c), the applicant shall submit a signed certification statement indicating that the requirements for an Operation and Maintenance Plan and Emergency Management Plan have been satisfied in accordance with Rule .0307 (d) and (e) and that the system has a certified operator in accordance with Rule .1300. The "Applicant Certification" form is available at <http://www.deh.enr.state.nc.us/pws/> (click on Plan Review Forms, under Plan Review heading)

If this Authorization to Construct is for a new public water system, the owner must submit a completed **application for an Operating Permit** and the appropriate fee. For a copy of the application for an Operating Permit please call (919) 707-9085.

Once the certifications and permit application and fee, (if applicable), are received and determined adequate, the Department will issue a Final Approval letter to the applicant. In accordance with Rule .0309 (a), **no portion of this project shall be placed in to service until the Department has issued Final Approval.**

Sincerely,

Siraj Chohan, P.E.
Plan Review Team Leader

Michael Douglas, P.E., REGIONAL ENGINEER
DIEHL & PHILLIPS PA



North Carolina Department of Environment and Natural Resources
Division of Water Resources

Public Water System Authorization to Construct

Public Water System Name and Water System No.:	CHATHAM CO WATER SYSTEM NC0319126
Project Name:	SECTION X PHASES 1 & 2 FEARRINGTON P.U.D.
Serial No.:	13-00675
Issue Date:	08/23/2013
Expiration Date:	24 Months after Issue Date

In accordance with NCAC 18C .0305, this Authorization to Construct must be posted
at the primary entrance to the job site during construction.



STATE OF NORTH CAROLINA
DEPARTMENT OF TRANSPORTATION

PAUL MCCRORY
GOVERNOR

ANTHONY J. TATA
SECRETARY

September 3, 2013

Fitch Creations, Inc.
2000 Farrington Village Center
Pittsboro, North Carolina 27312
-AND-
Chatham County
12 East Street
Pittsboro, North Carolina 27312

SUBJECT: ENCROACHMENT AGREEMENT (19.4044)
6" DI Water Line Tap SR 1817
Chatham County

Dear Fitch Creations, Inc. and Chatham County:

Attached is a properly executed copy of a Right of Way Encroachment Agreement which covers the following:

Installation of 6" DI water line tap on SR 1817 in Chatham County, and any associated pre-construction work.

This agreement is approved subject to the Special Provisions and plans which are attached to and made a part of the Encroachment Agreement. Any work associated with the subject project permitted under an NCDOT approved Driveway Permit shall be completed in accordance with this Encroachment Agreement.

Sincerely,

Richard W. Hancock, P.E. JR
Division Engineer

Attachments

cc: Robert Memory, State Utility Agent, Utility Coordination Unit (cover letter only)
Jeff Loflin, P.E., District Engineer (with original)
Justin Bullock, P.E., Chatham County Maintenance Engineer's office
Alan Keith, P.E., Diehl and Phillips, P.A.
Files:\S_Drive\Dist1\Templates\ENCROACHMENTS\LETTERS\Encroachment APPROVAL LETTER.doc

(19.4044)

ROUTE NCSR 1817 PROJECT Section X Area A COUNTY OF STATE OF NORTH CAROLINA
Farrington PUD Chatham
~~# 10,4004~~

DEPARTMENT OF TRANSPORTATION

THREE PARTY RIGHT OF WAY
ENCROACHMENT AGREEMENT ON
PRIMARY AND SECONDARY SYSTEM

-AND-
Fitch Creations, Inc.

2000 Farrington Village Center
Pittsboro, NC 27312

-AND-

County of Chatham
12 East Street
Pittsboro, NC 27312

THIS AGREEMENT, made and entered into this the 3 day of Sept., 20 13, by and between the Department of Transportation, party of the first part; and Fitch Creations, Inc. party of the second part; and County of Chatham party of the third part.

WITNESSETH

THAT WHEREAS, the party of the second part desires to encroach on the right of way of the public road designated as Route(s) NCSR 1817, located 1,150 feet east of NCSR 1817 and NCSR 1813 intersection

with the construction and/or erection of: approximately 80 LF 6-inch D.I. water line, 35 LF 16-inch steel encasement 0.250' min. thickness installed by boring and jacking with valves and appurtenances as shown on plans

WHEREAS, it is to the material advantage of the party of the second part to effect this encroachment, and the party of the first part in the exercise of authority conferred upon it by statute, is willing to permit the encroachment within the limits of the right of way as indicated, subject to the conditions of this agreement;

NOW, THEREFORE, IT IS AGREED that the party of the first part hereby grants to the party of the second part the right and privilege to make this encroachment as shown on attached plan sheet(s), specifications and special provisions which are made a part hereof upon the following conditions, to wit:

That the installation, operation, and maintenance of the above described facility will be accomplished in accordance with the party of the first part's latest POLICIES AND PROCEDURES FOR ACCOMMODATING UTILITIES ON HIGHWAY RIGHTS-OF-WAY, and such revisions and amendments thereto as may be in effect at the date of this agreement. Information as to these policies and procedures may be obtained from the Division Engineer or State Utility Agent of the party of the first part.

That the said party of the second part binds and obligates himself to install and maintain the encroaching facility in such safe and proper condition that it will not interfere with or endanger travel upon said highway, nor obstruct nor interfere with the proper maintenance thereof, to reimburse the party of the first part for the cost incurred for any repairs or maintenance to its roadways and structures necessary due to installation and existence of the facilities of the party of the second part, and if at any time the party of the first part shall require the removal of or changes in the location of the said facilities, that the said party of the second part binds himself, his successors and assigns, to promptly remove or alter the said facilities, in order to conform to the said requirement, without any cost to the party of the first part.

That the party of the second part agrees to provide during construction and any subsequent maintenance proper signs, signal lights, flagmen and other warning devices for the protection of traffic in conformance with the latest Manual on Uniform Traffic Control Devices for Streets and Highways and Amendments or Supplements thereto. Information as to the above rules and regulations may be obtained from the Division Engineer of the party of the first.

That the party of the second part hereby agrees to indemnify and save harmless the party of the first part from all damages and claims for damage that may arise by reason of the installation and maintenance of this encroachment.

That the party of the second part agrees to restore all areas disturbed during installation and maintenance to the satisfaction of the Division Engineer of the party of the first part. The party of the second part agrees to exercise every reasonable precaution during construction and maintenance to prevent eroding of soil; silting or pollution of rivers, streams, lakes, reservoirs, other water impoundments, ground surfaces or other property; or pollution of the air. There shall be compliance with applicable rules and regulations of the North Carolina Division of Environmental Management, North Carolina Sedimentation Control Commission, and with ordinances and regulations of various counties, municipalities and other official agencies relating to pollution prevention and control. When any installation or maintenance operation disturbs the ground surface and existing ground cover, the party of the second part agrees to remove and replace the sod or otherwise reestablish the grass cover to meet the satisfaction of the Division Engineer of the party of the first part.

That the party of the second part agrees to assume the actual cost of any inspection of the work considered to be necessary by the Division Engineer of the party of the first part.

That the party of the second part agrees to have available at the construction site, at all times during construction, a copy of this agreement showing evidence of approval by the party of the first part. The party of the first part reserves the right to stop all work unless evidence of approval can be shown.

Provided the work contained in this agreement is being performed on a completed highway open to traffic; the party of the second part agrees to give written notice to the Division Engineer of the party of the first part when all work contained herein has been completed. Unless specifically requested by the party of the first part, written notice of completion of work on highway projects under construction will not be required.

That in the case of noncompliance with the terms of this agreement by the party of the second part, the party of the first part reserves the right to stop all work until the facility has been brought into compliance or removed from the right of way at no cost to the party of the first part.

That it is agreed by both parties that this agreement shall become void if actual construction of the work contemplated herein is not begun within one (1) year from the date of authorization by the party of the first part unless written waiver is secured by the party of the second part from the party of the first part.

During the performance of this contract, the second party, for itself, its assignees and successors in interest (hereinafter referred to as the "contractor"), agrees as follows:

- a. **Compliance with Regulations:** The contractor shall comply with the Regulations relative to nondiscrimination in Federally-assisted programs of the U. S. Department of Transportation, Title 49, Code of Federal Regulations, Part 21, as they may be amended from time to time, (hereinafter referred to as the Regulations), which are herein incorporated by reference and made a part of this contract.
- b. **Nondiscrimination:** The contractor, with regard to the work performed by it during the contract, shall not discriminate on the grounds of race, color, or national origin in the selection and retention of subcontractors, including procurements of materials and leases of equipment. The contractor shall not participate either directly or indirectly in the discrimination prohibited by Section 21.5 of the Regulations, including employment practices when the contract covers a program set forth in Appendix B of the Regulations.
- c. **Solicitations for Subcontracts, including Procurements of Materials and Equipment:** In all solicitations either by competitive bidding or negotiation made by the contractor for work to be performed under a subcontract, including procurements of materials or leases of equipment, each potential subcontractor or supplier shall be notified by the contractor of the contractor's obligations under this contract and the Regulations relative to nondiscrimination on the grounds of race, color, or national origin.
- d. **Information and Reports:** The contractor shall provide all information and reports required by the Regulations, or directives issued pursuant thereto, and shall permit access to its books, records, accounts, other sources of information, and its facilities as may be determined by the Department of Transportation or the Federal Highway Administration to be pertinent to ascertain compliance with such Regulations or directives. Where any information required of a contractor is in the exclusive possession of another who fails or refuses to furnish this information, the contractor shall so certify to the Department of Transportation, or the Federal Highway Administration as appropriate, and shall set forth what efforts it has made to obtain the information.
- e. **Sanctions for Noncompliance:** In the event of the contractor's noncompliance with the nondiscrimination provisions of this contract, the Department of Transportation shall impose such contract sanctions as it or the Federal Highway Administration may determine to be appropriate, including, but not limited to,
 - (1) withholding of payments to the contractor under the contract until the contractor complies, and/or
 - (2) cancellation, termination or suspension of the contract, in whole or in part.
- f. **Incorporation of Provisions:** The contractor shall include the provisions of paragraphs "a" through "f" in every subcontract, including procurements of materials and leases of equipment, unless exempt by the Regulations, or directives issued pursuant thereto. The contractor shall take such action with respect to any subcontract or procurement as the Department of Transportation or the Federal Highway Administration may direct as a means of enforcing such provisions including sanctions for noncompliance. Provided, however, that, in the event a contractor becomes involved in, or is threatened with, litigation with a subcontractor or supplier as a result of such direction, the contractor may request the Department of Transportation to enter into such litigation to protect the interests of the State, and, in addition, the contractor may request the United States to enter into such litigation to protect the interests of the United States.

That when title to the subject that constitutes the aforesaid encroachment passes from the party of the second part and vests in the party of the third part, the party of the third part agrees to assume all responsibilities and rights and to perform all obligations as agreed to herein by the party of the second part.

R/W (166): Party of the Second Part certifies that this agreement is true and accurate copy of the form R/W (166) incorporating all revisions to date.

IN WITNESS WHEREOF, each of the parties to this agreement has caused the same to be executed the day and year first above written.

WITNESS:

Robin Hartney
Accounting mgr. Fitch Creations Inc
2000 Fearington Village Center
Pittsboro, NC 27312

WITNESS:

Lindsay K. Ray
Lindsay K. Ray
Deputy Clerk to the Board

DEPARTMENT OF TRANSPORTATION

BY: *Roy B. Fitch, Jr.*

RBF
DIVISION ENGINEER
JTR

Roy B. Fitch, Jr.

President, Fitch Creations, Inc.

2000 Fearington Village Center

Pittsboro, NC 27312

Second Party

Charles Horne

Third Party

ENCROACHMENT SPECIAL PROVISIONS
Fitch Creations and Chatham County
19.4044 (Chatham County)

Approval of the encroachment agreement is made subject to the following Special Provisions:

1. Changes noted in red on the plans shall be incorporated into and made a part of the encroachment agreement. An executed copy of the encroachment agreement shall be available at the construction site at all times. NCDOT reserves the right to stop all work unless evidence of approval can be shown.
2. Notify the following prior to beginning work:
 - **Justin Bullock, P.E., Maintenance Engineer**
1404 E Raleigh St.
Siler City, NC 27344
(919)742-3431
3. The Encroaching Party shall comply with all applicable federal, state and local environmental regulations, and shall obtain all necessary federal, state and local environmental permits, including but not limited to, those related to sediment control, stormwater, wetland, streams, endangered species, and historical sites.
4. All materials and construction shall be in accordance with NCDOT standards and specifications, including but not limited to the latest versions of the NCDOT Standard Specifications for Roads and Structures, the NCDOT Roadway Standards Drawings, and NCDOT Policies and Procedures for Accommodating Utilities on Highway Rights of Way.
5. It shall be the responsibility of the Encroacher to determine the location of other utilities within the encroachment area in accordance with General Statute 87-102. The Encroacher shall be responsible for notifying other utility owners and providing protection and safeguards to prevent damage or interruption to existing facilities and to maintain accessibility to existing utilities. Costs to repair, restore, or relocate existing utilities due to this encroachment shall be the responsibility of the encroaching party.
6. NCDOT does not guarantee the Right of Way on this road, nor will it be responsible for any claim for damages brought by any property owner by reason of this encroachment. All Right of Way and easements necessary for construction and maintenance shall be dedicated to NCDOT with the proof of dedication furnished to the District Engineer prior to beginning work. Encroachment within the Right of Way does not imply approval for encroachment onto adjacent property. The Encroacher shall be responsible for securing any easement, permit, permission, or approval for encroachment or other use of property outside the state maintained right of way. Right of Way monuments disturbed during construction shall be referenced by a Professional Land Surveyor and reset immediately after construction.
7. The encroaching Party shall take whatever measures are necessary to minimize soil erosion and siltation, water pollution, and air pollution. It shall be the responsibility of the Encroaching Party to keep fully informed to comply with the applicable regulations of all legally constituted authorities relating to pollution prevention and control. In the event of conflict between regulations, specifications, or requirements, the more restrictive requirement shall apply. All erosion and pollution control devices and measures shall be constructed, installed, maintained and removed by the encroaching party in accordance with all applicable Federal, State and Local laws, regulations, ordinances, and policies. No construction shall begin until all erosion control devices have been installed to the satisfaction of the District Engineer. Failure to comply with this provision shall be grounds for immediate suspension of all activities within the Right of Way.
8. **NCDOT WORK ZONE TRAFFIC CONTROL QUALIFICATIONS AND TRAINING PROGRAM:**
Effective July 1, 2010, all flagging operations within NCDOT Right of Way require qualified and trained Work Zone Flaggers. Qualified and trained Work Zone Traffic Control Supervisors will be required on Significant Projects.
Training for this certification is provided by NCDOT approved training sources and by private entities that have been pre-approved to train themselves. If you have questions, contact our web site at <http://www.ncdot.org/doh/preconstruct/wztc/WZTCTrainingProgram/default.html>, or contact Stuart Bourne, P.E. with NCDOT Work Zone Traffic Control Unit at (919) 662-4338 or sbourne@ncdot.gov.
9. The encroaching party shall provide an inspector acceptable to the District Engineer for the work to be performed under this agreement. All costs and expenses for inspection shall be the responsibility of the

encroaching party. The inspector's name, telephone and qualifications shall be provided in writing to the District Engineer prior to beginning construction.

10. A pre-construction conference between NCDOT, the Encroaching Party or the Encroaching Party's designated representative, and the contractor(s) is required prior to commencing any work within the Right of Way.
11. Storage of materials or equipment within the Right of Way is prohibited. During non-working hours, equipment shall be parked as close to the right of way line as possible and shall be properly barricaded so that no equipment obstruction shall be within the Clear Recovery Area.
12. Construction equipment or vehicles shall not be parked on the pavement or roadway shoulder.
13. Construction is authorized to be performed on Monday through Friday during the hours between sunrise and sunset.
14. No lane(s) of traffic shall be closed or alteration of the traffic flow will be allowed on or during holidays, holiday weekends, special events, and/or any other time when traffic is unusually heavy. Holidays and holiday weekends shall include, but not be limited to Easter, Memorial Day, Independence Day, and Labor Day.
15. The encroaching party may delegate the performance of certain provisions of this agreement to contractors or other parties. However, this shall not in any way release the encroaching party from its obligations to the terms and provisions of the encroachment.
16. The Encroaching Party shall provide certification signed by a licensed Professional Engineer verifying that construction meets NCDOT design requirements. Certification shall include the following:
 - Subgrade density
 - Base and pavement thickness by type
 - Stone Base density
 - Core and test locations
17. The Encroaching Party shall provide the District Engineer with "as-built" plans upon completion of the installation.
18. Written notification shall be provided to the District Engineer upon completion of the work proposed under this agreement. Materials test frequencies and methods shall be in conformance with the NCDOT Materials and Tests guidelines, or as directed by NCDOT. A letter of approval, or recommendations for compliance, will be provided upon receipt and review of test reports.
19. The encroaching party or the contractor(s) for the encroaching party may request a written letter stating that the encroachment has been satisfactorily completed by making a request in writing to the appropriate County Maintenance Engineer. The letter of completion does not relieve the encroaching party from any obligations or responsibilities under the terms and provisions of the encroachment or from obligations or responsibilities for making repairs needed for a reasonable time period.
20. The traveling public shall be warned of construction with complete and proper signing and traffic control devices in accordance with the current Manual on Uniform Traffic Control Devices (MUTCD) and the latest NCDOT Roadway Standard Drawing and Standard Specifications for Roads and Structures. No work shall be performed in the Right of Way unless this requirement is satisfied. NCDOT reserves the right to require a written traffic control plan for encroachment operations. Traffic control devices and operations shall include, but are not limited to the following:
 - Adequate and appropriate advance warning signs for any and all work zones/closed or obstructed areas.
 - "End Construction" signage beyond the end of all work zones.
 - Adequate and appropriate delineation and control devices for all work zone areas including but not limited to lane closures, disturbed areas, and active work sites.
 - Properly trained and equipped flagmen/women.
 - Proper maintenance of all traffic control devices, including but not limited to proper signage and controls during periods of inactivity and removal of inappropriate traffic control signage and/or devices.

21. The Encroacher agrees to provide traffic control devices, lane closures, road closures, positive protection and/or any other warning or positive protection devices necessary for the safety of road users during construction and any subsequent maintenance. This shall be performed in conformance with the latest NCDOT Roadway Standard Drawing and Standard Specifications for Roads and Structures and Amendments or Supplements thereto. When there is no guidance provided in the Roadway Standard Drawings or Specifications, comply with the Manual on Uniform Traffic Control Devices for Streets and Highways and Amendments or Supplement thereto. Information as to the above rules and regulations may be obtained from the Division Engineer.
22. Traffic shall not be detoured or rerouted without the prior written approval of the Division Engineer. Two-way traffic shall be maintained at all times.
23. In the event work is completed in less time than permitted, the normal traffic pattern shall be restored as soon as the work has been completed.
24. The Traffic Services Supervisor shall be notified at (910) 947-3930 in Carthage, NC, prior to beginning work on the Right of Way if there are existing NCDOT signs, traffic signals, or signal equipment in or near the proposed work zone. Costs to relocate, replace, or repair NCDOT signs, signals, or associated equipment shall be the responsibility of the Encroacher.
25. All temporary and final pavement markings, reflective pavement markers, traffic control devices, and signage are the responsibility of the encroaching party and shall be installed in accordance with current NCDOT standards. Final pavement marking plans shall be submitted to and approved by the Division Traffic Engineer at (910)947-3930, at 150 DOT Drive, Carthage, NC 28327. Plans should be submitted as soon as possible to allow adequate time for review. Pavement markings shall be pre-marked and the Division Traffic Services Supervisor shall be notified at (910) 947-3930 for inspection of pre-marking before permanent pavement markings are placed. The encroaching party shall provide at least two working days notification for the inspection. Pavement markings and reflective pavement markers which are damaged, obscured, or obliterated during construction shall be replaced in conformance with current NCDOT standards. Thermoplastic pavement markings shall be installed at locations where the adjacent pavement are thermoplastic or as directed by the Division Traffic Engineer.
26. All pavement markings shall be thermoplastic and shall conform to the requirements of the latest version of the NCDOT Standard Specifications for Roads and Structures.
27. Access to the site covered under this agreement shall remain closed (i.e. barricaded) to traffic until all requirements relating to traffic control and signalization have been satisfied.
28. Curb cuts and ramps for handicapped persons shall be constructed in accordance with the current NCDOT "Standard for Wheelchair Ramp Curb Cuts" and the Americans With Disabilities (ADA) Accessibility Guidelines for Buildings and Facilities.
29. Ingress and egress shall be maintained to businesses and dwellings. Driveways altered during construction shall be restored to a condition equal to that prior to beginning construction.
30. Excavated material shall not be placed on the paved roadway surface at any time unless specifically approved by the District Engineer. Drainage structures shall not be blocked with excavated material at any time.
31. Trenches/excavations/bore pits shall not remain open longer than a 24 hour period. No trench/excavation/bore pit shall be left open overnight except in the event of emergency, in which case the encroacher shall notify the District Engineer and inform him as to the nature and anticipated duration of the emergency. Any excavation left open overnight due to emergency shall be protected and delineated with complete, adequate and appropriate safety and traffic control devices.
32. All backfill shall meet the Statewide Borrow Criteria and shall be placed in accordance with section 300-6 of the latest version of the NCDOT Standard Specifications for Roads and Structures. Backfill material shall be free from rocks and debris placed in six inch loose layers and compacted to at least 95% of standard density as determined by AASHTO Method T-99 as modified by NCDOT, except that backfill material placed within eight (8) inches of the pavement subgrade shall be compacted to 100% of standard density. (Copies of these testing procedures are available on request from the NCDOT Materials and Tests Unit.) Each layer must be fully compacted by an approved mechanical tamp before the next layer is placed.

33. Excavated areas adjacent to pavement having more than a 2 inch drop shall be backfilled and made safe with a 6:1 or flatter slope and shall be designated by appropriate delineation during periods of construction inactivity including, but not limited to, night and weekend hours.
34. When burying around the end of a pipe, culvert, or bridge, the utility shall be located a minimum of five (5) feet from the nearest part of the pipe, culvert, or bridge, and buried to a minimum depth of five (5) feet below the stream bed. At points where the utility is placed under existing storm drains by trenching, the trench shall be backfilled with Class M concrete up to the outside diameter of the existing pipe.
35. All excavations inside the theoretical 1:1 slope from the existing edge of pavement to the bottom of the nearest trench wall shall be made in accordance with the following conditions:
- Traffic shall be moved to a travel lane outside the limits of a theoretical 1:1 slope from the bottom of the nearest trench wall to the pavement surface.
 - Active excavation shoring such as sheet piling shall be installed. The design of the shoring shall include the effects of traffic loads. The design shall be designed and sealed by an engineer registered in North Carolina. Shoring plans and design calculations shall be submitted to the Division Engineer for review prior to construction. Trench boxes shall not be accepted as positive shoring.
 - The trench backfill shall meet the Statewide Borrow Criteria. The trench shall be backfilled in accordance with Section 300-6 of the latest version of the NCDOT Standard Specifications for Roads and Structures.
 - At the first sign of trench failure, the trench shall be immediately backfilled with materials consisting of A-1, A-3, A-2-4 soils or A-4 soils having a maximum of 45% passing a No. 200 sieve and a maximum P.I. of 6. All work shall cease and the Division Engineer shall be contacted. The Encroaching party or contractor shall repair any damage to the pavement caused by the excavation.
 - All trench excavation inside the limits of the theoretical 1:1 slope from the bottom of the nearest trench wall to the pavement surface shall be completely backfilled and compacted at the end of each construction day. No portion of the trench shall be left open overnight.
 - The length of parallel excavation shall be limited to the length necessary to install and backfill on joint of pipe at a time, not to exceed twenty five (25) feet.
36. Drainage structures and systems shall be preserved and protected. Any structure which is disturbed or damaged during construction shall be immediately restored to its original condition at no expense to the Department of Transportation. All utility installations shall be designed and constructed so as not to hinder, disrupt or interfere with existing storm drainage. All facilities shall pass over or under highway drainage facilities.
37. The dry bore method of boring shall be utilized and made perpendicular to the roadway. Any bore exceeding 6 inches shall be encased. Encasements shall extend from ditch line to ditch line in cut sections, 5 feet beyond toe of slope in fill sections, and 3 feet behind curb sections. When the directional boring method is used an overbore shall not be more than two (2") inches greater than the diameter of the pipe encasement. An overbore exceeding two (2") inches greater than the diameter of the pipe or encasement will be considered if the encroachment agreement includes a statement signed and sealed by a North Carolina Registered Professional Engineer indicating that an overbore in excess of two (2") inches of the pipe or encasement will arch and no damage will be done to the pavement or subgrade.
38. At points where the utility is placed under existing storm drains the trench shall be backfilled with Class B concrete up to the outside diameter of the existing pipe.
39. The grade of top of pipe or casing, including services, shall provide the following minimum bury:
- Crossing under roadways - 3 feet from pavement surface
 - Longitudinal installations - 3 feet from finished grade
 - Crossing under ditches - 2 feet from ditch line
40. All service connections shall be bored unless construction is of ductile iron or equal quality material with satisfactory leakproof joints.

41. All blow-off valves, vaults, manholes and other appurtenances within the NCDOT right of way shall be located behind the ditch and at the right of way line. Manholes and/or vaults shall not be placed in the ditch line, side slopes of ditches or in the pavement.
42. All vaults, manholes and other appurtenances within the NCDOT right of way shall be located behind the ditch and at the right of way line. Manholes and/or vaults shall not be placed in the ditch line, side slopes of ditches or in the pavement.
43. Locating tape or detection wire shall be installed with non-ferrous pipelines.
44. All disturbed soil areas shall be promptly seeded and mulched. The encroaching party shall obtain the District Engineer's approval of ditch and shoulder grading prior to seeding and mulching.
45. All earth areas shall be regraded, seeded and mulched in accordance with Section 1660 of the latest version of the NCDOT Standard Specifications for Roads and Structures. Final determination of soil type shall be made by the Engineer. The following rates in pounds per acre apply:
 - *YEAR ROUND MIXTURE (Sandy Soils)*
 - KY 31 Tall Fescue or Alta Tall Fescue -- 50 pounds
 - Pensacola Bahiagrass -- 50 pounds
 - Centipede -- 5 pounds
 - Fertilizer (10-20-20 analysis) -- 500 pounds
 - Limestone -- 4000 pounds
 - *YEAR ROUND MIXTURE (Clay Soils)*
 - KY 31 Tall Fescue or Alta Tall Fescue -- 100 pounds
 - Kenblue Bluegrass -- 15 pounds
 - Fertilizer (10-20-20 analysis) -- 500 pounds
 - Limestone -- 4000 pounds
 - Add 10 pounds of Kobe or Korcan Lespedeza and 10 pounds of Millet to the above mixture from May 1 to August 31.
 - On cut and fill slopes 2:1 or steeper, add 30# Sericea Lespedeza from January 1 to December 31.
 - Fertilizer shall be 10-20-20 analysis. Upon written approval of the Engineer, a different analysis may be used provided the 1-2-2 ratio is maintained and the rate of application is adjusted to provide the same amount of plant food as a 10-20-20 analysis.
46. The encroaching party or any agent acting on behalf of the encroaching party shall exercise care and provide any and all necessary measures and precautions to preserve and protect existing landscaping and roadside plantings within the right of way. Existing landscaping and landscape plantings shall not be disturbed unless approved by the NCDOT Division 8 Roadside Environmental Engineer. All costs associated with restoration or replacement of landscaping or landscape plantings damaged or destroyed by the encroaching party or its agents shall be the responsibility of the encroaching party.
47. In the event it is determined that there is a conflict between the existing landscaping or landscape plantings and the proposed utility installation, the encroaching party or any agent acting on behalf of the encroaching party shall not proceed until the Division 8 Roadside Environmental Engineer has been notified and the conflict has been resolved to his satisfaction.
48. The Division 8 Roadside Environmental Engineer can be contacted as follows:
 - Roadside Environmental Engineer
 - 902 N. Sandhills Boulevard
 - P. O. Box 1067Aberdeen, NC 28315
 - (910-944-2344)
49. The encroaching party shall assume all responsibility, obligation, and liability for maintenance of the structure permitted under this encroachment agreement. This condition shall be conveyed in any future buy, lease, sell or rental agreement. In the event that the encroaching party or any future responsible party should fail to satisfy this condition, NCDOT reserves the right close or remove the structure.
50. The utility proposed under this agreement shall be placed at or near the existing right of way line at a location acceptable to the District Engineer.

51. The following minimum dimensions shall apply where the method of installation is directional drilling or boring:

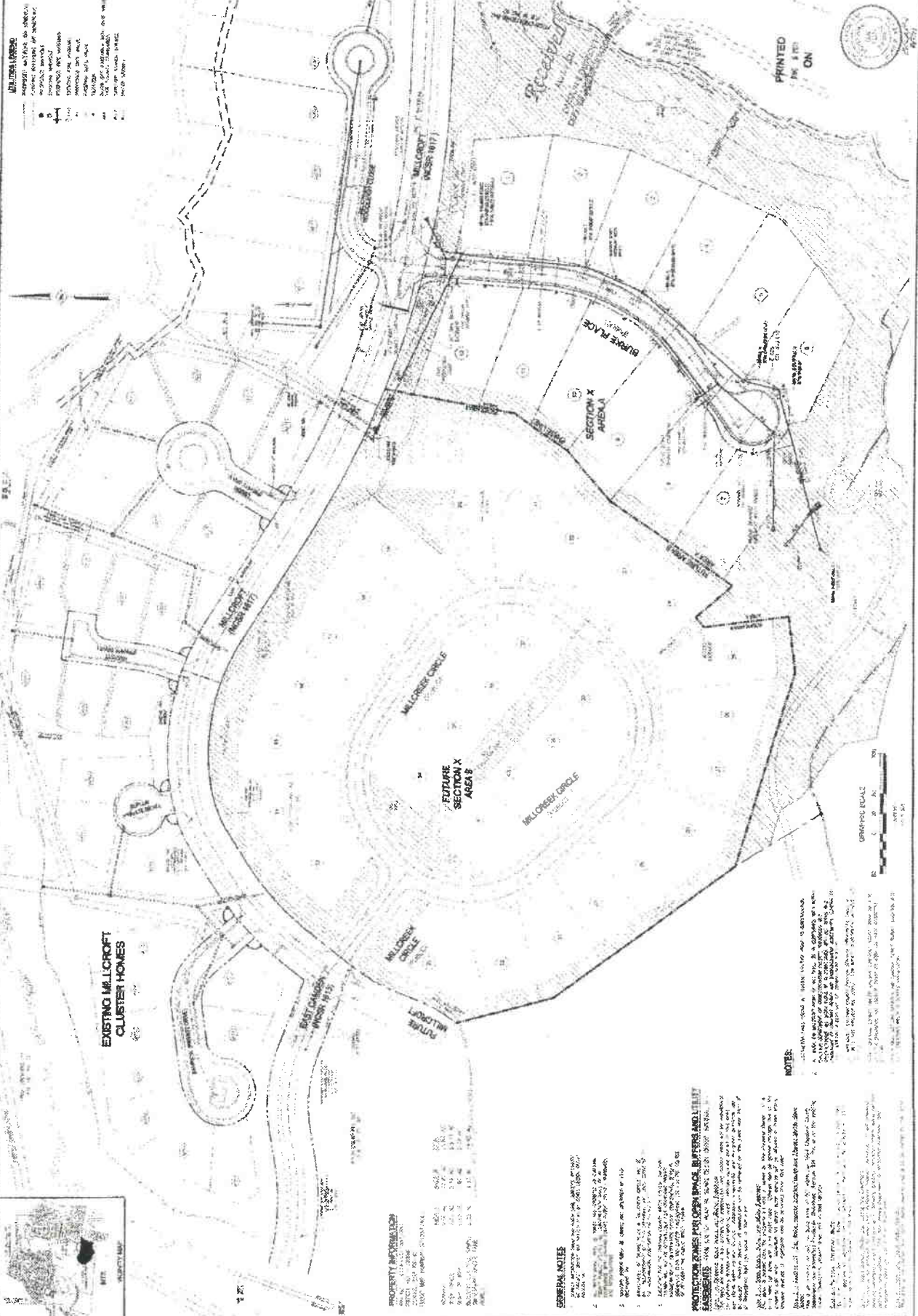
- Depth below ground surface for parallel installations -4'
- Depth below any ditch line -5'
- Depth under Interstate and Controlled Access Facilities -15'
- Depth under all other roadways -10'

52. Notify Justin Bullock, P.E., County Maintenance Engineer, 1404 E Raleigh St, Siler City, NC 27344 (919) 724-3431, prior to beginning work. The encroaching party shall provide the District Engineer with the following information at least 3 working days prior to commencing operations:

- Proposed schedule of operations
- The name(s) and phone number(s) of project contact person(s).
- Tentative locations where directional bores will commence and terminate.

53. All activities or operations approved under this agreement which fall within the project limits or contract period of any active NCDOT project shall require a waiver from the prime Contractor for the NCDOT project, granting the encroaching party access within the project and releasing NCDOT from claims against NCDOT by the prime Contractor resulting from the encroaching party's operations or activities. The NCDOT project shall have precedence and priority over all others.

54. The proposed utility shall be placed at a minimum depth of 2 feet below the adjacent pavement elevation and shall not be closer than 3 feet from the edge of pavement.



EXISTING MELLOROY CLUSTER HOMES

PROPERTY INFORMATION

PROJECT NO.	14-000-0000
DATE	02/20/2014
PROJECT NAME	PARRINGTON VILLAGE
SECTION	SECTION X
LOT NO.	1-10
ACRES	1.15
OWNER	DEHT & PHILLIPS, P.A.
ENGINEER	DEHT & PHILLIPS, P.A.
DATE	02/20/2014

GENERAL NOTES

1. ALL UTILITIES SHOWN ARE BASED ON RECORD PLANS AND FIELD SURVEY.
2. THE UTILITY LINES SHOWN ARE NOT TO SCALE.
3. THE UTILITY LINES SHOWN ARE NOT TO SCALE.
4. THE UTILITY LINES SHOWN ARE NOT TO SCALE.
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9. THE UTILITY LINES SHOWN ARE NOT TO SCALE.
10. THE UTILITY LINES SHOWN ARE NOT TO SCALE.

PROTECTION ZONES FOR OPEN SPACE, BUFFERS AND UTILITY EASEMENTS

THE PROTECTION ZONES FOR OPEN SPACE, BUFFERS AND UTILITY EASEMENTS ARE SHOWN ON THIS PLAN. THESE ZONES ARE NOT TO SCALE. THE PROTECTION ZONES FOR OPEN SPACE, BUFFERS AND UTILITY EASEMENTS ARE SHOWN ON THIS PLAN. THESE ZONES ARE NOT TO SCALE. THE PROTECTION ZONES FOR OPEN SPACE, BUFFERS AND UTILITY EASEMENTS ARE SHOWN ON THIS PLAN. THESE ZONES ARE NOT TO SCALE.

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North Carolina Department of Environment and Natural Resources

Division of Water Quality

Beverly Eaves Perdue
Governor

Coleen H. Sullins
Director

Dee Freeman
Secretary

April 4, 2011

Roy B. Fitch, Jr., President
Fitch Creations, Inc. (dba Ferrington Utilities)
2000 Ferrington Village Center
Pittsboro, NC 27312

Subject: Permit No. WQ0035291
Ferrington Section X
Wastewater Collection System Extension
Chatham County

Dear Mr. Fitch:

In accordance with your permit application received March 25, 2011, we are forwarding herewith Permit No. WQ0035291 dated April 4, 2011, to Ferrington Utilities for the construction and operation of the subject wastewater collection system. This permit shall be effective from the date of issuance until rescinded and shall be subject to the conditions and limitations as specified therein. This cover letter shall be considered a part of this permit and is therefore incorporated therein by reference.

Please pay particular attention to:

- a) **Permit Condition 3 that requires the wastewater collection facilities be properly operated and maintained in accordance with 15A NCAC 02T .0403 or any individual system-wide collection system permit issued to the Permittee, and**
- b) **Permit Condition 6 that requires Engineering Certification prior to operation of this collection system extension.**

Permitting of this project does not constitute an acceptance of any part of the project that does not meet 15A NCAC 2T; the Division of Water Quality's (Division) Gravity Sewer Minimum Design Criteria adopted February 12, 1996 as applicable; and the Division's Minimum Design Criteria for the Fast-Track Permitting of Pump Stations and Force Mains adopted June 1, 2000 as applicable, unless specifically mentioned herein. Division approval is based on acceptance of the certification provided by a North Carolina-licensed Professional Engineer in the application. It shall be the Permittee's responsibility to ensure that the as-constructed project meets the appropriate design criteria and rules. Failure to comply may result in penalties in accordance with North Carolina General Statute §143-215.6A through §143-215.6C, construction of additional or replacement wastewater collection facilities, and/or referral of the North Carolina-licensed Professional Engineer to the licensing board.

North Carolina Division of Water Quality
Internet: www.ncwaterquality.org

Raleigh Regional Office
1628 Mail Service Center

Surface Water Protection
Raleigh, NC 27699-1628

Phone (919) 791-4100
FAX (919) 788-7119

One
North Carolina
Naturally
Customer Service
877-623-6746

In accordance with the provisions of Article 21 of Chapter 143, General Statutes of North Carolina as amended, and other applicable Laws, Rules, and Regulations, permission is hereby granted to the Owner for the construction and operation of:

- Approximately 2,274 linear feet of 8-inch gravity sewer

to serve 75 single family lots as part of Ferrington Section X project, and the discharge of 18,750 gallons per day of collected domestic wastewater into the Ferrington Utilities existing sewerage system, pursuant to the application received March 25, 2011, and in conformity with 15A NCAC 2T, the Division's Gravity Sewer Minimum Design Criteria adopted February 12, 1996 as applicable; the Division's Minimum Design Criteria for the Fast-Track Permitting of Pump Stations and Force Mains adopted June 1, 2000 as applicable; and other supporting data subsequently filed and approved by the Department of Environment and Natural Resources and considered a part of this permit.

The sewage and wastewater collected by this system shall be treated in the Ferrington Utilities Wastewater Treatment Facility, Permit number NC0043559, before being discharged into the receiving stream.

Any wastewater flow made tributary to this wastewater collection system extension prior to completion of the Engineer's Certification shall be considered a violation of the permit and shall subject the Permittee to appropriate enforcement actions.

If any parts, requirements, or limitations contained in this permit are unacceptable, you have the right to request an adjudicatory hearing upon written request within 30 days following receipt of this permit. This request must be in the form of a written petition, conforming to Chapter 150B of North Carolina General Statutes, and filed with the Office of Administrative Hearings, 6714 Mail Service Center, Raleigh, NC 27699-6714. Unless such demands are made, this permit shall be final and binding.

If you have any questions regarding this permit or require any additional information, please contact Barry Herzberg at (919) 791-4249, or by e-mail to barry.herzberg@ncdenr.gov.

Sincerely,



for Coleen H. Sullins, Director
Division of Water Quality

by S. Daniel Smith
Surface Water Quality Supervisor
Raleigh Regional Office

cc: Chatham County Health Department
Alan Keith, PE; Diehl & Phillips, 219 E. Chatham Street, Cary, NC 27511
Central Files

NORTH CAROLINA
ENVIRONMENTAL MANAGEMENT COMMISSION
DEPARTMENT OF ENVIRONMENT AND NATURAL RESOURCES
RALEIGH
WASTEWATER COLLECTION SYSTEM EXTENSION PERMIT

This permit shall be effective from the date of issuance until rescinded and shall be subject to the following specified conditions and limitations:

1. This permit shall become voidable unless the wastewater collection facilities are constructed in accordance with the conditions of this permit; 15A NCAC 2T; the Division of Water Quality's (Division) Gravity Sewer Minimum Design Criteria adopted February 12, 1996 as applicable; the Division's Minimum Design Criteria for the Fast-Track Permitting of Pump Stations and Force Mains adopted June 1, 2000 as applicable; and other supporting materials; unless specifically mentioned herein.
2. This permit shall be effective only with respect to the nature and volume of wastes described in the application and other supporting data.
3. The wastewater collection facilities shall be properly maintained and operated at all times. The Permittee shall maintain compliance with an individual system-wide collection system permit for the operation and maintenance of these facilities as required by 15A NCAC 2T .0403. If an individual permit is not required, the following performance criteria shall be met as provided in 15A NCAC 2T .0403:
 - a. The sewer system shall be effectively maintained and operated at all times to prevent discharge to land or surface waters, and any contravention of the groundwater standards in 15A NCAC 2L .0200 or the surface water standards in 15A NCAC 2B .0200.
 - b. A map of the sewer system shall be developed and shall be actively maintained.
 - c. An operation and maintenance plan shall be developed and implemented.
 - d. Pump stations that are not connected to a telemetry system shall be inspected every day (i.e. 365 days per year). Pump stations that are connected to a telemetry system shall be inspected at least once per week.
 - e. High-priority sewer lines shall be inspected at least once per every six-month period of time.
 - f. A general observation of the entire sewer system shall be conducted at least once per year.
 - g. Inspection and maintenance records shall be maintained for a period of at least three years.
 - h. Overflows and bypasses shall be reported to the appropriate Division regional office in accordance with 15A NCAC 2B .0506(a), and public notice shall be provided as required by North Carolina General Statute §143-215.1C.
4. **This permit shall not be transferable.** In the event there is a desire for the wastewater collection facilities to change ownership, or there is a name change of the Permittee, a formal permit request shall be submitted to the Division accompanied by documentation from the parties involved, and other supporting materials as may be appropriate. The approval of this request shall be considered on its merits and may or may not be approved.

5. Construction of the gravity sewers, pump stations, and force mains shall be scheduled so as not to interrupt service by the existing utilities nor result in an overflow or bypass discharge of wastewater to the surface waters of the State.
6. Per 15A NCAC 02T .0116, upon completion of construction and prior to operation of these permitted facilities, the completed Engineering Certification form attached to this permit shall be submitted with the required supporting documents to the address provided on the form. A complete certification is one where the form is fully executed and the supporting documents are provided as applicable. Gravity sewers installed below the minimum required slope per the Division's Gravity Sewer Minimum Design Criteria shall not be acceptable and shall not be certified until corrected. If there is an unforeseen obstacle in the field where all viable solutions have been examined, a slope variance can be requested from the Division with firm supporting documentation. This shall be done through a permit modification with fee. Such variance requests will be evaluated on a case-by-case basis. Resolution of such request shall be evident prior to completing and submitting the construction certification.
7. A copy of the construction record drawings shall be maintained on file by the Permittee for the life of the wastewater collection facilities.
8. Failure to abide by the conditions and limitations contained in this permit; 15A NCAC 2T; the Division's Gravity Sewer Design Criteria adopted February 12, 1996 as applicable; the Division's Minimum Design Criteria for the Fast-Track Permitting of Pump Station and Force Mains adopted June 1, 2000 as applicable; and other supporting materials may subject the Permittee to an enforcement action by the Division, in accordance with North Carolina General Statutes §143-215.6A through §143-215.6C.
9. In the event that the wastewater collection facilities fail to perform satisfactorily, including the creation of nuisance conditions, the Permittee shall take immediate corrective action, including those as may be required by this Division, such as the construction of additional or replacement facilities.
10. The issuance of this permit shall not exempt the Permittee from complying with any and all statutes, rules, regulations, or ordinances that may be imposed by other government agencies (local, state and federal) which have jurisdiction, including but not limited to applicable river buffer rules in 15A NCAC 2B .0200, erosion and sedimentation control requirements in 15A NCAC Ch. 4 and under the Division's General Permit NCG010000, and any requirements pertaining to wetlands under 15A NCAC 2B .0200 and 15A NCAC 2H .0500.
11. **Noncompliance Notification:**

The Permittee shall verbally report to a water quality staff member at the Raleigh Regional Office, telephone number 919-791-4200, as soon as possible, but in no case more than 24 hours or on the next working day, following the occurrence or first knowledge of the occurrence of either of the following:

- a. Any process unit failure, due to known or unknown reasons, that renders the facility incapable of adequate wastewater transport, such as mechanical or electrical failures of pumps, line blockage or breakage, etc., or
- b. Any failure of a pumping station or sewer line resulting in a by-pass directly to receiving waters without treatment of all or any portion of the influent to such station or facility.

Initial voice mail messages or faxed information shall not be considered as the initial verbal report. Overflows and spills occurring outside normal business hours may also be reported to the Division of Emergency Management at telephone number (800) 858-0368 or (919) 733-3300. Persons reporting any of the above occurrences shall file a spill report by completing Part I of Form CS-

SSO (or the most current Division approved form); within five days following first knowledge of the occurrence. This report shall outline the actions taken or proposed to ensure that the problem does not recur. The Director, Division of Water Quality, may take enforcement action for SSO's that are required to be reported to the Division unless it is demonstrated that:

1. The discharge was caused by severe natural conditions and there were no feasible alternatives to the discharge; or
2. The discharge was exceptional, unintentional, temporary, and caused by factors beyond the reasonable control of the Permittee and/or owner, and the discharge could not have been prevented by the exercise of reasonable control.

Permit issued this the 4th Day of April 2011.

NORTH CAROLINA ENVIRONMENTAL MANAGEMENT COMMISSION



for Coleen H. Sullins, Director

Division of Water Quality

by authority of the Environmental Management Commission

by S. Daniel Smith
Surface Water Quality Supervisor
Raleigh Regional Office

Permit Number WQ0035291
Ferrington Utilities
Ferrington Section X

FAST TRACK ENGINEERING CERTIFICATION

Permit No. WQ0035291
Farrington Utilities
Farrington Section X
April 4, 2011

Complete and submit this form (NO SUBSTITUTES) to the Raleigh Regional Office together with the following:

- One copy of the project record drawings (plan & profile views of sewer lines) of the wastewater collection system extension.
- Supporting design calculations (selected pumps, system curve, operating point, available storage if portable generator(s) or storage greater than longest past three year outage reliability option selected) for any pump stations permitted as part of this project.

Changes to the project should be clearly identified on the record drawings or in written summary form. Permit modifications are required for any changes resulting in non-compliance with this permit, regulations or minimum design criteria.

This project shall not be considered complete nor allowed to operate until the Division has received this Engineer's Certification and all required supporting documentation. It is highly recommended that this certification be sent in a manner that provides proof of receipt by the Division. The Division does not acknowledge receipt of Fast Track Engineering Certifications!

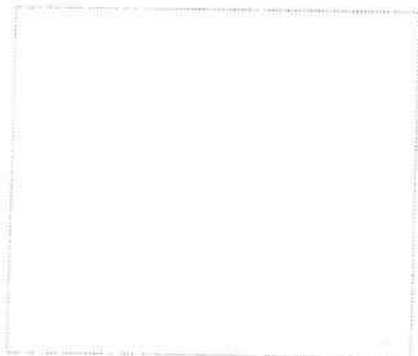
ENGINEER'S CERTIFICATION

Partial

Final

I, _____, as a duly registered Professional Engineer in the State of North Carolina, having been authorized to observe (periodically, weekly, full time) the construction of the subject project for the Permittee hereby state that, to the best of my abilities, due care and diligence was used in the observation of the construction such that the construction was observed to be built within substantial compliance of this permit; 15A NCAC 02T; the Division of Water Quality's (Division) Gravity Sewer Minimum Design Criteria adopted February 12, 1996 as applicable; the Division's Minimum Design Criteria for the Fast-Track Permitting of Pump Stations and Force Mains adopted June 1, 2000 as applicable; and other supporting materials.

**North Carolina Professional Engineer's
Seal, signature, and date:**



**SEND THIS FORM & SUPPORTING DOCUMENTATION
WITH REQUIRED ATTACHMENTS TO THE FOLLOWING ADDRESS**

**RALEIGH REGIONAL OFFICE
1628 MAIL SERVICE CENTER
RALEIGH NC 27699-1628**

The Permittee is responsible for tracking all partial certifications up until a final certification is received. Any wastewater flow made tributary to the wastewater collection system extension prior to completion of this Engineer's Certification shall be considered a violation of the permit and shall subject the Permittee to appropriate enforcement actions.

DWQ use only:

Flow from this project is tributary to: Farrington

A BRIEF HISTORY OF THE FEARRINGTON P.U.D.

SEPTEMBER 6, 2013

At the Planning Department's suggestion we are pleased to provide an overview of the history of the evolution of the Fearington P.U.D. to accompany our request for Preliminary Plat Approval for Section X Area A of the Fearington P.U.D.

OVERVIEW

As Chatham County's first Planned Unit Development, and one that remains active in development today, it is understandable that some may be unaware of how this community has evolved in partnership with the County's Planning Department and elected officials. The community is generally known as Fearington Village and lies eight miles north of Pittsboro on US 15-501. It was conceived as a rural village by R.B. and Jenny Fitch back in the early 1970's when Jesse Fearington retired from dairy farming on land that had been in his family since the late 1700's. The Fearington Farm was a part of the Jones Grove Plantation. The Fitches purchased this land from the Fearington family in 1975-1976.

The Fitches' concept for this farm was to maintain the rural Chatham County character of this 639 acres by preserving both farmlands and woods, and setting the stage for the farm center to slowly grow into the Village Center surrounded by country communities or neighborhoods. The farm house was converted into the Fearington House Restaurant, the dairy barn into shops, the Granary became a café, the blacksmith shed was replaced by a bookstore. The silo and big barn remained. Belted Galloway cattle are raised. Slowly the Village began to grow into the destination it is today thirty-eight years later with shops, services, cafés, a bank, gardens and Inn and Spa. Fearington Village is grouped with the largest employers in Chatham County. There are about 2400 residents and about 1400 residences.

The residential neighborhoods also grew steadily paced at 20 to 35 homes a year, following the P.U.D. Master Plan but adjusting as the market and times evolved. This perfectly fit the Fitches' concept. Fearington Village has grown at a pace similar to how villages have grown historically with minor variations over time to the architecture and the neighborhood land plans. The benefits of this measured steady growth are that neighbors got to know each other and a cohesiveness developed about their community identity. That spirit flourishes today and is reflected in public service efforts and community projects by the residents of Fearington Village.

HISTORY

The original Fearington P.U.D. was approved in 1976 for 1333 dwellings, a commercial village, open space and utilities. In the initial years there were several minor Modification Approvals while the County and the Owner, Fitch Creations, ironed out procedural matters concerning how phasing would be administered and to clarify the land uses and their locations. See Attachment "A" for that plan. Fearington was the first Planned Unit Development in Chatham County.

Sections I, II, III and IV, single-family homes, were approved and constructed over the next ±10 years on the lands north of Villageway (S.R. 1718).

In 1981 the Stutts' land was added to the P.U.D. with an additional 77 units allowed. In 1983 the remainder of the land in that area was added to the P.U.D. with an addition of 32 dwellings. By this time most residential areas were clustered designs saving more open space by using a tighter land plan arrangement for the dwellings.

Fearington Utilities Wastewater Treatment Plant came on line in 1981-1982. Clustering was furthered thus leaving more undisturbed open space land.

Section VI Weathersfield (Townhouses) was approved in 1988. Section VII Camden Park, one of the earliest neo-traditional land plans in the U.S. was approved and construction began in 1991. It was designed surrounding a 15-acre central park with two ponds and 209 single-family dwellings on compact lots. It is directly south of the Village Center. The last Camden Park home was constructed and sold in 2008 (a 17-year build out period).

In the late 1980s Mr. R.B. Moore proposed that Fitch Creations purchase land he owned adjacent to and east of Fearington. With a goal of clustering and setting aside open space, Fitch Creations proposed that a major portion of the Moore lands be approved as an addition to the Fearington P.U.D. The request was approved by the County in 1991 as Section VIII and 160 dwellings were added to the P.U.D. Total Approved P.U.D. dwelling count was then (and is still) 1602. This new area, generally known as Bush Creek, includes both single-family lots, clustered dwellings and attached townhouses in distinct neighborhoods called Langdon Place and Bradford Place.

Concurrent with this portion of the Moore Lands coming into the P.U.D., a subdivision called Fearington Woods on the remaining Bland Moore and James Gust lands was brought before the County and obtained Subdivision Approval in 1989 for 100 single-family 40,000 sq.ft. home sites in two phases. In 2003 there was an addition of the Whitakers' land-locked property with 12 lots. Fearington Woods is not a part of the P.U.D.

The Approved 1991 P.U.D. Plan (See Attachment "B") further defined several other land uses within the original undeveloped lands of the Village. There was: 1) A Life Care Retirement Community (known today as "continuing care residential communities") sited south of Camden Park East; 2) A "Town Square"

commercial center at 15-501 in the southeast corner of the P.U.D.; 3) A small lot community (the Knolls today); 4) Several clusters of townhomes; and 5) A large area with two traditional neighborhoods of small single-family lots with alleys similar to Camden Park.

Since 1991 Section VIII has been almost completely constructed. During this time Fitch became more convinced that there was a need for a continuing care community. Mr. Fitch began exploring that concept for both Fearington residents and residents of the community at large. Several healthcare providers and CCRC developers showed interest. Mr. Fitch also realized that the need for a CCRC was greater than the need for another shopping area and proposed that the commercial Town Center land become the retirement community site. On the land formerly shown as retirement community Fitch proposed single-family, traditional neighborhoods.

A national continuing care developer, CRSA, expressed an interest in Fearington Village. Duke University Medical Services also had an interest in creating a Wellness Center in conjunction with the CCRC for the residents of Fearington Village, and for the community at large. This was viewed as a major benefit to the County and Fearington Village, and studies for a CCRC and Wellness Center began.

In April of 1999 a request for Sketch Plan was submitted to the County and was approved for Section IX, Galloway Ridge. The neighborhoods for the remaining lands and those under or in development included: Section IX Galloway Ridge; Section X, Camden styled Single Family; Section XI, now the Knolls; Section XII, townhomes; Section XIV, Camden Park styled neighborhood; and Section XV, clustered cottages now called Millcroft. Section X remained as a neo-traditional land plan but was adjusted at the Galloway lands and the lot sizes matched those of Camden Park.

The next year, 2000, at the request of Galloway's partner, Duke Community Medical Services, another request for the Sketch Plan for Galloway Ridge was submitted to the County and was approved. It consisted of internal layout changes and a dwelling number adjustment. All other areas of the P.U.D. except the land where Galloway Ridge was to occupy remained unchanged in that request. Fearington's overall dwelling unit count remained unchanged. See Attachment "C".

NOTE: All dwelling units in Galloway are a part of, or come out of the overall Approved Dwelling count of the Fearington P.U.D. No new additional dwellings were requested beyond the 1602 units approved in 1991.

In 2008 Galloway Ridge made a third Sketch Plan submission to allow expanded health care facilities, auditorium, and the other phase of independent living units per the Master Plan. This request was approved by the County in 2008. Dwelling count of 1602 remained as Fearington's approved number of dwellings. Construction of Phase Two of Galloway Ridge is near completion at this time.

Concurrent with Fearrington P.U.D.'s normal growth of 20 to 35 homes a year, Wade Barber in 2005 requested that Fitch Creations consider allowing him access to his land-locked parcel south of Fearrington's southeastern property corner. Access to the south had been a condition of the 1991 P.U.D. Approval but the exact location had not been determined. A route from South Langdon Street was created. Mr. Barber's development plan was for a single-family subdivision with one-acre lots. It would be served with sanitary sewer by Fearrington Utility and County water from the system within Fearrington. This new subdivision, named Henderson Place, now has Preliminary Plat Approval from the County and will start construction when the housing market improves. Henderson Place is not a part of the Fearrington P.U.D. Fitch Creations has no ownership in Henderson Place.

Today the undeveloped portions of Fearrington P.U.D. (Sections X) lie largely along the southern property line between Galloway Ridge on the west and the Knolls to the east. Weathersfield and East Camden and Millcroft Streets make the north and northeast boundary of this ±124 acre tract. Fearrington has 226 dwellings left to build of the 1602 allowed. This Sketch Plan Revision Request of February 10, 2012 calls for 226 dwellings as allowed in the P.U.D. Approval and is for all remaining dwellings allowed.